

VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page G-11.
- Lots 1 thru 9, Coors Pavilion are subject to that certain "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed December 13, 2016 as Document No. 2016116329 and that certain "DECLARATION OF TEMPORARY STORM WATER DRAINAGE EASEMENT", filed January 19, 2017 as Document No. 2017005194.

SUBDIVISION DATA

- Total number of existing Tracts: 2
- Total number of Lots created: 9
- Additional Public Right of way dedicated 0.2528 Ac.
- Gross Subdivision acreage: 21.2244 acres.

SHEET INDEX

SHEET 1 OF 4 -	Approvals, General Notes, Etc...
SHEET 2 OF 4 -	Legal Description, Free consent and dedication
SHEET 3 OF 4 -	Existing Plat Boundary and New Lots and Easements
SHEET 4 OF 4 -	Curve and Line Tables, Easement Legend

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
 101106019549120846
 101106018038720705
 George Stone 4-11-17
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
 - New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 - Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
 - Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.
 Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

- The purpose of this Plat is to:
- Divide One (1) existing Tract into Nine (9) new Lots as shown hereon.
 - Grant the New Public and Private Easements as shown hereon.
 - Dedicate the additional Public street right of way as shown hereon.
 - Show the Temporary Private Blanket Drainage Easement VACATED BY 16DRB-70402.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 October 24, 2016



PLAT OF
LOTS 1 THRU 9
COORS PAVILION

(BEING A REPLAT OF TRACT X-1-A2,
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
 WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 IN
 PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2016

PROJECT NUMBER: 1000032

PLAT APPROVAL

UTILITY APPROVALS:

<i>Fernando Vigil</i> Public Service Company of New Mexico	11-3-16 Date
<i>Christina Halley</i> New Mexico Gas Company	11-2-16 Date
<i>[Signature]</i> Qwest Corporation, d/b/a CenturyLink QC.	11/2/2016 Date
<i>[Signature]</i> Comcast	11/2/16 Date

CITY APPROVALS:

<i>Steven N. Riechman P.S.</i> City Surveyor Department of Municipal Development	10/25/16 Date
Real Property Division	4-8-17 Date
Environmental Health Department	4-6-17 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	4/6/17 Date
<i>[Signature]</i> ABCWA	04-05-17 Date
<i>[Signature]</i> Parks and Recreation Department	4/5/17 Date
AMAFCA	4/6/17 Date
City Engineer	4/6/17 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	4-6-17 Date

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PLAT OF
LOTS 1 THRU 9
COORS PAVILION
 (BEING A REPLAT OF TRACT X-1-A2,
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 WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
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 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2016

LEGAL DESCRIPTION

Tract X-1-A2, as shown on the amended Plat of Tracts X-1-A1 and X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 12, 1998, in Plat Book 98C, Page 68.


Said Tract contains 21.2244 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOTS 1 THRU XX, COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

RED SHAMROCK 4, LLC
 a New Mexico limited liability company


 By: Joshua J. Skarsgard, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 17th day
 of March 2017, by Joshua J. Skarsgard as
 Managing Member of Red Shamrock 4, LLC.


 Notary Public

4/10/2017
 My commission expires



DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

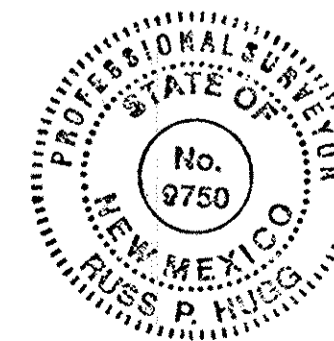
- A. Plat entitled "PLAT OF TRACTS X-1-A1 AND X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 1998", filed March 12, 1998, in Volume 98C, Folio 68, records of Bernalillo County, New Mexico.
- B. Plat entitled "AMENDED PLAT OF TRACTS X-2-A AND X-2-B, THE UNIVERSITY OF ALBUQUERQUE URBAN CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1995", filed July 10, 1995, in Volume 95C, Folio 250, records of Bernalillo County, New Mexico.
- C. Plat entitled "PLAT OF RANCHO ENCANTADO DEL SUR, A REPLAT OF TRACT 4, COORS VILLAGE, ALBUQUERQUE, NEW MEXICO, JULY 2003", filed September 2, 2003, in Volume 2003C, Folio 269, records of Bernalillo County, New Mexico.
- D. Plat entitled "AMENDED REPLAT OF VILLA DE PAZ, ALBUQUERQUE, NEW MEXICO, NOVEMBER, 1976", filed December 7, 1976, records of Bernalillo County, New Mexico.
- E. Title Commitment prepared for the surveyed property by Fidelity National Title Insurance Company, Commitment for Title Insurance No. FT000187105, dated September 15, 2015.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

FLOOD ZONE DETERMINATION

The subject property (as shown hereon) appears to lie within Zone "X" (areas determined to be outside 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0114 H, Effective Date 8-16-2012.

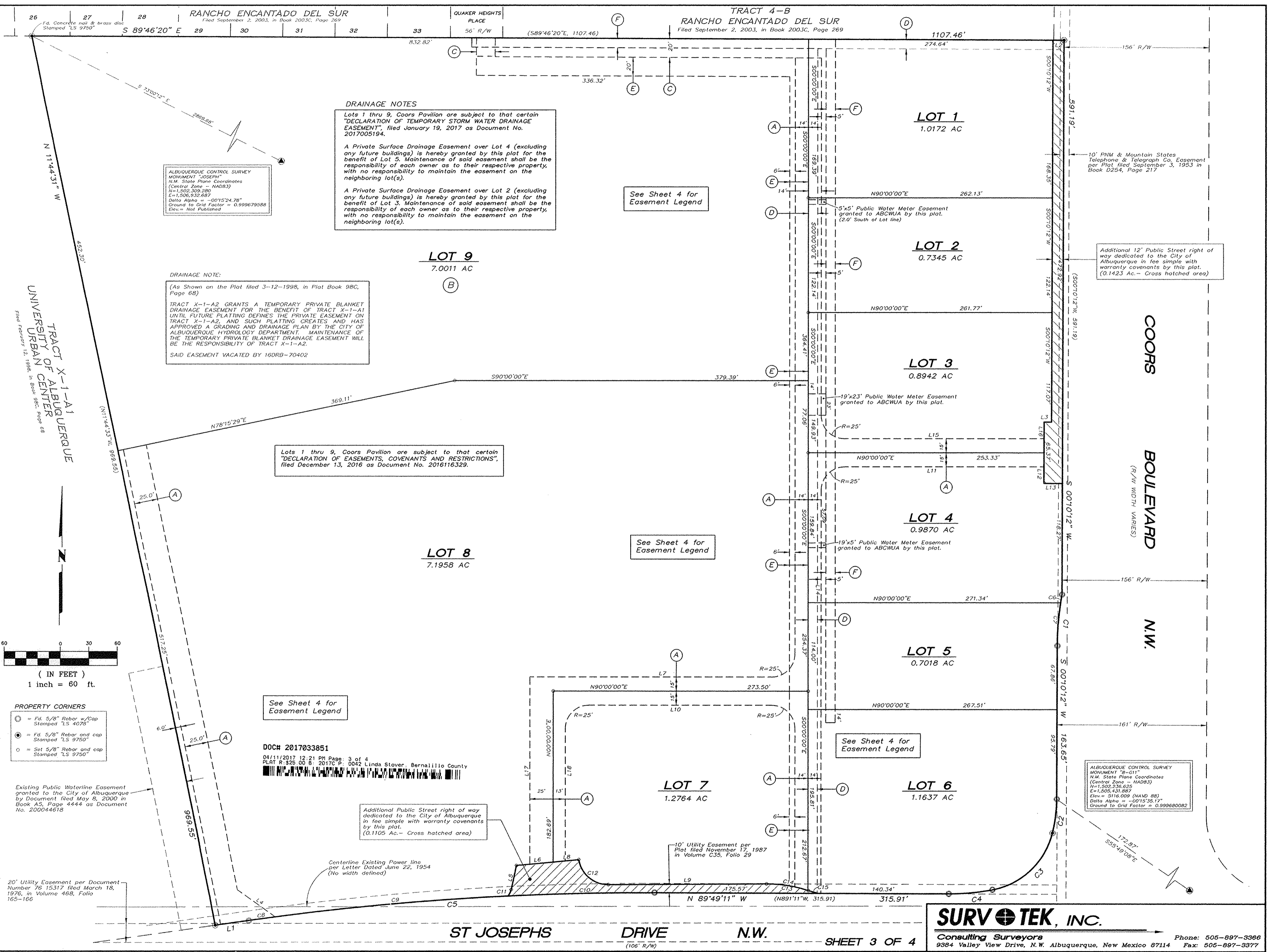


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SHEET 2 OF 4

SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377



DRAINAGE NOTES

Lots 1 thru 9, Coors Pavilion are subject to that certain "DECLARATION OF TEMPORARY STORM WATER DRAINAGE EASEMENT", filed January 19, 2017 as Document No. 2017005194.

A Private Surface Drainage Easement over Lot 4 (excluding any future buildings) is hereby granted by this plat for the benefit of Lot 5. Maintenance of said easement shall be the responsibility of each owner as to their respective property, with no responsibility to maintain the easement on the neighboring lot(s).

A Private Surface Drainage Easement over Lot 2 (excluding any future buildings) is hereby granted by this plat for the benefit of Lot 3. Maintenance of said easement shall be the responsibility of each owner as to their respective property, with no responsibility to maintain the easement on the neighboring lot(s).

ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH" N.M. State Plane Coordinates (Control Zone = NAD83) N=1,502,309.280 E=1,506,932.687 Delta Alpha = -0015'24.78" Ground to Grid Factor = 0.999679588 Elev. = Not Published

DRAINAGE NOTE:

(As Shown on the Plat filed 3-12-1998, in Plat Book 98C, Page 68)

TRACT X-1-A2 GRANTS A TEMPORARY PRIVATE BLANKET DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT X-1-A1 UNTIL FUTURE PLATTING DEFINES THE PRIVATE EASEMENT ON TRACT X-1-A2. AND SUCH PLATTING CREATES AND HAS APPROVED A GRADING AND DRAINAGE PLAN BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT. MAINTENANCE OF THE TEMPORARY PRIVATE BLANKET DRAINAGE EASEMENT WILL BE THE RESPONSIBILITY OF TRACT X-1-A2.

SAID EASEMENT VACATED BY 16DRB-70402

Lots 1 thru 9, Coors Pavilion are subject to that certain "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed December 13, 2016 as Document No. 2016116329.

See Sheet 4 for Easement Legend

See Sheet 4 for Easement Legend

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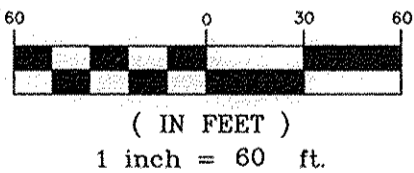
See Sheet 4 for Easement Legend

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Additional Public Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (0.1105 Ac. - Cross hatched area)

Centerline Existing Power line per Letter Dated June 22, 1954 (No width defined)

10' Utility Easement per Plat filed November 12, 1987 in Volume C35, Folio 29



- PROPERTY CORNERS**
- ⊙ = Fd. 5/8" Rebar w/Cap Stamped "LS 4078"
 - ⊙ = Fd. 5/8" Rebar and cap Stamped "LS 9750"
 - = Set 5/8" Rebar and cap Stamped "LS 9750"

Existing Public Waterline Easement granted to the City of Albuquerque by Document filed May 8, 2000 in Book A5, Page 4444 as Document No. 200044618

20' Utility Easement per Document Number 76 15317 filed March 18, 1976, in Volume 468, Folio 165-166

ALBUQUERQUE CONTROL SURVEY MONUMENT "B-G11" N.M. State Plane Coordinates (Control Zone = NAD83) N=1,505,236.625 E=1,505,431.887 Elev. = 5116.009 (NAVD 88) Delta Alpha = -0015'35.17" Ground to Grid Factor = 0.999680082

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
LOTS 1 THRU 9
COORS PAVILION
 (BEING A REPLAT OF TRACT X-1-A2,
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
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OCTOBER, 2016

LINE TABLE		
LINE	LENGTH	BEARING
L1	36.65' (36.65')	S81°59'51"W (S81°59'51"E)
L2	12.00	S89°46'20"E
L3	8.00	N89°49'48"W
L4	49.74	S54°44'45"E
L5	26.39	N12°12'29"E
L6	39.52	N84°41'06"E
L7	259.50	N90°00'00"E
L8	27.61	N84°41'06"E
L9	169.88	N89°40'12"E
L10	196.50	N90°00'00"E
L11	214.27	N90°00'00"E
L12	32.49	S00°10'12"W
L13	20.19	N89°49'48"W
L14	227.87	N00°00'00"E
L15	214.36	N89°59'04"E
L16	32.89	S00°10'12"W
L17	200.01	N00°00'00"E
L18	141.48	N00°00'00"E

EXTERIOR BOUNDARY CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	55.49' (55.48')	307.00' (307.00')	55.41' (55.41')	S05°20'52"W (S05°20'52"W)
C2	36.50' (36.50')	150.00' (150.00')	36.41' (36.41')	S07°08'03"W (S07°08'03"W)
C3	93.35' (93.35')	82.00' (82.00')	88.39' (88.39')	S46°43'41"W (S46°43'41"W)
C4	47.29' (47.29')	250.00' (250.00')	47.22' (47.22')	S84°45'41"W (S84°45'41"W)
C5	436.02' (436.02')	3053.00' (3053.00')	435.65' (435.65')	S86°05'20"W (S86°05'20"W)

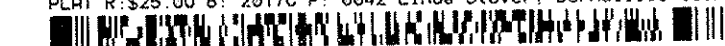
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C6	9.16'	307.00'	4.58'	9.16'	S09°40'16"W	1°42'32"
C7	46.33'	307.00'	23.21'	46.29'	S04°29'36"W	8°38'47"
C8	28.42'	3053.00'	14.21'	28.42'	S82°15'51"W	0°32'00"
C9	250.31'	3053.00'	125.23'	250.24'	S84°52'47"W	4°41'51"
C10	157.29'	3053.00'	78.66'	157.27'	S88°42'16"W	2°57'06"
C11	7.60'	15.00'	3.88'	7.52'	N26°43'17"E	29°01'36"
C12	44.98'	32.00'	27.11'	41.37'	S50°03'49"E	80°31'59"
C13	45.61'	140.00'	23.01'	45.40'	N80°59'53"W	18°39'51"
C14	45.15'	140.00'	22.77'	44.96'	N81°05'27"W	18°28'41"
C15	10.99'	140.00'	5.50'	10.98'	S73°54'51"E	4°29'48"

KEYED EASEMENT NOTES

- (A) = Private Access and Surface Drainage Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easements shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (B) = Private Blanket Drainage Easement across Lot 9 granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (C) = Private Drainage Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (D) = 10' Public Utility Easement granted by this Plat.
- (E) = 20' Public Water Easement granted to ABCWUA by this Plat.
- (F) = 10' Private Sanitary Sewer Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of said owners.

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SHEET 4 OF 4

SURV TEK, INC.

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