

CHICK-FIL-A AT COORS PAVILION

LOT 1 COORS PAVILLION WITHIN THE TOWN OF ALBUQUERQUE GRANT IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO
PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO,
STATE OF NEW MEXICO.

CODE INFORMATION

BUILDING CODE: INTERNATIONAL BUILDING CODE 2015
PLUMBING CODE: INTERNATIONAL PLUMBING CODE 2015
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE 2015
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE 2015
FIRE CODE: NEW MEXICO FIRE CODE 2015
ENERGY CODE: STATE OF NM ENERGY CONSERVATION CODE 2009

BUILDING DATA

OCCUPANCY: A-2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION TYPE: INTERNATIONAL MECHANICAL CODE 2009
SITE AREA: 1.1641 AC = 50,708 S.F.
BUILDING AREA: 4,867 S.F.
FAR: NOT REQUIRED
ZONING: C-2 (COMMUNITY COMMERCIAL ZONE)

Chick-fil-A SITE PARKING REQUIREMENTS:

STANDARD SPACES REQUIRED: 1 SP. / 3 SEATS = 132 / 3 = 44 SP. REQ'D
STANDARD SPACES PROVIDED: 61 SPACES
HANDICAP SPACES: 3 SPACES
TOTAL SPACES PROVIDED: 64 SPACES

**MAXIMUM PARKING ALLOWED BY EGSDP
33 SPACES PLUS 50%:** 49 SPACES

TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES

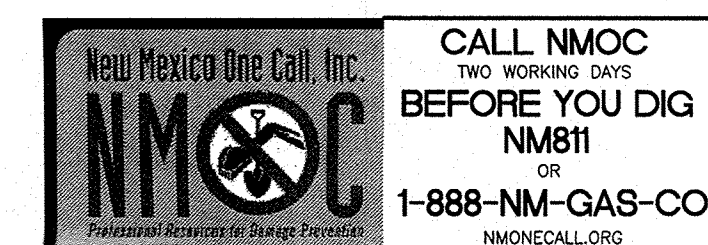
LEGAL DESCRIPTION:

AS CONTAINED IN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO.: 2216027-AL01, EFFECTIVE DATE: MAY 19, 2017.

LOT NUMBERED SIX (6) OF THE PLAT OF LOTS 1 THRU 9, COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER), WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED ON APRIL 11, 2017, AS DOCUMENT NO. 2017033851, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

FLOODZONE DETERMINATION:

THE SURVEY AREA (AS SHOWN HEREON) APPEARS TO LIE WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0114H, MAP REVISED AUGUST 16, 2012.



STORE # 04107



VICINITY MAP
NTS

PROJECT CONTACTS

DEVELOPER
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2732
(404) 305-4407
CONTACT: MR. DON IKELER
EMAIL: don.ikeler@chick-fil-a.com

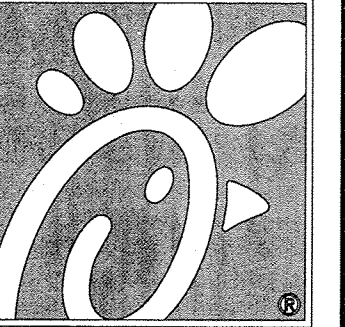
CIVIL ENGINEER
MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80014
(303) 751-0741
CONTACT: MR. TROY KELTS
EMAIL: troy.kelts@merrick.com

SITE ARCHITECT
MAYSE & ASSOCIATES, INC.
14850 QUORUM DRIVE, SUITE 201
DALLAS, TX 75254
(972) 386-0337 x226
CONTACT: MR. BRYCE NICHOLS
EMAIL: bnichols@mayseassociates.com

APPLICANT NAME
4G DEVELOPMENT AND CONSULTING, INC.
P.O. BOX 270571
SAN DIEGO, CA 92198
(619) 208-0755
CONTACT: BOB HATCH
EMAIL: BHATCH@4GDEV.COM

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6	EXHIBIT "A" DELIVERY TRUCK ROUTE



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
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STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

COORS BLVD NW
& St. JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE

TITLE
SHEET

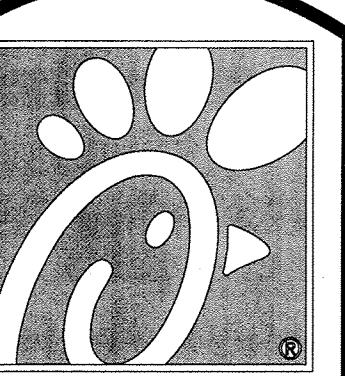
DWG EDITION ---

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED MA
10-5-17

Job No. : 65119594
Store : 04107
Date : 07/18/17
Drawn By : KD
Checked By : KW

Sheet

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Chick-fil-A

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MERRICK & COMPANY
5870 GREENWOOD PLAZA BLVD
GREENWOOD, CO 80111
303-751-8741

STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

COORS BLVD NW
& St. JOSEPHS DR NW
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SHEET TITLE

SITE PLAN

DWG EDITION ---

Job No. : 65119594

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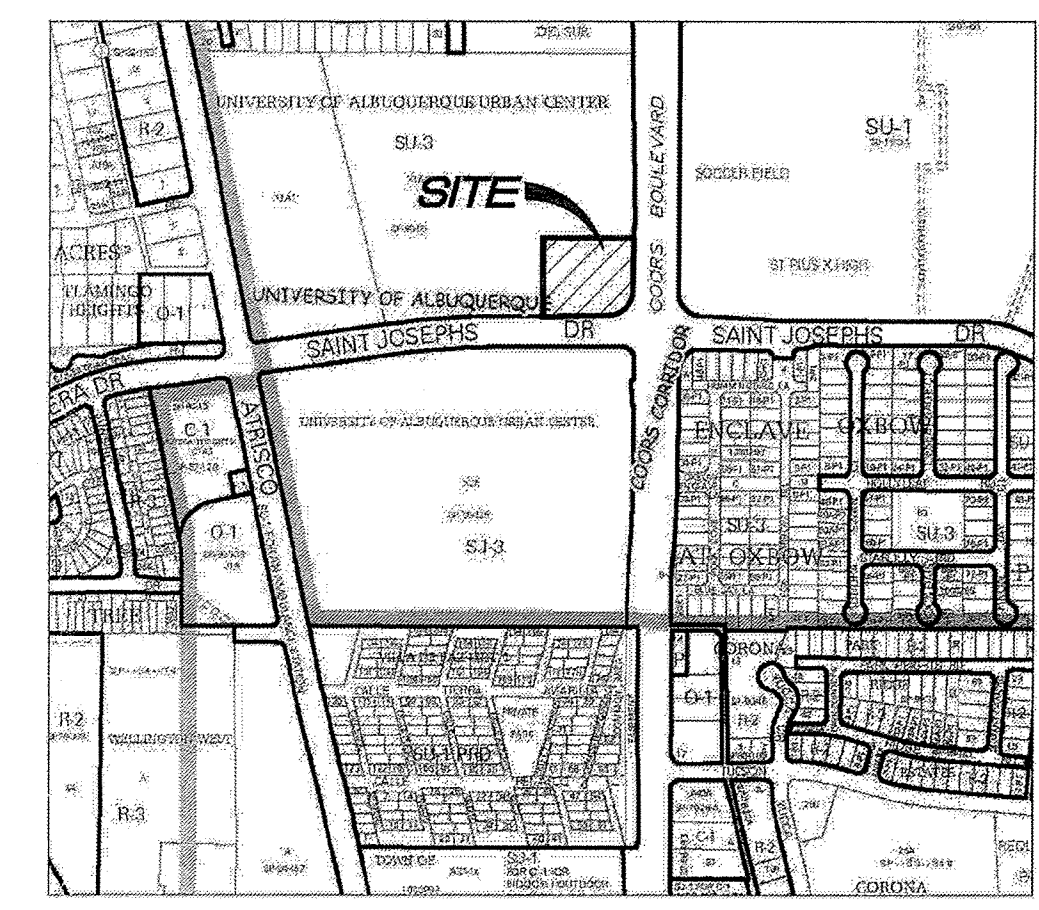
Date : 07/18/17

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Checked By : KW

Sheet

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VICINITY MAP

SITE DATA CHART

LEGAL DESCRIPTION OF LEASE AREA: LOT 6 COORS PAVILLION WITHIN THE TOWNSHIP OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO.

ZONE DISTRICT: PLANNED DEVELOPMENT - INDUSTRIAL
PLAN AREA E

PROPOSED USE: QUICK SERVICE RESTAURANT

	SQ FT	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	50,890	1.16	100%
LANDSCAPE AREA:	13,616	0.31	27%
HARDSCAPE AREA:	2,753	0.06	6%
TOTAL PARKING AND DRIVE AREA:	29,326	0.67	57%
TOTAL BUILDING AREA:	4,867	0.12	10%

REQUIRED PARKING CALCULATION - RESTAURANT WITH DRIVE-THRU AT LEAST 1 PARKING SPACE PER 4 SEATS IN BUILDING = 20 SPACES

REQUIRED HANDICAP ACCESSIBLE PARKING SPACES = 3

STANDARD PARKING SPACES: 61
ACCESSIBLE PARKING SPACES: 3
TOTAL AUTO PARKING SPACES PROVIDED: 64

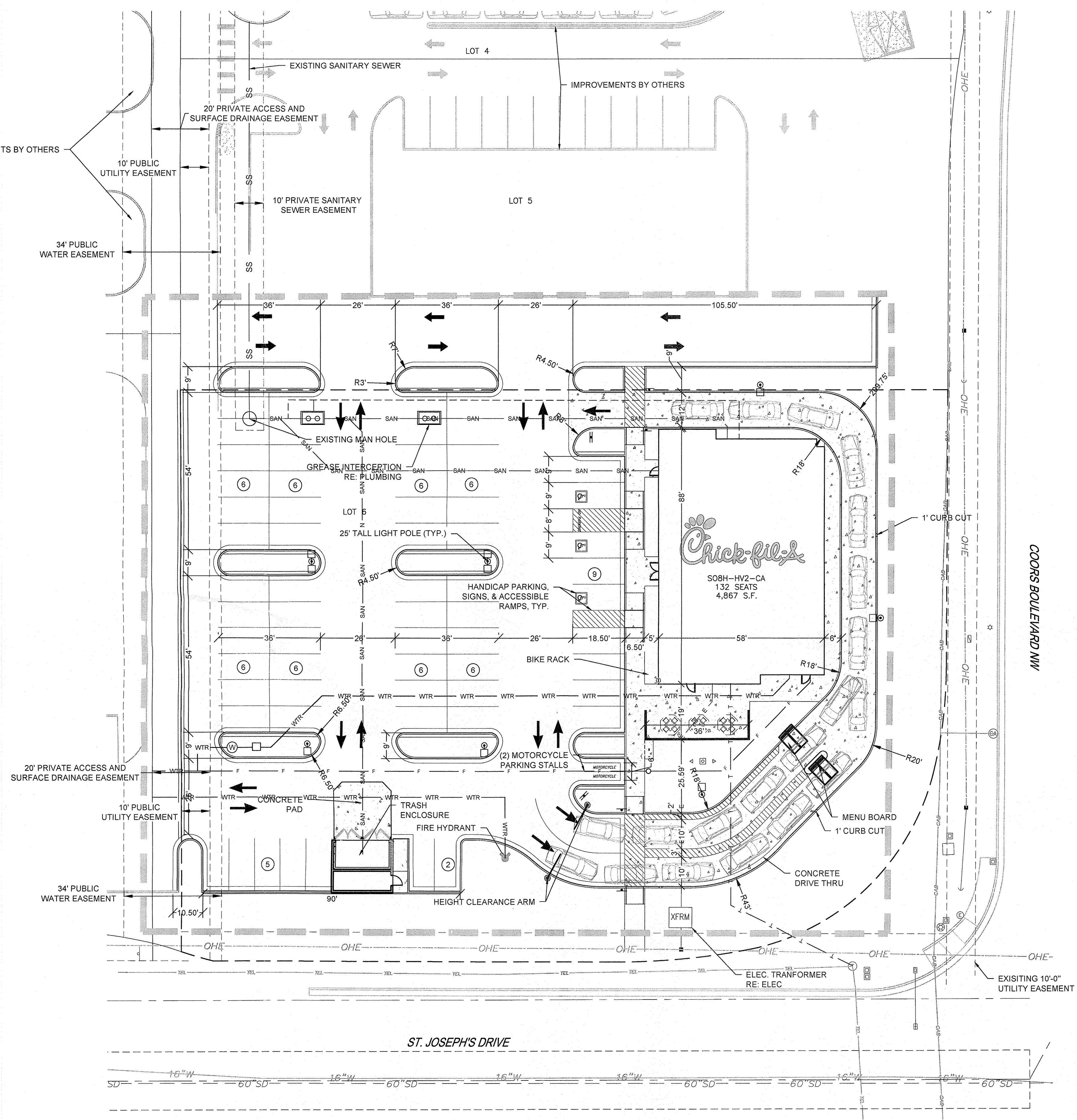
BIKE RACK SPACES: 2

LEGEND

LIMITS OF CONSTRUCTION	---
PROPERTY LINE	----
BUILDING LINE	=====
NEW CURB AND GUTTER	=====
NEW SIDEWALK	=====
EASEMENT LINE	-----
VEHICLE (20'-0" LENGTH TYPE)	

GENERAL NOTES

- DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
- SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
- APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS.

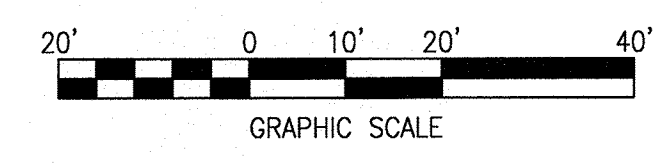


I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

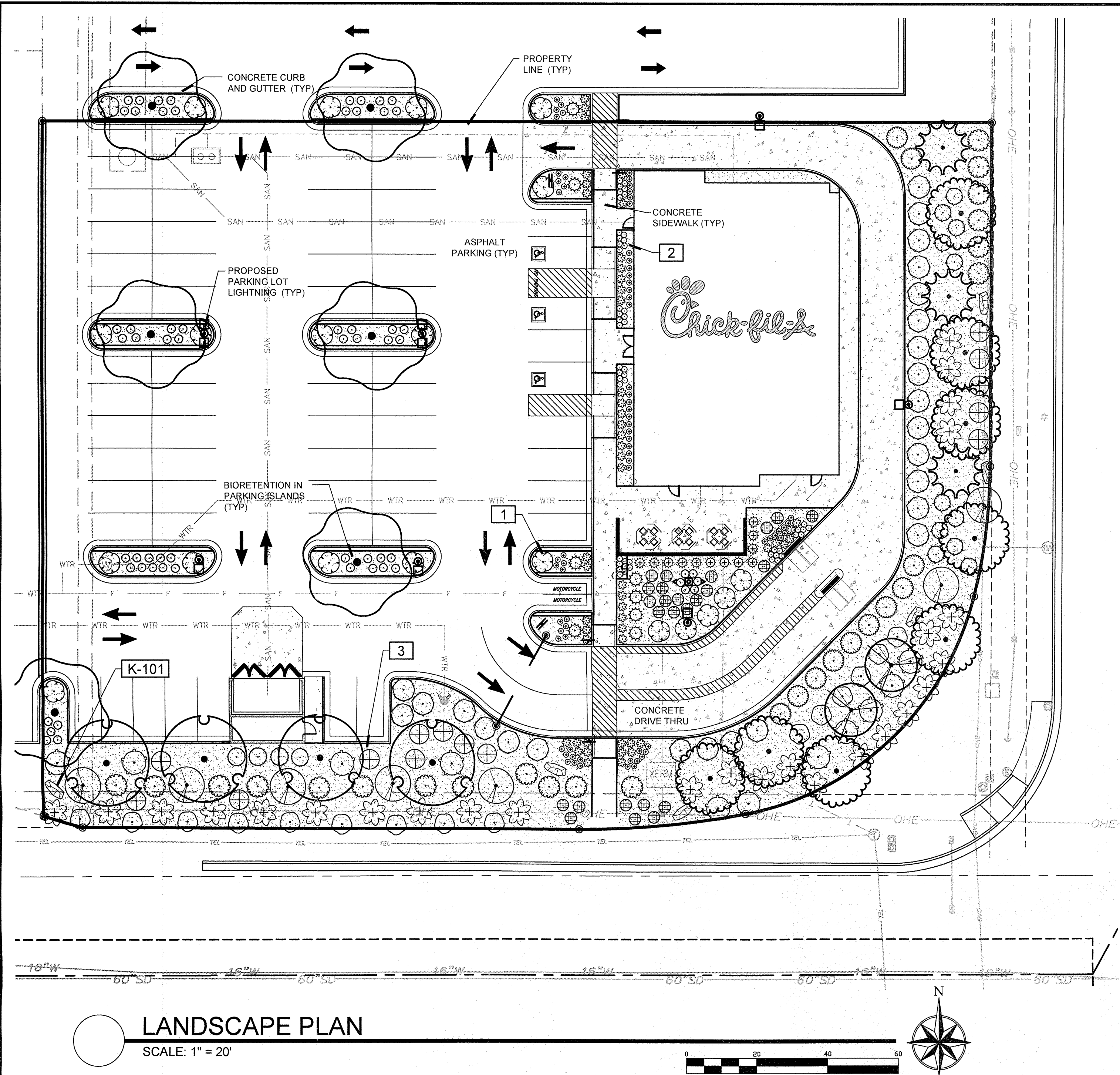
APPLICANT OR AGENT SIGNATURE / DATE



CALL NMOC
TWO WORKING DAYS
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OR
1-888-NM-GAS-CO
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GRAPHIC SCALE



LANDSCAPE PLAN

SCALE: 1" = 20'

SITE CATEGORY REQUIREMENTS

OVERALL LANDSCAPING PROVIDED: 13,615 SF		Site Area: 50,691 SF	Off-site Easement Area: 2974 sf
Groundplane Veg		Building Area: 4,967 SF	On-site Easement Area: 1940 sf
Cover % Req/ Provided	Total Trees	Net Site Area: 38,945	On-site Landscape Area: 13707 sf
1307 / 75 = 10280 Req	25	Required Landscaping	
11,024 sf provided	239	NIC Off-site Easement: 5,797 sf	
(80.96%)		Required Landscaping W/	
		Off-site Easement: 5,351 sf	
15% of Net Required			
PARKING BUFFERS / INTERNAL			
Frontage and LF	Bed Width / Coverage %	# of Spaces	Trees Req / Prov
South - St. Josephs NW - 316 lf	10' / 80%	65	6 / 6 (1 per 10)
East - Coors Blvd NW - 164 lf	10' / 79%		6 / 6
NO PARKING SPACE MAY BE LOCATED MORE THAN 100' FROM TREE TRUNK			
STREET TREES (1 ~ 30 LF)			
Frontage and LF	Trees Req / Provided		
East - 164 LF	5 / 5		
South - 316 LF	9 / 9		

PLAN NOTES:

- STREET TREE PROVIDED PER SECTION 6-1-1-1 IN THE FORM OF EXISTING STREET TREES.
- ALL SOD IS EXISTING TO REMAIN. NO NEW SOD IS PROPOSED.
- PROVIDE A 2' PARKING OVERHANG FOR ALL PLANTS WHERE APPLICABLE.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THESE AREAS.
- ALL IRRIGATION TO COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE FOR ALBUQUERQUE.
- PROPOSED LANDSCAPING COMPLIES WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE (RE: SEC. 6-1-1)
- LANDSCAPE BEDS TO BE DEPRESSED AT LEAST 6" BELOW GRADE TO ALLOW FOR RAINWATER HARVESTING.
- ANY RELOCATED OR EXISTING TREES TO REMAIN SHALL BE REPLACED IF MORTALITY OCCURS.

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS.
- DIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL.
- ALL EMITTERS PER IRRIGATION PLAN UNLESS OTHERWISE NOTED.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS AS NECESSARY.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- ALL NATIVE AND XERIC PLANTING AREAS TO BE AMENDED FOR DRAINAGE AS NECESSARY AND IN ACCORDANCE WITH CURRENT LANDSCAPE BMPs.

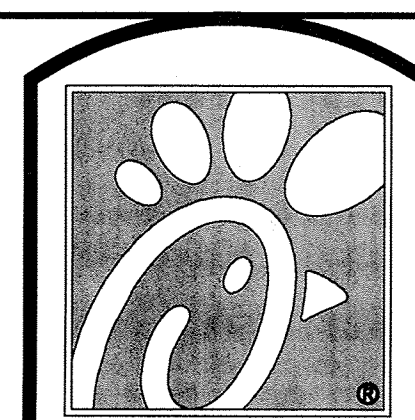
PLANT SCHEDULE ON-SITE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL
	CR	8	CELTIS RETICULATA / NETLEAF HACKBERRY	B & B	2" CAL
	CL	2	CHILOPSIS LINEARIS / DESERT WILLOW	B & B	6'-8' MULTISTEM
	GD	6	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2" CAL
	PP	3	PINUS EDULIS / PINON PINE	6' B & B	
	QS	4	QUERCUS SUBER / CORK OAK	B & B	2" CAL
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	AU	7	AMELANCHIER UTAHENSIS / UTAH SERVICEBERRY	5 GAL	
	AL	25	AMORPHA CANESCENS / LEADPLANT	2 GAL	
	AC	25	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL	
	AS	15	ARTEMISIA CANA / SILVER SAGE	5 GAL	
	CI2	4	CEROCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	
	CMF	14	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	
	EN	18	ERICAMERIA NAUSEOSA / RUBBER RABBITBRUSH	5 GAL	
	FA	11	FALLUGIA PARADOXA / APACHE PLUME 12356D	5 GAL	
	HP	8	HESPERALOE PARVIFLORA / RED YUCCA / CORAL YUCCA	1 GAL	
	PBP	21	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	5 GAL	
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	BB	50	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
	NM	26	NOLINA MICROCARPA / SACAHIUSTA	1 GAL	
	PVD	12	PANICUM VIRGATUM 'DALLAS BLUES' / DALLAS BLUES SWITCH GRASS	1 GAL	
	PVS	61	PANICUM VIRGATUM 'SHENENDOAH' / BURGUNDY SWITCH GRASS	1 GAL	
	SW	11	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	AGC	72	AGASTACHE CANA 'SONORAN SUNSET' / SONORAN SUNSET HYSSOP	1 GAL	
	MM	11	MIRABILIS MULTIFLORA / COLORADO FOUR O'CLOCK	1 GAL	
	PPP	50	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	4" POT	
MULCHES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2
	AGG	13,887 SF	AGGREGATE / RIVER ROCK MIXTURE MATCH ADJACENT SITES AND PLACE TO A UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.	MULCH	

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
[1]	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP). WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS LOCATED IN PEA GRAVEL.		
[2]	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.		
[3]	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.		
SYMBOL	ROCK DESCRIPTION	QTY	DETAIL
[K-101]	GRANITE/MOSS ROCK BOULDER-DECORATIVE. 1/2 TON AVG SIZE	10	

(1) Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
 (2) Any damage to utility lines resulting from the negligence of the abutting landowner, his agents, or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials, which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.
 (3) Landscaping shall have adequate maintenance. Landscaping which dies shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 days after notification.



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COORS BLVD.

COORS BLVD NW
& St. JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE
LANDSCAPE PLAN

DWG EDITION ---

Job No. : 65119594
Store : 04107
Date : 07/18/17
Drawn By : JRO
Checked By : NAM

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L1.0

GENERAL NOTES

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS.

LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
A. 1" BELOW CURB FOR ALL SEEDED AREAS.
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEPTH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE.

SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP.
TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY SOIL GUARD BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER). ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (9) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

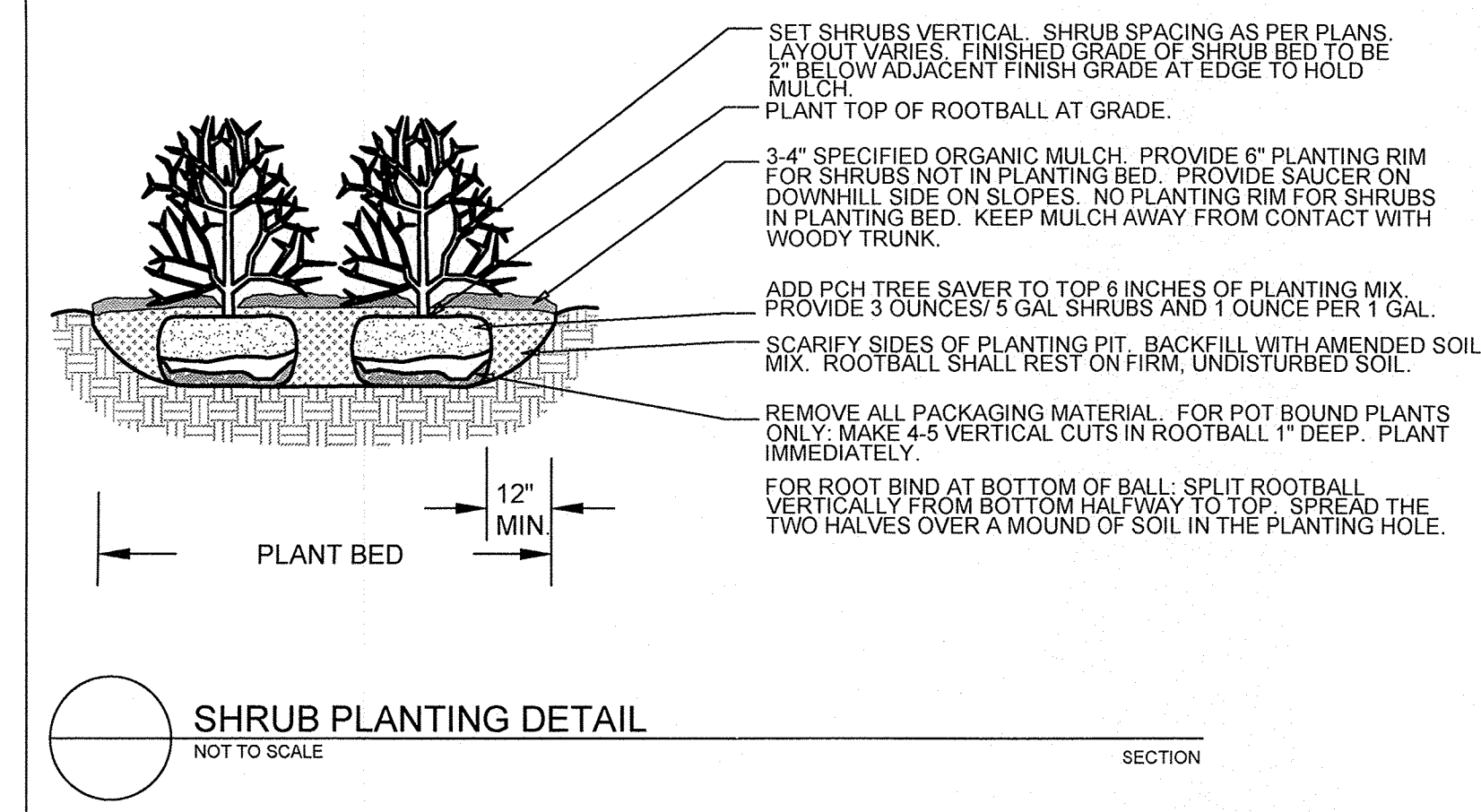
ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE, AND ONCE IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND ONCE IN LATE SEPTEMBER. SEEDED AND SODDED AREAS ARE ALSO TO RECEIVE .5 LB. OF ELEMENTAL SULFUR (OR EQUIVALENT MATERIAL) PER 1,000 S.F. APPLIED IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACED AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!

COORDINATION WITH PNM IS NECESSARY FOR THIS PROJECT REGARDING PROPOSED TREE SPECIES, THE HEIGHT AT MATURITY AND TREE PLACEMENT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC OVERHEAD AND UNDERGROUND DISTRIBUTION LINES ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT SITE BOUNDARY. PNM'S LANDSCAPING PREFERENCE IS FOR TREES AND SHRUBS TO BE PLANTED OUTSIDE THE PNM EASEMENT; HOWEVER, IF WITHIN THE EASEMENT, TREES AND SHRUBS SHOULD BE PLANTED TO MINIMIZE EFFECTS ON ELECTRIC FACILITY MAINTENANCE AND REPAIR. NEW TREES PLANTED NEAR PNM FACILITIES SHOULD BE NO TALLER THAN 25 FEET IN HEIGHT AT MATURITY TO AVOID CONFLICTS WITH EXISTING ELECTRIC INFRASTRUCTURE.
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.

- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- NEW PLANT MATERIAL MUST COMPLY WITH CURRENT NEW MEXICO NURSERY ACT STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

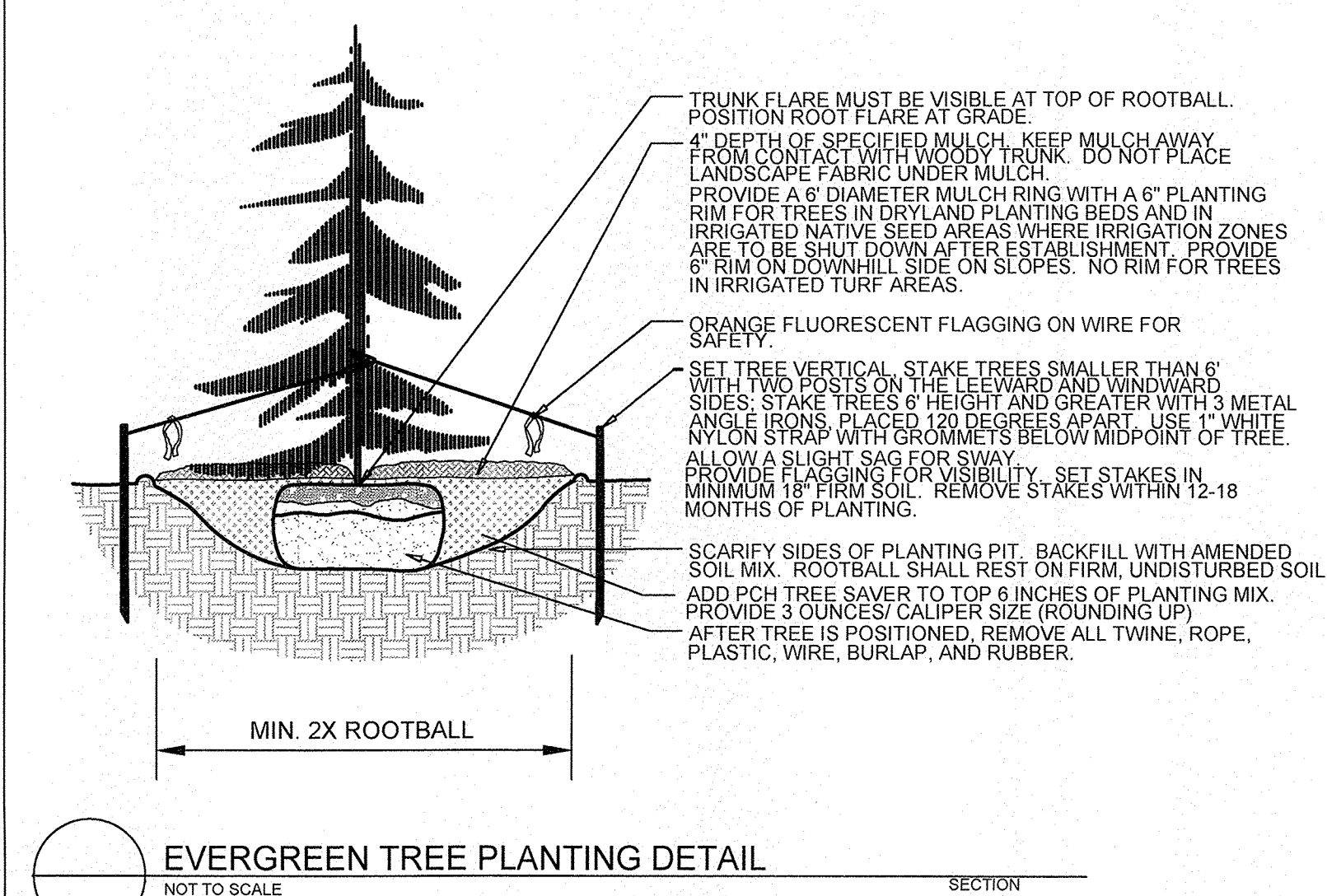
REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION-1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 - DEEP WATER ALL PLANTS AT TIME OF PLANTING.

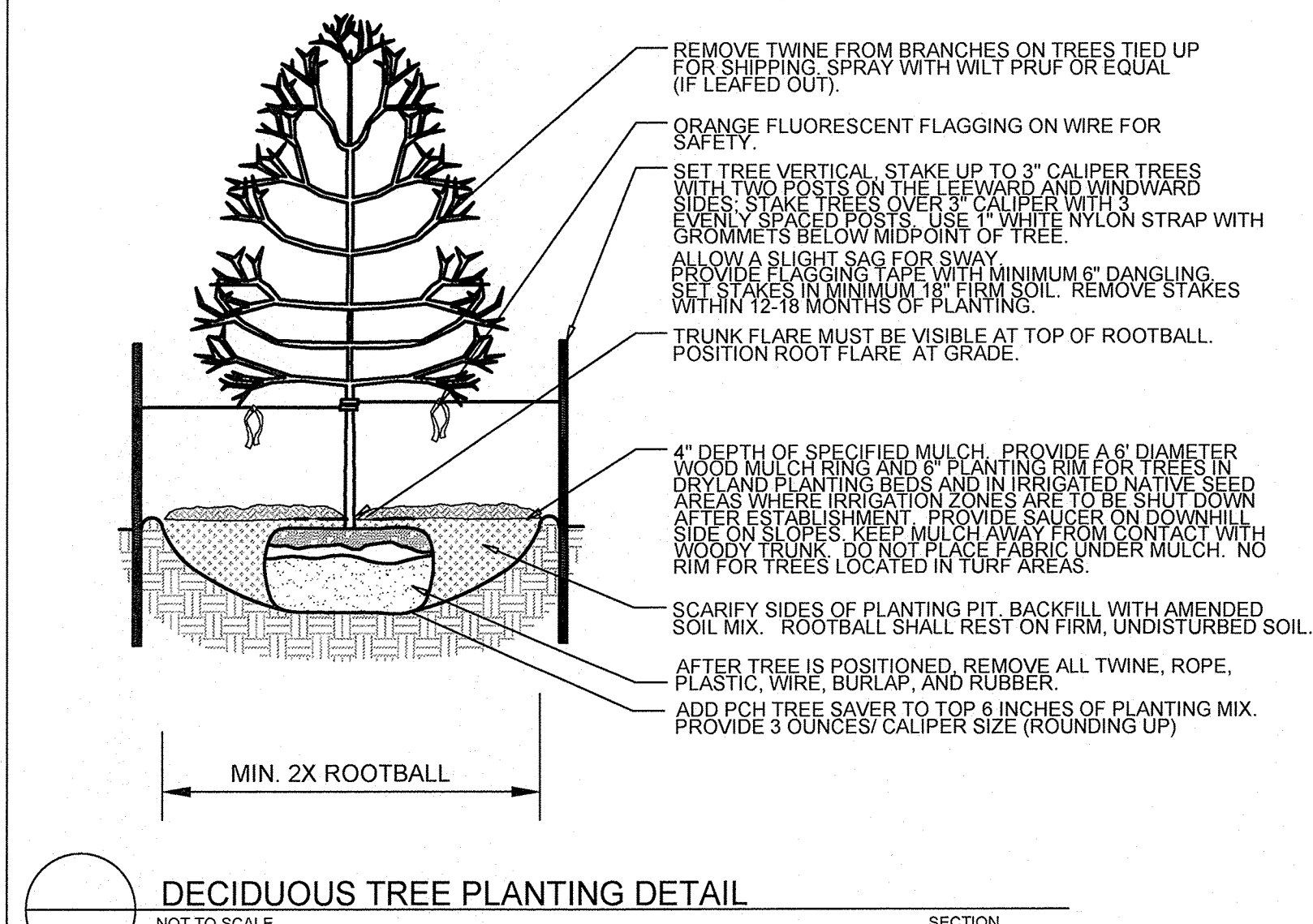


ALL PLANTS TO BE PLANTED TO ACCOMODATE AND MAXIMIZE RAINWATER HARVESTING DEPRESSIONS IN LANDSCAPE BEDS.

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 - ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



- NOTES:
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES. CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 - DEEP WATER ALL PLANTS AT TIME OF PLANTING.



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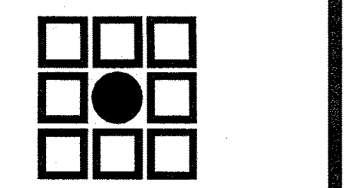
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& St. JOSEPHS DR NW
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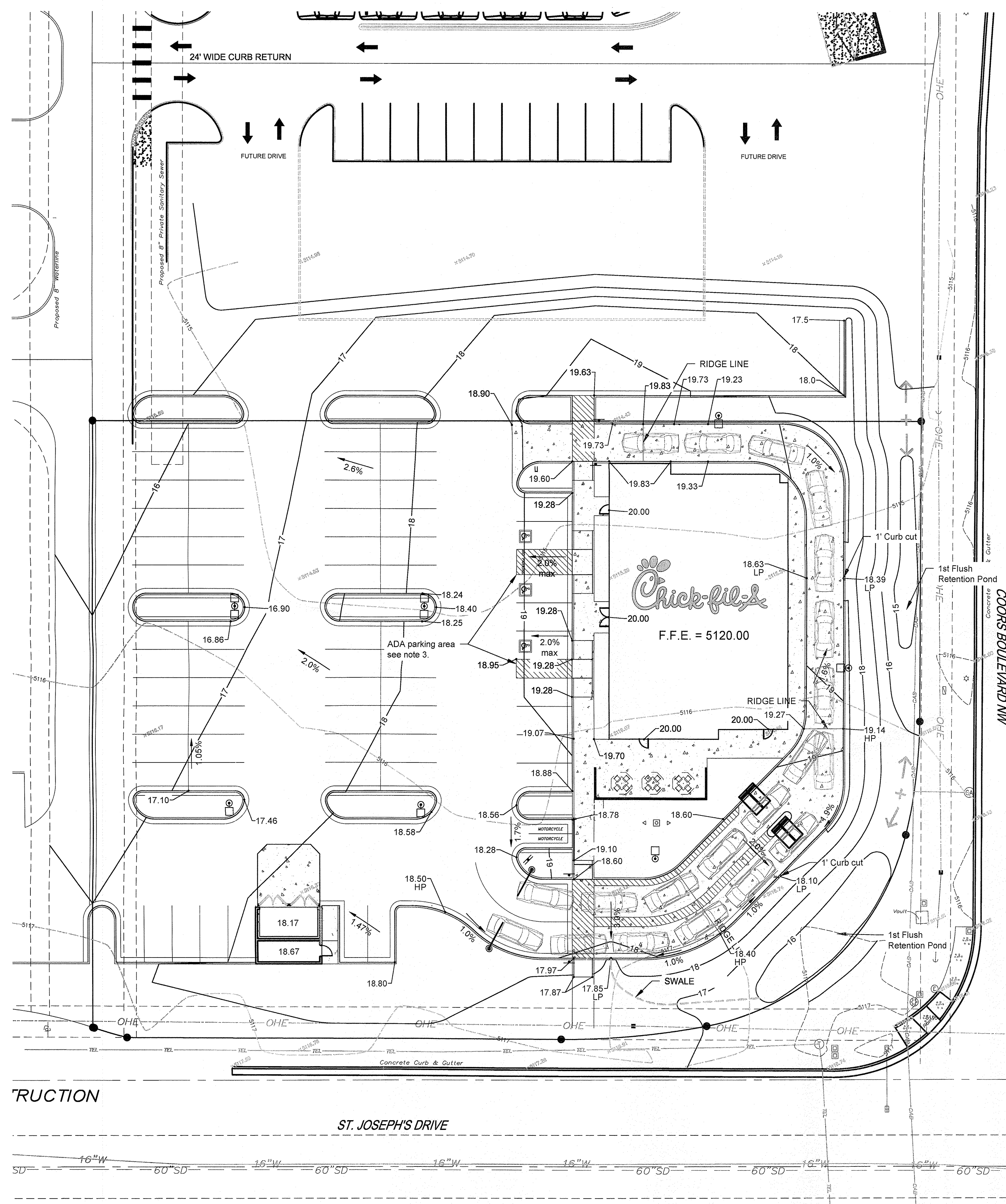
SHEET TITLE
LANDSCAPE
PLAN
DETAILS

DWG EDITION

Job No. : 65119594
Store : 04107
Date : 07/18/17
Drawn By : JRO
Checked By : NAM

Sheet
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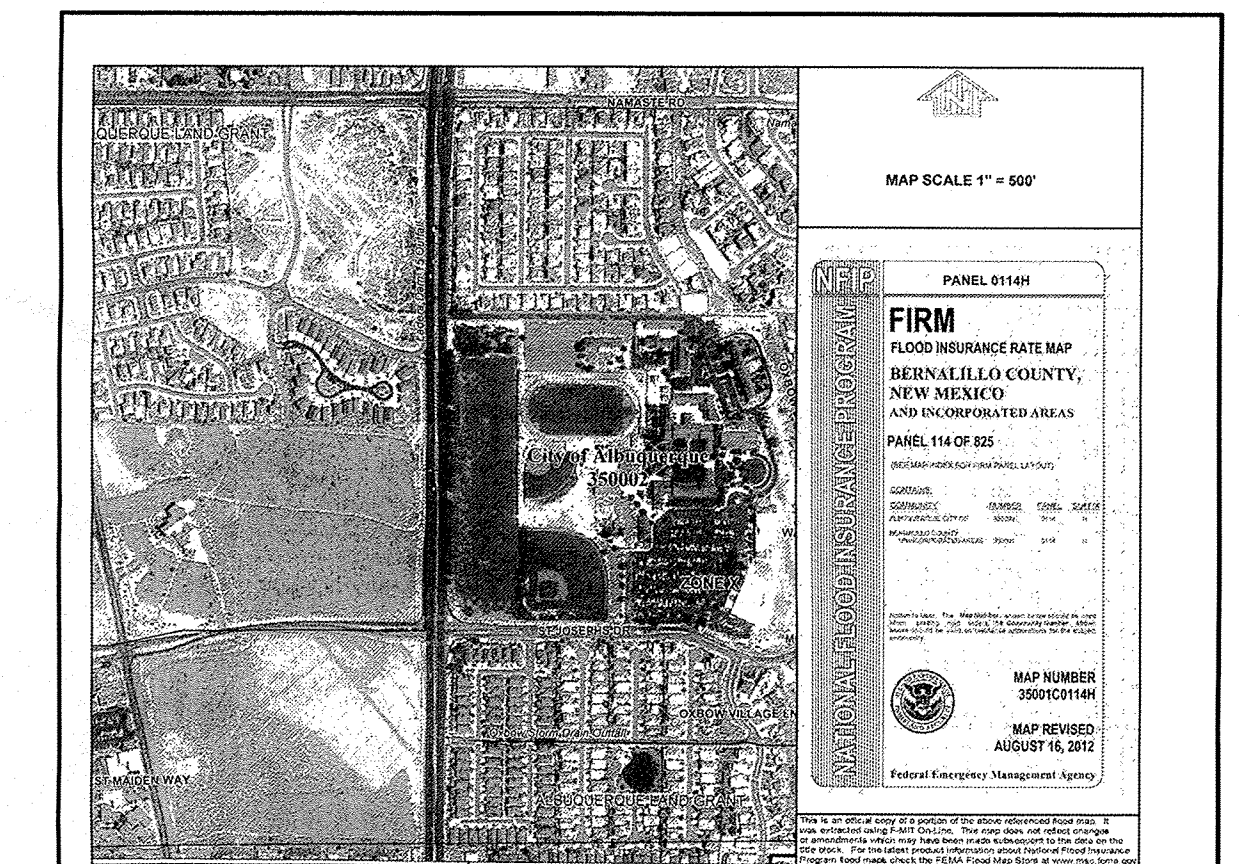
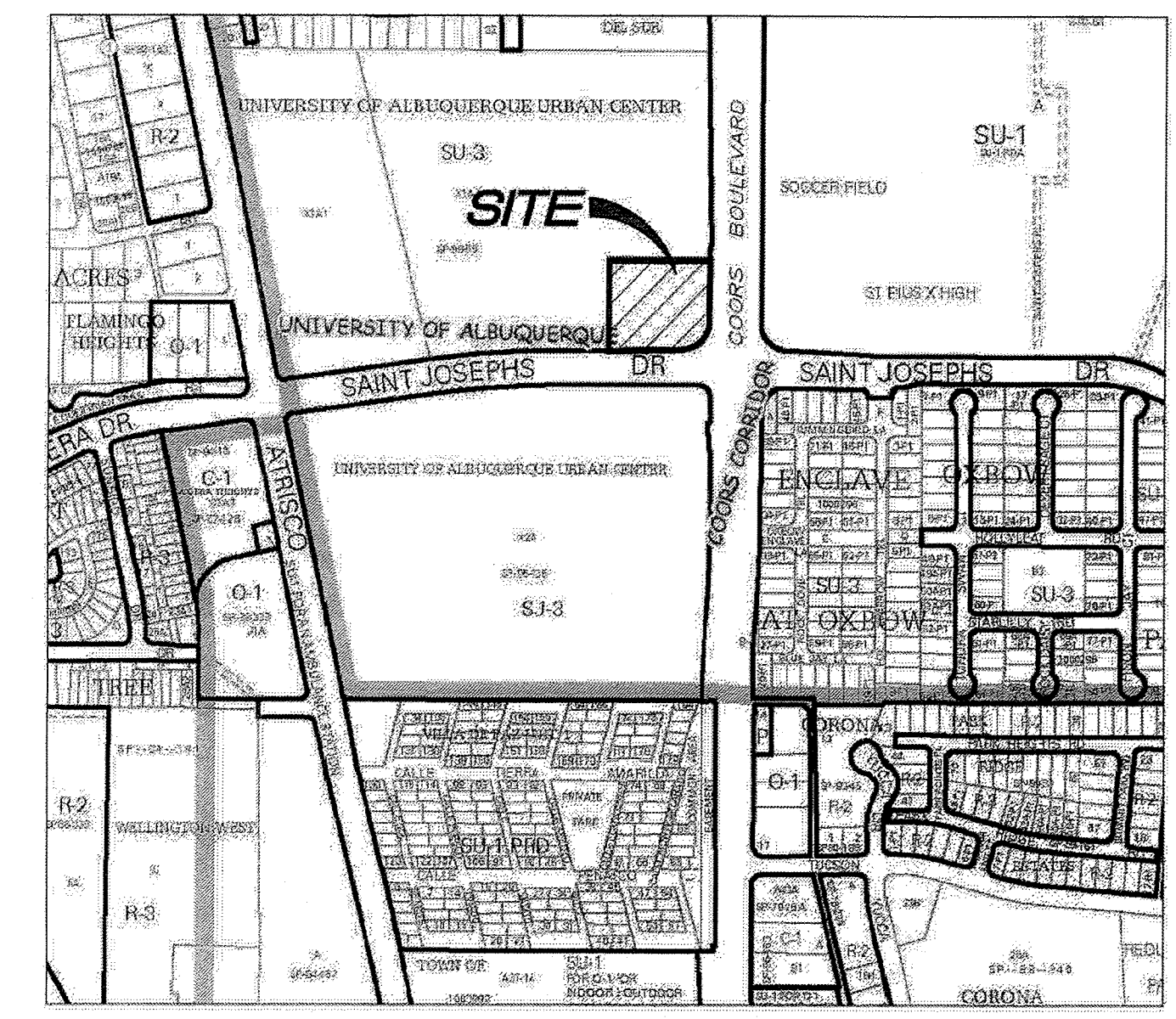
- PROPERTY LINE
- LIMITS OF GRADING
- 4945 PROPOSED MAJOR CONTOUR
- 4943 PROPOSED MINOR CONTOUR
- - - 4945 EXISTING MAJOR CONTOUR
- - - 4943 EXISTING MINOR CONTOUR
- 42.69'x FLOWLINE SPOT ELEVATION
- FF: 42.69'x FINISHED FLOOR SPOT ELEVATION
- FG: 42.69'x FINISHED GRADE SPOT ELEVATION
- TC: 93.41'x TOP OF CURB SPOT ELEVATION
- EG: 93.41'x EXISTING GRADE SPOT ELEVATION
- EX FL: 93.41'x EXISTING FLOWLINE SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROWS
- EX 2.7% EXISTING SLOPE ARROWS
- STORM SEWER
- STORM INLET
- STORM MANHOLE

- NOTES:**
- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - ELEVATIONS ARE 5'XX.XX, UNLESS OTHERWISE SPECIFIED.
 - ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.
 - ALL CURB TO BE 6" CURB HEAD UNLESS SPECIFIED OTHERWISE.
 - REFER TO C-5.0 TO C-5.2 FOR CIVIL STANDARD DETAILS.

DRAINAGE NARRATIVE DESCRIPTION
 THE SITE IS CURRENTLY A VACANT LOT WITH NATURAL VEGETATION GROWING IN IT. THE SITE GENERALLY SLOPES FROM SOUTHWEST TO NORTHEAST TOWARDS COORS BOULEVARD NW. EXISTING SLOPES WITHIN THE SITE ARE AROUND 1%. EXISTING SIDEWALK IS ONLY PRESENT AT THE INTERSECTION OF COORS BLVD AND ST. JOSEPH'S DR. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS INTO COORS BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW GENERALLY FROM SOUTHEAST TO NORTHWEST. THE WESTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED AT THE WEST LOT LINE, WHERE IT WILL END UP IN THE WATER QUALITY FEATURE PROVIDED BY THE OVERALL DEVELOPMENT. THE SITE AREA CONTAINING THE SOUTH HALF OF THE DRIVE THROUGH WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THROUGH. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN DETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHEAST SIDE OF THE BUILDING. DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO COORS BOULEVARD. THE NORTHERN HALF OF THE DRIVE THROUGH WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND. THE NORTHERN DETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHEAST SIDE OF THE BUILDING. DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO COORS BOULEVARD. ALL DEVELOPED RUNOFF THAT ENTERS COORS BOULEVARD WILL FLOW SOUTH ON COORS BLVD AND RETURN TO THE EXISTING DRAINAGE PATTERN.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE COORS BLVD. RIGHT-OF-WAY.



LEGEND

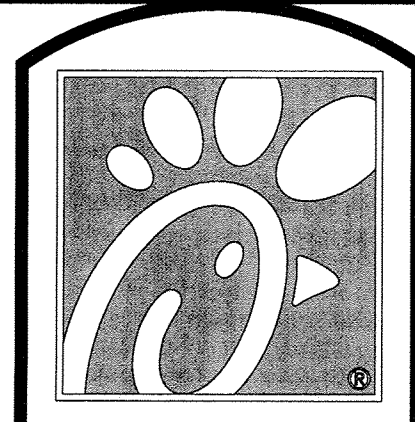
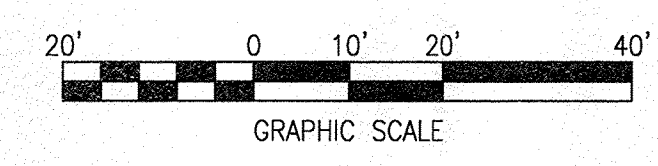
SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD
 The 1% annual chance flood elevation is shown on the map. The flood depth is a 1% chance of being equal to or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. The Special Flood Hazard Area is shown on the map with a 1% annual chance flood elevation. The Special Flood Hazard Area is shown on the map with a 1% annual chance flood elevation.

OTHER AREAS

Zone X Areas determined to be subject to the 1% annual chance flood.
 Zone V Areas subject to flooding by the 1% annual chance flood.
 Coastal Barrier Resources System (CBRS) Areas
 Other Protected Areas (OPA)
 OPA areas and OPA are hereby located within or adjacent to Special Flood Hazard Areas.

FLOOD INSURANCE RATE MAP
 N.T.S.

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 OR
 1-888-NM-GAS-CO
 NMOCALL.ORG



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 FSU #04107
 COORS BLVD.

COORS BLVD NW
 & ST. JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

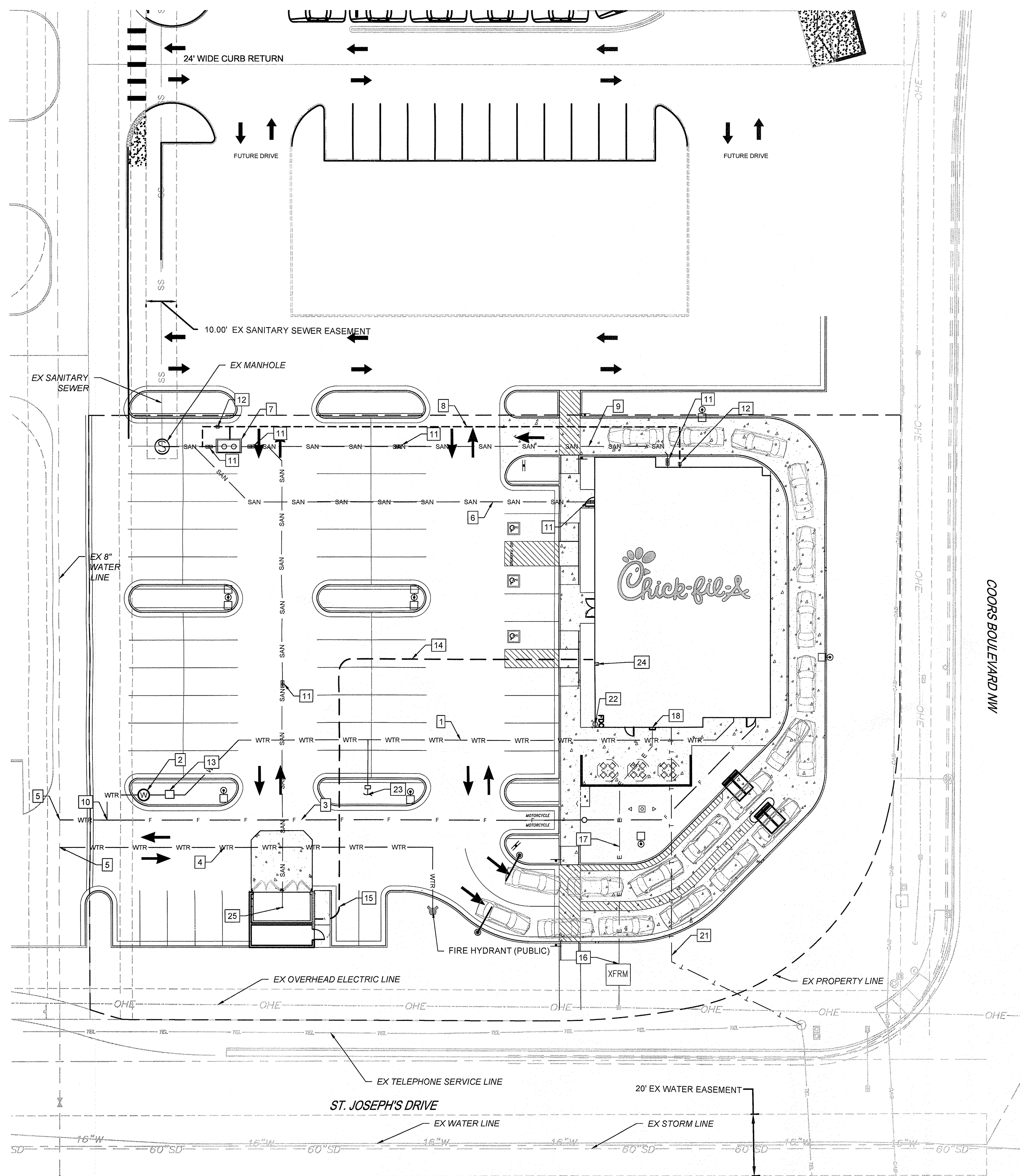
SHEET TITLE

GRADING
 PLAN

DWG EDITION ---

Job No. : 65119594
 Store : 04107
 Date : 07/18/17
 Drawn By : KD
 Checked By : KW

Sheet

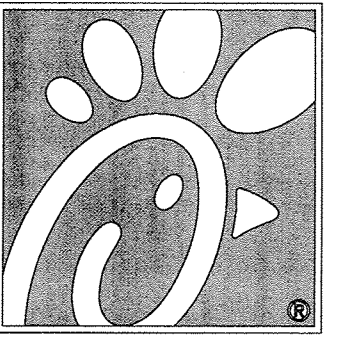
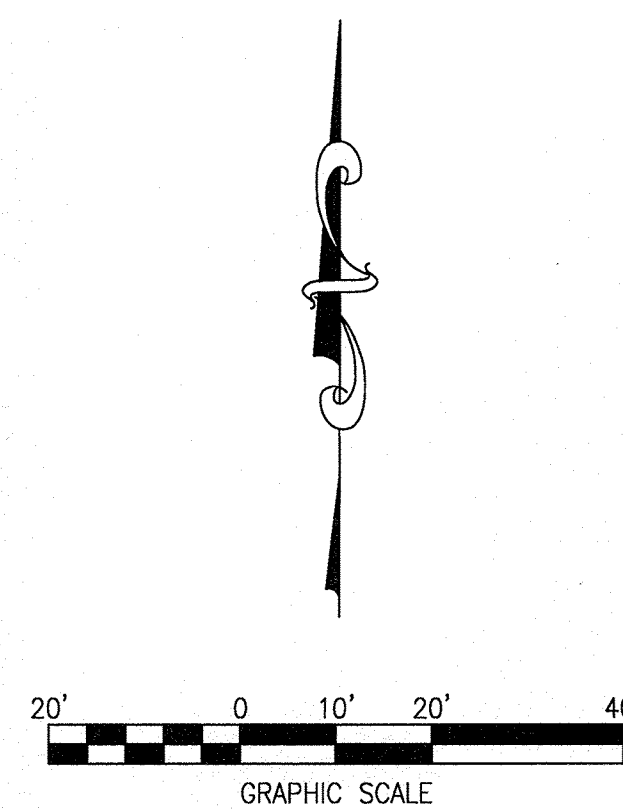


PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- 1 2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 2 2" WATER METER (PRIVATE)
- 3 4" D.I.P. DOMESTIC WATER SERVICE (PRIVATE)
- 4 6" D.I.P. FIRE SERVICE (PUBLIC)
- 5 PUBLIC WATER STUB CONNECTION TO EXISTING WATER MAIN
- 6 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 7 GREASE INTERCEPTOR
- 8 3" VENT LINE
- 9 4" PVC KITCHEN WASTE LINE (PRIVATE)
- 10 DOMESTIC WATER SERVICE CONNECTION
- 11 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 12 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 13 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (RPBA)
- 14 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 15 3/4" YARD HYDRANT (PRIVATE)
- 16 ELECTRIC TRANSFORMER
- 17 ELECTRIC SERVICE LINE
- 18 ELECTRIC METER AND DISTRIBUTION PANEL
- 19 GAS METER
- 20 GAS SERVICE LINE
- 21 TELEPHONE SERVICE LINE
- 22 FIRE DEPARTMENT CONNECTION
- 23 CONNECT TO IRRIGATION SYSTEM
- 24 KNOX BOX
- 25 TRASH ENCLOSURE AREA DRAIN. CONNECT TO PROPOSED SANITARY SEWER SYSTEM

LEGEND:

- F — PROPOSED FIRE SERVICE
- RD — PROPOSED ROOF DRAIN
- WTR — PROPOSED WATER MAIN
- SAN — PROPOSED SANITARY SEWER
- G — PROPOSED GAS
- E — PROPOSED ELECTRIC
- T — PROPOSED TELEPHONE
- ⊗ PROPOSED ELECTRIC POLE
- ⊙ WATER METER
- ⊠ GREASE TRAP
- ⊞ STORM INLET
- ⊚ STORM MANHOLE
- ⊛ PROPOSED FIRE HYDRANT
- ⊜ PROPOSED GATE VALVE
- ⊘ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE



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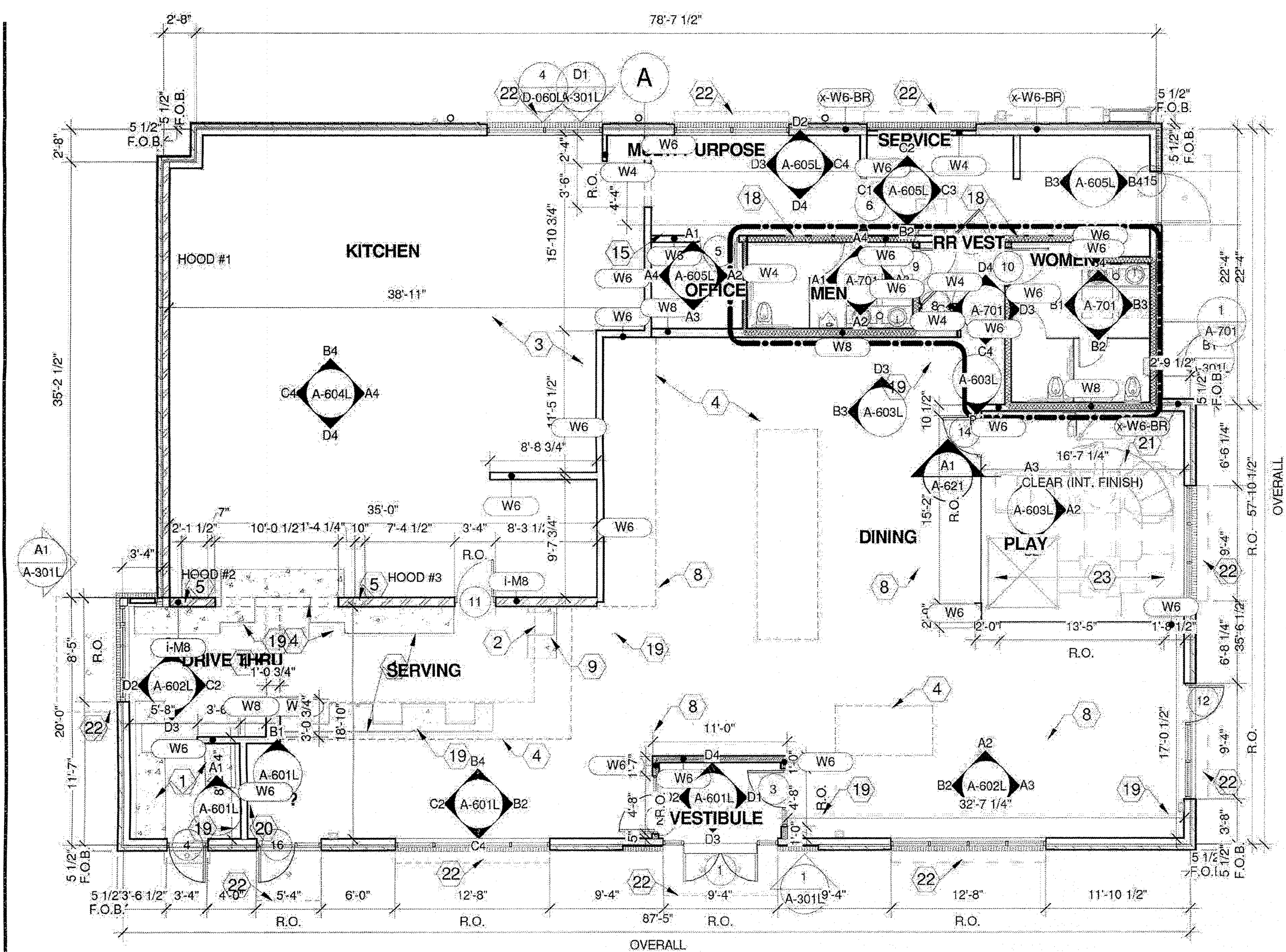
UTILITY
PLAN

DWG EDITION ---

Job No. : 65119594
Store : 04107
Date : 07/18/17
Drawn By : KD
Checked By : KW

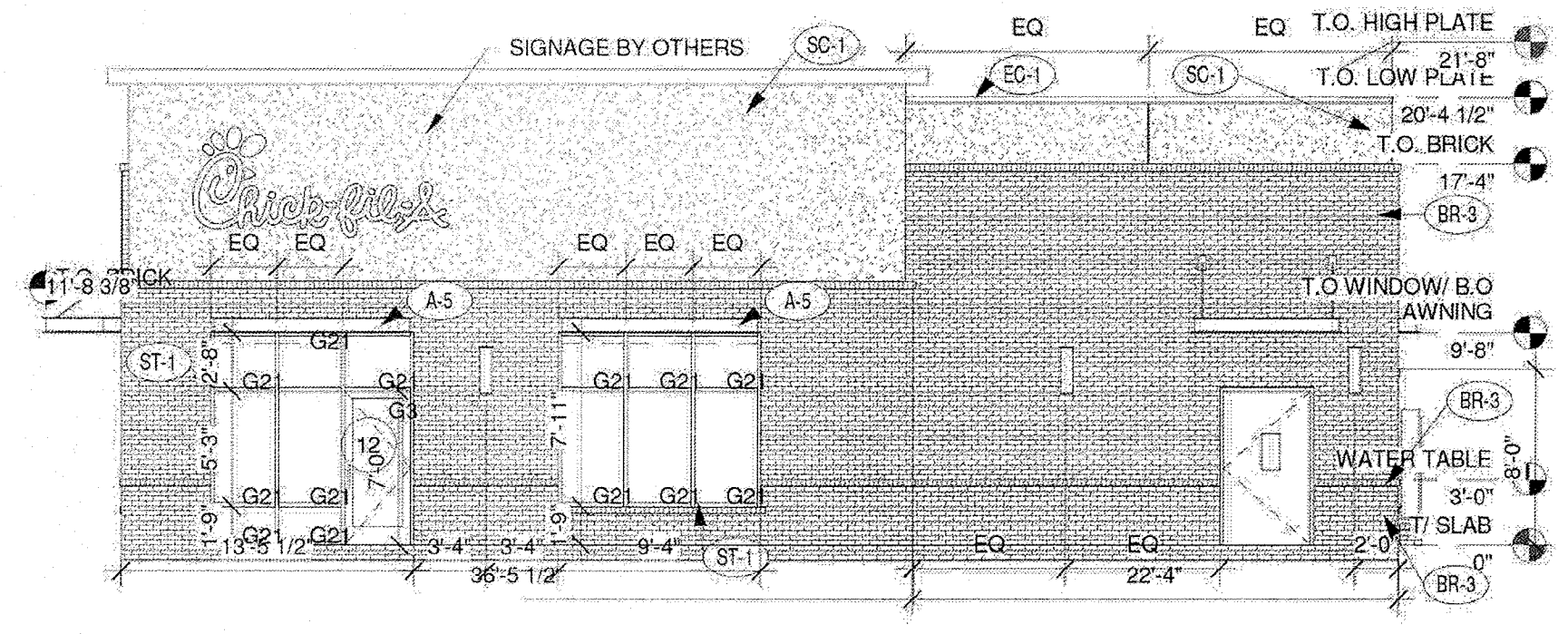
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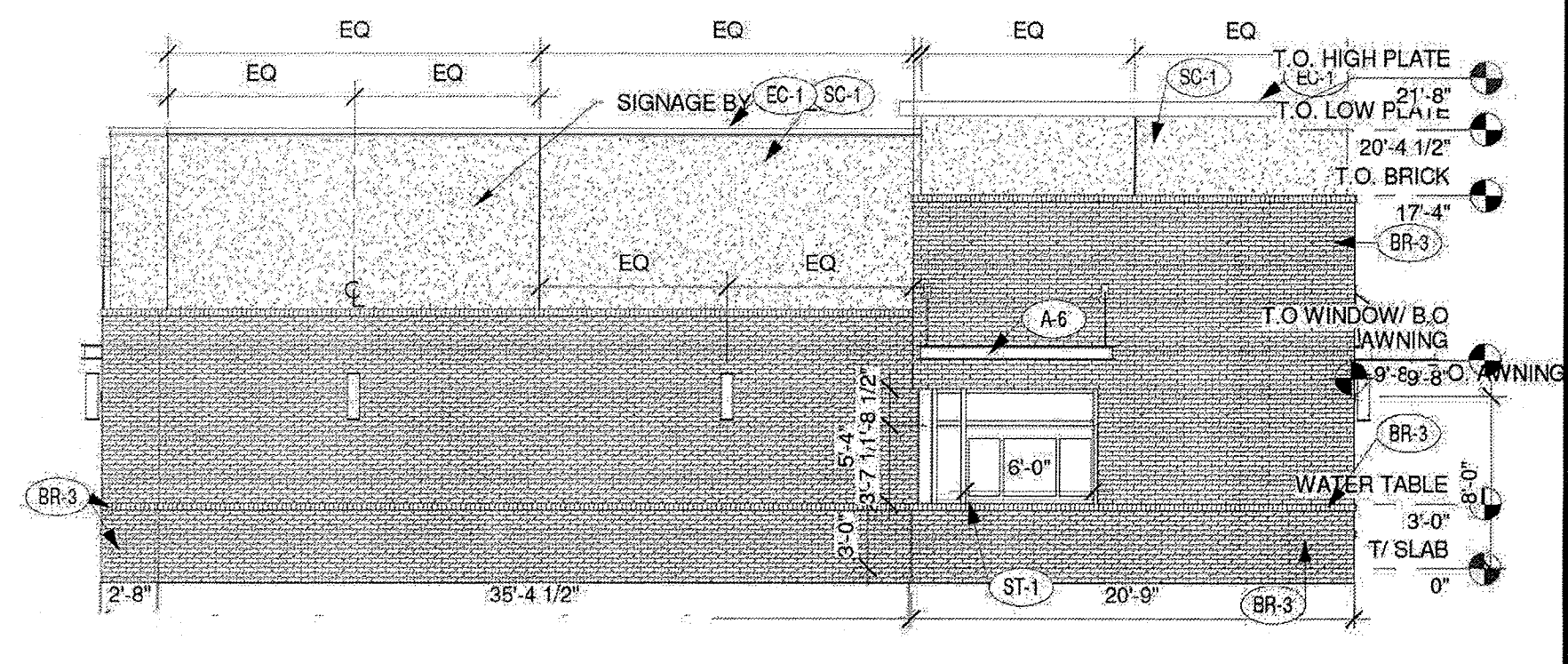


A - BUILDING PLAN
SCALE: 1/8" = 1'-0"

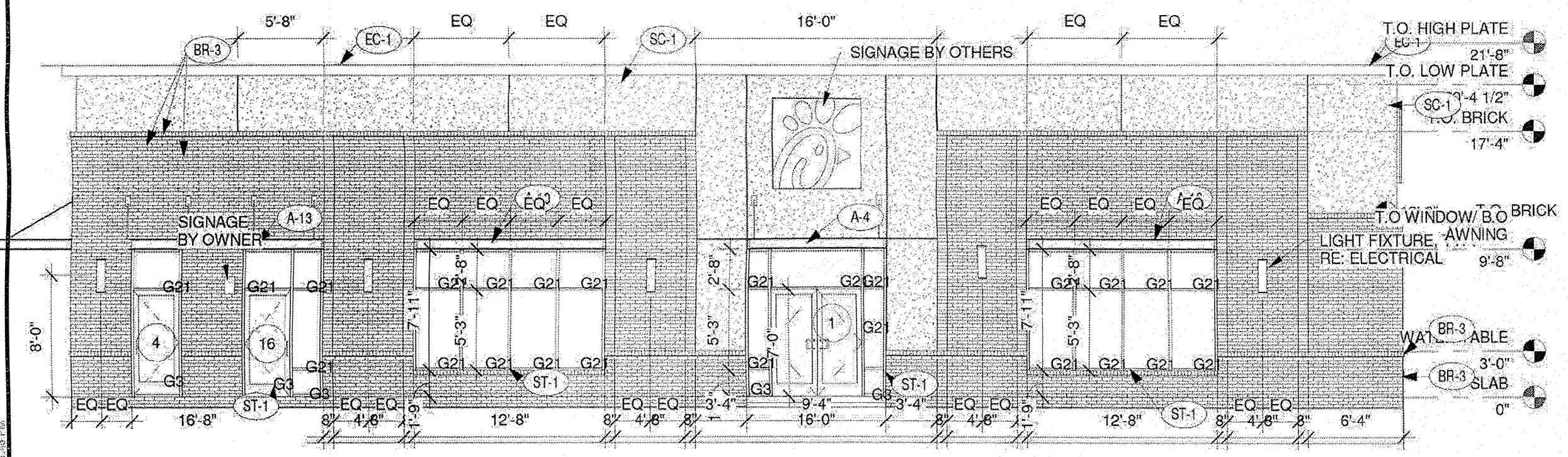
FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-3	BRICK VENEER	BORAL BRICK	MODULAR		CITADEL	MORTAR: ARGOS SAN TAN
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS	STANDARD FRP		DARK BRONZE (MATTE)	
PT-7	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC	SW 2807	ROCKWOOD	REFUSE ENCLOSURE, FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-9	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC		DARK BRONZE	
SC-1	STUCCO	STO	POWERWALL		WHITE	FINISH: SAND MEDIUM
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	



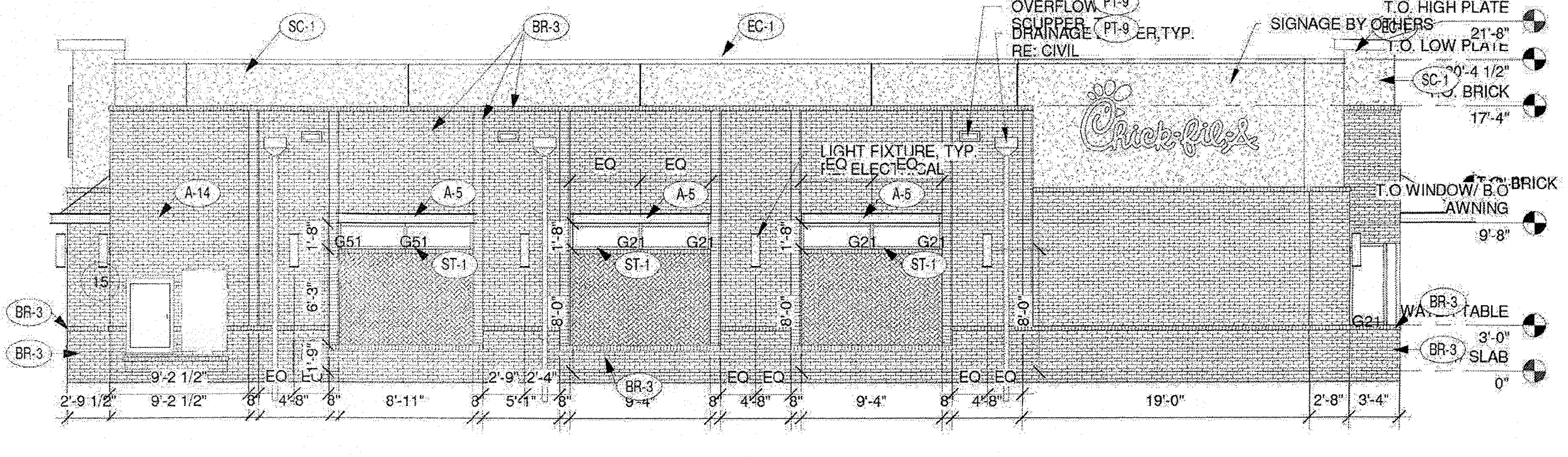
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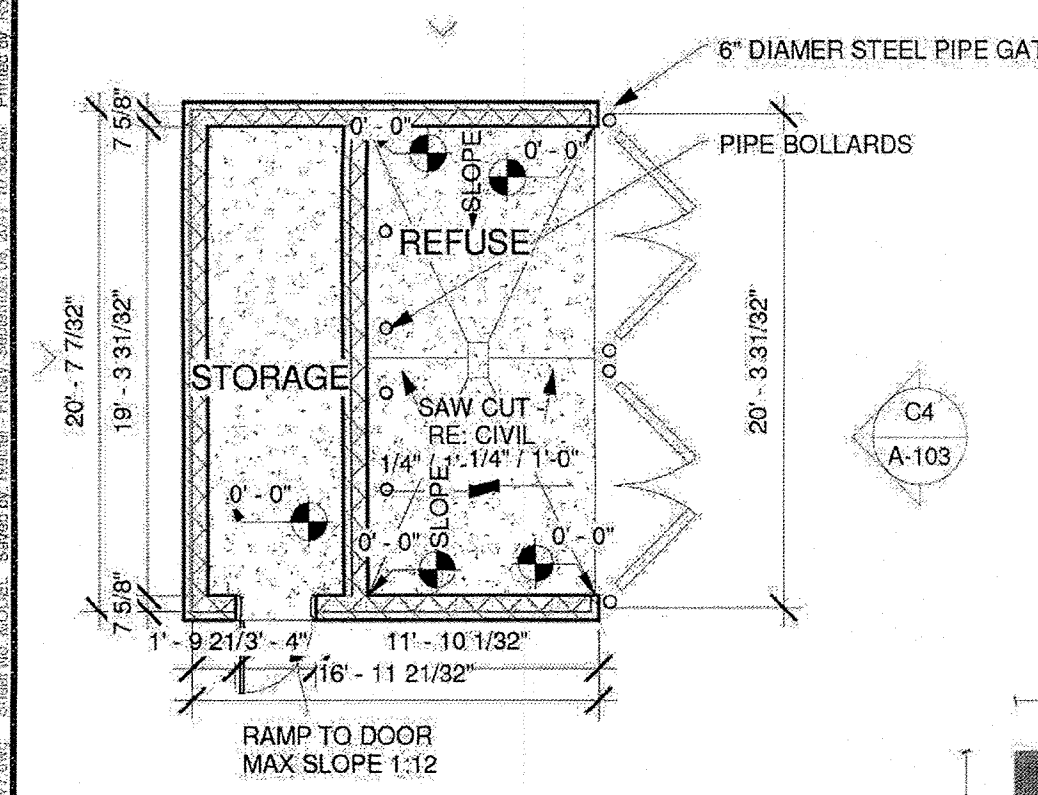
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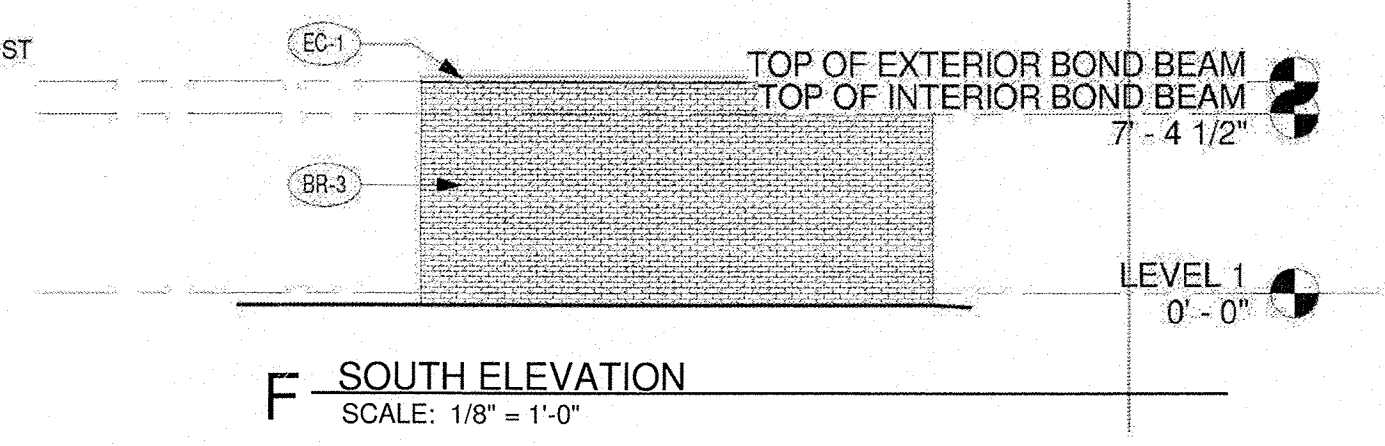
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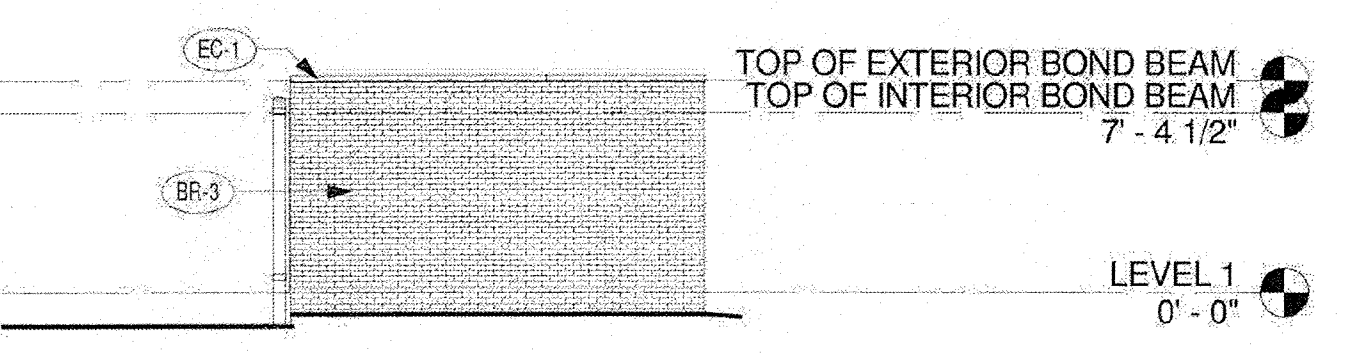
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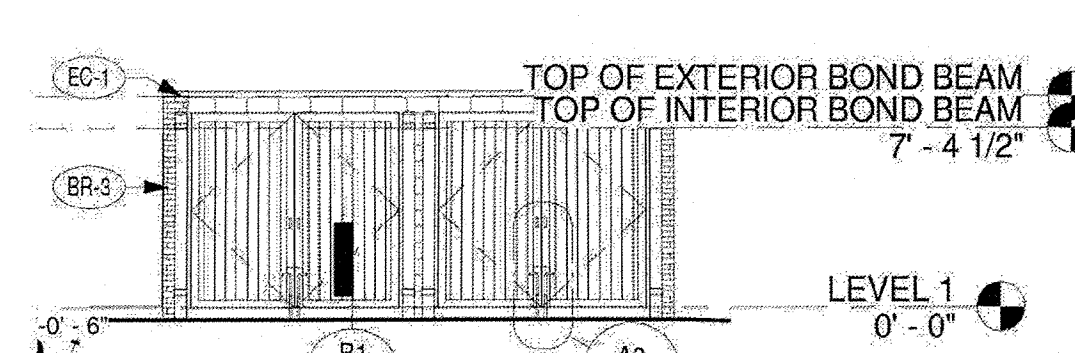
E REFUSE ENCLOSURE PLAN
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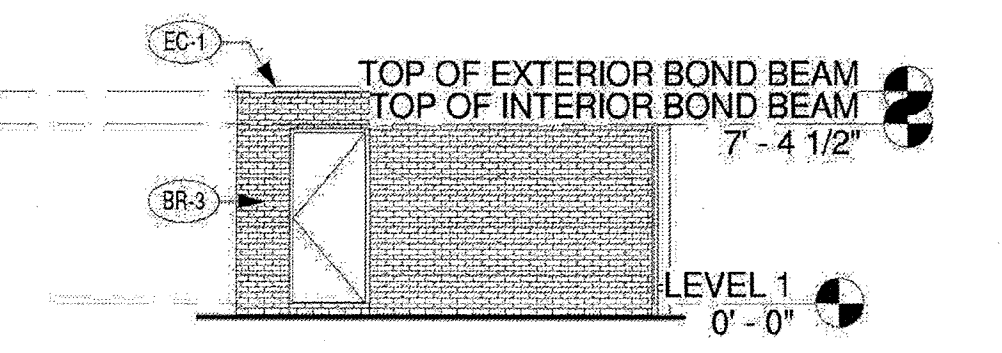
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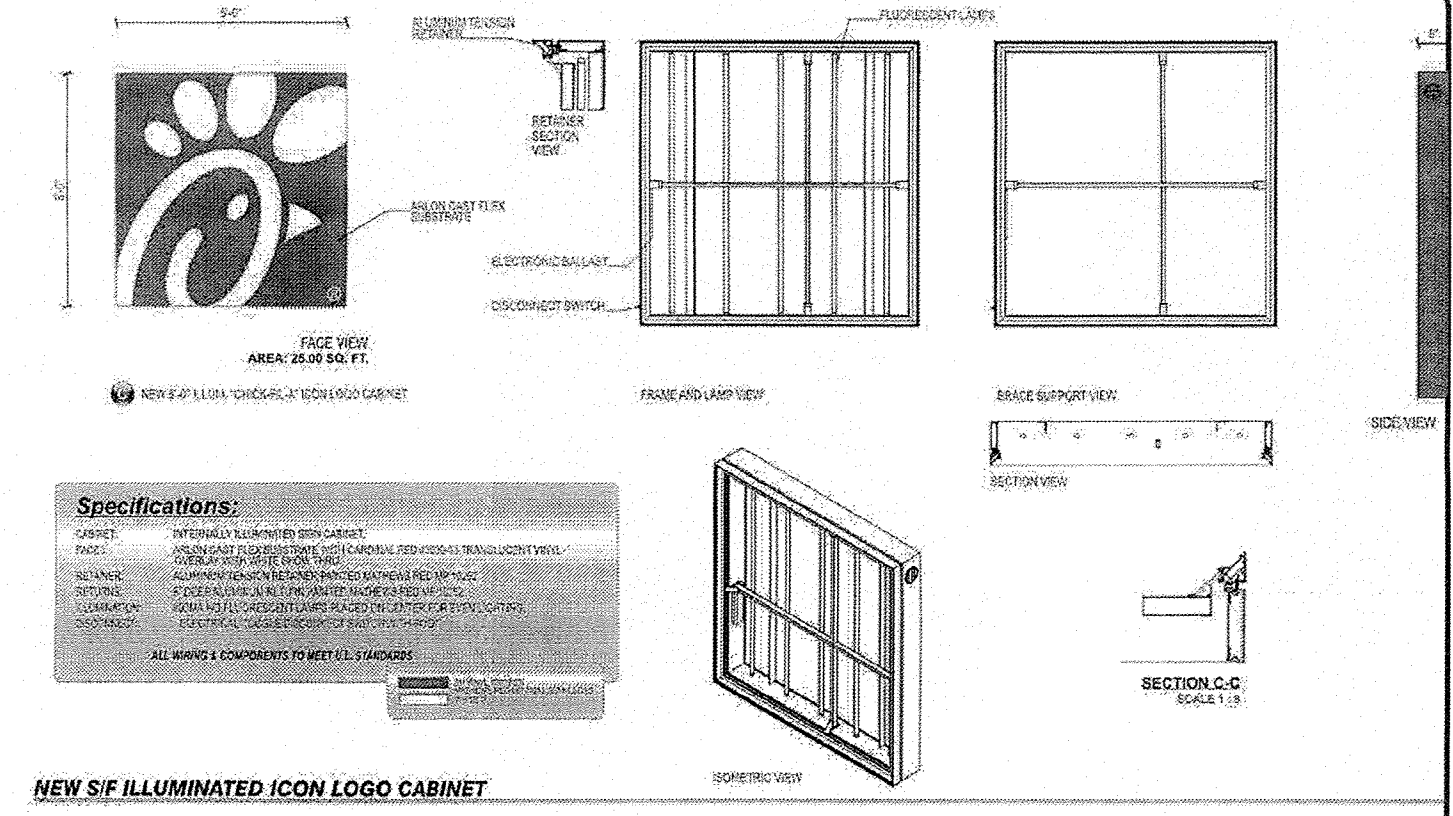
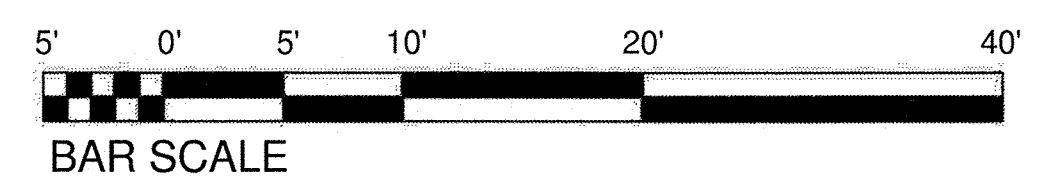
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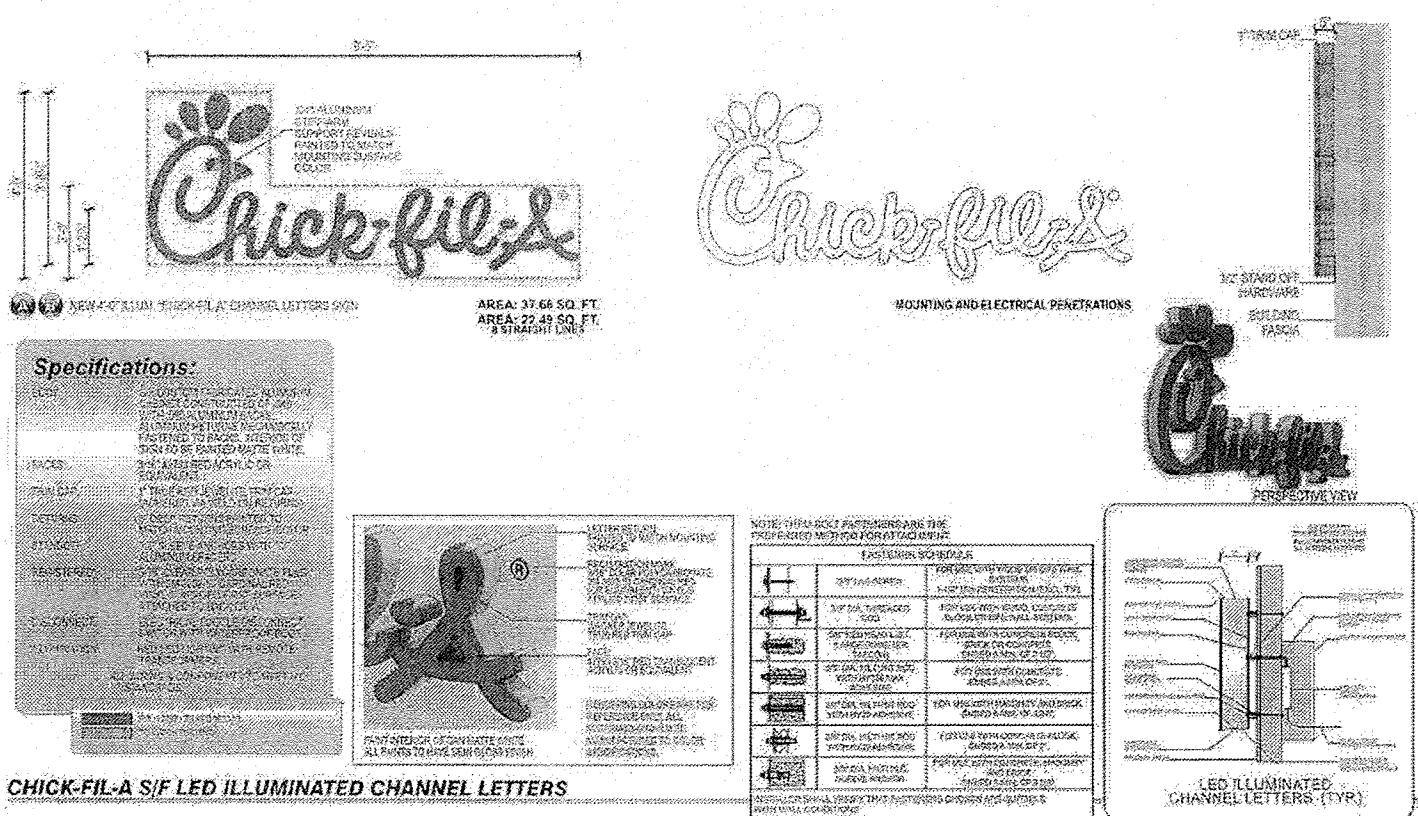
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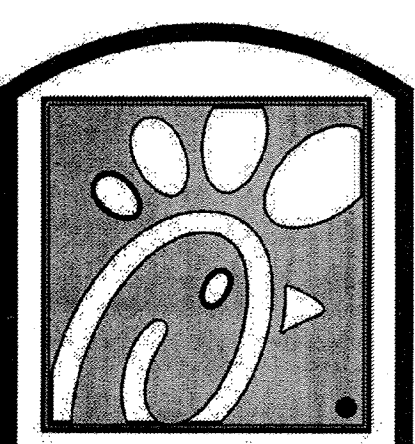
I ELEVATION EAST
SCALE: 1/8" = 1'-0"



NEW SF ILLUMINATED ICON LOGO CABINET
1/4" = 1'-0"



CHICK-FIL-A SF LED ILLUMINATED CHANNEL LETTERS
1/4" = 1'-0"



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Architect • Planning • Construction Management
1480 Quorum Dr. Suite 201
Dulles, VA 20146
Phone: (703) 396-0338 Fax: (703) 396-0376

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COORS BLVD.

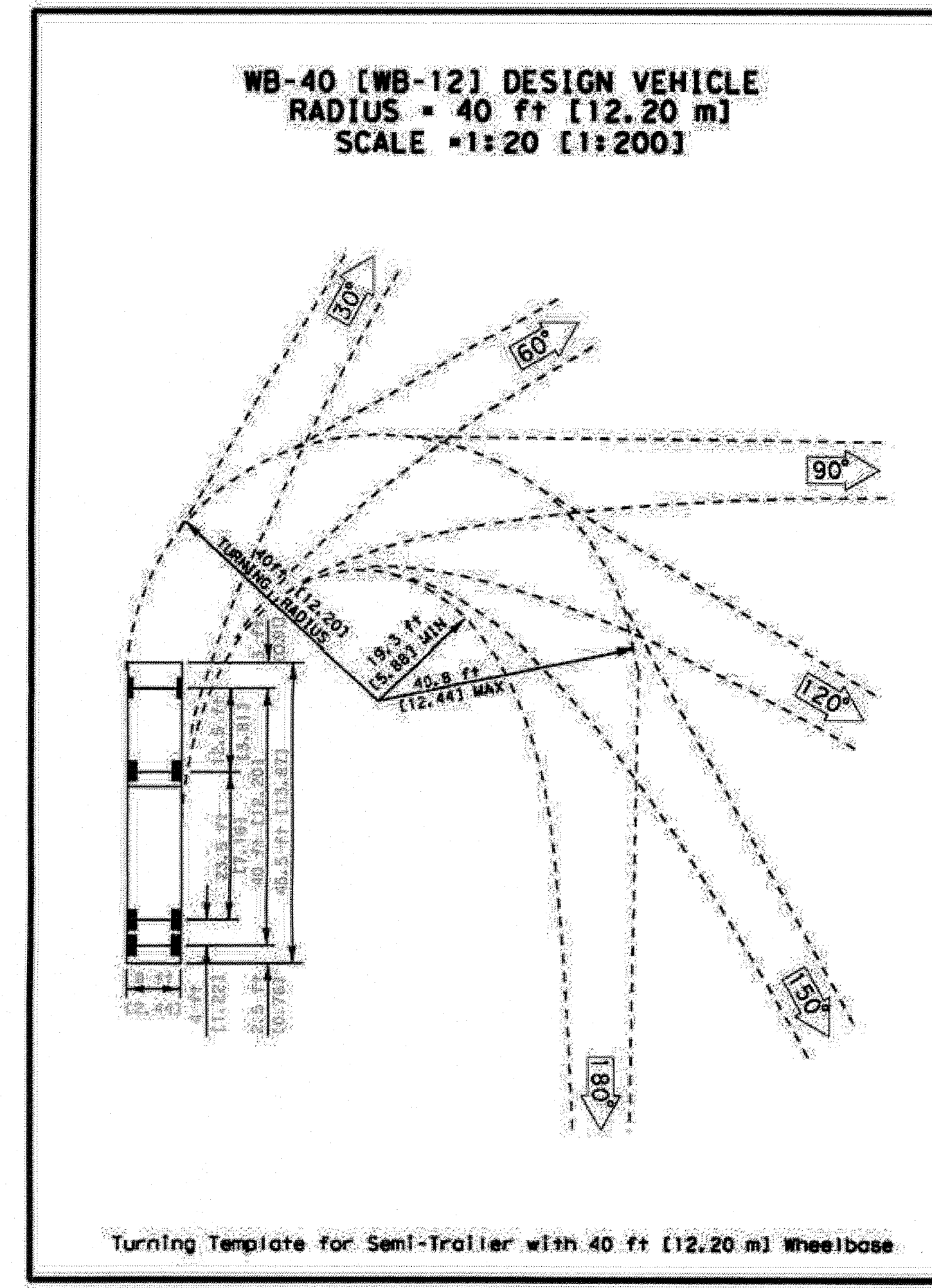
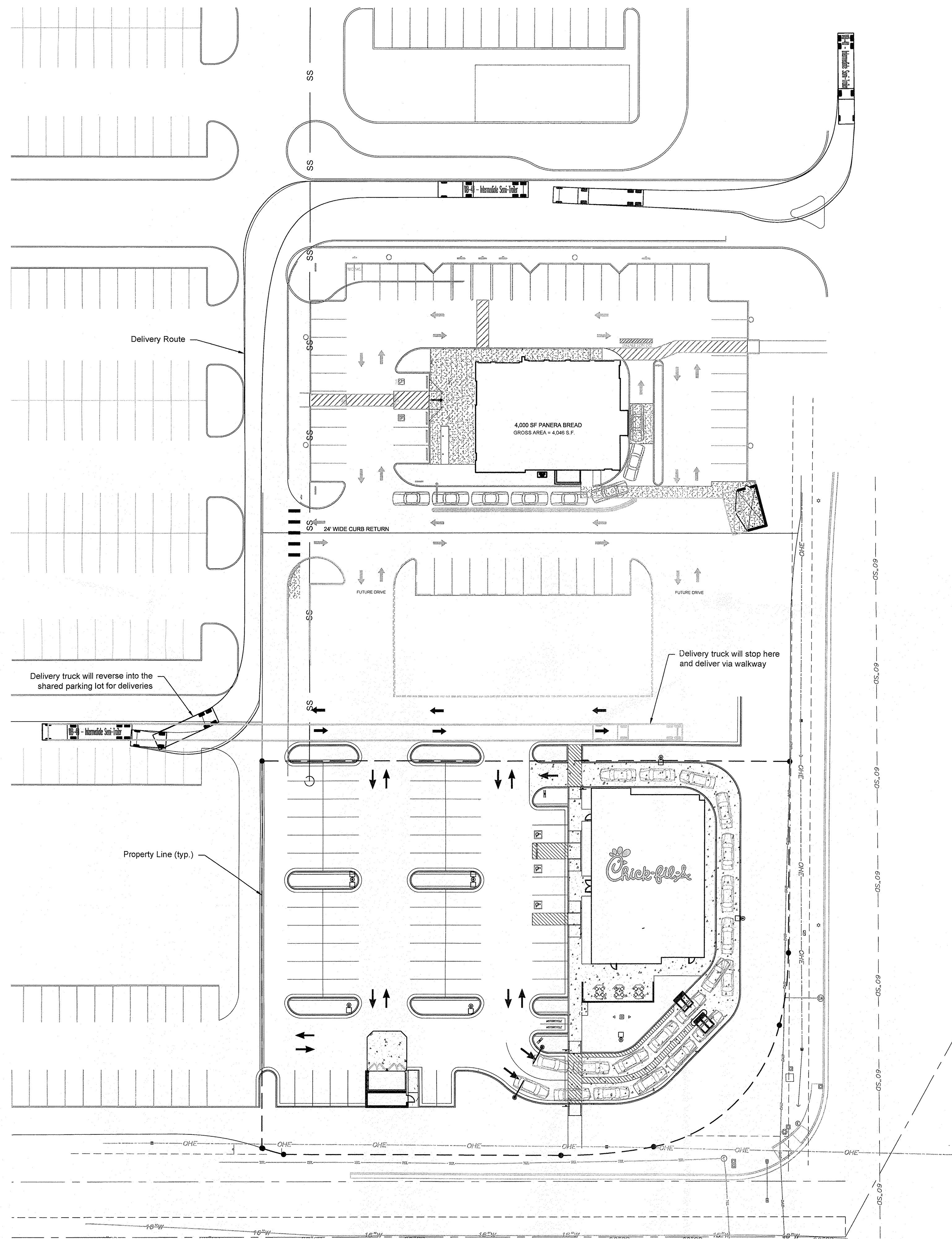
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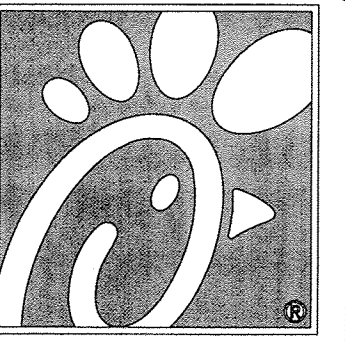
VERSION: V7
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Job No. : 17083
Store : 04107
Date : 09-08-17
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SHEET TITLE

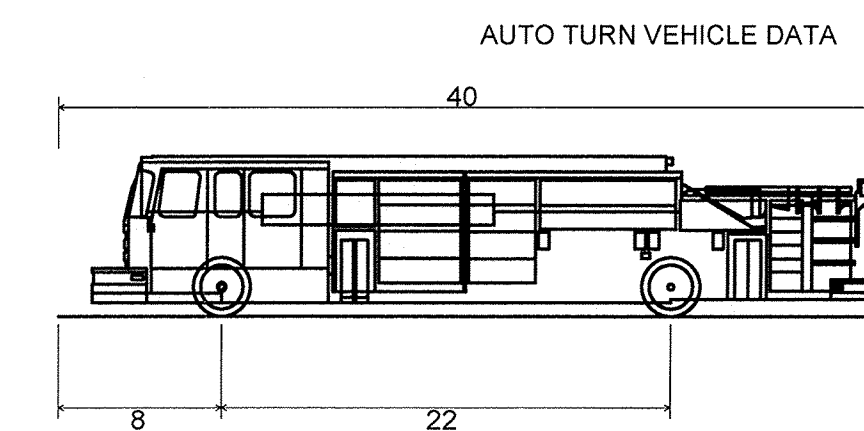
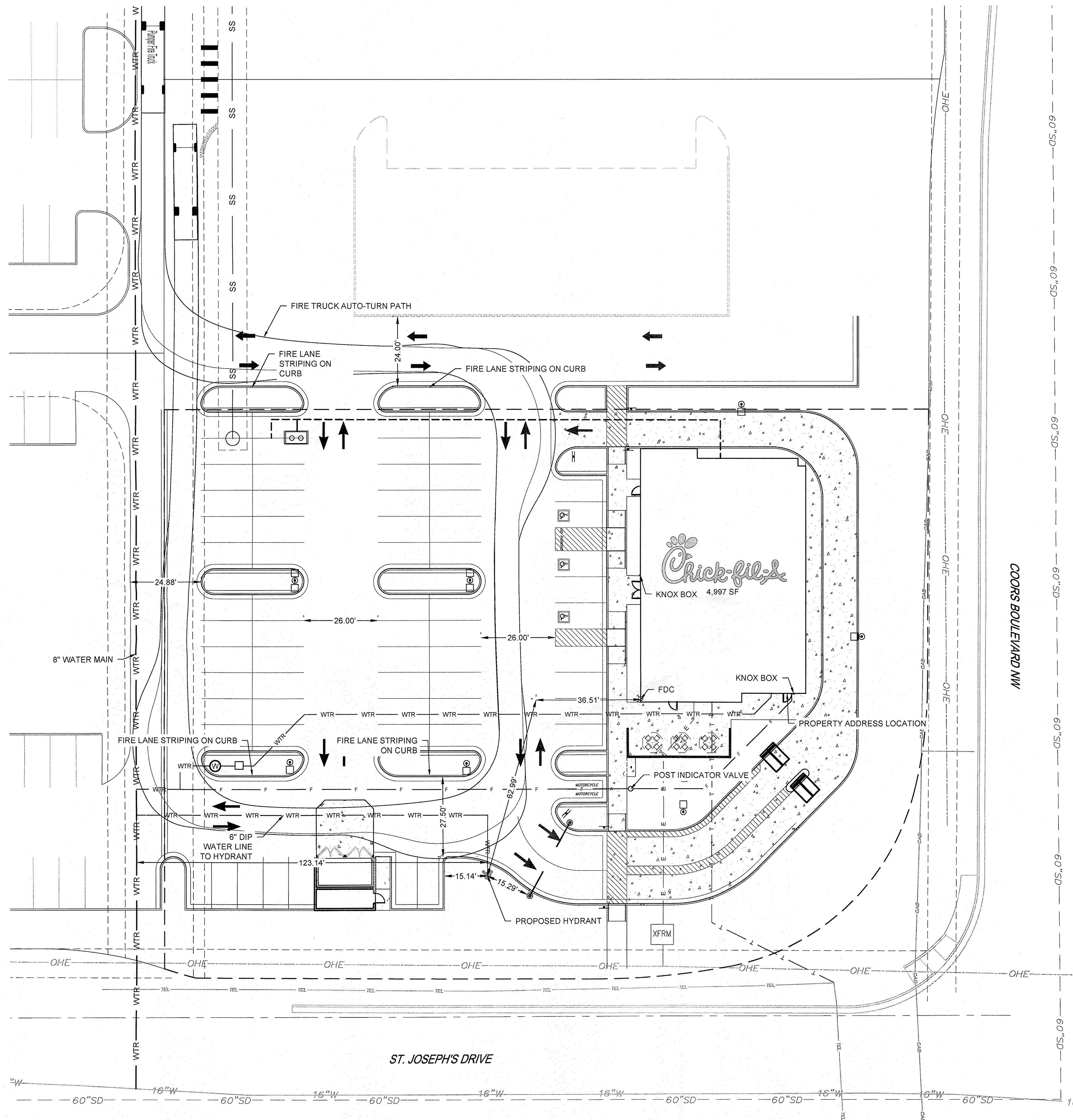
DELIVERY
 TRUCK
 ROUTE

DWG EDITION ---

Job No. : 65119594
 Store : 04107
 Date : 07/18/17
 Drawn By : KD
 Checked By : KW

Sheet

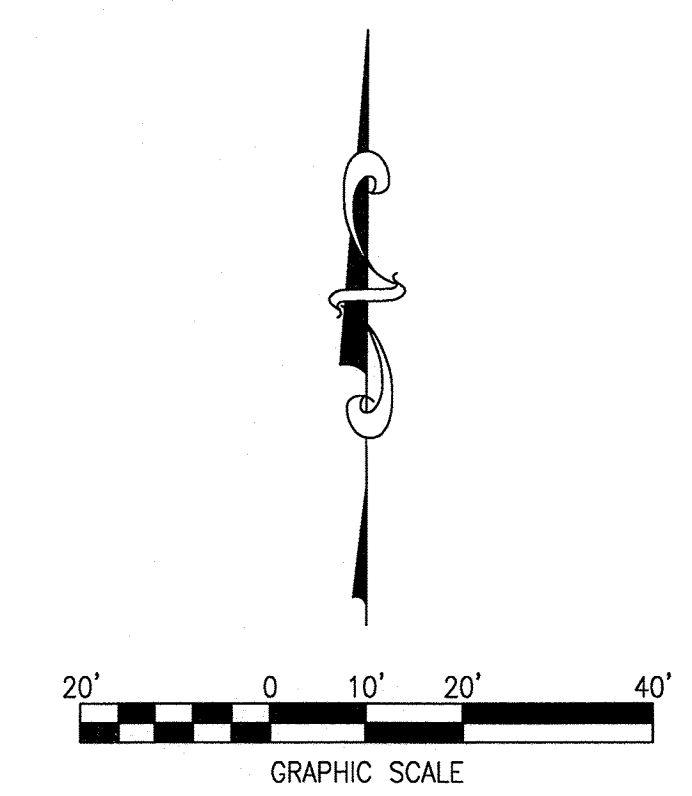
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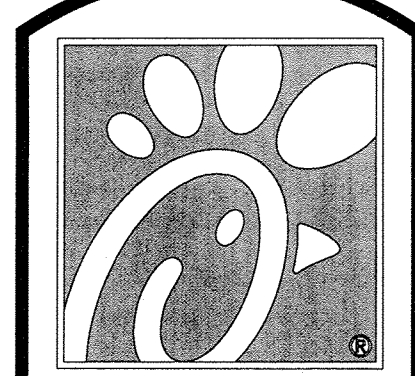
Pumper Fire Truck	
Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

GENERAL NOTES

- PAVEMENT SECTION IS BASED ON AN ESTIMATED 18,000-POUND EQUIVALENT SINGLE AXLE LOADS. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- BUILDING WILL BE SPRINKLED. SEE ARCHITECTURAL PLANS.
- PER 2015 IBC, NO SEPARATION IS NEEDED WITH THIS BUILDING.
- FIRE FLOW DATA
 CODE FOR ANALYSES: 2015 IFC
 CONSTRUCTION TYPE: V-B
 BUILDING AREA: 4,997 SF
 FIRE FLOW: 2000 GPM
 50% REDUCTION FOR FULLY SPRINKLED: 1000 GPM
 MINIMUM FIRE FLOW REQUIREMENT: 1000 GPM
- NUMBER OF FIRE HYDRANTS REQUIRED PER APPENDIX C:1 OF 2015 IFC
- ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND OPERATE BEFORE ANY BUILDING (OR PORTION OF THE BUILDING) IS OCCUPIED. AN APPROVED AND ADEQUATE WATER SUPPLY SHALL BE PROVIDED BEFORE AND COMBUSTIBLE MATERIALS ARE DELIVERED TO THE BUILDING SITE. IT SHALL BE UNLAWFUL TO OCCUPY ANY PORTION OF THE BUILDING OR STRUCTURE UNTIL THE REQUIRED FIRE DETECTION, ALARM, AND SUPPRESSION SYSTEMS HAVE BEEN TESTED AND APPROVED.



New Mexico One Call, Inc.
CALL NMOC
 TWO WORKING DAYS
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 NM811
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Chick-fil-A

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal

MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

STORE
 CHICK-FIL-A
 FSU #04107
 COORS BLVD.

COORS BLVD NW
 & St. JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

SHEET TITLE

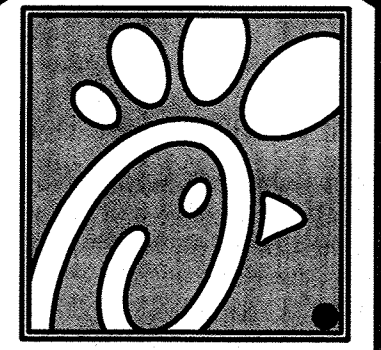
FIRE 1

DWG EDITION ---

Job No. : 65119594
 Store : 04107
 Date : 07/18/17
 Drawn By : KD
 Checked By: KW

Sheet

FIRE 1



Chick-fil-A

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By

△ _____

Mark Date By

△ _____

Mark Date By

△ _____

Kurzynske & Associates
CONSULTING ENGINEERS
2900 Lebanon Pike, Ste. 201
Nashville, Tennessee 37214
Telephone: (615) 255-5203
Fax: (615) 255-5207
Email: mail@kurzynske.com

STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

COORS BLVD NW
& ST. JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE
Photometric
Plan

DWG EDITION

Job No. : 17130.M.A.S
Store : 04107
Date : 09/29/17
Drawn By : _BTS_
Checked By: _MK_

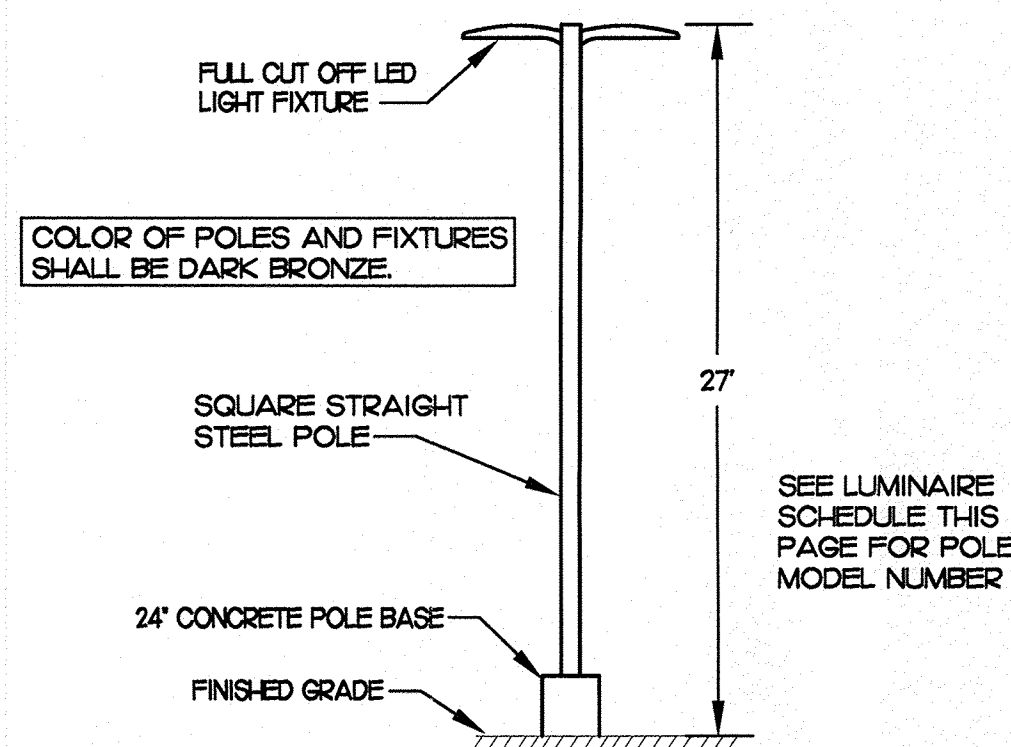
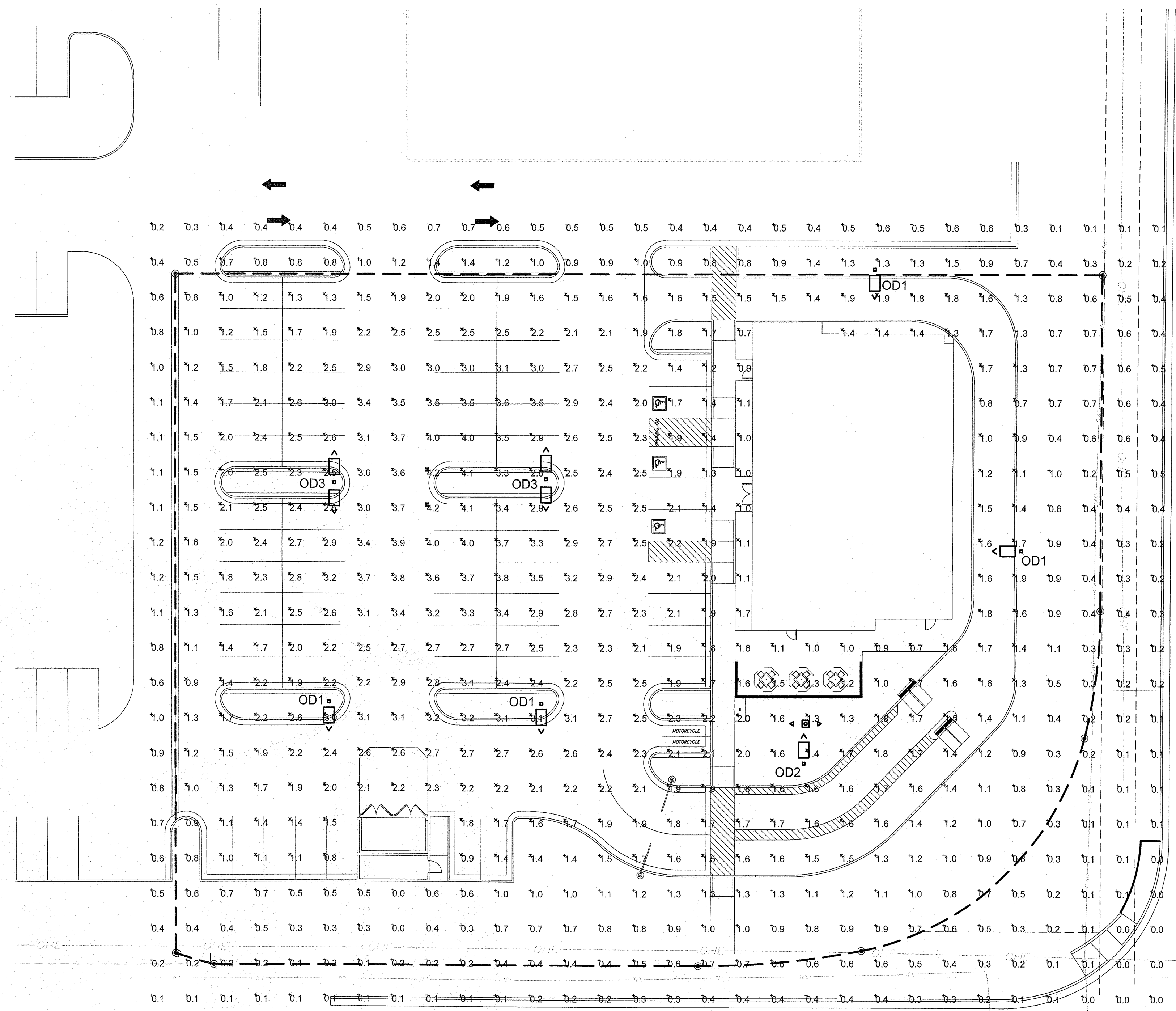
Sheet

E-102

LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
☐	OD1	4	LITHONIA LIGHTING DSX0-LED-40C-1000-40K-T3M-MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	Absolute	0.94	138
☐	OD2	1	LITHONIA LIGHTING DSX0-LED-40C-1000-40K-T5M-MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T5M OPTIC, 4000K, @ 1000mA	LED	Absolute	0.94	137.49
☐	OD3	2	LITHONIA LIGHTING DSX0-LED-40C-1000-40K-T5M-MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T5M OPTIC, 4000K, @ 1000mA	LED	Absolute	0.94	274.98

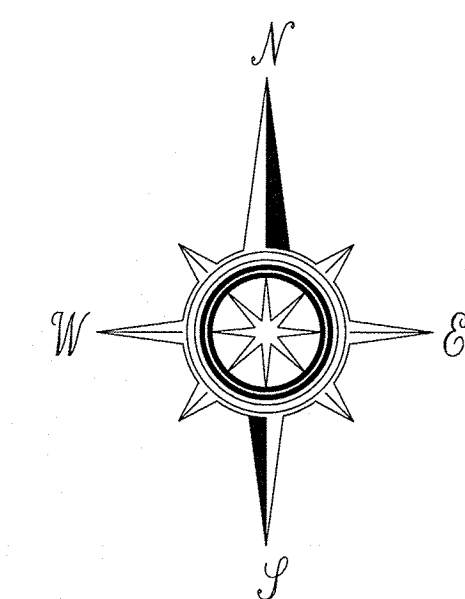
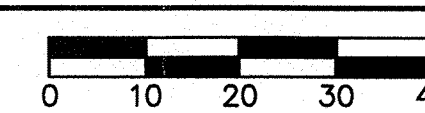
OD POLE SHALL BE A 25' STRAIGHT STEEL POLE BY LITHONIA, MODEL #SSS-25-4C-DM19/28AS-DOB.

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	1.4 fc	4.2 fc	0.0 fc	N / A	N / A
Parking Lot Summary	✕	2.1 fc	4.2 fc	0.7 fc	6.0:1	3.0:1



2 SITE LIGHTING POLE DETAIL
NOT TO SCALE

1 PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



HYDROLOGY

EXISTING CONDITIONS

THE EXISTING SITE IS NOT WITHIN A DESIGNATED FLOOD ZONE. THE ENTIRE SITE DRAINS TO THE NORTH TOWARD COORS BLVD AND QUAKER HEIGHTS PLACE. SOME ONSITE PONDING DOES OCCUR PRIOR TO DRAINAGE REACHING THE POINTS OF DISCHARGE.

PROPOSED CONDITIONS

THE PROPOSED SITE DRAINAGE IMPROVEMENTS WILL INCLUDE SURFACE FLOW AND STORM DRAIN CONVEYANCE TO PERIMETER "FIRST FLUSH" WATER QUALITY PONDS.

THE STORM WATER RUNOFF WILL BE DIRECTED TO A DETENTION POND LOCATED IN LOT 9. SAID POND WILL DISCHARGE TO A STORM DRAIN THAT WILL CONVEY THE FLOW TO THE LADERA POND FACILITY. SEE SEPARATE ANALYSIS OF LADERA POND FACILITY. THE DISCHARGE FROM POND WILL BE SUCH THAT EXISTING STORM DRAIN IN QUAKER HEIGHTS WILL NOT BE ADVERSELY IMPACTED BUT POND WILL DRAIN IN 24 HRS. APPROXIMATELY 3 CFS FOR 24 HOURS = 6 AC. FT.

REQUIRED FIRST FLUSH VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

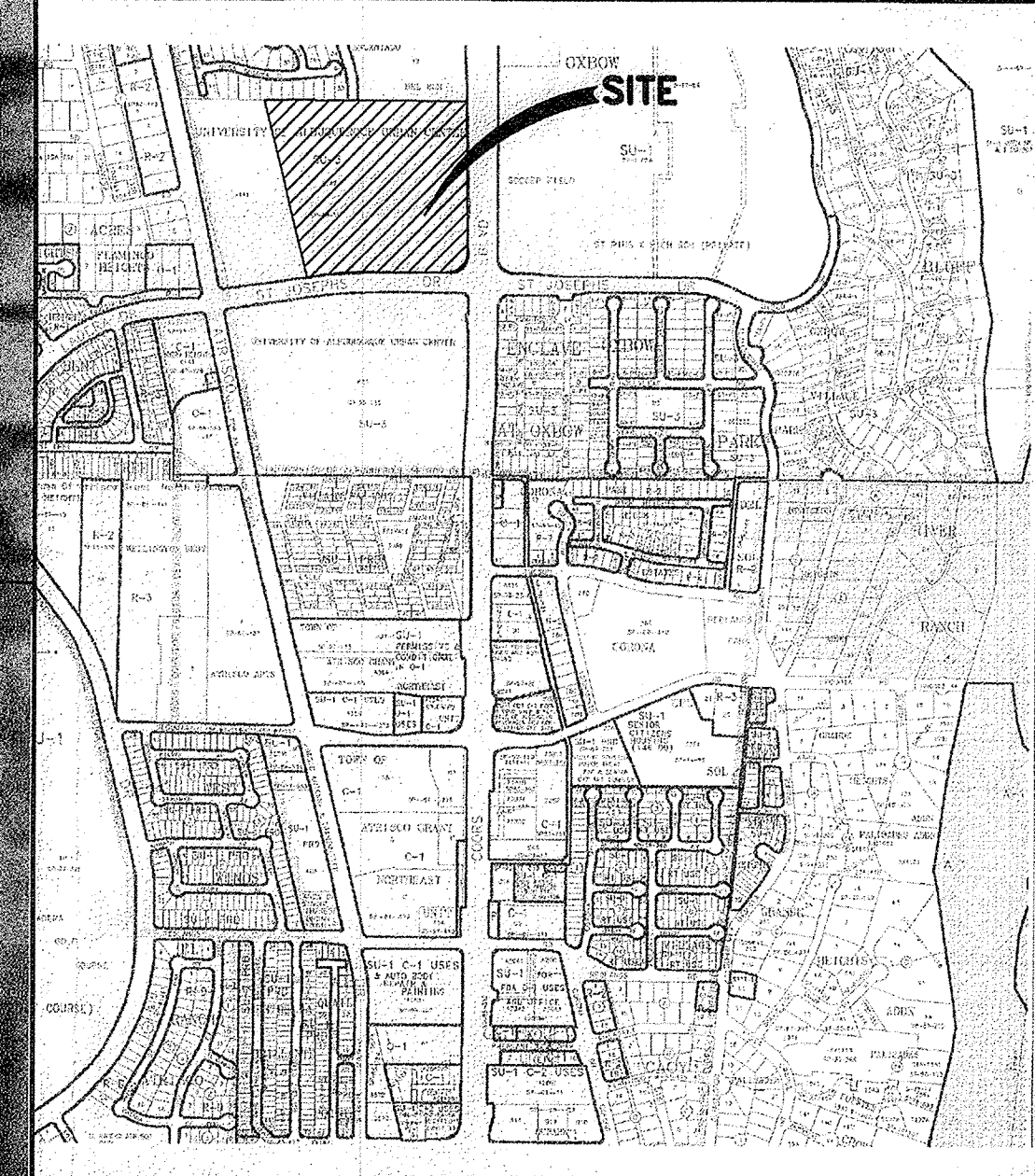
LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

IMPERVIOUS AREA = 831,900 SQ.FT.

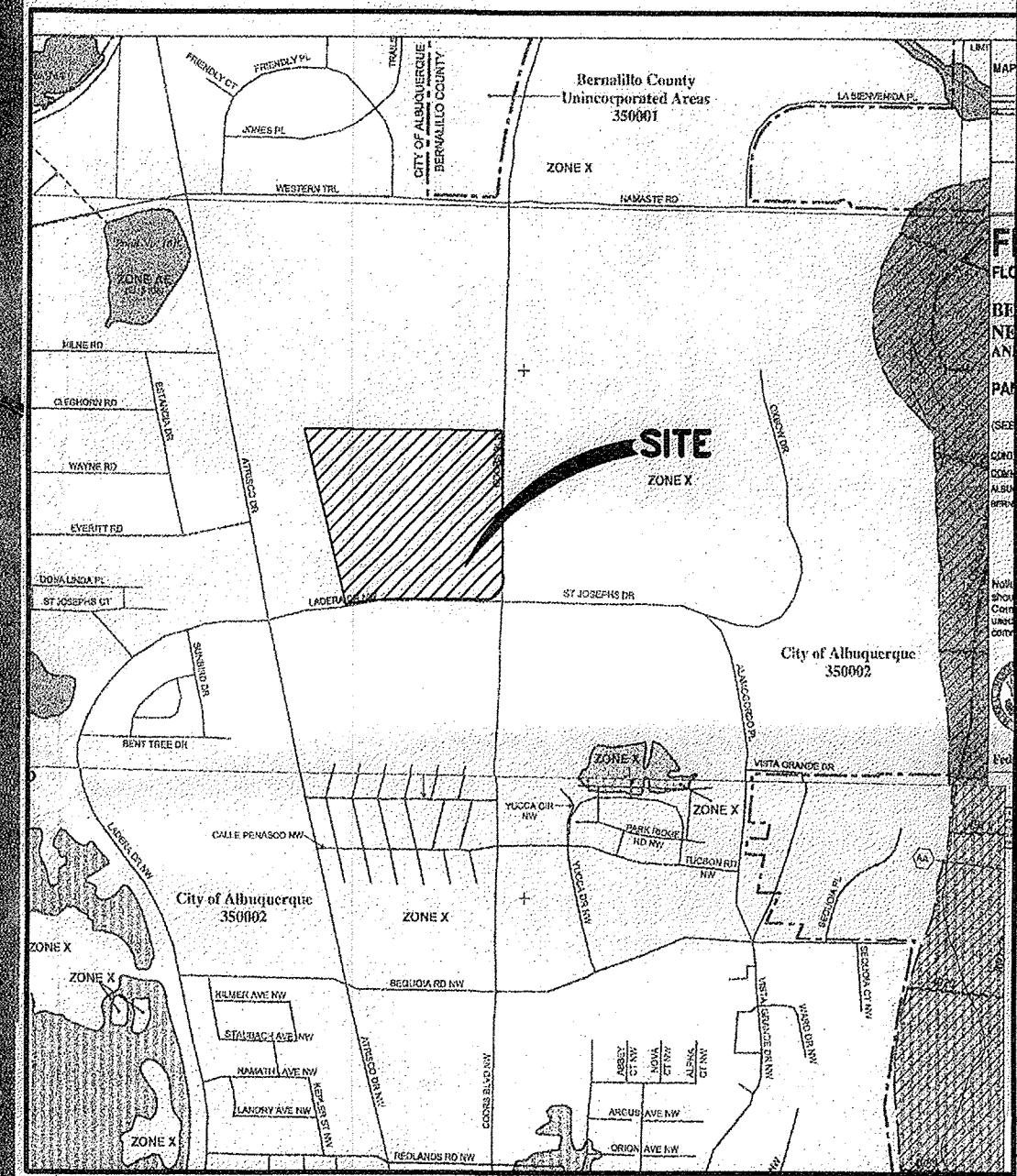
REQUIRED VOLUME = 831,900 * (0.44-0.10)/12 = 23,571 CU.FT.
VOLUME PROVIDED = 27,670 CU.FT.

HYDROLOGIC DATA -- PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q100 (cfs)	V100-24 (acft)
		A	B	C	D			
D-1	13.36	0	10	0	90	4.13	55.23	2.04
D-2	1.26	0	10	0	90	4.14	5.20	0.19
D-3	1.39	0	10	0	90	4.14	5.76	0.21
D-4	0.82	0	10	0	90	4.15	3.40	0.12
D-5	0.89	0	10	0	90	4.15	4.08	0.15
D-6	0.83	0	10	0	90	4.23	3.83	0.14
D-7	1.51	0	10	0	90	4.14	6.23	0.23
D-8	0.94	0	10	0	90	4.15	3.88	0.14



VICINITY MAP G-11-Z



FIRM MAP 35001C0114E 35001C0327E

LEGAL DESCRIPTION Tracts X-1-A2 University of Albuquerque Urban Center Projected Sec. 2, T10N, R2E

LEGEND

- PROPOSED FLOW DIRECTION
- EXISTING FLOW DIRECTION
- PROPOSED BASIN

GND, LLC
CONSULTING ENGINEERS
11032 Dreamy Way Dr. NW
Albuquerque, NM 87114
Phone: (505) 264-0472
Email: eng@gndllc.com

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION		
COORS PAVILION		
CONCEPTUAL GRADING AND DRAINAGE PLAN		
LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No.	SHEET
	G-11	1 OF 1

AS BUILT INFORMATION

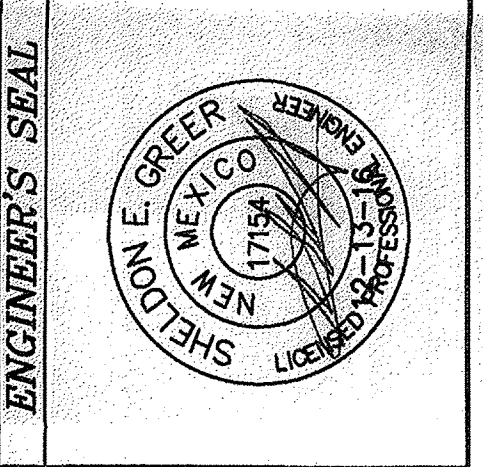
CONTRACTOR	DATE
STAMPED BY	DATE
INSPECTOR'S FIELD	DATE
PERFORMANCE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE
MICRO-FLM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

BRANCH MARKS

NGS/Albuquerque Central Survey Monument	DATE
"JOSEPH 1969"	DATE
NM State Plane Coordinates (Central Zone -NAD27)	DATE
X=366,886.82 Y=1,502,246.75	DATE
Delta Alpha=-0015'24"	DATE
Ground to Grid Factor=0.99967651	DATE
Elevation=5116.61 (NAVD88)	DATE

SURVEY INFORMATION

FIELD NO.	DATE
BY	DATE
NO.	DATE



NO.	DATE	REMARKS	BY
DESIGNED BY: SEG	DATE: DEC 2016		
DRAWN BY: SEG	DATE: DEC 2016		
CHECKED BY: SEG	DATE: DEC 2016		

DESIGN STANDARDS

I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the COORS PAVILION 21 acre mixed use property (Community Activity Center), and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office space and supporting retail / restaurant amenities to the Coors Blvd. corridor. Intended uses include a medical office building, office uses, retail uses within "shops buildings", restaurants (with drive thru windows), coffee shop with drive thru window, pharmacy (with drive thru window) and "junior box" retail shopping buildings.

- a. Goals:
 - i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
 - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome that allows for easy access within the 23 acre mixed use center.
- b. Permissive and conditional uses shall be as allowed under the C-2 Zone and O-1 of the City of Albuquerque's Code of Ordinances (provided however the Site Development Plan for Subdivision is not requesting residential uses).
- c. All Design Standards are intended to meet the intent and requirements of the City of Albuquerque's Code of Ordinances.

II. SETBACKS & BUILDING HEIGHT LIMITATIONS

The underlying site zoning is "SU-3 for Mixed Use: Church and Related Uses for approximately 10 acres; a minimum of approximately 7 acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office" (Note: The Site Development Plan for Subdivision application is not requesting residential land uses on the Subject Property). The Applicant is allocating the northwest corner of the Subject Property for the office zoning. The site is surrounded by development that consists primarily of retail and residential uses. Therefore, the setbacks and building heights should be similar to those in C-2 zone.

- a. Building setbacks shall conform to the requirements of the C-2 Zone of the City of Albuquerque's Code of Ordinances except as noted below.
 - i. Buildings on lots adjacent to the residential zoned property to the north shall be setback not less than 20 feet from the property line in order to provide adequate buffer for the homes located to the north of the property.
- b. Landscape setbacks shall conform to the requirements of Section 14-16-3-10 of the City of Albuquerque's Code of Ordinances.
- c. Building heights shall be as allowed as described under the R-3 Zone of the City of Albuquerque Code of Ordinances, provided that the retail buildings along Coors Blvd. shall not exceed 36 feet in height (and be one story), and the office buildings at the west edge of this Subject Property shall not exceed two stories in height.
- d. The University of Albuquerque Urban Center Sector Development Plan requires that all building height conform to the R-3 height limitations of the Zoning Code provided that the retail buildings along Coors Blvd. shall not exceed 36 feet in height (and be one story), and the office buildings at the west edge of this Subject Property shall not exceed two stories in height.
- e. Pursuant to Policy 2.A.1. of the Coors Corridor Plan (Pg. 89) there shall be a minimum front yard setback from the right-of-way of 15 feet along Coors Blvd. and St. Joseph's Road for all buildings.
- f. Pursuant to Policy 2.A.2. of the Coors Corridor Plan (Pg. 89) which states "The side yard and rear yard setback requirements shall be the same as required in the underlying zone."

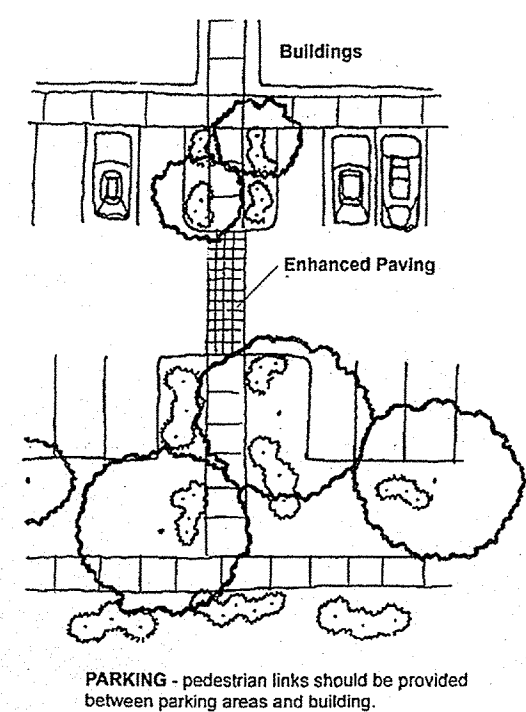
III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention should be given to parking area design. To lessen its visual impact, parking should be broken into a series of smaller areas, and views of parking from off-site should be interrupted with screening materials (3' tall landscape walls) or landscape buffer (shrubs, plantings, etc.).

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with Section 14-16-3-1 of the City of Albuquerque's Code of Ordinances.
 - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian walkway link to buildings.
 - ii. Pedestrian links across parking drive aisles shall be distinguished with striping or materials distinguishable from the roadway material.
 - iii. Parking shall be screened from residential neighborhood to the north by means of a minimum height of 2.5 to 3 foot high walls and / or landscaping

buffer. Walls shall be architecturally compatible with surrounding buildings (earth toned stucco or earth toned CMU block wall).

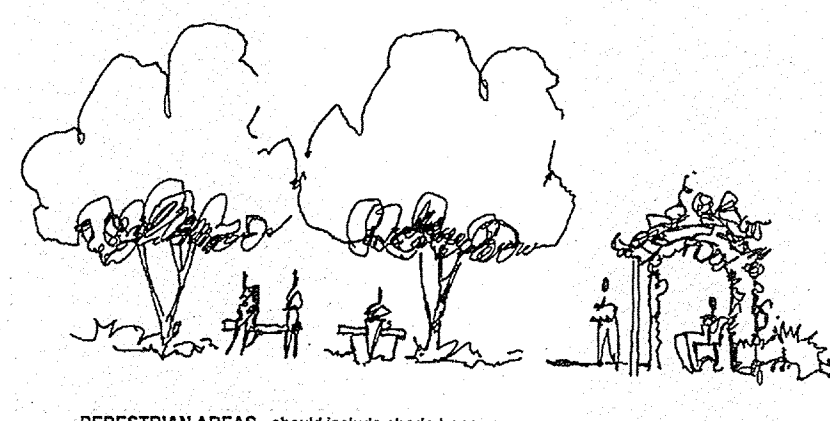
- b. Bicycle parking shall comply with Section 14-16-3-1(B) of the City of Albuquerque's Code of Ordinances.
 - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for visibility of the main entrance from parking areas and pedestrian connections.
- e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
 - i. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.
- f. All Off Street Parking areas shall comply with the off-street parking requirements of the Coors Corridor Plan (Page 94).



IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with Section 14-16-3-1(H) of the City of Albuquerque's Code of Ordinances.
 - i. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter along Coors Blvd. and along St. Joseph's Road.
 - ii. Parking areas shall include pedestrian connections to all buildings within the property.
 - iii. Shade provided with trees or shade structures shall be provided consistent with the City of Albuquerque Code of Ordinances regarding landscaping on site.
- b. A minimum 120 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurants may be combined into one with a total area equal to 120 square feet per establishment.
 - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per Section 14-16-3-18(C)(4) of City of Albuquerque's Code of Ordinances.
 - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
 - iii. Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.
- c. All pedestrian connections shall conform to the requirements of Section 14-16-13-1(H) (Off Street Parking Regulations, Pedestrian Connections) of the Comprehensive Zoning Code.



V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. ALL LANDSCAPING shall conform to the site landscaping requirements of the Coors Corridor Plan (Page 92).
- b. Street trees shall be provided as per the Street Tree Ordinance (8-6-2-1 et seq., Street Tree Ordinance)
- c. A minimum of 15% of the net site area shall be devoted to landscape materials.
- d. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- e. Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- f. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- g. Minimum plant material sizes at the time of installation shall be:
 - i. Canopy Trees - 2" Caliper
 - ii. Evergreen Trees - 10' Minimum height
 - iii. Accent Trees - 2" Caliper
 - iv. Shrubs and Groundcovers - 1 gallon minimum

- h. Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- i. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
- j. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
- k. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- l. Landscape Plans shall be designed using plants selected from the following palette:

LARGE TREES	
Acolade Elm	Ulmus hybrid "Acolade"
Afghan Pine	Pinus eldarica
Austrian Pine	Pinus nigra
Chinese Pistache	Pistacia chinensis
Escarpment Oak	Quercus fusiformis
Japanese Pagoda Tree	Sophora japonica
Modesto Ash	Fraxinus velutina "Modesto"
Purple Robe Locust	Robinia pseudoacacia "Purple Robe"
Raywood Ash	Fraxinus velutina "Raywood"
Rio Grande Cottonwood	Populus wislizenii
Texas Red Oak	Quercus buckleyi
SMALL TREES	
Chaste Tree	Vitex agnus-castus
Desert Willow	Chilopsis linearis
Golden Rain Tree	Koeleruteria paniculata
New Mexico Olive	Forestiera neomexicana
Oklahoma Redbud	Cercis reniformis
Sensation Maple	Acer negundo "Sensation"
SHRUBS	
Apache Plume	Fallugia paradoxa
Bird of Paradise	Caesalpinia gilliesii
Blue Rubber Rabbitbrush	Ericameria nauseosus "Blue"
Buffalo Juniper	Juniperus
Creeping Mahonia	Mahonia repens
Damianita	Chrysactinia mexicana
Dark Knight Blue Mist Spirea	Caryopteris clandonensis "Dark Knight"
Black Knight Butterflybush	Buddleia davidii "Black Knight"
Dwarf Fragrant Sumac	Rhus aromatica "Gro-low"
Fernbush	Chamaebatia millefolium
Littleleaf Mountain Mahogany	Cercocarpus intricatus
Moonlight Scotch Broom	Cytisus scoparius "Moonlight"
Pawnee Buttes Western Sand Cherry	Prunus besseyi "Pawnee Buttes"
Thompson Broom	Baccharis hybrid "Starn Thompson"
Threelobed Sumac	Rhus trilobata
Turpentine Bush	Ericameria laricifolia
Winter Gem Boxwood	Buxus japonica "Winter Gem"
GRASSES	
Blonde Ambition Blue Grama Grass	Bouteloua "Blond Ambition"
Blue Avena Grass	Helictotrichon sempervirens
Deergrass	Muhlenbergia rigens
GIant Sacaton	Sporobolus wrightii
Indian Grass	Sorghastrum nutans
Karl Foerster Feather Reed Grass	Calamagrostis acutiflora "Karl Foerster"
Native Wonder Grass Blend	50% Buchloe dactyloides/ 50% Bouteloua gracilis

- Mexican Feathergrass
- Prairie Dropseed
- The Blues Bluestem
- Variiegated Reed Grass

ACCENTS

- Beargrass
- Broadleaf Yucca
- Desert Spoon
- Parry's Agave
- Prickly Pear Cactus
- Red Yucca

PERENNIALS

- Autumn Sage varieties
- Blanketflower species
- Butterfly Weed
- Catmint species
- Germander species
- Desert Zinnia
- Whirling Butterfly species

- Hyssop species
- Lavender species
- May Night Sage
- Penstemon species
- Poppy Mallow
- Rocky Mountain Columbine
- Tickseed species
- Turkish Speedwell
- Yarrow species

VINE

- Chinese Wisteria
- Trumpet Vine

- Nasella tenuissima
- Sporobolus heterolepis
- Schizachyrium scoparium "The Blues"
- Calamagrostis acutiflora "Overdam"
- Nolina microcarpa
- Yucca baccata
- Dasylytron wheeleri
- Agave parryi
- Opuntia engelmannii
- Hesperaloe parviflora

- Salvia greggii varieties
- Gallardia species
- Salvia nemerosa
- Nepeta species
- Teucrium species
- Zinnia grandiflora
- Gaura lindheimeri varieties

- Agastache species
- Lavandula species
- Salvia nemerosa
- Penstemon species
- Callirhoe involucrata
- Aquilegia caerulea
- Coreopsis species
- Veronica livanensis
- Achillea species
- Wisteria chinensis
- Campsis radican

VI. WALLS & FENCES

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, should be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. ALL WALLS, FENCES and SCREENING shall conform to the requirements of Section 14-16-3-18 (General Building and Site Design Regulations for Non Residential Use) and 14-16-3-19 (General Height and Design Regulations for Walls, Fences and Retaining Walls) of the Zoning Code.
- b. Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping buffer (shrubs or landscape material). These walls shall be architecturally compatible with surrounding buildings (Earth toned color).
 - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
 - ii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
 - iii. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- d. Walls and fences shall be at least as tall as the objects they are intended to screen.
- e. All screening devices shall be in compliance with the City of Albuquerque DPS Clear Sight Triangle regulations.
- f. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18 (C) (6) of the City of Albuquerque's Code of Ordinances.
 - i. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- g. Walls and fences shall comply with Section 14-16-3-19 of the City of Albuquerque's Comprehensive Zoning Code.
- h. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- i. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- j. Acceptable wall & fence materials include but are not limited to:
 - i. stucco over concrete masonry units (CMU)
 - ii. split face block
 - iii. brick
 - iv. stone
 - v. curved interlock blocks
 - vi. wood pickets
 - vii. tubular steel, wrought iron bars, or other grill work
- k. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- l. The site is fairly level, but will likely require some retaining at the west perimeter adjacent to the Calvary parking lot.
 - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

ISSUED FOR
DRB
Site Plan for Subdivision

PROJECT

Coors Pavilion

Coors Blvd. NW & St. Joseph NW
Albuquerque, New Mexico 87122

REVISIONS

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DRAWN BY	AMA
REVIEWED BY	AMA
DATE	03-29-2016
PROJECT NO.	15-0158.001
DRAWING NAME	

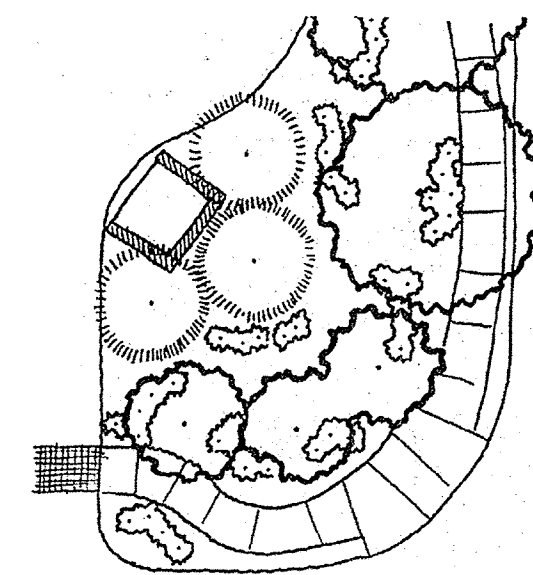
**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION
DESIGN STANDARDS**

SHEET NO.

DS01
OF

DESIGN STANDARDS (continued)

- ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
- iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- m. Grading and Drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
 - i. All measures shall be taken to provide public safety at the pond location proposed within the northwest corner of the site.
 - ii. Site ponding shall be integrated with the landscape plan.
 - iii. Ponding location may cooperate with the westerly neighbor (St. Joseph's Church) to utilize a joint use pond and explore manners to transport storm water to Atrisco Road or to Rancho Encantado (and discharged into the City of Albuquerque pond facility) – IF APPROVED BY THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT.

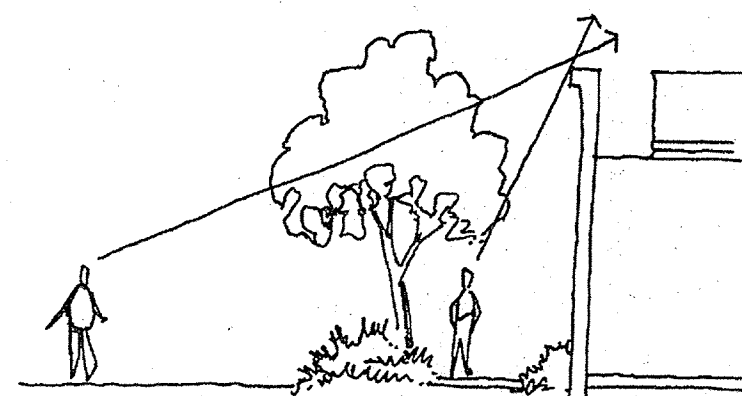


REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

VII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment should be minimized by the following:

- a. All new electrical distributions lines shall be placed underground (this does not include the existing overhead PNM lines located along Coors Blvd that will be relocated as part of the Coors Blvd. expansion and right in right out deceleration lane).
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architectural design of buildings and site features should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Site Design Regulations for Non-Residential Uses of the City Zoning Code (14-16-3-18).
- b. Architectural Style
 - i. The development shall provide a cohesive material and color palette among all buildings (earth toned color palette)
 - ii. All buildings shall be "modern" or "southwestern

modern" or "contemporary southwest" in design (that utilize earth toned color palette).

- iii. Historical references to traditional New Mexico styles should be a modern interpretation of those styles.
- iv. Each building may utilize a southwestern themed wainscot (stacked stone, tile, brick, etc.).
- c. Articulation
 - i. Buildings shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided by using windows and glazing. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, glazing, or fenestration.
 - iii. Massing elements shall be reinforced with color variation or material distinctions.

d. Materials

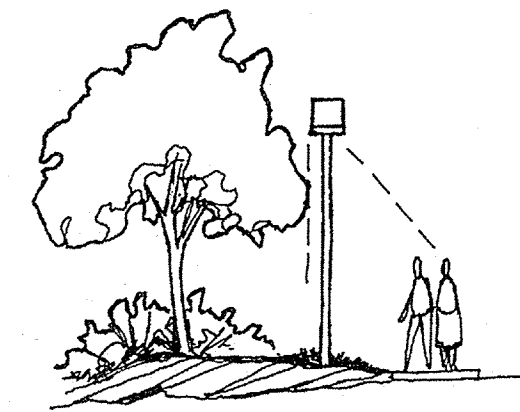
- i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate (EIFS, Stucco, Brick, Stacked Stone, etc.)
- ii. Individual building elements shall be of excellent design and quality materials such as:
 1. Metal wall panels
 2. Porcelain tile
 3. Natural stone panels
 4. Concrete
 5. Rammed earth
 6. Glass
 7. Stucco or Exterior Insulation & Finish System
 8. Brick or decorative concrete masonry units
- iii. The following external building materials shall be prohibited:
 1. Engineered wood paneling
 2. Vinyl or plastic siding
 3. Plain concrete masonry units
- iv. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patterned glazing is prohibited.
- v. Canopies, trellises, and awnings shall be of durable materials such as metal, corrugated metal, or steel.
- vi. Colors shall include light to medium earth tones with accent colors in limited areas.
 1. No more than one accent color shall be used per building.
 2. The use of contrasting colors for shade elements or awnings is encouraged.

IX. LIGHTING

To enhance safety, security and visual aesthetics, daytime and nighttime appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- a. All lighting shall conform to the requirements of the University of Albuquerque – Lighting section contained within the development guidelines.
- b. All lighting shall conform to the requirements of the Site Lighting section of the Coors Corridor Plan (Page 98).
- c. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the City of Albuquerque's Comprehensive Zoning Code.
- d. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- e. All free-standing lights shall be of consistent design throughout the site.
- f. High pressure sodium & cobra-head type lighting fixtures are not permitted.
- g. Light fixtures shall be located on Site Development Plans for Building Permit
- h. The height of street lights and off-street parking areas lights shall not exceed 26 feet.
- i. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- j. Pedestrian lighting shall not exceed 12 feet in height.

- k. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- i. Exterior elevations of buildings fronting the public right-of-way may be feature lighted to enhance the identity of the building.

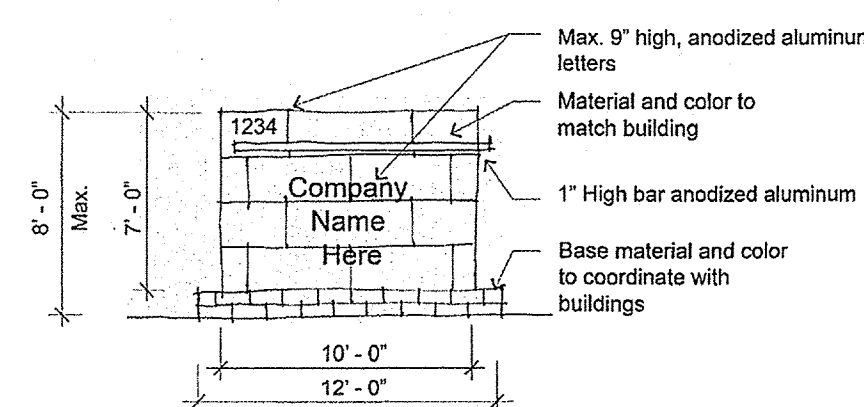


LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

X. SIGNAGE

All signage shall conform to the requirements of the University of Albuquerque – Signing and Graphics Criteria section contained within the development guidelines. All signage shall conform to the requirements of the design regulations of the Coors Corridor Plan. Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

- a. All on site Signage shall comply with the Section 14-16-3-5 General Sign Regulations of the City of Albuquerque's Comprehensive Zoning Code.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs at each of the points of entry: (1) Corner of St. Joseph's and Coors Blvd. (2) Right In Right Out entrance driveway off of Coors Blvd (3) Entrance driveway off of St. Joseph's. These signs shall be coordinated to have the same appearance (height, size, color, material, text height, style etc.) at all locations.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability and comply with City of Albuquerque Code of Ordinances and the Coors Corridor Plan.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.
- i. There shall be no ELECTRONIC display advertising boards allowed within the Coors Pavilion property.



Sign Area < 75 sf
SIGNAGE - should be coordinated with building and forms.

XI. PROCESS

All of the Site Development Plans for Building Permit for the buildings within this 21 acre community activity center (Coors Pavilion) shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by this Site Development Plan for Subdivision.

XII. SECURITY
ALL THE BUILDINGS CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.

THIS NOTE WILL BE ADDED TO EACH SUBSEQUENT SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

REVISIONS

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DRAWN BY	AMA
REVIEWED BY	AMA
DATE	09.21.2016
PROJECT NO.	15-0158.001
DRAWING NAME	

SITE DEVELOPMENT
PLAN FOR
SUBDIVISION
DESIGN STANDARDS

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

COORS PAVILION
ALBUQUERQUE, NM
NW CORNER OF ST JOSEPHS DRIVE & COORS BLVD NW

REVISIONS

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DRAWN BY CS, JMG, MB
REVIEWED BY CG, MB
DATE 12/13/16
PROJECT NO 15-0158.001

DRAWING NAME

**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION**

SHEET NO

1 of 5

GENERAL NOTES

A1. APPLICABLE PLANS: REFER TO DESIGN GUIDELINES, SHEET DS101 AND DS102, PROJECT DESIGN STANDARD GUIDELINES, THIS PACKAGE.

KEYED NOTES

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. SHOPPING CENTER SIGN
4. N.M.D.O.T. ELECTRONIC READER BOARD (AS PER NMDOT STANDARDS & SPECS)
5. STAMPED CONCRETE PEDESTRIAN CONNECTION AT QUAKER HEIGHTS
6. EXISTING N.M.D.O.T. - E.R.B. TO BE REMOVED BY APPLICANT (AS PER NMDOT STANDARDS & SPECS)

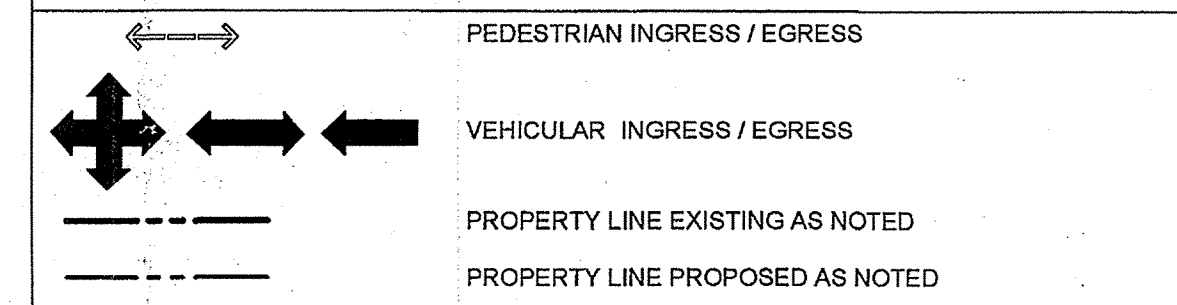
KEYED NOTES - CIVIL/SURVEY

- A. PROPOSED PRIVATE ACCESS & SURFACE DRAINAGE EASEMENT.
- B. PROPOSED PRIVATE BLANKET DRAINAGE EASEMENT.
- C. PROPOSED 25' WIDE PUBLIC C.O.A. DRAINAGE EASEMENT.
- D. PROPOSED 10' PUBLIC UTILITY EASEMENT.
- E. PROPOSED 20' PUBLIC ABCWUA WATER EASEMENT.
- F. PROPOSED 10' PRIVATE SANITARY SEWER EASEMENT.

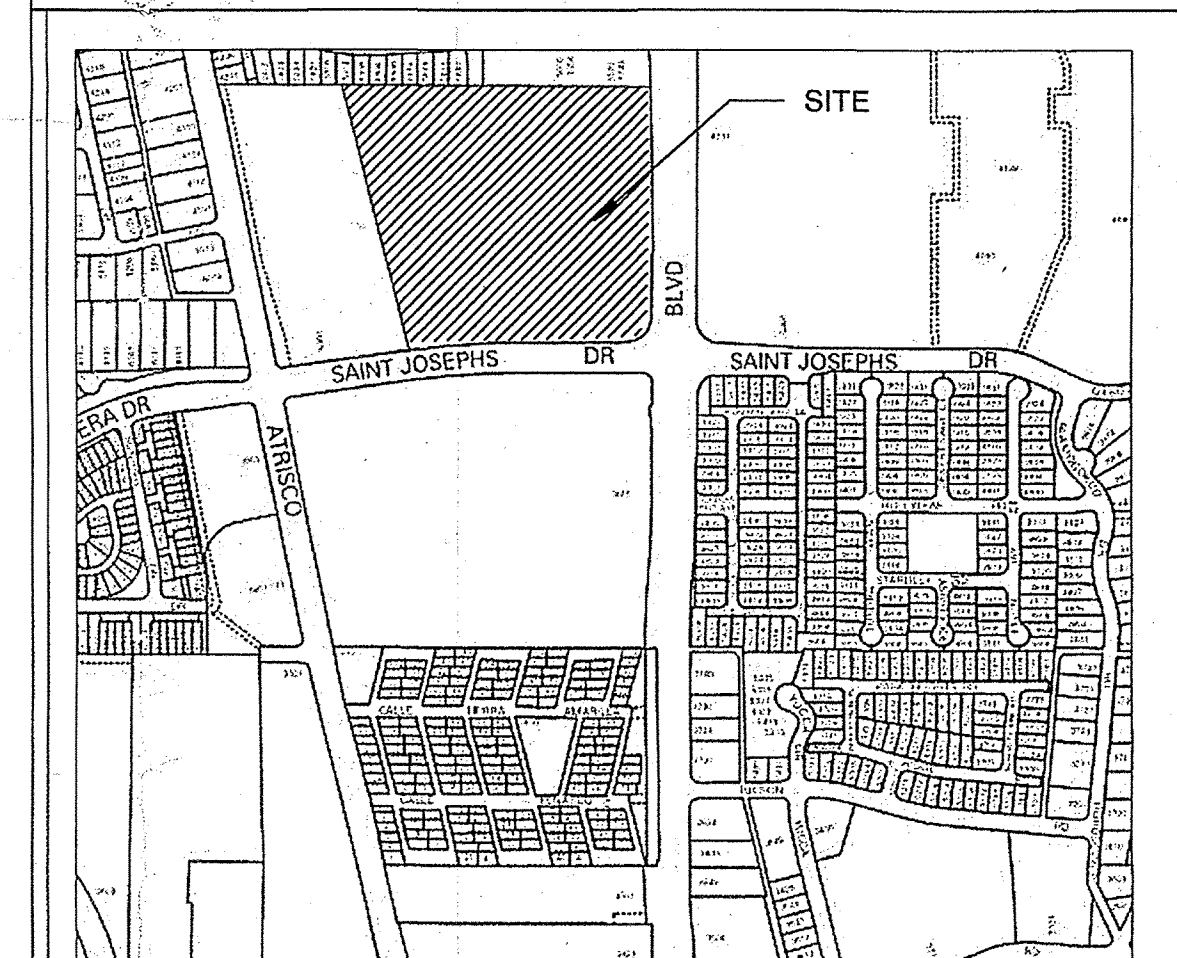
SITE DATA

LEGAL DESCRIPTION:
TRACT X-1-A2 PLAT OF TRACTS X-1-A1 & X-1-A2 UNIVERSITY OF ALBUQUERQUE URBAN CENTER CONT 21.2244 AC OR 924,537 SF
Acres: 21.2244
ZONE CLASS :
C-2, O-1
MAXIMUM BUILDING HEIGHT: SEE DESIGN STANDARDS
BUILDING SETBACKS: SEE DESIGN STANDARDS
PROPOSED USES: USES WITHIN THE C-2 & O-1 ZONING CLASSES
MAXIMUM FAR: AS PER ALB. LOCAL CODE & THE DESIGN STANDARDS

SITE PLAN LEGEND



VICINITY MAP



Zone Atlas Map G-11-Z nts

FORMER PROJECT NUMBER:

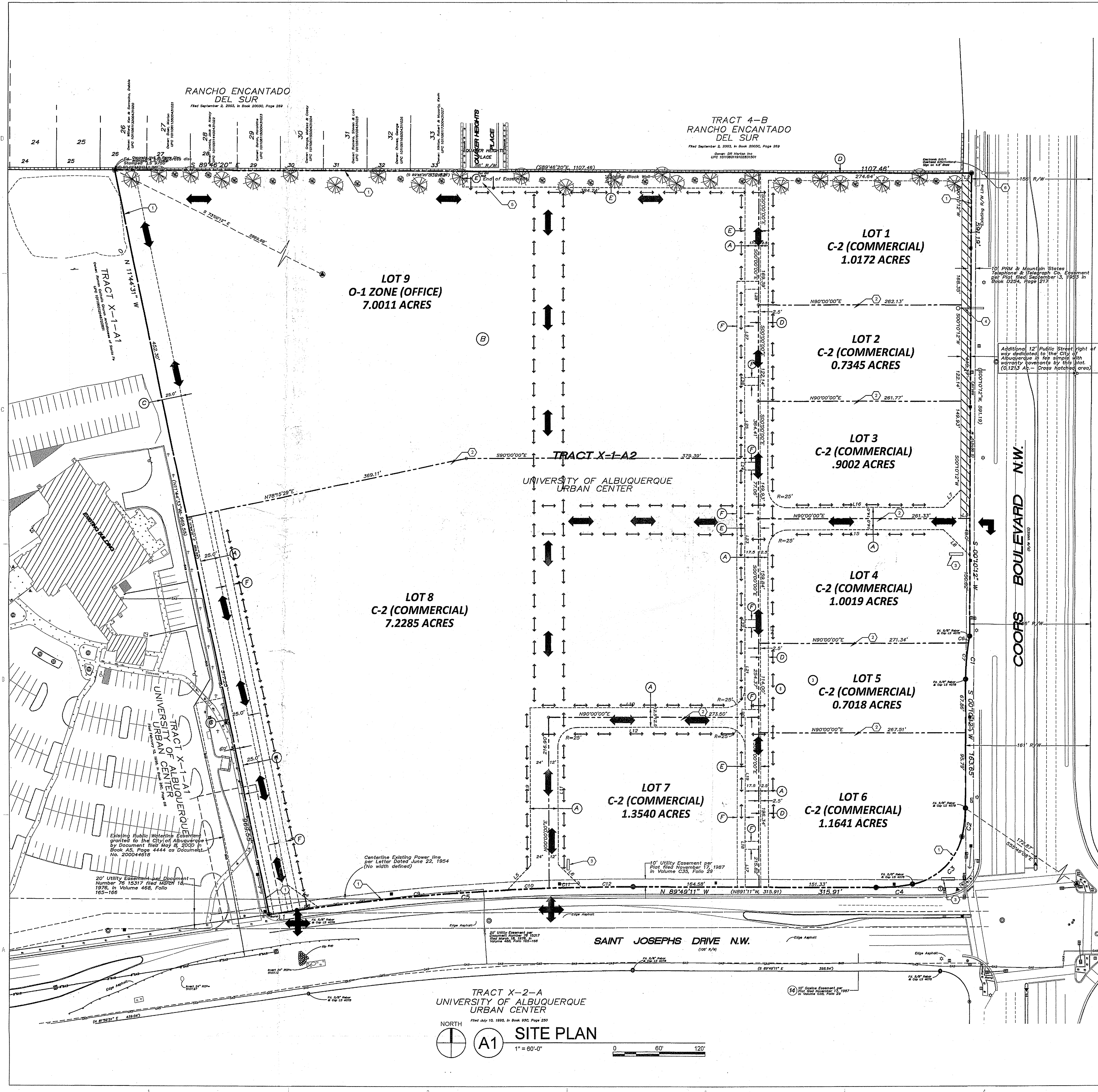
PROJECT NUMBER: PA# 15-175, CASE FILE 100032, EPC-40123-2013

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

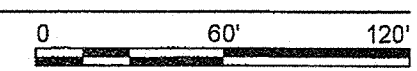
SITE DEVELOPMENT PLAN APPROVAL:

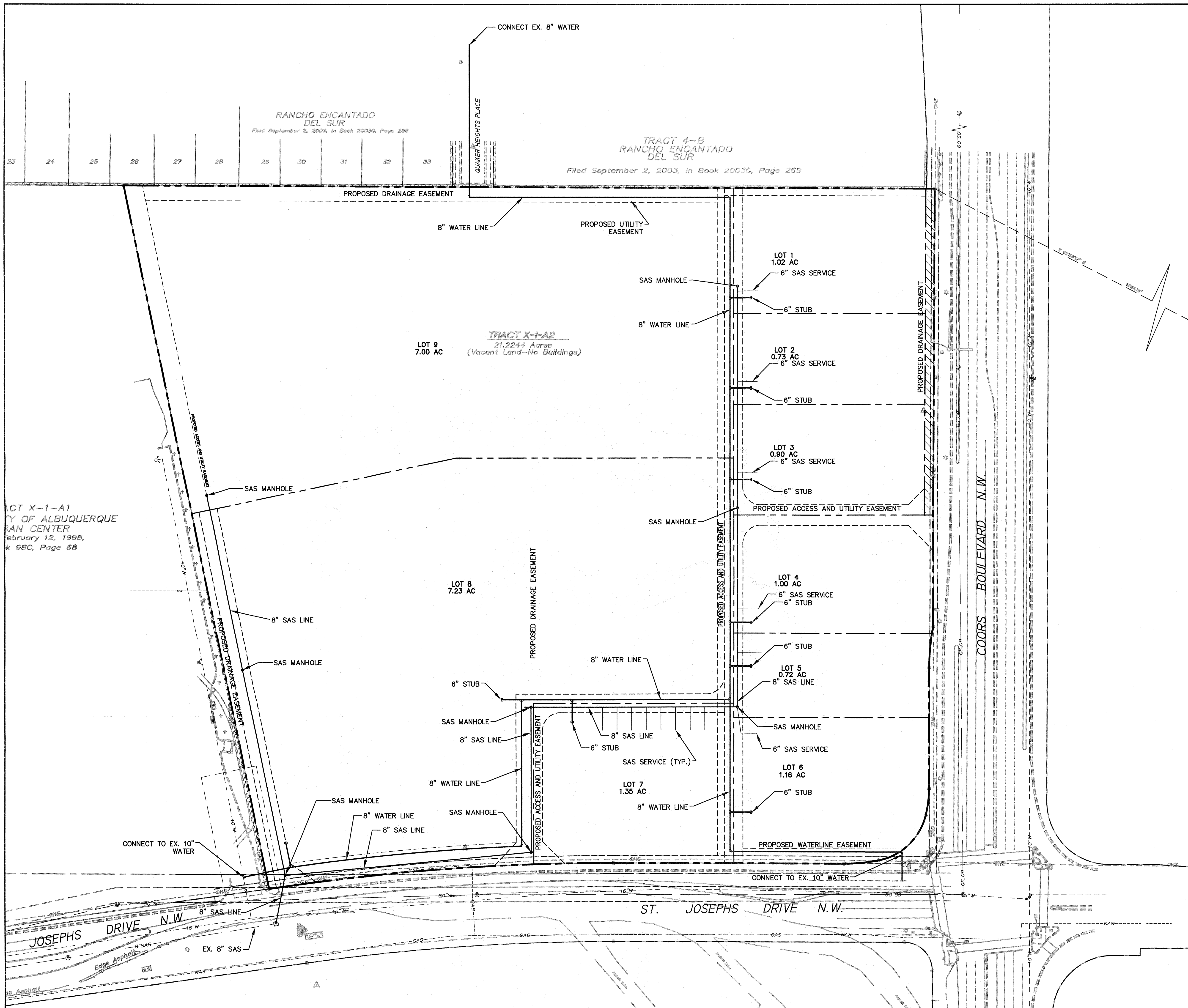
<i>Rajiv M. Meind</i>	12/21/16
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Wally Cade</i>	12-21-16
ABCWUA	DATE
<i>Carol S. Dumont</i>	12-21-16
PARKS AND RECREATION DEPARTMENT	DATE
<i>Alfred</i>	12-21-16
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
<i>Gal Chis</i>	1-23-17
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



TRACT X-2-A
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
Filed July 13, 1985, in Book 95C, Page 250

A1 SITE PLAN
1" = 60'-0"





TRACT X-1-A1
CITY OF ALBUQUERQUE
PLAN CENTER
February 12, 1998,
Book 98C, Page 68

RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 289

TRACT 4-B
RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

TRACT X-1-A2
21.2244 Acres
(Vacant Land-No Buildings)

GRAPHIC SCALE
(IN FEET)
SCALE 1"=30'
GND, LLC
CONSULTING ENGINEERS
11032 Dreamy Way Dr. NW
Albuquerque, NM 87114
Phone: 505-244-4972
Email: segreen@gnd.com

CITY PROJECT No.		ZONE MAP No.	SHEET
		G-11	1 OF 1

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
COORS PAVILION
CONCEPTUAL UTILITY PLAN

MONTH/DAY/YEAR	USER DEPARTMENT

LATEST DESIGN UPDATE

DESIGNED BY: SEG	DATE: NOV 2016
DRAWN BY: SEG	DATE: NOV 2016
CHECKED BY: SEG	DATE: NOV 2016

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		NO.	BY	DATE	CONTRACTOR	DATE	DATE
		NO.	BY	DATE	INSPECTOR'S FIELD	DATE	DATE
		FIELD NOTES		NAD27		AS BUILT INFORMATION	
				NGS/Albuquerque Control Survey Monument		CONTRACTOR	
				JOSEPH 1969*		INSPECTOR'S FIELD	
				NM State Plane Coordinates (Central Zone -NAD27)		DATE	
				X=366,686.82 Y=1,502,246.75		DATE	
				Delta Alpha=-0015'24"		DATE	
				Ground to Grid Factor=0.99967551		DATE	
				Elevation=5116.61 (NAVD88)		DATE	