



Supplemental Form (SF)

SUBDIVISION

- ☒ Major subdivision action
☒ Minor subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☐ for Subdivision
☐ for Building Permit
☐ Administrative Amendment (AA)
☐ Administrative Approval (DRT, URT, etc.)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation
☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☐ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

- ☐ Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): ARCH PLAN LAND USE CONSULTANTS PHONE: 505.900.0365

ADDRESS: P.O. BOX 25911 FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87125 E-MAIL: arch.plan@comcast.net

APPLICANT: MICHAEL & GLENNA O PHONE: _____

ADDRESS: 600 SAN JOSE AV SE FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: OWNERS List all owners: _____

DESCRIPTION OF REQUEST: LOT CONSOLIDATION OF 2 TRACTS INTO 1

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1-A-1 & 1-A-2 Block: _____ Unit: 2

Subdiv/Addn/TBKA: BROADWAY INDUSTRIAL CENTER

Existing Zoning: SU-2/HM Proposed zoning: N/A MRGCD Map No. _____

Zone Atlas page(s): M-14 UPC Code: 1-014-055-370-376-108-09

1-014-055-380-374-108-10

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): _____

1000131 (DRB) 1009220 (ZHE)

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? NO

No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 1.65±

LOCATION OF PROPERTY BY STREETS: On or Near: 2700 BROADWAY BLVD SE

Between: SAN JOSE AV and BETHEL RD

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: _____

SIGNATURE Derrick Archuleta DATE 1.9.18

(Print Name) DERRICK ARCHULETA Applicant: ☐ Agent: ☒

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

☐ SKETCH PLAT REVIEW AND COMMENT (DRB22)

Your attendance is required.

- ☐ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ☐ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ List any original and/or related file numbers on the cover application

☐ EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)

Your attendance is required.

- ☐ Preliminary Plat reduced to 8.5" x 11"
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Copy of DRB approved infrastructure list
- ☐ Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- ☐ List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

☐ MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- ☐ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ☐ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- ☐ Design elevations & cross sections of perimeter walls **3 copies**
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ☐ Copy of recorded SIA
- ☐ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ☐ List any original and/or related file numbers on the cover application
- ☐ DXF file and hard copy of final plat data for AGIS is required.

☒ MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- ☐ 5 Acres or more: Certificate of No Effect or Approval
- ☐ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- ☐ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- ☐ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- ☐ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ☐ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application
- ☐ Infrastructure list if required (**verify with DRB Engineer**)
- ☐ DXF file and hard copy of final plat data for AGIS is required.

☐ AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)

Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

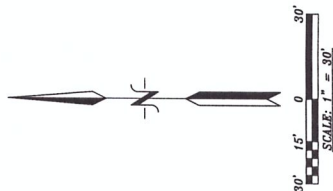
- ☐ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ☐ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ☐ List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

SECTION 32, T.10N., R.3E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2018

WITHIN

SECTION 32, T.10N., R.3E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2018



LINE	BEARING	DISTANCE
L1	N 85°09'13" W	8.36'
(1)	(N 83°22'30" W)	(8.34')

	CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	42.25	30.00'	80.41'38"	N 50°16'46" E	38.84'	
C2	44.75	30.00'	80.41'38"	(N 51°28'21" E)	(38.84')	
C3	27.52	33.00'	89.17'14"	N 89°17'14" E	27.51'	
C4	52.72	100.00'	355.97'48"	N 65°04'05" W	61.74'	
C5	52.72	100.00'	355.97'48"	(S 65°04'05" W)	(61.74')	
C6	40.41'	25.00'	92.36'59"	N 37°03'52" W	36.15'	
C7	40.41'	25.00'	92.36'59"	(S 37°03'52" W)	(36.15')	
C8	121.69'	4812.00'	11223.55'	N 09°38'41" E	121.69'	
C9	121.69'	4812.00'	11223.55'	(S 09°38'41" E)	(121.69')	

ACS MONUMENT '7-M14'
 NAD 83 CENTRAL ZONE
 X=1521396.623 US SURVEY FEET
 Y=1471713.601 US SURVEY FEET
 Z=44945.90 US SURVEY FEET (NAVD 1988)
 G-G=0.999683545
 DELTA ALPHA=-0°13'42.01"

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JANUARY, 2018



LINE TABLE	
LINE BEARING	DISTANCE
1 N 85°09'13" W	8.36'
2 (N 83°22'30" W)	(8.34')

	CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	BEARING	CHORD LENGTH
1		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
2		43.75	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
3		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
4		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
5		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
6		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
7		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
8		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
9		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
10		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
11		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
12		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
13		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
14		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
15		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
16		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
17		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
18		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
19		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
20		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
21		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
22		27.52	330.00 ^b	85.91°14" E	N 85°14'14" E	27.51
23		62.77	100.00 ^b	355°24" W	N 61°24'05" W	61.74
24		40.41 ^c	100.00 ^b	92°36'44" E	N 65°37'44" E	60.35
25		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
26		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
27		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
28		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
29		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
30		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
31		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
32		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
33		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
34		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
35		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
36		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
37		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
38		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
39		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
40		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
41		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
42		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
43		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
44		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
45		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
46		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a
47		42.25	30.00 ^a	80.41°38"	N 50°14'46" E	38.84 ^a

ACS MONUMENT "7-H14"
 NAVD 83 CENTRAL ZONE
 X=1521396.623 US SURVEY FEET
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ARCH+PLAN
LAND USE CONSULTANTS
ALBUQUERQUE NM

January 9, 2018

Kym Dicome, Acting Chair
City of Albuquerque
Development Review Board
600 2nd St NW
Albuquerque NM

RE: TRACTS 1-A-1 AND 1-A-2, BROADWAY INDUSTRIAL CENTER UNIT 2

Ms. Dicome and members of the Board:

I would like to request Preliminary/Final Plat review for a minor subdivision for the above mentioned property.

The property owner would like to consolidate two (2) existing Tracts 1-A-1 and 1-A-2, Broadway Industrial Center in one lot. Proposed Lot 1-A-2-A is to be 1.6545± acres property zoned SU-2 for Heavy Manufacturing (HM).

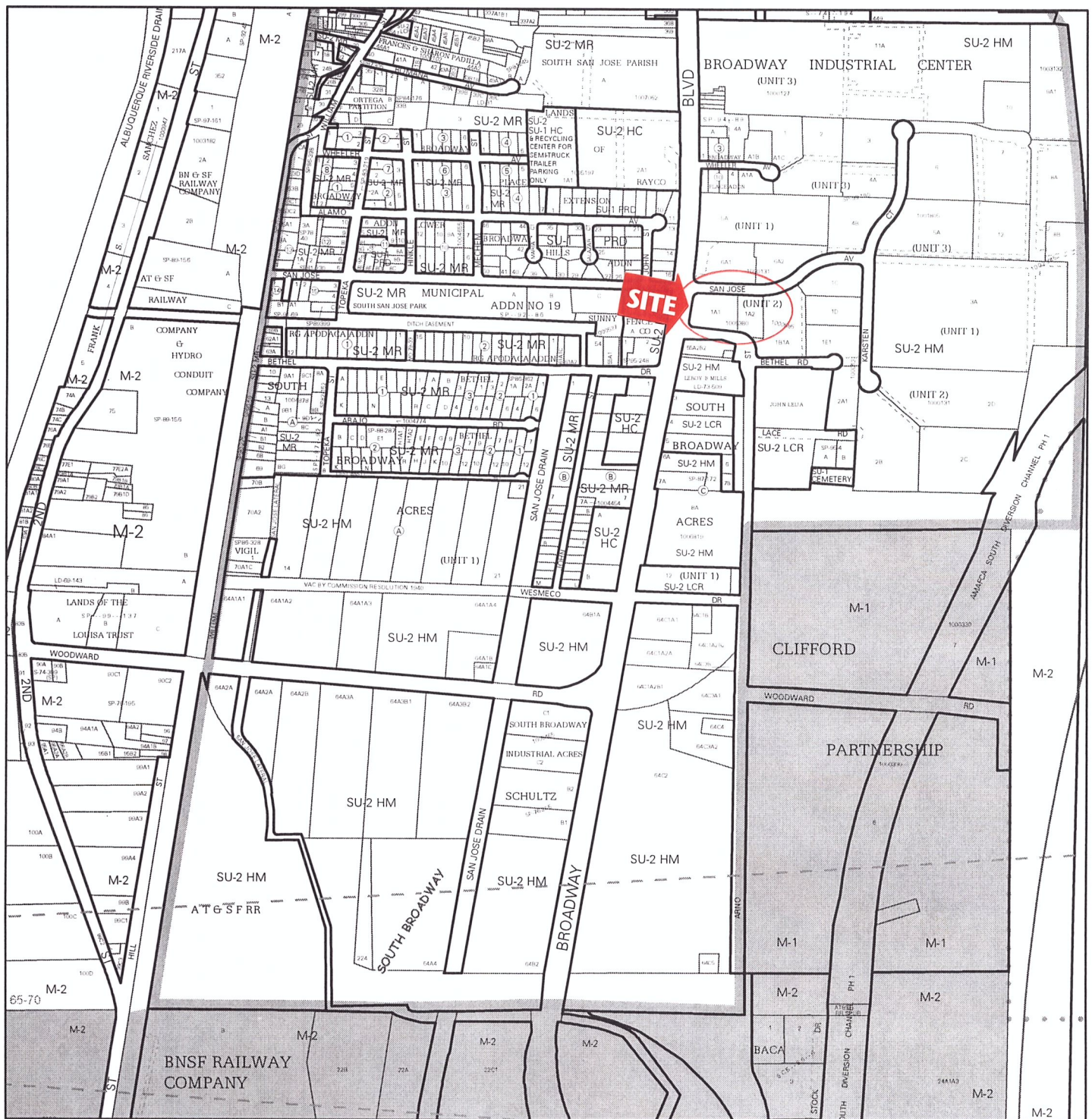
A portion of the existing property is currently developed with a manufactured home sales business.

The site is governed by the Area of Change of the Albuquerque/Bernalillo County Comprehensive Plan and the South Broadway Sector Development Plan.

Thank you for your time and consideration of the proposed application.

Sincerely,


Derrick Archuleta, MCRP
Principal



For more current information and details visit: <http://www.cabq.gov/gis>

