

SITE LIGHTING
 Will be provided by porch lights under awnings controlled by residents and by 2' tall bollard lighting within courtyards and along walkways. Low Voltage lighting will be provided within trees to supplement bollard lighting in courtyards.

Commercial component of this project shall be subject to use restrictions as established by the tenant association. The hours of operation for all tenants will be restricted to 6am to 10pm daily. There shall be no excessive noise generated by any of the tenants, as determined by the tenant association. Deliveries to the tenant spaces shall not be permitted outside of normal hours of operation.

BATHROOMS PER UNIT	
UNIT DESIGNATION	# OF BATHROOMS
1 BDRM COURTHOME	1
2 BDRM TOWNHOME	2.5
3 BDRM TOWNHOME	2.25
2 BDRM COURTYARD HOME	2
CARRIAGE LOFT	1
URBAN LOFT	1.5
URBAN LOFT 2	2.5
SIDEYARD HOME	1.75

TABULATED UNIT TYPES				
TYPE	UNITS INCLUDED	# OF UNITS WITHIN TYPE	# OF TYPES	TOTAL
TYPE A	1 BDRM COURTHOME/2 BDRM TOWNHOME	2	12	24
TYPE B	3 BDRM TOWNHOME	1	2	2
TYPE C	2 BDRM COURTYARD HOME	2	4	8
TYPE D	SIDEYARD HOME	1	1	1
TYPE E	COMMERCIAL-GARAGE/URBAN LOFT	1	12	12
TYPE F	COMMERCIAL-GARAGE/URBAN LOFT	1	1	1
TYPE G	3 GARAGES/CARRIAGE LOFT	1	6	6
				54



VICINITY MAP
 SCALE: NOT TO SCALE
K-14-Z

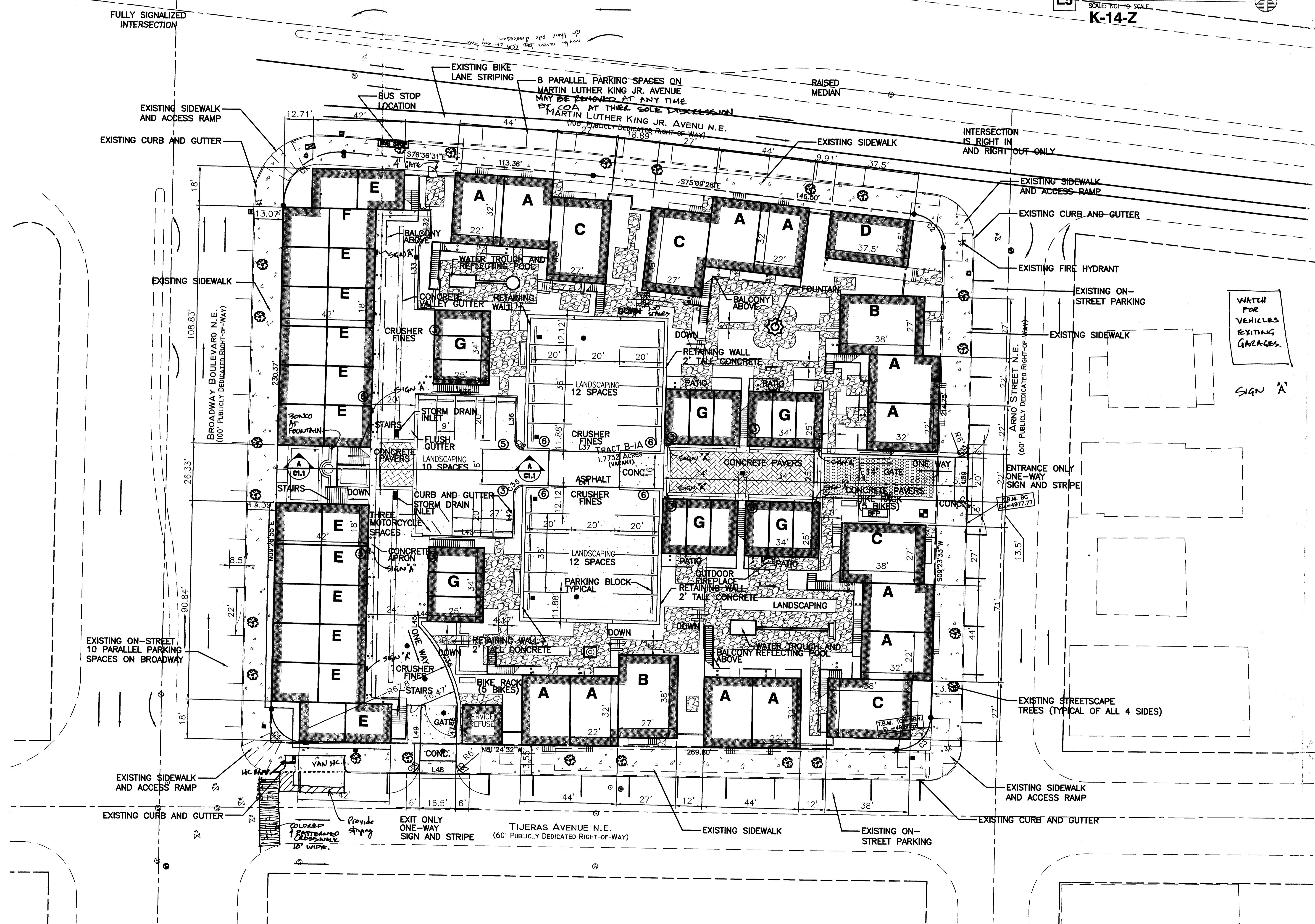
TABULATED SQUARE FOOTAGES			
UNIT DESIGNATION	SF	# OF UNITS	TOTAL SF
1 BDRM COURTHOME	704	12	8,448
2 BDRM TOWNHOME	1,408	12	16,896
3 BDRM TOWNHOME	2,052	2	4,104
2 BDRM COURTYARD HOME	2,050	8	16,400
CARRIAGE LOFT	1,700	6	10,200
URBAN LOFT (including 318 sf Commercial)	2,052	12	24,624
URBAN LOFT 2 (including 318 sf Commercial)	2,700	1	2,700
SIDEYARD HOME	1,234	1	1,234
		54	84,606

Parking Requirements
 Historic Albuquerque High Campus (3.5 city blocks)

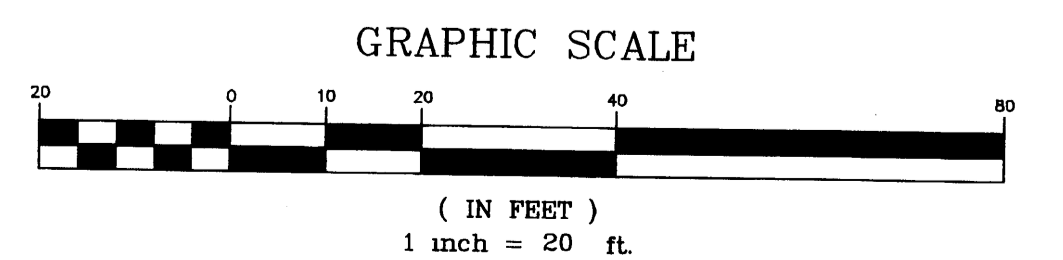
Building	1 bath homes	2 bath homes	Commercial sq ft	Parking Required
Old Main	43	0	0	41.9
Classroom	27	0	0	26.3
Amo Lofts	12	6	0	19.5
City Market Lofts	6	4	6,000*	22.8
Copper Lofts	6	6	0	13.7
Campus Lofts	8	8	0	18.2
Gym Lofts	39	15	0	57.5
Library	0	0	10,000	19.5
Manual Arts (per settlement)	N/A	N/A	N/A	95.0
Parking Garage Commercial	0	0	2,200	4.3
Belvedere	37	23	4,688	69.3
Total Required (rounded up)				389
Total Available				458
Garage/261	124			
On-Street	192			
On-Site/261	67			
Surplus				69

Parking Requirements

1 bath home	1.5
2 or more bath home	2
Commercial per 1000 sq ft	3
Discount for Transit	10%
Discount for Mixed-Use	25%



A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 SCALE: 1"=20'



PROJECT NUMBER: 1000184
 APPLICATION NUMBER: 06 DRB - 00245

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [redacted], and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	5-1-06 Date
<i>[Signature]</i> Water Utility Department	3/1/06 Date
<i>[Signature]</i> Parks and Recreation Department	3/1/06 Date
<i>[Signature]</i> City Engineer	3/1/06 Date
<i>[Signature]</i> *Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	8/2/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	08/10/06 Date

*Environmental Health, if necessary

LEGEND

[Pattern]	NEW ASPHALT
[Pattern]	NEW SIDEWALK (CONCRETE OR FLAGSTONE)
[Pattern]	DECORATIVE CONCRETE PAVERS
[Pattern]	CRUSHER FINE GRAVEL PARKING
[Pattern]	EXISTING CONCRETE SIDEWALK

DAVID A. ALBER
 STATE OF NEW MEXICO
 2-20-06

THE DESIGN GROUP
 ARCHITECTS - PLANNERS - INTERIOR DESIGN
 102 CENTRAL AVENUE, SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.242.4444 FAX: 505.242.4444

PROJECT NAME: BELVEDERE BROADWAY AND MLK ALBUQUERQUE, NEW MEXICO 87102

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

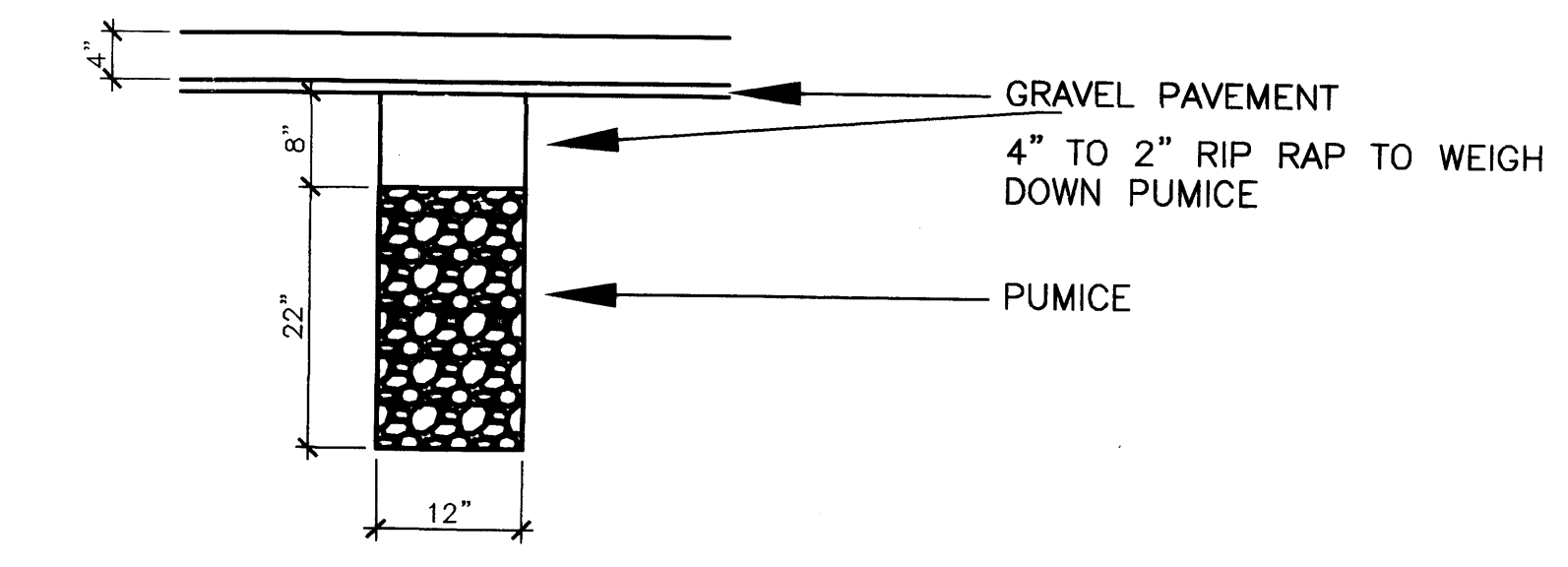
DESIGNED: DAA SCALE: 1"=30'
 CHECKED: DAA JOB NO: 2281
 DATE: 01.05.06 COMP FILE: 2280-C1.1

C1.1

1000184

LEGEND

	NEW ASPHALT
	NEW SIDEWALK (CONCRETE OR FLAGSTONE)
	DECORATIVE CONCRETE PAVERS
	3/8" CRUSHED GRAVEL PARKING
	EXISTING CONCRETE SIDEWALK
	SQUARE FOOTAGE OF PLANTER



PUMICE WICK DETAIL
SCALE: 1:16

PLANT LIST

The plants species listed below are the palette from which the Belvedere landscape will be created and are low or moderate water use per CABQ's list. The base plan shows tree and major shrub and vine placement (numbers listed below are minimums, actual totals to be determined in design development); the supporting groundcovers will be selected from species listed to complement the trees and shrubs, i.e. deciduous trees will have evergreen understory, evergreens will have deciduous understory.

- SHADE CANOPY - 1.5" TO 3" CALIPER
WH - WESTERN HACKBERRY (12)
CELTS OCCIDENTALS
- CP - CHINESE PISTACHE (8)
PISTACIA CHINENSIS
- SD - SHUMARD OAK (8)
QUERCUS SHUMARDII
- JST - JAPANESE SCHOLAR TREE (6)
STYPHNOLOBIUM
- EVERGREEN - 15 GALLON (female only)
SJ - "SPARTAN" JUNIPER (12)
JUNIPERUS CHINENSIS "SPARTAN"
- SP - STONE PINE (8)
PINUS PINEA
- ELO - ESCARPMENT LIVE OAK (11)
QUERCUS FUSIFORMIS
- SMALL ORNAMENTAL - 15 GALLON
TCH - THORNLESS COCKSPUR HAWTHORN (4)
CRATAEGUS PERSIMILIS "INERMIS"
- FB - FERNLEAF BUCKTHORN (6)
RHAMNUS FRANGULA "ASPLENIFOLIA"
- FIG - FIG (6)
FICUS CARICA
- CH - CHITALPA (2)
CHITALPA TASHKENTENSIS
- NH - NETLEAF HACKBERRY (3)
CELTS RETICULATA
- OR - OKLAHOMA REDBUD (6)
CERCIS RENIFORMIS
- CT - CHASTETREE (5)
VITEX AGNUS-CASTUS
- EVERGREEN SCREENING - 1 OR 5 GALLON
SB - SILVERBERRY (10, 5gal)
ELAEAGNUS PUNGENS
- BV - BURKWOOD (5, 5gal)
VIBURNUM BURKWOODII
- TBR - "TUSCAN BLUE" ROSEMARY (18, 1gal)
ROSMARINUS OFFICINALIS
- AR - ARIZONA ROSEWOOD (3, 5gal)
VAUQUELINIA CALIFORNICA
- MISC ACCENTS - 1 GALLON
CTS - COMPACT TEXAS SAGE (13, 1gal)
LEUCOPHYLLUM FRUTESCENS "COMPACTA"
- LM - LITTLE LEAF MOCKORANGE (4, 1gal)
PHILADELPHUS MICROPHYLLUS
- GROUNDCOVER/COLOR SHRUBS - 1 OR 5 GALLON
RCR - "RED CASCADE" ROSE (20, 1gal)
ROS WICHURIANA X "FLORADORA"
- BRU - "BLUE RUC" SPREADING JUNIPER (13, 5gal)
JUNIPERUS WILTONII
- CM - COMPACT MAHONIA (18, 5gal)
MAHONIA AQUAFOLIA "COMPACTA"
- LLS - "LYNN'S LEGACY" SAGE (18, 5gal)
LEUCOPHYLLUM LANGMANIAE
- EC - "CORAL BEAUTY" AND "EICHHOLZ" COTONEASTER (14, 5gal)
C. DAMMERI CULTIVARS
- GC - GRAYLEAF COTONEASTER (28, 1gal)
COTONEASTER BUXIFOLIUS
- GLS - "GRO-LOW" SUMAC (8, 1gal)
Rhus ARAMATICA "GROW LOW"
- H - INDIA HAWTHORN (10, 1gal)
RAPHIOLEPIS INDICA
- PRR - PURPLE ROCK ROSE (14, 1gal)
CISTIS X PURPUREUS
- CL - "GROSSO" LAVENDER (31, 1gal)
LAVANDULA X INTERMEDIA
- SM - SILVER MORNINGGLORY (14, 1gal)
CONVOLVULUS CNEORIUM
- VINES - 1 OR 5 GALLON
CJ - CAROLINA JESSAMINE (6, 5gal)
GELSEMIUM SEMPERVIRENS
- EI - "ENGLISH IVY" (3, 1gal)
HEDERA HELIX
- LBR - LADY BANK'S ROSE (3, 5gal)
ROSA BANKSIA LUTEA
- W - WISTERIA (9, 5gal)
WISTERIA SINENSIS
- SMALL SHRUBS AND HERBACEOUS GROUNDCOVERS - 1 QUART/1 GALLON
DP - DWARF PLUMBAGO (86, 1qt)
CERATOSTOMA PLUMBAGINOIDES
- WG - WALL GERMANDER (44, 1gal)
TEUCRIUM CHAMAEDRY'S
- CFD - GIANT FOUR O'CLOCK (22, 1gal)
MIRABILIS MULTIFLORA
- EGC - EVERGREEN GROUND COVER
DGC - DECIDUOUS GROUND COVER
- YM - YERBA MANSA (48, 1gal)
ANEMOPSIS CALIFORNICA
- PR - PERIWINKLE (67, 1qt)
VINCA MINOR
- YK - YARROW (123, 1qt)
ACHILLEA MILEFOLIUM CULTIVAR
- VBW - VARIEGATED BISHOP'S WEED (27, 1qt)
AEGOPODIUM PODAGRARIA "VARIEGATUM"
- SBF - "SISKIYOU BLUE" IDAHO FESCUE (25, 1qt)
FESTUCA IDAHOENSIS CULTIVAR

LANDSCAPE NARRATIVE

All planting spaces will be mulched to help retain soil moisture and suppress weeds. Because the paved patio spaces and roof runoff will be harvested to water the landscape, mulches will be fine gravels in most planters, heavier stone where greater weight is needed to withstand storm flows, and pecan shells where there is no storm water flow to displace the mulch. Within two growing seasons most of the mulched area will be covered with maturing plants.

See attached plan and plant legend for species selection and density of planting. Since shaded patio and courtyard spaces are central to the design concept, medium and low water requiring trees will be used to create dappled the shade canopy and the trees will be surrounded with drip irrigated groundcovers to ensure that they have space and moisture to sustain their mature size.

Also central to the concept is creating a series of garden rooms with vines and medium to large shrubs dividing large spaces, with planting dense enough to muffle sound and disburse light.

Only the patio paving, sidewalks to residences, narrow garage entrance aprons and entry drive aprons will be impervious pavement. Parking courtyards and driveways are permeable crushed stone and crusher fines. The parking courtyards contain pumice wicks to harvest storm drainage to support the tree canopy shading them and planting beds will capture runoff from adjacent patio surfaces and controlled roof runoff. The grading and drainage plan is designed to capture and divert excess storm runoff.

Impervious surfaces include 8700 sqft total plaza between D Units, Broadway entrance and all courtyard patios per plan. Permeable surfaces include 16600 sqft parking courtyards and driveways including 4000 sqft gravelpave to prevent soil compaction around trees in the parking courtyards. Pumice wicks: 12"x30"x 30 to 40' trench filled with 2" pumice covered on top with geotextile to filter sediment and a 6" layer of cobblestone to prevent floating when the wicks fill with runoff (specs to be approved or modified by engineer)

10000 sqft Desert rose or Sunburst crusher fines courtyard paths and mulch in plazas per plan
7500 sqft Santa Fe brown 7/16" or larger gravel and 4000 sqft pecan shells courtyard and exterior mulches

Extant street trees around the perimeter of the site will be maintained or replaced with the addition of supporting groundcovers from the plant legend.

Although planters and parking courtyard trees will have the benefit of harvested storm water, since this will not be available consistently enough to establish plants especially in drought years, drip irrigation will be used to establish and maintain plants. Trees will have multiple emitters based on the size of tree. Surrounding plants will also have emitters size and numbers based on size and species of plants, combined so surrounding plants support tree root growth as the trees mature.

There will be no turf areas in the Belvedere. The oasis areas will be Moorish-inspired trickling water features totaling less than 300 square feet in surface area.

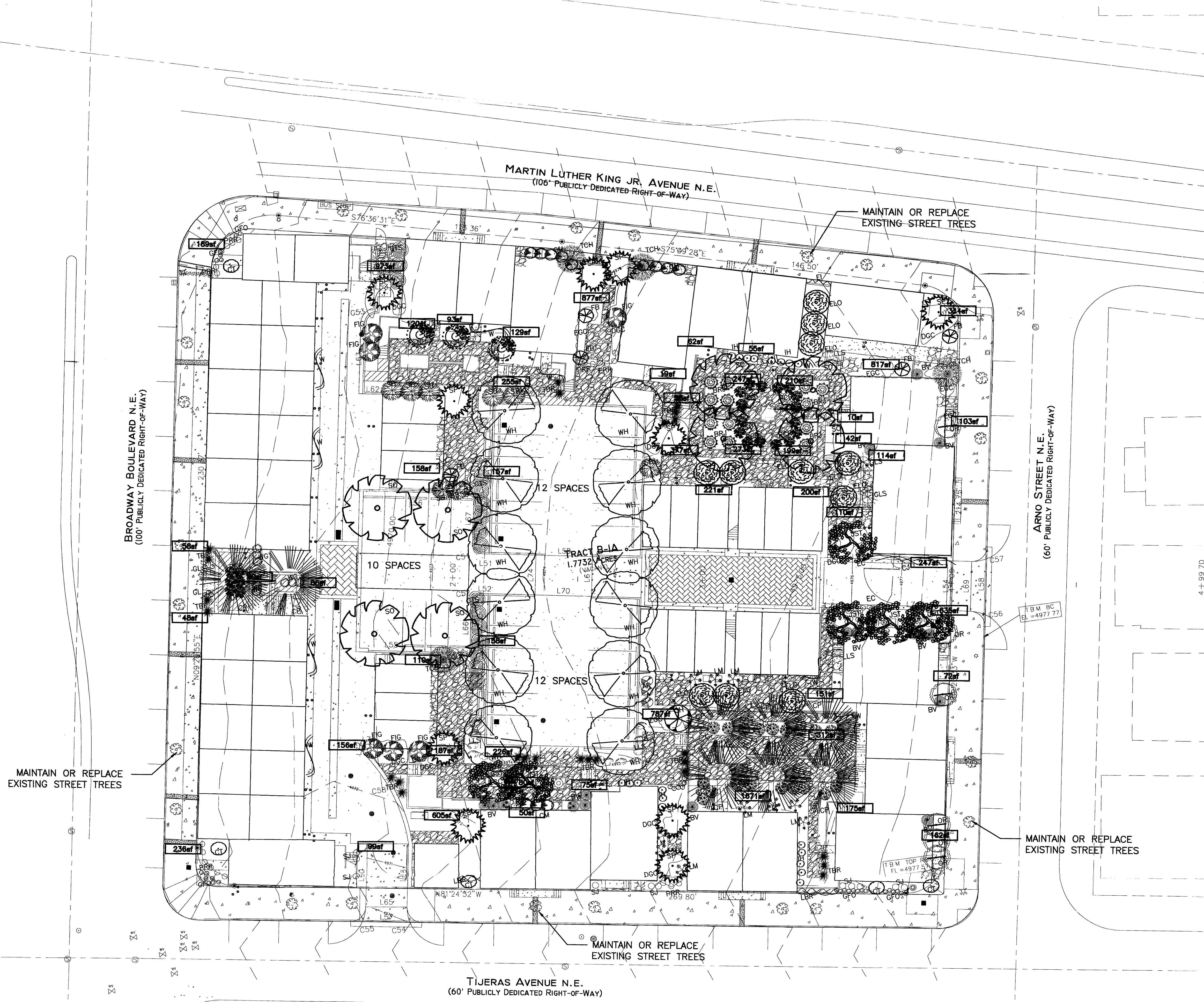
The condominium homeowner's association will oversee maintenance paid through owner fees.

The landscape features low to moderate water requiring plants, grouped to facilitate water harvesting and drip irrigation; mulched to reduce moisture loss.

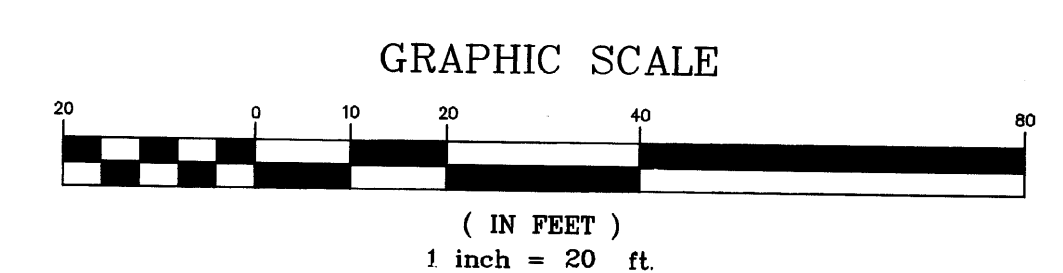
SITE DATA

GROSS LOT AREA	77,241 SF
LESS BUILDING	30,658 SF
NET LOT AREA	46,583 SF

REQUIRED LANDSCAPING	15% OF NET LOT AREA	11,586 SF
PROPOSED LANDSCAPE		12,605 SF
PERCENT OF NET LOT AREA		27%



A1 LANDSCAPING PLAN FOR BUILDING PERMIT
SCALE: 1"=20'



THE DESIGN GRG
ARCHITECTS - PLANNERS - INTERIORS
1000 CENTRAL AVENUE, SUITE 300
ALBUQUERQUE, NEW MEXICO
PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:
BELVEDERE
BROADWAY AND MLK
ALBUQUERQUE, NEW MEXICO 87102

REVISIONS	
No.	DATE DESCRIPTION

SHEET TITLE:
LANDSCAPING
PLAN FOR
BUILDING PERMIT

DESIGNED: DGP	SCALE: 1"=20'
CHECKED: DGP	JOB NO: 2201
DATE: 01 05 06	CONTRACT: 2201-11

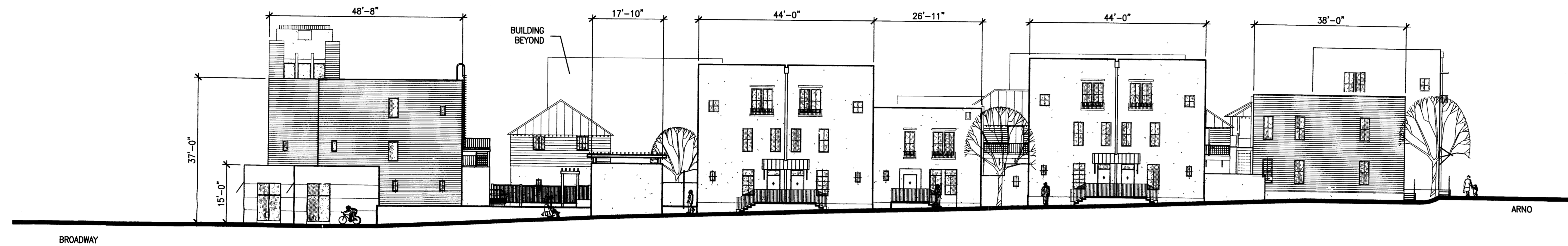
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GENERAL NOTES

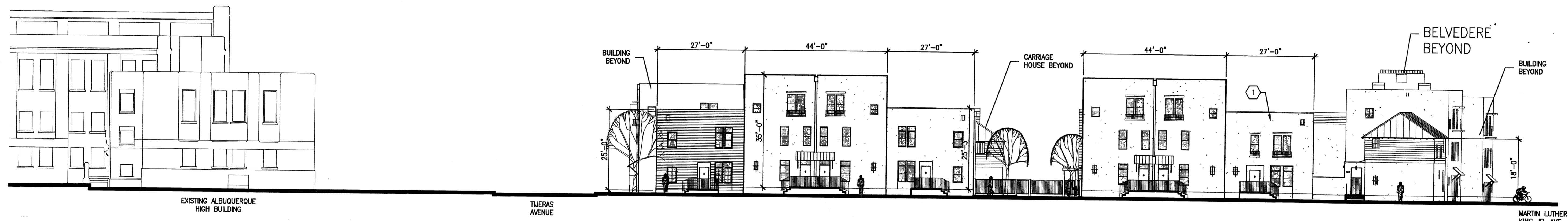
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KEYED NOTES

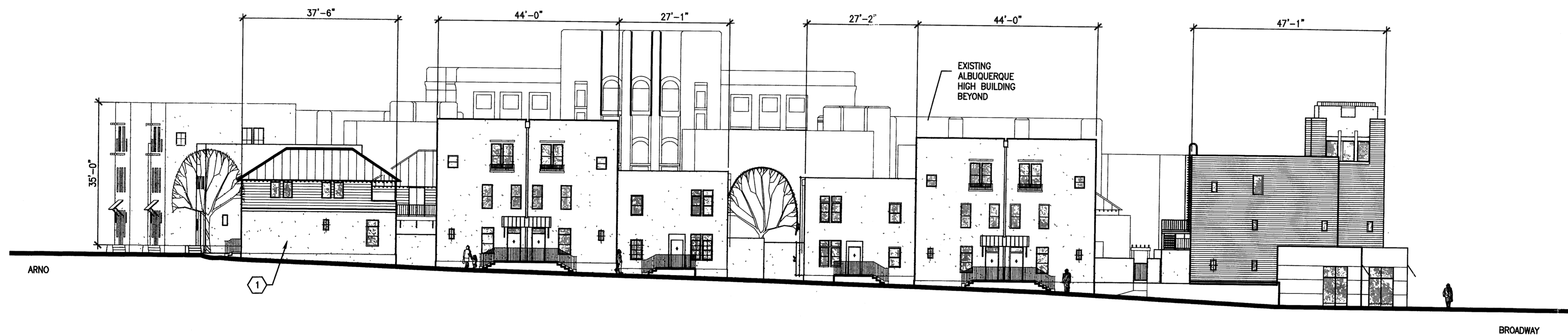
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- 2. PAINT
- 3. BRICK
- 4. CONCRETE



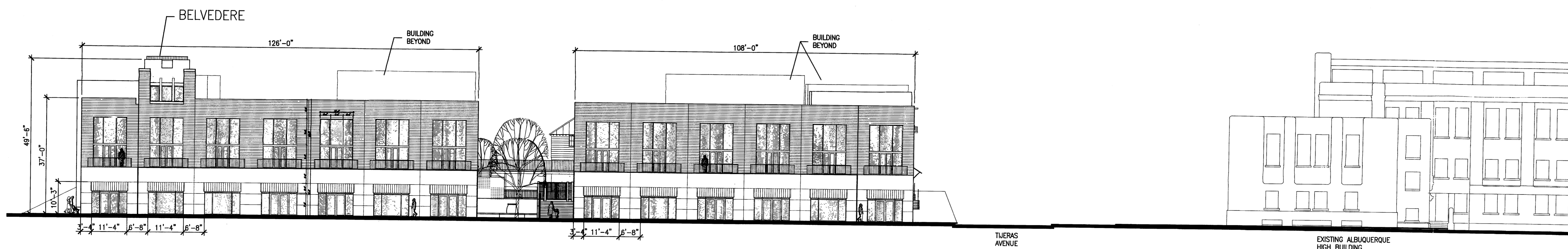
D1 TIJERAS AVE. NE ELEVATION
SCALE: 1/16" = 1'-0"



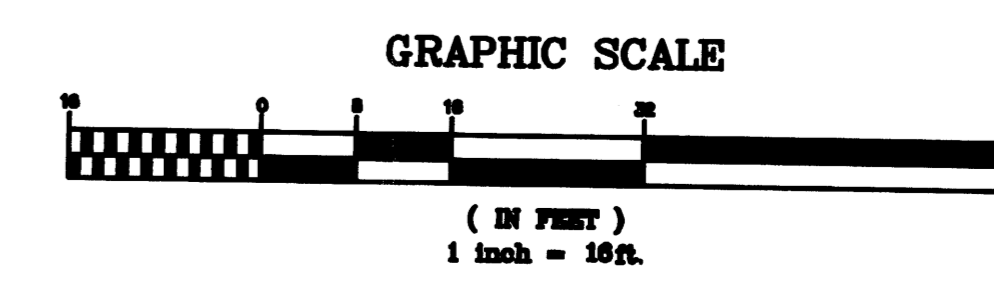
C1 ARNO NE ELEVATION
SCALE: 1/16" = 1'-0"



B1 MARTIN LUTHER KING JR. AVE. NE ELEVATION
SCALE: 1/16" = 1'-0"



A1 BROADWAY ELEVATION
SCALE: 1/16" = 1'-0"



THE DESIGN GROUP
ARCHITECTS PLANNERS INTERIOR DESIGN
223 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.4480 FAX: 505.242.4881

PROJECT NAME:
BELVEDERE
BROADWAY and MLK
ALBUQUERQUE, NEW MEXICO 87102

No.	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR ELEVATIONS

DESIGNED: REG SCALE: 1/16" = 1'-0"
CHECKED: JOB NO: 2281
DATE: 01.05.06 COMP. FILE: 2281_A2.1

A2.1

GENERAL NOTES

A. MATERIALS AND FINISHES ARE INDICATED ON PHOTO EXHIBIT N.

KEYED NOTES

- 1. STUCCO
- 2. PAINT
- 3. BRICK
- 4. CONCRETE



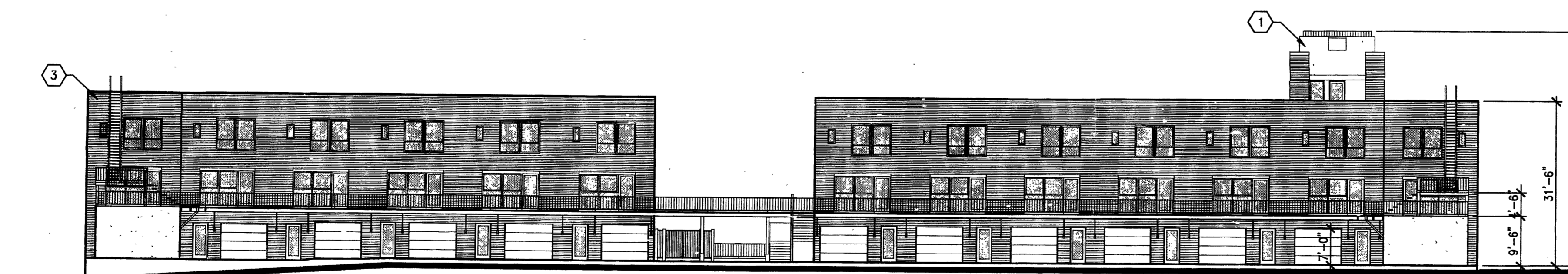
D1 COURTYARD ELEVATION - LOOKING NORTH
SCALE: 1/16" = 1'-0"



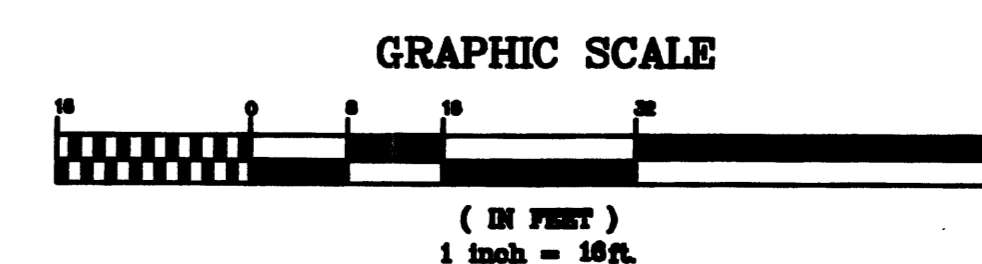
C1 COURTYARD ELEVATION - LOOKING EAST
SCALE: 1/16" = 1'-0"



B1 COURTYARD ELEVATION - LOOKING SOUTH
SCALE: 1/16" = 1'-0"



A1 COURTYARD ELEVATION - LOOKING WEST
SCALE: 1/16" = 1'-0"



THE DESIGN GROUP
ARCHITECTS PLANNERS INTERIOR DESIGN
262 CENTRAL AVENUE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.4488 FAX: 505.242.4882

PROJECT NAME:
BELVEDERE
BROADWAY and MLK
ALBUQUERQUE, NEW MEXICO 87102

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
COURTYARD ELEVATIONS

DESIGNED: REG SCALE: 1/16" = 1'-0"
CHECKED: JOB NO: 2281
DATE: 01.05.08 COMP. FILE: 2281_A2.2

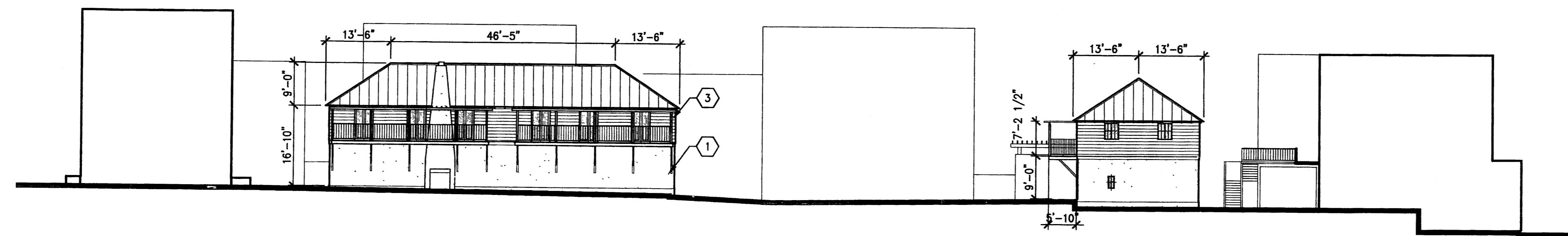
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GENERAL NOTES

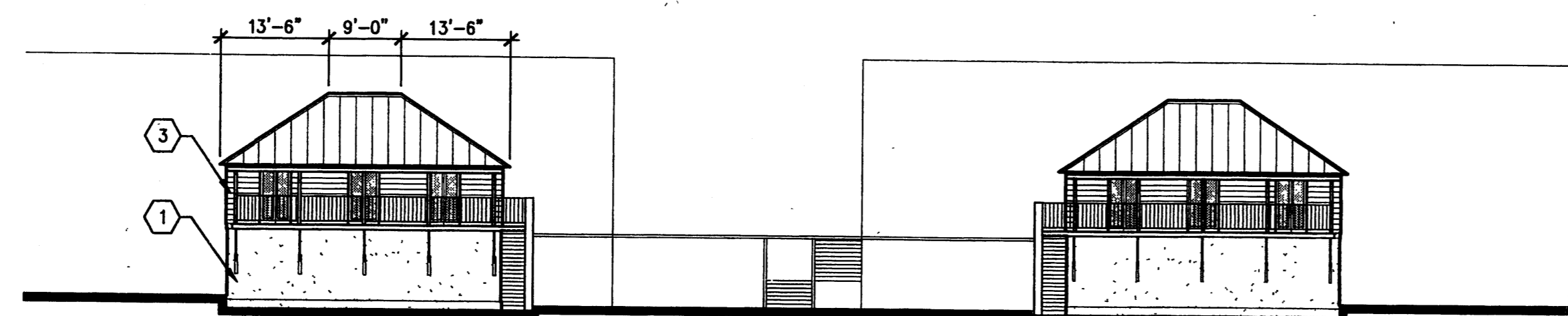
A. MATERIALS AND FINISHES ARE INDICATED ON PHOTO EXHIBIT N.

KEYED NOTES

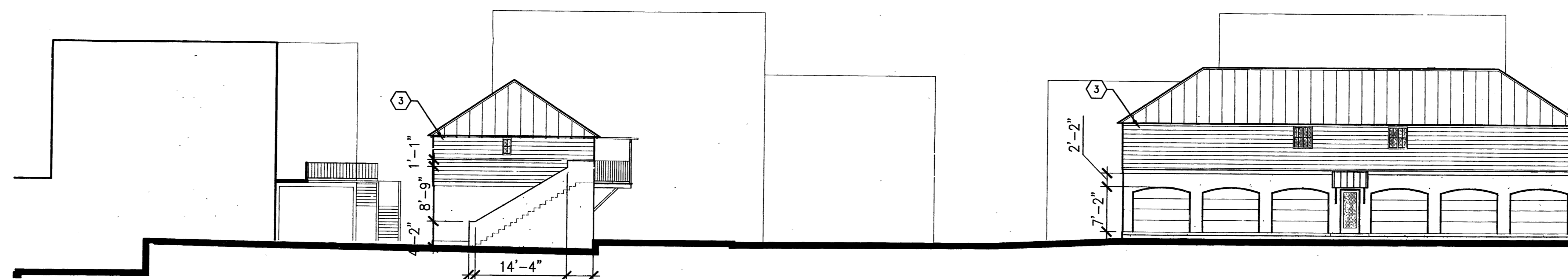
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- 2. PAINT
- 3. BRICK
- 4. CONCRETE



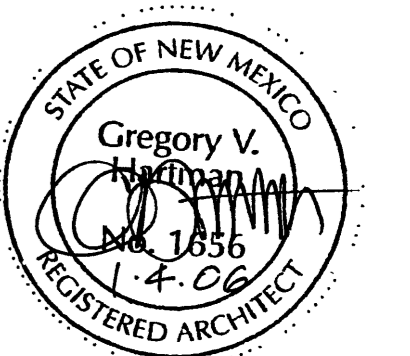
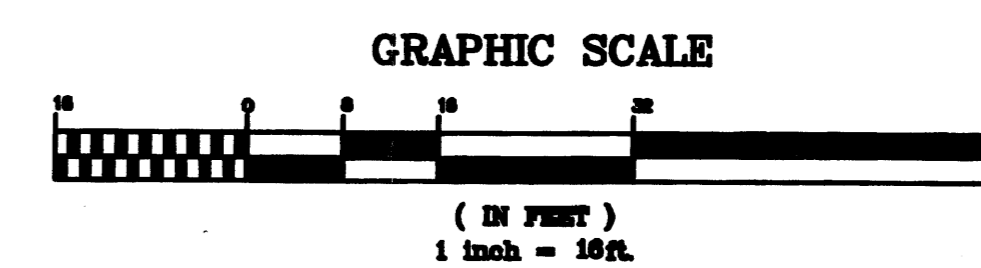
C1 CARRIAGE LOFT ELEVATION - LOOKING SOUTH
SCALE: 1/16" = 1'-0"



B1 CARRIAGE LOFT ELEVATION - LOOKING WEST
SCALE: 1/16" = 1'-0"



A1 CARRIAGE LOFT ELEVATION - LOOKING NORTH
SCALE: 1/16" = 1'-0"



THE DESIGN GROUP
ARCHITECTS - PLANNERS - INTERIOR DESIGN
300 CENTRAL AVENUE, SUITE 300
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6440 FAX: 505.242.6441

PROJECT NAME:
BELVEDERE
BRICKWAY and MLK
ALBUQUERQUE, NEW MEXICO 87102

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
COURTYARD ELEVATIONS

DESIGNED: REQ **SCALE:** 1/16" = 1'-0"
CHECKED: **JOB NO.:** 2281
DATE: 01.05.06 **COMP. FILE:** 2281_A2.3

A2.3

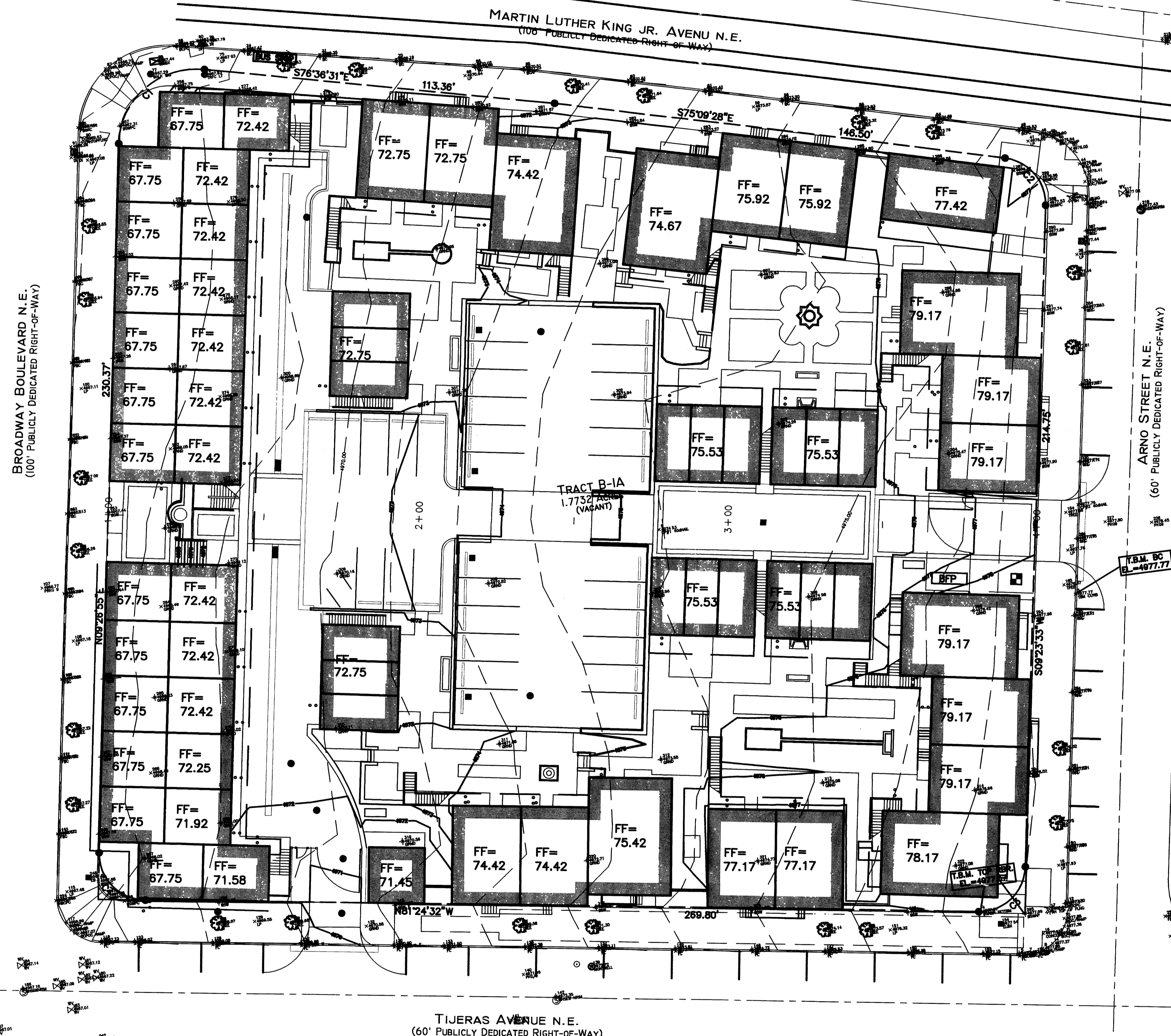
DRAINAGE NARRATIVE

The property currently flows from East to the West and into the Broadway Boulevard Storm drainage collection system. There are several storm drain inlets located in Broadway, Martin Luther King Jr. Avenue, and Tijeras Avenue that have stub outs to accept storm drainage runoff from this site. The site was utilized as a parking lot for Albuquerque High School and had two building located along Arno Street. The site a few years ago was cleared of unused structures and was utilized as a staging area during the renovations and improvements at Albuquerque High School.

The proposed improvements include construction of multiple story condominium buildings primarily along the perimeter of the site. Parking and drive isles are located on the interior of the site. The drainage concept is to harvest as much water as possible through passive means. We would like to utilize pumice wicks (horizontal french drains filled with a porous media) scattered throughout the site. This will greatly reduce the runoff volumes and therefore the erosive power of the rain storms in the summer months. These pumice wicks will slowly percolate the excess runoff into the ground for use by the established landscaping. The parking areas will be crusher fines that is pervious and will reduce the runoff in relation to a fully paved condition.

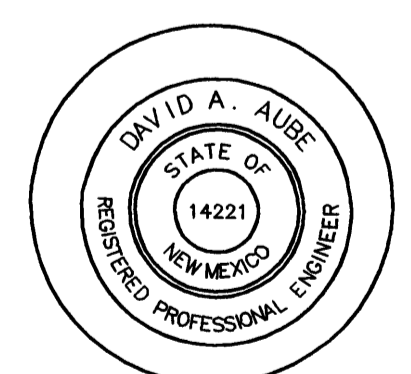
To prepare the development for the 100 year 6 hour rainfall event, storm drain catch basins will be constructed in the drive isles and parking areas. The grate elevation will be elevated slightly above the the opening for the pumice wicks to allow the catch basin to provide the excess runoff overflow protection required. The outlet for storm drainage collection system will be into the existing stub outs and possibly a new connection into the existing storm drainage system in Broadway Boulevard.

Any roof drains located on the public sidewalk will have a sidewalk culvert and will require a Special Order 19 (SO19) permit issued through the Hydrology department.



LEGEND

- 5031.05 FC PROPOSED SPOT ELEVATION
- 5031.55 TC PROPOSED SPOT ELEVATION
- FL = 5031.05 PROPOSED SPOT ELEVATION
- EXISTING CONTOURS
- - - PROPOSED CONTOURS



THE DESIGN GROUP
 ARCHITECTS PLANNERS INTERIOR DESIGN
 302 CENTRAL AVENUE SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.242.4480 FAX: 505.242.4481

PROJECT NAME:
 BELVEDRE
 BROADWAY and MLK
 ALBUQUERQUE, NEW MEXICO 87102

REVISIONS		
No.	DATE	DESCRIPTION

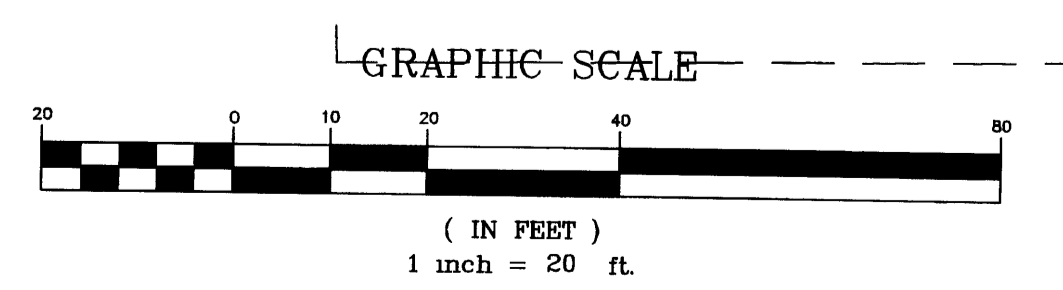
SHEET TITLE:
OVERALL SITE GRADING PLAN

DESIGNED: DAA SCALE: 1"=30'
 CHECKED: DAA JOB NO: 2281
 DATE: 01.05.06 COMP. FILE: 2280-C1.1

C2.1

A1 OVERALL SITE GRADING PLAN

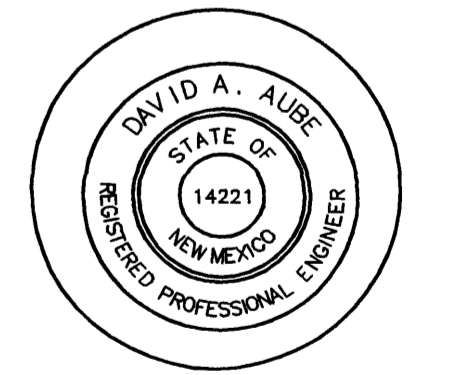
SCALE: 1"=20'



GENERAL NOTES

- A. DOMESTIC WATER SUPPLIES SHALL BE PROVIDED BY A PRIVATE WATER SYSTEM DOWNSTREAM OF A MASTER METER. CONDO OR TENANT ASSOCIATION SHALL BE RESPONSIBLE FOR WATER BILL AND MAINTENANCE OF THE PRIVATE SYSTEM. LANDSCAPING SHALL HAVE A PRIVATE WATER METER AND BACKFLOW PREVENTION. SEE LANDSCAPING AND IRRIGATION PLANS FOR CONNECTION POINT AND SIZE.
- A.A. BUILDINGS ARE FULLY SPRINKLED WITH THE SUPPLY BEING PROVIDED FROM THE DOMESTIC SUPPLY LOOP. WATER METER WILL BE A PROTECTUS METER THAT HAS A LARGE DIAMETER METER FOR FIRE PROTECTION AND A SMALLER METER FOR THE DOMESTIC USES.
- B. SANITARY SEWER SERVICES SHALL BE A PRIVATE SYSTEM WITH A SINGLE OUTLET POINT INTO AN EXISTING SANITARY SEWER STUB. CONDO OR TENANT ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE WASTE COLLECTION SYSTEM.

NOTES:
 12'
 ALL NEW LIGHT POLES TO BE LESS THAN 12' TALL WITH FULL CUT OFF SHIELDS TO COMPLY WITH NIGHT SKY ORDINANCE



THE DESIGN GROUP
 ARCHITECTS • PLANNERS • INTERIOR DESIGN
 202 CENTRAL AVENUE SE SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.242.6800 FAX: 505.242.6891

PROJECT NAME:
 BELVEDRE
 BROADWAY and MLX
 ALBUQUERQUE, NEW MEXICO 87102

NO.	DATE	DESCRIPTION

SHEET TITLE:
 OVERALL
 SITE UTILITY
 PLAN

DESIGNED: DAA SCALE: 1"=30'
 CHECKED: DAA JOB NO. 2281
 DATE: 01/05/06 COMP. FILE: 2290-CT-1

C3.1

A1 OVERALL SITE UTILITY PLAN

SCALE: 1"=20'

