

**General Notes**

- Lot A-1, Lot B-1 & Lot C-1 will be subdivided into 11 new tracts. New property lines on several tracts outline existing building footprints.
- Future development of the north tract (Proposed tracts B-1a and B-1b) shall be complementary with the established high school campus in the following manner:
  - Pedestrian connections shall ensure convenient linkage to the other buildings.
  - The landscaping treatment shall be similar or complementary, based on a similar plant palette, design treatment and hardscape elements.
  - Building architecture shall be complementary with existing campus structures (Historic and New), employing a combination of architectural similarities which may include: Height, massing, scale, entry design, parapet features and roofs, color and materials, and lighting, along with window size, type and spacing. The intent is not to duplicate architectural styles or features, but to ensure visual and functional compatibility.
  - Lighting treatment shall be consistent with the remainder of the established campus.
  - All phases of development shall be sensitive to the established campus context and the surrounding built environment.
- No freestanding telecommunications towers or antenna are allowed; antenna shall be integrated into building architecture.
- Perimeter walls shall comply with the City's Wall Guidelines document. Chainlink fencing shall only be of a temporary nature and used only in association with construction projects.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- Monument signs are the only type of freestanding signage allowed. Monument sign construction must integrate with campus building material. Signs are limited to 10 feet in height and 50 sq. ft. per sign face. A maximum of two monument signs are allowed along any exterior road frontage of the high school campus. Freestanding signage along non-arterial streets and public access easements is limited to one monument-type directional sign per block and limited to 6 feet in height and 25 sq. ft. per sign face.
- Building-mounted signs for premises over 5,000 sq. ft. of net leasable area shall not exceed 25 sq. ft.; building-mounted signs shall not exceed 10 sq. ft. for premises under 5,000 sq. ft. of net leasable area; building-mounted signs are limited to 4 sq. ft. where they face property zoned for single-family residential use. Illumination is limited to light sources external to the sign; no panel signs, neon or internally-illuminated letters are permitted. A maximum of one building-mounted sign for each frontage the premise faces is permitted.
- The top of all rooftop equipment, including venting stacks, shall be below parapet height and screened from view from nearby properties. All ground mounted HVAC and venting stacks equipment shall be screened by screen walls with top of equipment below top of screen wall.
- Parking on both sides of the streets and access easements adjacent to the project, as indicated on the submitted site plans, shall be permitted.
- A minimum 10 foot wide textured pedestrian crossing of a material other than asphalt, shall occur at all drive and road crossings.

**Phasing**

- The term "phasing" means having distinct stages of development or a systematic step-by-step process until completion of the project. The following is our anticipation of these phases, but it is not intended to be "set in stone". Many of the commercial/retail/office/warehouse units, whether they surround the North or South parking structures, may occur at any time during the process after the parking structures are built. This is not unlike the way our original Downtown was developed. The interior renovations in the Gymnasium and Library may also be accelerated or moved to a later time.
- Phase A - Includes:**
- the redevelopment of the Old Albuquerque High School campus including the Building Plaza, elevated Central Courtyard and the elevated terrace facing Broadway on the west side of Old Main;
  - the renovation of the exterior skins of Old Main, Classroom, Library and Gymnasium Buildings;
  - the interior remodeling of the Old Main and Classroom Building onto loft apartments and the interior remodeling of the library into office space;
  - the construction of the 200 car parking garage on the south lot including minor landscaping; and
  - the demolition of the two non-contributing structures on the north lot.
- Future Phases are:**
- Phase B - the interior remodel of the Gymnasium.
- Phase C - the buildout of the wrapper buildings on the south, west and north sides of the south parking structure.
- Phase D - the construction of the 325 car parking garage on the north lot including minor landscaping.
- Phase E - the buildout of the wrapper buildings on the north, east, south and west sides of the north parking structure.
- Phase F - the development of the future building site on the east side of the main campus between the Gymnasium and Manual Arts.

**Project Data**

**A. LEGAL DESCRIPTION**  
LOT A-1, B-1 and C-1 of the BANNER SQUARE SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

**AREAS**  
TOTAL TRACT AREA: 6.9918 ACRES 277,856 SQFT  
BUILDING FOOTPRINT: 84,241 SQFT  
HARD SURFACE AREA: 32,058 SQFT  
LANDSCAPE AREA: 161,557 SQFT

**B. LANDSCAPE AREA REQUIREMENTS:**  
NET LOT AREA (TOTAL TRACT-BLDG SF): 183,615 SQFT  
LANDSCAPE REQUIRED (15%): 28,042 SQFT  
LANDSCAPE PROVIDED: 161,557 SQFT

**C. PROPOSED USE**  
R-1 HOTEL GROSS SF: 46,087 SQFT  
R-1 RESIDENTIAL GROSS SF: 126,702 SQFT  
B-BUSINESS GROSS SF: 101,813 SQFT  
P-PARKING GROSS SF: 183,716 SQFT

**D. PARKING PHASE 1**  
OLD MAIN CLASSROOM: 71  
MANUAL ARTS: 33  
TOTAL PARKING: 107

**TOTAL REQUIRED PARKING STALLS:** 157  
**DEDUCTION FOR LOCATION ALONG MAJOR TRANSIT CORRIDOR: 10% (-16)** 141  
**DEDUCTION FOR TRANSIT TROLLEY STOP: 5%** 137  
**REQUIRED PARKING STALLS PROVIDED:** 246

**NOTE:** Development Agreement between the City of Albuquerque, New Mexico and Paradigm & Company, L.L.C., a New Mexico Limited Liability Company. See Section 412.  
City Investments: Parking Garages shall accommodate not more than 525 parking spaces, the exact number to be determined by the Project Plan.

**E. Special Agreement allocates 53 parking spaces total for Manual Arts. Based on a split of property into 1/3 and 2/3 shares. Private Owner would get 1/3 share or 18 spaces.**

**F. H.C. PARKING REQUIRED:** 8  
**H.C. PARKING PROVIDED:** 8  
**BICYCLE PARKING REQUIRED (120 AUTOS):** 30  
**BICYCLE PARKING PROVIDED:** (5 racks) 30

**TRACT / LOT NAMES ACRES USES BUILDING GSF F.A.R.**

TRACT B-1A	2.103	Common Area	0.0	NA
A-3 (Old Main Building)	.365	Residential Office (100' 1st floor)	49,178	3.13
A-4 (Classroom Building)	.204	Residential Office (100' 1st floor)	26,459	3.04
A-5 (Library)	.153	Office	14,978	2.29
A-6 (Gymnasium)	.473	Undetermined Proposed Residential Proposed Commercial/Office	56,503	2.75
A-7 (Gymnasium)	.172	Undetermined	7,258	NA
TRACT B-1a	1.773	Parking Structure	0.0	NA
(*Parking Structure 69,735 GSF, F.A.R.=2.48 ACS/ TRACT B TOTAL F.A.R.=2.60 ACS)				
TRACT C-1a	.553	Parking Structure	0.0	NA
TRACT C-2	.397	Residential	25,833	1.48
TRACT C-3	.185	Office	19,771	1.14
(*Parking Structure 72,000 GSF, F.A.R.=3.74 ACS / TRACT C TOTAL F.A.R.=2.84 ACS)				
TOTAL	6.379	ACS	301,190	GSF 1.12

CASE NUMBER: Z-1002184-1  
Site Development Plan APP# 20450-0000-01167  
For Subdivision Approval 00123-0000-00193

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON March 30 2000

AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH

*Shelley Dean* 9-06-08  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

*William E. Condit* 9/4/08 DATE  
PARKS & RECREATION SERVICES DEPARTMENT Recreation

*Roger A. Khan* 9/6/08 DATE  
PUBLIC WORKS, WATER UTILITIES DIVISION

*Gregory J. Klein* 7/19/08 DATE  
CITY ENGINEER, ENGINEERING DIVISION / MAN-14

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

*Shelley Dean* July 17-01  
CITY PLANNER, ALBUQUERQUE / ENVIRONMENTAL PLANNING DIVISION  
PLC (10706) 4/98

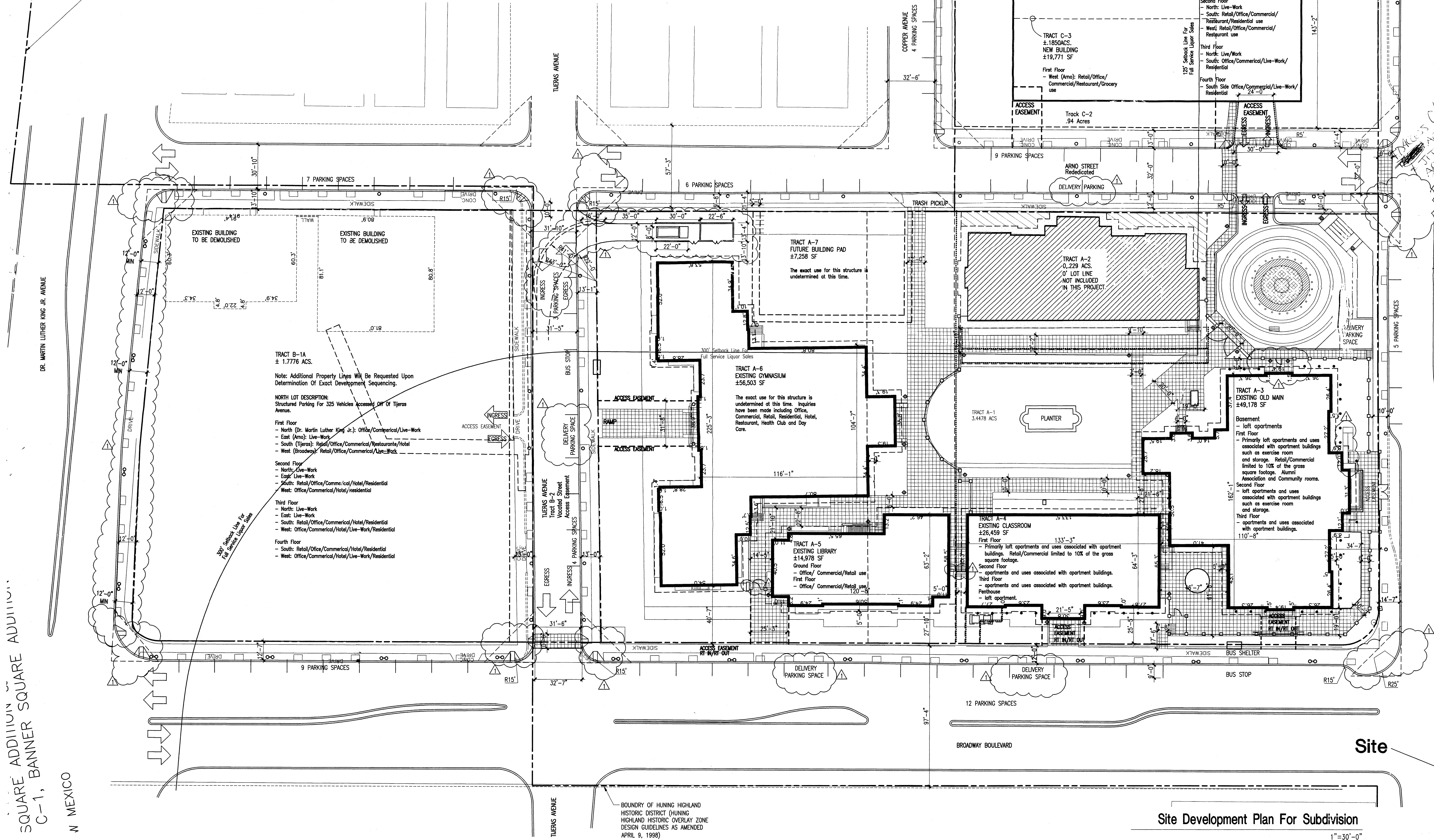
archi. interior. planning engineering

**Dekker Perich Sabatini**

6801 Jefferson NE Suite 100 Albuquerque, NM 87109  
505 761-9700 fax 761-4222 dps@dpsoaq.com

architect

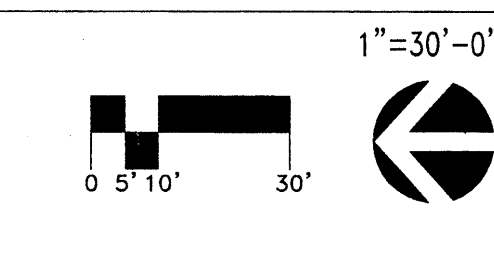
BOUNDARY OF HUNING HIGHLAND HISTORIC DISTRICT (HUNING HIGHLAND HISTORIC OVERLAY ZONE DESIGN GUIDELINES AS AMENDED APRIL 9, 1998)



PROJ 1001184

Site

Site Development Plan For Subdivision



Vicinity Map  
Zone Atlas Page K-14-Z

engineer  
project

DRB SUBMITTAL

Old Albuquerque High School Renovation  
Albuquerque, New Mexico

revisions

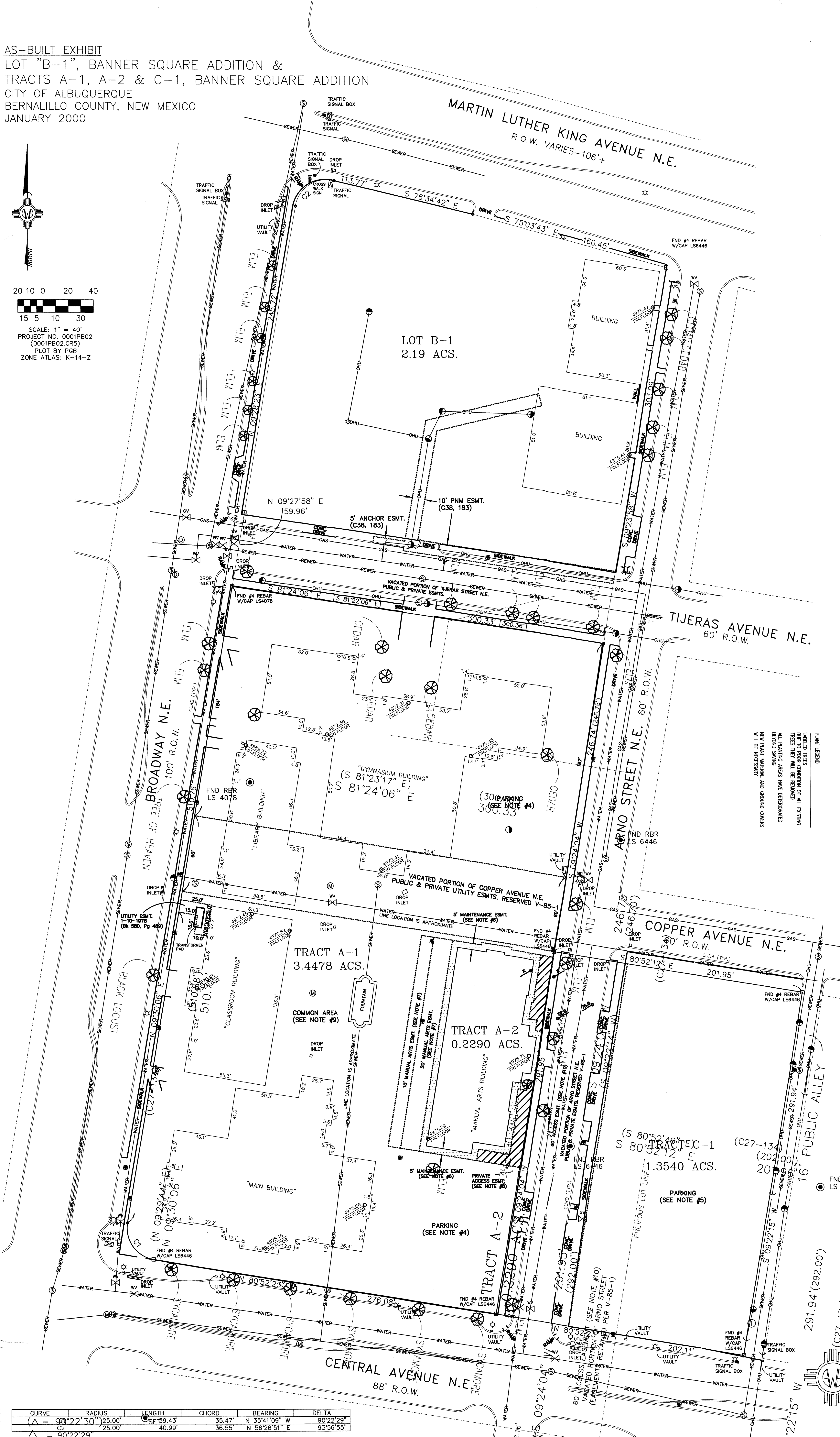
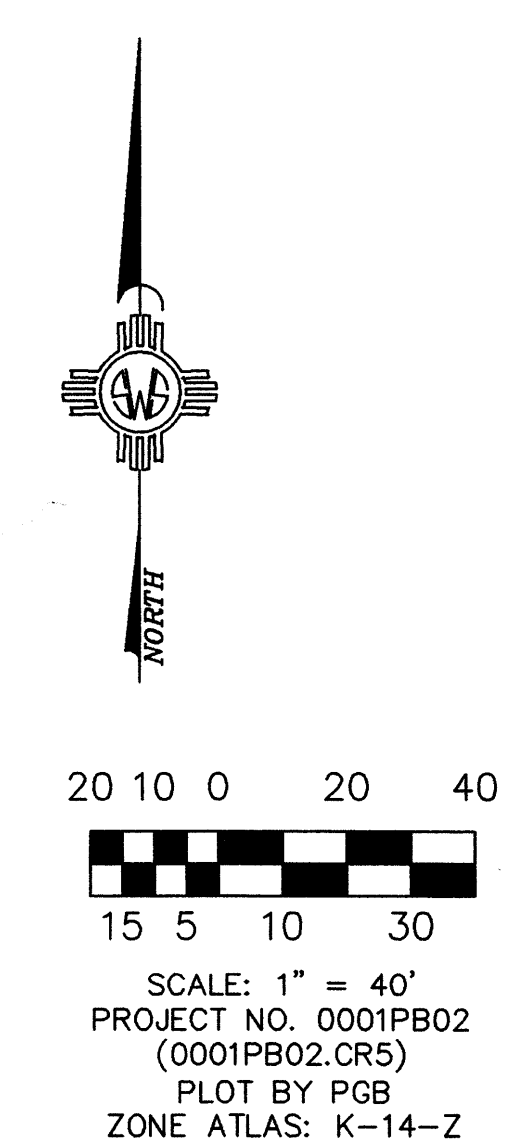
plotted: 07-13-2000 2:48P  
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drawn by JN  
reviewed by TF  
date 8-31-00  
project no. 99111  
drawing name Site Development Plan for Subdivision

sheet no. 1



AS-BUILT EXHIBIT  
 LOT "B-1", BANNER SQUARE ADDITION &  
 TRACTS A-1, A-2 & C-1, BANNER SQUARE ADDITION  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY 2000



Legal Description  
 Tracts A-1, A-2 and C-1, Banner Square Addition as the same is shown and designated on said plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 24, 1997 in Volume 97C, Folio 60; together with Lot "B-1", Banner Square Addition as the same is shown and designated on said plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 29, 1989 in Volume C38, Folio 183.

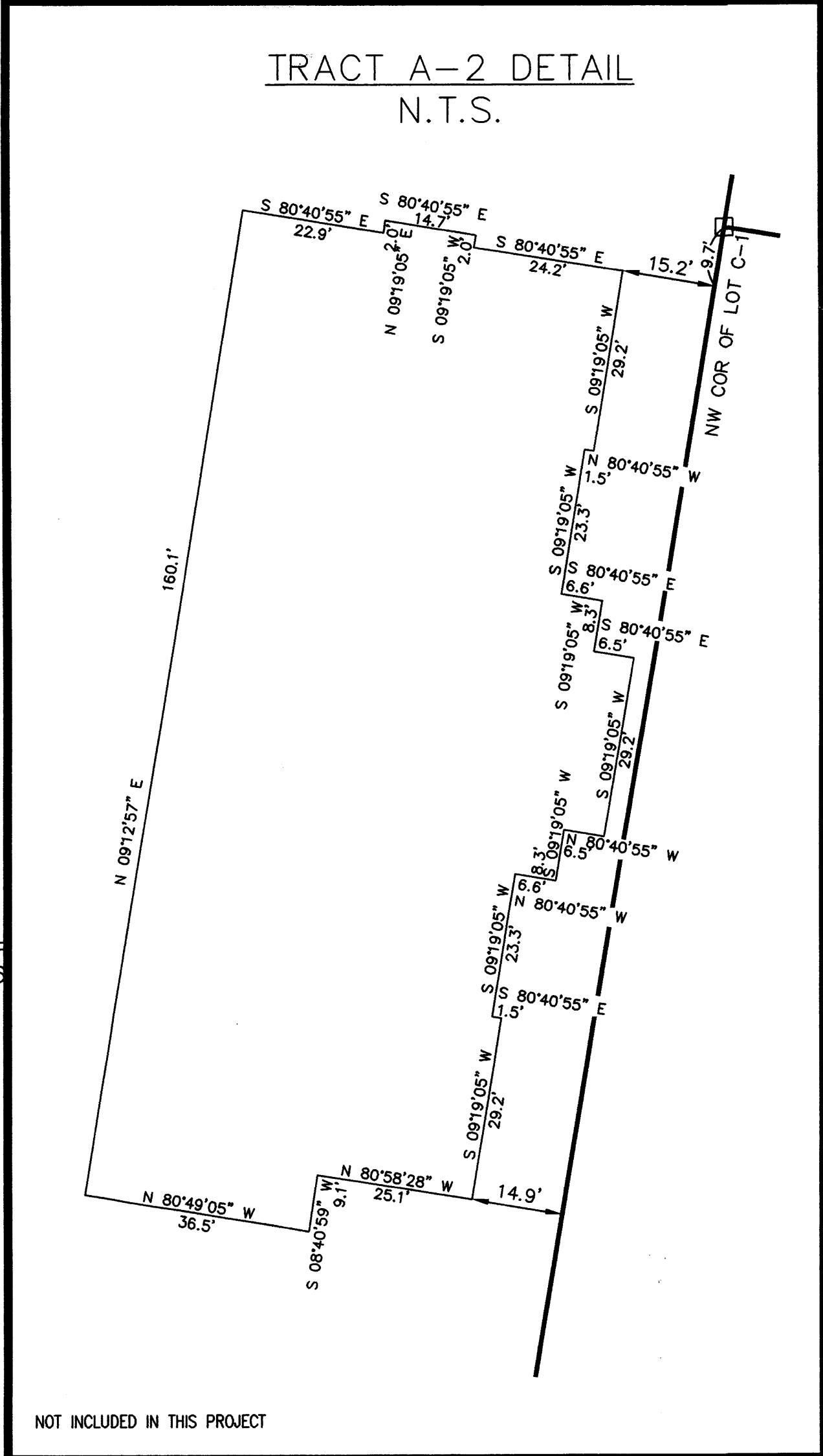
- Notes:
1. Basis of bearings per Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  2. Bearings and distances in parentheses per Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  3. Bearings and distances in brackets [ ] per Banner Square Addition filed March 29, 1989 in Volume C38, Folio 183.
  4. Tract A-1 is subject to the following parking restrictions per Stipulated Agreement, Case No. CV 95-05624 filed August 5, 1996 and as indicated on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60. The City shall have the exclusive use of and may reserve the use of all parking spaces developed on the area of Modified Lot A (Tract A-1) located north of the Manual Arts Tract (Tract A-2) and east of the Gymnasium and on the area of Modified Lot A (Tract A-1) located south of the Manual Arts Tract (Tract A-2) and easement of the Old Main Building ("City Parking Area").
  5. Tract C-1 is subject to the following parking restrictions per Stipulated Agreements, Case No. CV 95-05624 filed August 5, 1996 and as indicated on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60. The owner of the Manual Arts Tract (Tract A-2) shall, for the benefit of the Manual Arts Building, have the exclusive right to use, to reserve the use of and to select the location of parking spaces on Lots C and D (Tract C-1) equal to the same number of parking spaces as are developed on the City Parking Area or to fifty-three (53) parking spaces, whichever is greater ("Manual Arts Parking Spaces").
  6. Tract A-1 is subject to a Maintenance Easement for the purpose of maintaining and repairing the building located on Tract A-2 per Stipulated Agreement, Case No. CV 95-05624 filed August 5, 1996 and as shown on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  7. Tract A-1 is subject to two separate Manual Arts Easements "exclusively for the use and purpose as an outdoor restaurant area, appurtenant to and for the benefit of the Manual Arts Building" per Stipulated Agreement, Case No. CV 95-05624 filed August 5, 1996 and as shown on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  8. Tract A-1 is subject to an Access Easement per Stipulated Agreement, Case No. CV 95-05624 filed August 5, 1996 and as shown on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  9. Tract A-1 is subject to a Common Area identified as "that part ... which is surrounded by buildings" per Stipulated Agreement, Case No. CV 95-05624 filed August 5, 1996 and as shown on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  10. Tract C-1 is subject to an Access Easement per Stipulated Agreement, Case No. CV 95-05624 filed August 5, 1996 and as shown on Banner Square Addition filed February 24, 1997 in Volume 97C, Folio 60.
  11. Utilities as shown are from physical ground evidence or from utility maps. Underground locations need to be verified through local utility companies responsible for specific utility.

SURVEYOR'S CERTIFICATE  
 I, Thomas W. Patrick, a New Mexico Professional Surveyor, hereby certify that this Exhibit was prepared from an actual ground survey performed by me or under my supervision, that I am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, that this Exhibit and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico, and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act. This is an Exhibit of an existing tract or tracts.

THOMAS W. PATRICK, N.M.P.S. NO. 12651 DATE

LEGEND

	= DROP INLET
	= FIRE HYDRANT
	= LIGHT POLE
	= MANHOLE-TYPE UNKNOWN
	= POWER POLE
	= SANITARY SEWER MANHOLE
	= STORM DRAIN MANHOLE
	= TELEPHONE MANHOLE
	= TELEPHONE RISER
	= TRAFFIC SIGNAL
	= TRAFFIC SIGNAL BOX
	= UNDERGROUND GAS LINE
	= UNDERGROUND SEWER LINE
	= UNDERGROUND WATER LINE
	= UNDERGROUND UTILITY VAULT
	= WATER METER
	= WATER VALVE



CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
1	90°22'30"	125.00'	35.47'	N 55°41'09" W	90°22'29"
2	25.00'	40.99'	36.55'	N 56°26'51" E	93°56'55"

Old Albuquerque High School Renovation  
 Albuquerque, New Mexico

**EPCLUCC**  
 Surveying

**Deker Perich Sabatini**  
 architecture  
 planning  
 engineering

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: (505) 998-0303 FAX: (505) 998-0306  
 TION R3E SEC. 20

DATE	AS BUILT SITE
BY	
CHECKED BY	
DATE	3-18-00
PROJECT NO.	
DRAWING NAME	



### Huning Highland Historic Overlay Zone Design Guidelines

Huning Highland Historic Overlay Zone Design Guidelines  
 Any alteration or new construction in the district shall:

- Maintain the over-all relationship of any one building's height, mass and scale to those of other buildings on the block.
  - Maintain the pattern created by the building fronts and setback from the street.
  - Maintain the geometry created by similar shapes and sizes; for example, by pitched roofs and porches.
  - Emphasize, protect and enhance existing streetscape components.
  - Protect the integrity of existing significant and contributing buildings.
  - Use exposed materials compatible with historic construction in the district as follows:
    - If new construction, all materials shall be compatible with materials used on adjacent buildings; if on already existing building, all materials shall be compatible with materials used on that structure;
    - The use of wood, brick, stone and adobe is recommended;
    - The use of asphalt shingles for roofs is acceptable;
    - The use of plastic, metal, or other unsympathetic materials is discouraged.
- B. Rehabilitation/Renovation or Alteration of Existing Residential Structures:**
- Buildings listed in the Huning Highland Historic District on the National Register of Historic Places as Significant or Contributing shall:
    - Preserve unusual and irreplaceable architectural details;
    - Keep original materials (i.e. wood, brick) whenever possible;
    - Avoid the use of inappropriate materials (i.e. plastic, metal);
    - Not necessarily attempt literal duplication of historic architectural styles in additions to existing structures;
    - Keep original door, window, and roof shapes and arrangements; use of wood window elements is encouraged; if metal frames must be used, a shiny metallic appearance must be avoided;
  - Additions to these buildings shall be:
    - Oriented to the alley, or set-back from the front facade, if placed on the side;
    - Related to the rest of the building in scale, mass and shape;
    - Appropriate in material and color;
    - Compatible with the original structure in window design;
    - Compatible with the original structure in terms of roof slope and shape.
- C. Outbuildings:**
- If the outbuildings are listed as contributing or significant, they shall be treated as main buildings. If they are neither contributing nor significant, they shall be treated as non-contributing buildings, with visibility from the street being used as a criterion for treatment.
  - Non-contributing buildings: Buildings identified as non-contributing shall be viewed as units connected to all other buildings on the block; therefore, renovation should work to enhance the relationship of these buildings to adjacent structures by:
    - Using point color and exterior materials that are compatible to adjacent buildings;
    - Constructing additions to non-contributing buildings that are compatible in scale, mass, and height with the original building and with significant and contributing buildings nearby;
    - Using landscaping to enhance the relationship of non-contributing buildings to other buildings on the block.
- C. Rehab/Renovation of Alterations of Existing Commercial Structures:**
- All existing setbacks shall be maintained;
  - Storefronts shall be oriented towards the main pedestrian way, eliminating blank facades; window openings should encourage and enhance pedestrian traffic;
  - On-site parking shall be located in back or to the side of the building;
  - Use of appropriate and compatible materials is recommended;

5. The alteration of facades to standard architectural styles not common to the area when the structure was built is not allowed.  
 D. New Construction  
 1. No attempt need be made to recreate a style from the past;  
 2. Main entrances should be oriented to the street;  
 3. Parking should be in back of buildings when possible;  
 4. Wood, brick, stone and adobe should be used for exposed surfaces rather than synthetic, or other unsympathetic material;  
 5. If cement block or any other materials not found in the zone's historic architecture is used, it should be finished with appropriate materials where possible;  
 6. Special attention should be given to set-back, mass, and scale in relation to adjacent buildings;  
 7. Buildings should be constructed to a height no greater than the maximum height of buildings on the same block;  
 8. The spaces between adjacent buildings should be the same as the average space between all buildings on the block;  
 9. The street facade should include more wall area compared to window area, although no totally blank facades will be allowed;  
 10. Architectural elements such as windows should be vertical rather than horizontal;  
 11. The inclusion of porches is encouraged (residential only).

### Development Guidelines

Old Albuquerque High School  
 Adopted by the Albuquerque Landmarks and Urban Conservation Commission August 1, 1990

- The initial building analysis conducted for Old Albuquerque High School identifies the following significant architectural features:
- The masonry construction and design details of the Collegiate Gothic style facades
  - The multi-light wood sash windows
  - The interior volumes of the gymnasium and library spaces
- In any rehabilitation of Old Albuquerque High School:
- The key masonry elements of the facades (red brick walls, cast-stone trim, parapets, roof pediments, stringcourses and entry bays) should be preserved. Any required treatment for the exterior surfaces should use the gentlest method possible; any new mortar should match the original mortar in composition, color and texture to avoid causing deterioration of the exterior surfaces.
  - The style, size, spacing, location and material of the wood sash windows should be preserved. Any arched windows should retain their original shape (arches should not be filled in). The style, size, location and material of the main entry doors should also be preserved.

The original parapet line should be retained.  
 The high ceiling, spaciousness and volume of the interior spaces of the main library room, boys' and girls' gymnasium should be preserved.  
 Any alterations to this property should retain these significant features. Where necessary, these elements should be repaired rather than replaced; any replacement should utilize materials, texture and design matching the original. In addition to these guidelines, the Secretary of the Interior's Standards for Historic Preservation Projects should be utilized in reviewing proposed changes to the property.

Addition to the building could be allowed if necessary to facilitate reuse of the property. Additions should be compatible in scale, massing and exterior material with the original structure and should be designed so that it is possible to clearly distinguish the original structure from the later addition. Any upper story additions should be set back so as not to be visible from ground level.  
 Any new construction should be compatible in scale, massing and exterior material with the original structure. The height of any new building should not exceed the height of adjacent buildings.  
 City staff is authorized to review and approve proposed building changes that do not require a building permit, as well as proposals for changes to freestanding walls, fences and signs. Staff may refer application for these items to the Landmarks and Urban Conservation Commission if there are concerns regarding potential impacts on the architectural or historical character of the property.

### Phasing

The term "phasing" means having distinct stages of development or a systematic step-by-step process until completion of the project. The following is an anticipation of these phases, but it is not intended to be "set in stone". Many of the commercial/hotel/live/work/townhome units, whether they surround the North or South parking structures, may occur at any time during the process after the parking structures are built. This is not unlike the way our original Downtown was developed. The interior renovations in the Gymnasium and Library may also be accelerated or moved to a later time.

Phase A - Includes:

- The redevelopment of the Old Albuquerque High School campus including the Building Plaza, elevated Central Courtyard and the elevated terrace facing Broadway on the west side of Old Main;
- The renovation of the exterior skins of Old Main, Classroom, Library and Gymnasium Buildings;
- The interior remodeling of the Old Main and Classroom Building into loft apartments and the interior remodeling of the Library into office spaces;
- The construction of the 246 car parking garage on the south lot including minor landscaping; and
- The demolition of the two non-contributing structures on the north lot.

Future Phases are:

Phase B - the interior remodel of the Gymnasium.  
 Phase C - the build-out of the wrapper buildings on the south, west and north sides of the south parking structure.  
 Phase D - the construction of the 325 car parking garage on the north lot including minor landscaping.  
 Phase E - the build-out of the wrapper buildings on the north, east, south and west sides of the north parking structure.  
 Phase F - the development of the future building site on the east side of the main campus between the Gymnasium and Manual Arts.

### Zoning

SU-1, SU-2, PUD

### General Notes

- There are no temporary signs or other improvements.
- See Utility sheet for fire hydrant locations and underground lines.
- If, after one year of following completion of the south parking garage, the wrecker trucks have not come in for EPC approval, the applicant must provide visual improvements to reduce the harshness of the blank south and north walls of the south parking structure. The application of masonry, architectural features or other temporary applications to address this issue are required.
- Dark colored roofing material shall not be permitted.
- All ATMs shall be architecturally integrated into building design; at this time no ATMs are included in this phase.
- Tenants will be allowed to bring their ideas into the units for secured storage. In addition to this exterior locking area are provided.
- No benches, chairs, or tables have been incorporated into the project at this time. It is intended to incorporate such items in the future that are largely compatible with and appropriate for the site. Selection of benches, chairs, and tables will be reviewed by planning staff.
- XXX

**CASE NUMBER: Z-10000**  
**Site Development Plan**  
**Building Permit** APPL # 200450-00000-01168  
 THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [Date] AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION: [Signature] 8/16/01  
 PUBLIC WORKS, WATER UTILITIES DIVISION: [Signature] 9/16/01  
 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA: [Signature] 7/19/01  
 APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.  
 SOILWASTE, ALBUQUERQUE: [Signature] 5/10/01  
 CITY PLANNER, ALBUQUERQUE: [Signature] 7/17/01  
 PLAT (10706) 4/96

architecture  
 planning  
 engineering  
**Dekker Perich Sabatini**  
 6801 Jefferson NE  
 Suite 100  
 Albuquerque, NM 87109  
 505 761-8700  
 fax 505 761-4222  
 dps@dpsdq.com  
 architect  
 engineer  
 project  
 DRB Submittal

### Project Data

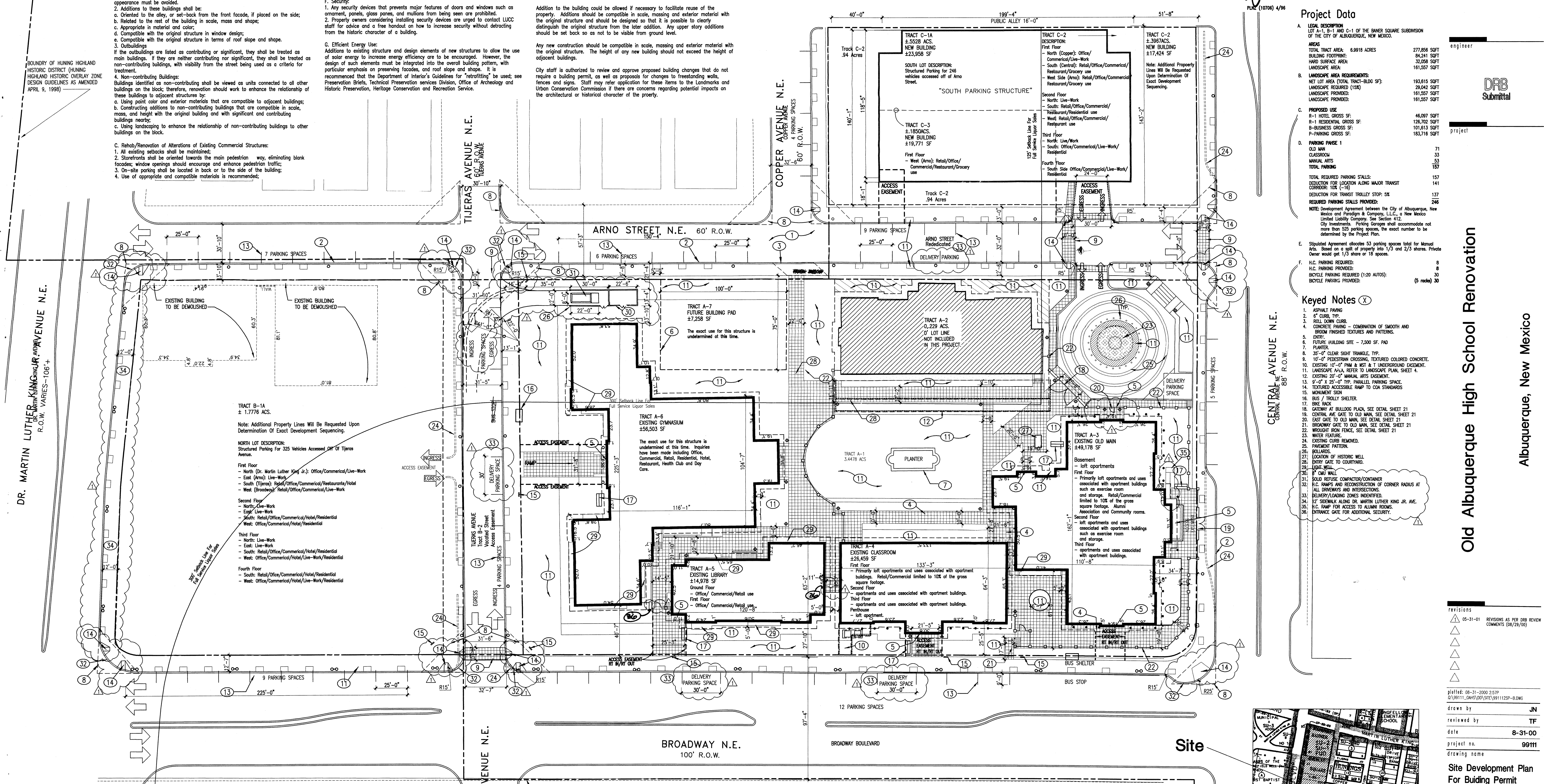
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<b>TOTAL LANDSCAPE AREA REQUIRED:</b>	193,815 SQFT
<b>LANDSCAPE PROVIDED:</b>	161,557 SQFT
<b>C. PROPOSED USE</b>	
R-1 HOTEL GROSS SF:	46,097 SQFT
R-1 RESIDENTIAL GROSS SF:	126,702 SQFT
B-BUSINESS GROSS SF:	101,615 SQFT
P-PARKING GROSS SF:	183,716 SQFT
<b>D. PARKING PHASE 1</b>	
OLD MAN CLASSROOMS:	71
MANUAL ARTS:	53
<b>TOTAL PARKING:</b>	157
<b>TOTAL REQUIRED PARKING STALLS:</b>	157
<b>DEDUCTION FOR LOCATION ALONG MAJOR TRANSPORT CORRIDOR: 10X (-10):</b>	141
<b>DEDUCTION FOR TRANSIT TROLLEY STOP: 5X:</b>	137
<b>REQUIRED PARKING STALLS PROVIDED:</b>	246
<b>NOTE:</b> Development Agreement between the City of Albuquerque, New Mexico and Prologis & Company, L.P., a New Mexico Limited Liability Company. See Section 412. City Investment - Parking Garage shall accommodate not more than 253 parking spaces, the exact number to be determined by the Project Plan.	
<b>E. Stipulated Agreement allocates 53 parking spaces total for Manual Arts. Based on a split of property into 1/3 and 2/3 shares. Private Owner would get 1/3 share or 18 spaces.</b>	
<b>H.C. PARKING REQUIRED:</b>	8
<b>H.C. PARKING PROVIDED:</b>	8
<b>BIKE PARKING REQUIRED (1:20 AUTOS):</b>	36
<b>BIKE PARKING PROVIDED:</b>	(5 racks) 30

### Keyed Notes

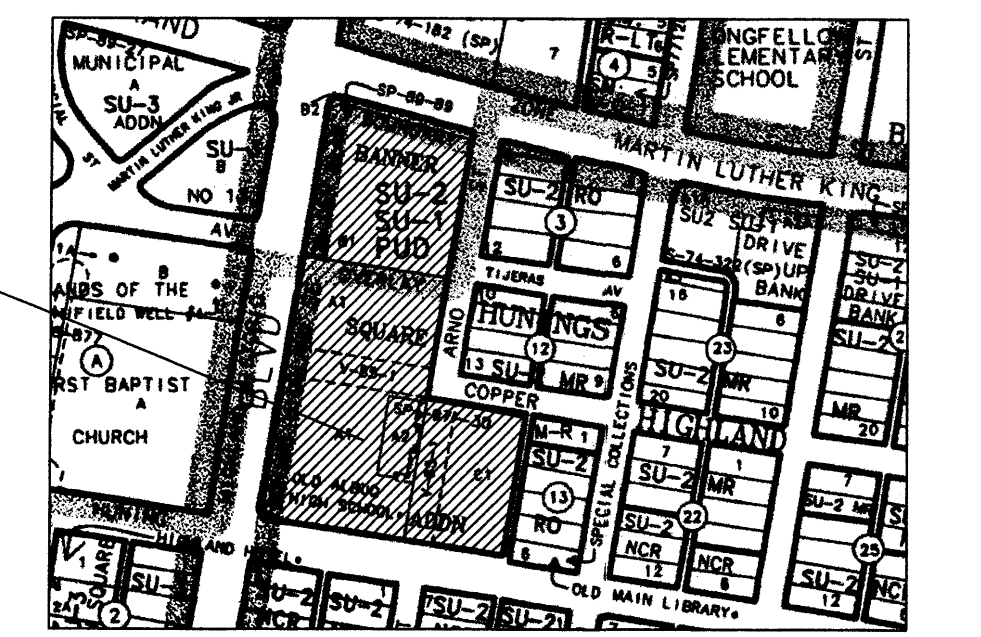
- ASPHALT PAVING
- 6" CURB TYP.
- ROLL DOWN CURB
- CONCRETE PAVING - COMBINATION OF SMOOTH AND BROOM FINISHED TEXTURES AND PATTERNS.
- ENTRY.
- PLANTER.
- 30" CLEAR SHIRT TRIANGLE, TYP.
- 10'-0" PEDESTRIAN CROSSING, TEXTURED COLORED CONCRETE.
- EXISTING 10'-0" P.M. & M.S. T UNDERGROUND EASEMENT.
- LANDSCAPE AREA, REFER TO LANDSCAPE PLAN SHEET 4.
- EXISTING 20'-0" MANHOLE RISER EASEMENT.
- 9'-0" X 25'-0" TYP. PARALLEL PARKING SPACE.
- TEXTURED ACCESSIBLE RAMP TO ADA STANDARDS.
- MONUMENT SIGN.
- BUS / TROLLEY SHELTER.
- BIKE RACK.
- GARBERY AT BULLDOCK PLAZA, SEE DETAIL SHEET 21.
- CENTRAL AVENUE GATE TO OLD MAIN, SEE DETAIL SHEET 21.
- EAST GATE TO OLD MAIN, SEE DETAIL SHEET 21.
- BROOKING GATE TO OLD MAIN, SEE DETAIL SHEET 21.
- WROUGHT IRON FENCE, SEE DETAIL SHEET 21.
- WATER FEATURE.
- EXISTING CURB REMOVED.
- PAVEMENT PATTERN.
- SOILS.
- LOCATION OF HISTORIC WELL.
- ENTRY GATE TO COURTYARD.
- LEISURE WALL.
- CAJUN WALL.
- SOLID REFUSE CONTAINER/CONTAINERS.
- RAMP AND RECONSTRUCTION OF CORNER RADIUS AT ALL DRIVEWAYS AND INTERSECTIONS.
- DELIVERY/LOADING ZONES IDENTIFIED.
- 12' SIDEWALK ALONG DR. MARTIN LUTHER KING JR. AVE.
- H.C. RAMP FOR ACCESS TO ALLIANI ROOMS.
- ENTRANCE GATE FOR ADDITIONAL SECURITY.

BOUNDARY OF HUNING HIGHLAND HISTORIC DISTRICT (HUNING HIGHLAND HISTORIC OVERLAY ZONE) DESIGN GUIDELINES AS AMENDED APRIL 9, 1998

DR. MARTIN LUTHER KING JR. AVENUE N.E. R.O.W. VARIES - 106' +



Site Development Plan For Building Permit



Old Albuquerque High School Renovation  
 Albuquerque, New Mexico

revisions

05-31-01	REVISIONS AS PER DRB REVIEW COMMENTS (08/29/00)
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plotted: 08-31-2000 2:57P  
 01/09/11 3:40P D:\SITE\991125P-B.DWG  
 drawn by: JN  
 reviewed by: TF  
 date: 8-31-00  
 project no.: 99111  
 drawing name: Site Development Plan For Building Permit



PRELIMINARY PLANT LIST

KEY	Botanical Name	Common Name	Installed Size	Mature Size HxS	Water Requirements
<b>STREET TREES</b>					
CH	Celtis occidentalis	Common Hackberry	2 1/2" cal.	40' x 40'	M
APA	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	2 1/2" cal.	50' x 50'	M+
CP	Pistachia chinensis	Chinese Pistache	2 1/2" cal.	60' x 60'	M+
AS	Platanus occidentalis	American Sycamore	2 1/2" cal.	60' x 50'	M
PRL	Robinia ambigua 'Purple Robe'	Purple Robe Locust	2 1/2" cal.	40' x 30'	H
<b>SHADE TREES</b>					
HL	Gleditsia triacanthos inermis spp	Honey Locust	2 1/2" cal.	60' x 60'	M+
CH	Celtis occidentalis	Common Hackberry	2 1/2" cal.	40' x 40'	M
Z	Zelcova serrata	Zelcova Tree	2 1/2" cal.	50' x 50'	M
<b>ORNAMENTAL TREES</b>					
RB	Betula nigra	River Birch	2" cal.	40' x 30'	H
TH	Crataegus crus-galli inermis	Thornless Hawthorn	2" cal.	20' x 25'	M
OP	Pyrus calleryana	Ornamental Pear	2" cal.	25' x 20'	M+
<b>EVERGREEN TREES</b>					
AP	Pinus nigra	Austrian Pine	7' - 9' ht.	35' x 25'	M
<b>DECIDUOUS SHRUBS</b>					
	Buddleia davidii nonhoensis	Dwarf Butterfly Bush	(5 gal. typ. 1 gal. min.)	5' x 5'	M
	Carpagopis x clandonensis	Blue Mist Spirea	3' x 4'	3' x 4'	M
	Chaenomeles japonica	Flowering Quince	Typ. on all	6' x 6'	H
	Chamaebotaria millefolium	Fernbush	5' x 5'	5' x 5'	L+
	Cotoneaster spp	Cotoneaster	"	"	M
	Foresheara nesmiexicana	New Mexico Olive	15' x 15'	15' x 15'	M
	Forsythia intermedia	Forsythia	10' x 10'	10' x 10'	M+
	Potentilla fruticosa	Cinsgufoil	3' x 3'	3' x 3'	M+

PRELIMINARY PLANT LIST

Botanical Name	Common Name	Installed Size	Mature Size HxS	Water Requirements
<b>DECIDUOUS SHRUBS - continued</b>				
Rhus trilobata	Three-Leaf Sumac	(5 gal. typ. 1 gal. min.)	6' x 6'	L+
Rhus trilobata prostrata	Prostrate Sumac	"	2' x 6'	L+
Salvia gerggii	Cherry Sage	"	2' x 3'	M
<b>EVERGREEN SHRUBS</b>				
Artemisia x Powis Castle	Ponis Castle Sage	(5 gal. typ. 1 gal. min.)	2' x 5'	L+
Cotoneaster buxifolius	Greyleaf Cotoneaster	"	2' x 7'	M
Ilex	Holly	Typ. on all	8' x 8'	H
Juniperus spp	Juniper	"	varies	L+
Mahonia aquifolium	Oregon Grape Holly	"	6' x 6'	M
Nandina domestica	Heavenly Bamboo	"	8' x 5'	M+
Photinia fraseri	Photinia	"	8' x 8'	M
Rhapiolepis indica	India Hawthorn	"	3' x 4'	M
Rosemarinus officinalis 'Arp'	Arp Rosemary	"	3' x 3'	L+
<b>ORNAMENTAL GRASSES</b>				
Festuca ovina giuaco	Blue Fescue	(5 gal. typ. 1 gal. min.)	12" x 12"	M
Helictotrichon sempereans	Blue Avena Grass	"	24" x 24"	M
Miscanthus sinensis	Maidengrass	"	60" x 48"	M+
Pennisetum sloepecurione	Hardy Fountain Grass	"	30" x 30"	M
<b>PERENNIALS &amp; GROUNDCOVERS &amp; VINES</b>				
Achillea x Moonshine	Moonshine Yarrow	1 gal.	18" x 18"	M
Yerba de Mansa	Yerba de Mansa	1 gal.	18" x 13"	M
Reid Valerian	Reid Valerian	1 gal.	36" x 36"	M
Centranthus ruber	Dwarf Plumbago	1 gal.	12" x 24"	M
Ceratostigma plumbaginoides	Wallflower Bowles Mauve	1 gal.	24" x 30"	M
Erysimum linifolium	Cauro	1 gal.	48" x 48"	M
Gaura lindheimeri	Six Hills Giant Catmint	1 gal.	36" x 36"	M
Nepeta x faassenii 'Six Hills Giant'	Penstemon variehes	1 gal.	60" x 60"	M
Penstemon variehes	Russian Sage	1 gal.	24" x 24"	L
Perovskia atriplicifolia	Autumn Joy Sedum	1 gal.	24" x 24"	M+
Sedum telephium	Giant Periwinkle	1 gal.	9" x 24"	H
Vinca major	Bluegrass Fescue Mix	1 gal.	Turf	H
<b>TURF GRASS</b>				
<b>VINES</b>				
Hedra helix	English Ivy	1 gal.	5'	M
Parthenocissus tricuspidata	Boston Ivy	1 gal.	40'	M
Wisteria sinensis	Wisteria	5 gal.	20'	M

Lighting Notes / Legend

- Single street lamp, nom 15' pole with 30" base and one post top luminaire. Luminaire to be sharp cutoff asymmetric ies iii or iv with 200 watt metal halide lamp with house side shield
  - Double lamp boulevardier, nom. 15' pole with 30" base and two post top luminaires. Luminaires to be sharp cutoff asymmetric ies iii or iv with 200 watt metal halide lamp, with house side shield.
  - Single short post luminaire, mounting height approx. 7' above grade. 100 watt metal halide lamp, sharp cutoff optical system and period decorative luminaire, mounting to be determined.
  - Flood light for building facade, nominal 200 watt metal halide, in grade luminaire.  
note: many areas of the interior site are intended to be illuminated from building mounted luminaires. building mounted luminaires will be shown on building drawings.
- Notice: landscape lighting is specifically excluded from this plan pending review of landscape drawings.

GENERAL NOTES

- Plans are diagrammatic and approximate due to scale of drawings, and not all individual shrubs or groundcovers are shown. Actual tree locations may vary to accommodate signage, lighting locations, or other site constraints.
- Intent of plan is to conform to all city ordinances and codes relating to landscape requirements, including the Water Conservation Landscaping and Water Waste Ordinance.
- Approval of this plan does not constitute or imply exemptions from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.
- All existing tree stumps and trees shall be removed from the site unless noted otherwise on plan.
- Perimeter landscaping along the sidewalk of the Copper and Arno frontages shall be enhanced with enlarged planters (4'x6' minimum) planted with live shrubs and ground covers (in addition to the proposed trees).

MAINTENANCE

All responsibilities for landscape maintenance on the site shall be with the owner.

PLANTING NOTES

No planting area will be left uncovered or without top-dressing. All areas will be planted with shrubs, groundcovers, grasses and/or various mulches.

Mulches shall be:

- gravel mulch or gravel/crusher fines mix
- bark mulch

Shrubs shown do not represent specific individual plants but rather a shrub or ground cover mass

- SOD LAWN
- 3/4" BROWN GRAVEL

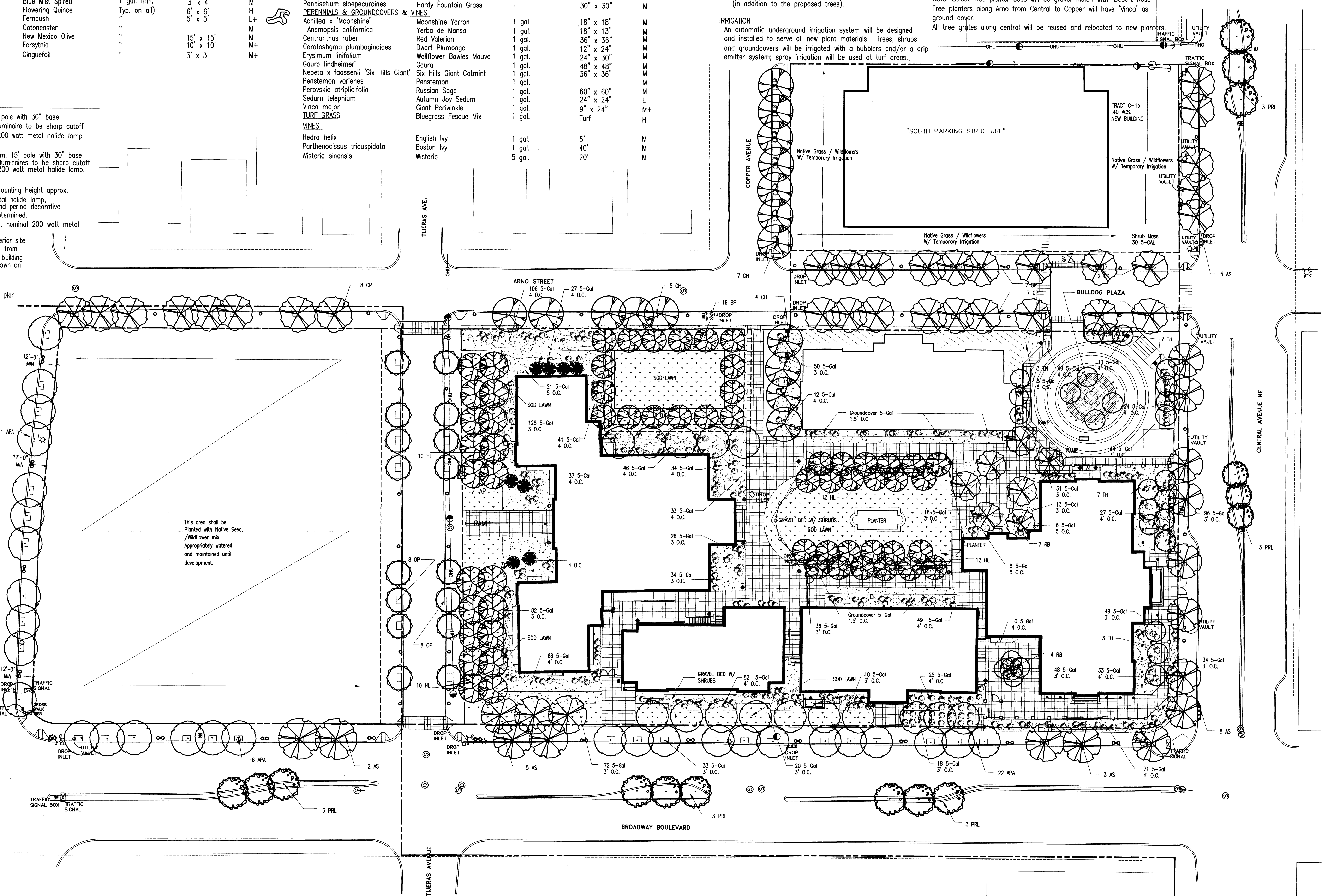
Note: Street Tree planter beds will be gravel mulch with 'Desert Rose' Tree planters along Arno from Central to Copper will have 'Vinca' as ground cover.  
All tree grates along central will be reused and relocated to new planters.

IRRIGATION

An automatic underground irrigation system will be designed and installed to serve all new plant materials. Trees, shrubs and groundcovers will be irrigated with a bubblers and/or a drip emitter system; spray irrigation will be used at turf areas.

LANDSCAPE AREA

Lot Area	6,3787 Acres
Minus Building Area	277,856 SF
	15,912.46 SF
	8,916.73 SF
	6,664.68 SF
	20,608.23 SF
	32,138.56 SF
<b>TOTAL BUILDING AREA</b> 84,241 SF	
Net Lot Area	193,615 SF
15% of Net Lot Area	29,042 SF
Landscape Area Required	
Landscape Area Provided	161,557 SF
20% of Landscape Area (max turf area)	32,311SF
Percentage of High Water Turf Provided	21,978SF



architecture  
interiors  
planning  
engineering

# Dekker Perich Sabatini

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
eps@dpsbcq.com

architect

engineer

DRB  
Submittal

project

Old Albuquerque High School Renovation  
Albuquerque, New Mexico

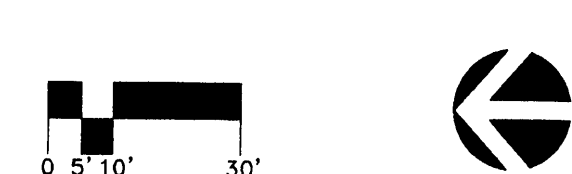
revisions

▲	
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plotted: 09-05-2000 2:00P  
© 09/11/LANDSCAPE/LANDSCAPE/091111A-4.DWG  
drawn by  
reviewed by  
date 8-22-00  
project no. 09111  
drawing name  
Proposed Landscape Plan

Proposed Landscape Plan

1" = 30'-0"



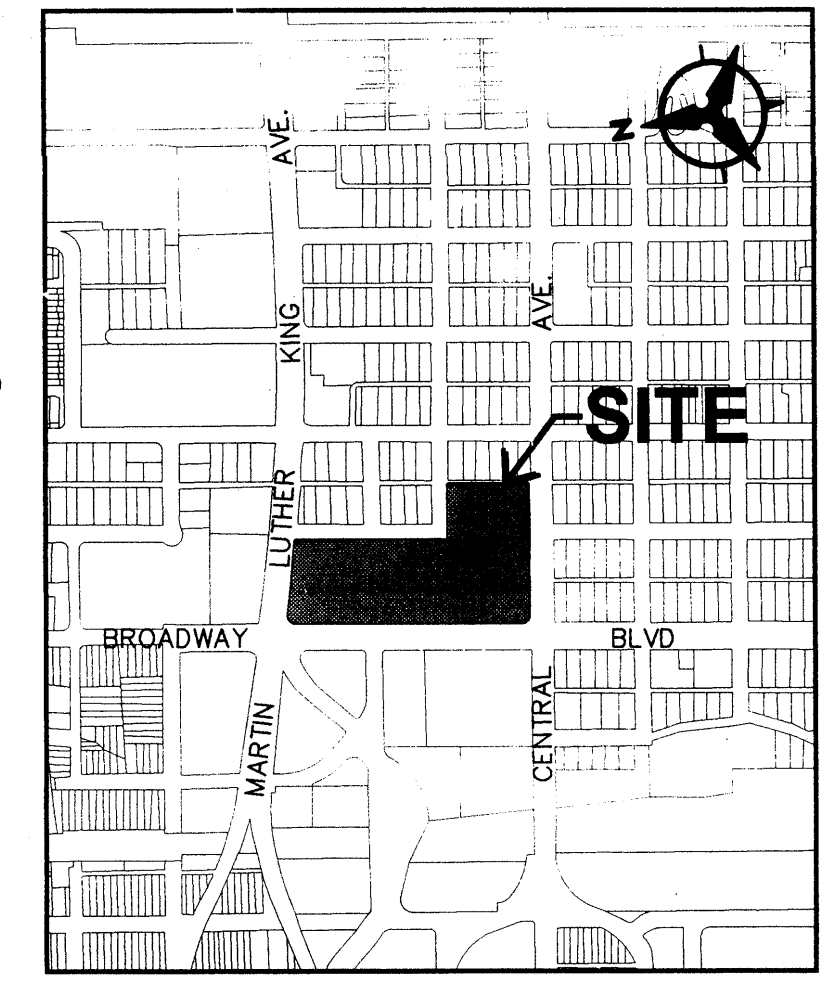


ACCEPTABLE MATERIALS FOR STORM DRAIN

- HIGH DENSITY POLYETHYLENE PER HANCOX SURELOK SPECIFICATION OR ENGINEER'S APPROVED EQUAL
• SDR 35, PVC (FOR STORM DRAIN PIPE 12" DIA. AND SMALLER)
• RCP CLASS III

KEYED NOTES

- (A) NEW PRIVATE STORM DRAIN, SEE CONCEPTUAL GRADING & DRAINAGE NOTE 1
(B) NEW DROP INLET
(C) THE NEW PRIVATE STORM DRAIN TO EXISTING PUBLIC STORM DRAIN
(D) NEW ROOF DRAIN LEADER LINE



VICINITY MAP
ZONE ATLAS PAGE K-14-Z

Dekker Perich Sabatini
6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsbq.com

LEGEND

- PROPERTY LINE
EXISTING GROUND SPOT ELEVATION
EXISTING DROP INLET
EXISTING DUMPSTER
EXISTING FIRE HYDRANT
EXISTING LIGHT POLE
EXISTING POWER POLE
EXISTING SEWER MANHOLE
EXISTING TELEPHONE RISER
EXISTING TRANSFORMER
EXISTING WATER METER
EXISTING WATER VALVE
PROPOSED SPOT ELEVATION
PROPOSED DIRECTION OF FLOW
PROPOSED STORM DRAIN
PROPOSED INLET
PROPOSED STORM DRAIN MANHOLE

LEGAL DESCRIPTION

TRACTS A1, A2, B1, B2, & C1 OF BANNER SQUARE ADDITION

PROJECT BENCH MARK

STATION 6+K 14 (R)
ELEVATION=498.705
X=382762.22
Y=1485941.10
ELEVATION = 4988.785

CONCEPTUAL GRADING & DRAINAGE NOTES

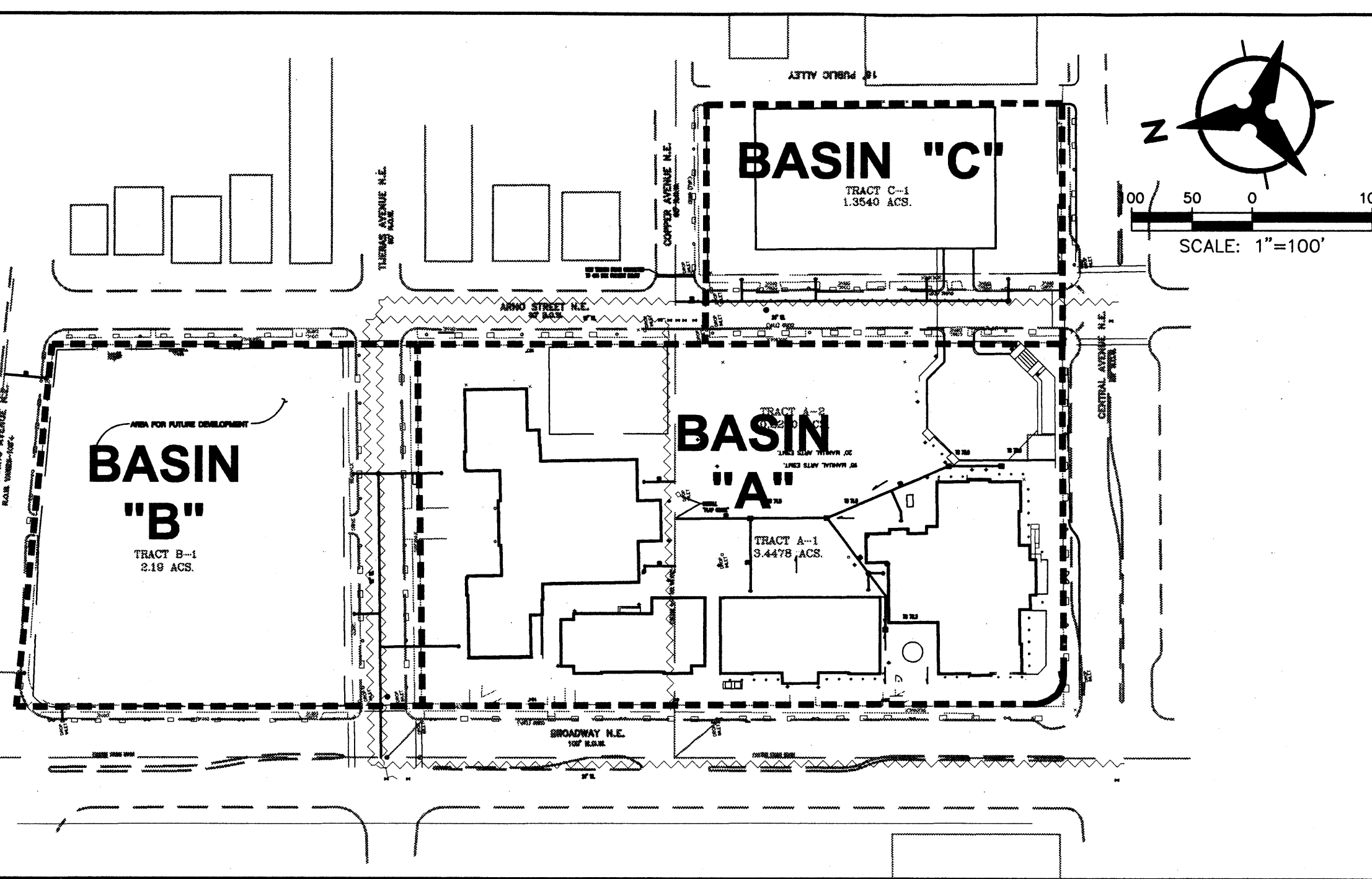
- 1. NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC., WILL BE DETERMINED WHEN THE ROOF DRAIN DESIGN IS DONE.
2. TO THE GREATEST EXTENTS PRACTICAL, ROOF DRAINS WILL BE TIED TO UNDERGROUND STORM DRAIN. WHERE FEASIBLE, ROOF DRAINS MAY "DAYLIGHT". EXISTING ROOF DRAINS WHICH FACE BROADWAY & CENTRAL WILL REMAIN AS-IS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 1 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BARRIERS AT THE PROPERTY LINES PER DETAIL ON SHEET C203 AND WEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. NOTHING IN THESE PLANS IS INTENDED TO IMPLY A BALANCED SITE. CONTRACTOR IS RESPONSIBLE FOR HIS OWN EARTHWORK CALCULATIONS. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.01' FROM BUILDING ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.

GENERAL NOTES

- 1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEO-TECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY. THESE IMPROVEMENTS.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY AND/OR APS M&O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.), AND SHALL FILE EPA NOI FORM AS REQUIRED.
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM NIGHTMOR PRIOR TO BEGINNING ANY CONSTRUCTION WORK ADJACENT TO HIGHWAY 14.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Old Albuquerque High School Renovation project, consisting of approximately 2.2 acres. The project has been approved by EPC, but has not yet received final sign-off from the City.
II. SITE LOCATION
The site is located on the northeast corner of Central and Broadway, extending north to Martin Luther King Jr. Blvd. and east past Arno. In its current condition, the majority of the site contains the original high school building. Smaller portions of the site are vacant. The site currently drains to the west at a spot of 2K. The site is located within zone atlas map # K-14 and hydrologic zone 2.
III. EXISTING HYDROLOGIC CONDITIONS
This site is a mixture of vacant land, existing buildings and paved areas. Accordingly, between the existing impervious areas and the natural dirt areas of the site, the site behaves as an essentially developed site with a high degree of imperviousness and soil composition. The existing basins are the same as proposed, and have been identified on this sheet. Basin A (1.1 acres, 0100=16.6cfs) is the old main campus, located between Central and Tijeras. Basin B consists of 2.2 acres and is located between MJK and Tijeras, and generates 8.6cfs. Basin C (1.35 acres, 0100=5.5cfs) is located on the east side of Arno between Central and Copper. All stormwater discharged from the site drains to the existing storm drain line in Broadway and Copper. Existing flows discharge to the storm drains primarily via inlets located in Broadway and Arno. There are no ponds or mitigation facilities of any kind under existing conditions.
IV. PROPOSED HYDROLOGIC CONDITIONS
This renovation project proposes to construct new parking structures as well as residential and retail facilities on Tracts A and C, as well as complete renovations of the five existing buildings on the main part of the original campus. The drainage management plan for the development proposes three discharge to the Copper and Broadway storm drains. In accordance with pre-design meetings held City Hydrology staff, due to the site's previous history of development, the discharge is the correct and reasonable approach to site drainage. Some on-site underground drainage is proposed. All on-site storm drainage systems will be designed to current hydrology and hydraulic standards to carry 100 year peak flows. Under proposed developed conditions, Basin A will generate 16.6cfs in 100-year, 6-hour design storm. Basin B will generate 8.6cfs, and Basin C will generate 5.5cfs.
V. EXISTING PUBLIC 4X4 BOX CULVERT
There is an existing 4x4 concrete box culvert which passes under the slight dip along the alignment of Copper Avenue. Submittal with this plan is a basin map and calculations for the offsite basins which contribute to the box culvert. These calculations make a number of reasonable assumptions for a conceptual submittal, and conclude that the 100 year peak flow from the contributing basins is 317.6cfs. We have calculated the capacity of the existing structure to be 37.5cfs. In addition to the excess capacity available in the box culvert, we propose a number of measures to protect the proposed development in the event of a large storm.
1. Install a branch drain type inlet at the intersection of Copper and Arno to insure that surface drainage coming down Copper can get into the box culvert. Calculations for the inlet capacity and surface flow have been identified with this plan.
2. Install a waterblock on the west side of Arno to prevent surface drainage from entering the site. Flow which could get into the box culvert would be diverted north on Arno to Tijeras and west on Tijeras to Broadway.
3. Install a "trap gate" on the existing inlet which connects directly to the box culvert near the middle of the site. In addition, trap gates would be installed on any new connections to the existing structure.
4. Ensure that the proposed grading for the site will allow for drainage to pass around the existing building without entering the building.
The above measures were discussed during a meeting with the city and engineer, and it was agreed that given those measures, the existing box culvert structure may remain in place.
VI. CONCLUSION
This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal, we are seeking site plan for subdivision and site plan for building permits approval.



DRAINAGE BASIN MAP
SCALE: 1"=100'

P:\0021\vdg\general\0021\p001.dwg
Thursday, August 17, 2000

Old Albuquerque High School Renovation
Albuquerque, New Mexico

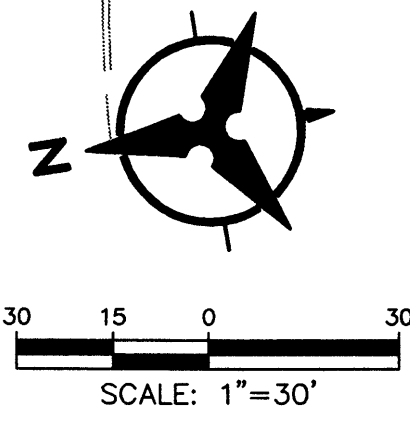
Revisions table with columns for date, description, and initials. Includes project name MASTER GRADING & DRAINAGE PLAN, drawing number 00 321 A 01, and sheet number 5.

Bohannon-Huston
Civil Engineers, Planners, Photogrammetrists, Surveyors, Software Developers
Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109



**LEGEND**

- PROPERTY LINE
- EXISTING DROP INLET
- EXISTING DUMPSTER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING SEWER MANHOLE
- EXISTING TELEPHONE RISER
- EXISTING TRANSFORMER
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING SANITARY SEWER
- SEWER
- EXISTING WATERLINE
- GAS
- EXISTING GAS LINE
- WATERLINE TO BE TO BE ABANDONED OR REMOVED OR REPLACED
- OHU
- EXISTING OVERHEAD UTILITY
- SAS
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED WATER LINE
- PROPOSED VALVE
- PROPOSED REDUCER
- PROPOSED METER
- PROPOSED FIRE HYDRANT



**PROJECT BENCH MARK**

STATION 6+K 14 (R)  
ELEVATION=4968.765  
X=382162.22  
Y=1483941.10

NOTE: EXISTING UTILITY DATA IS BASED ON SURVEY PROVIDED BY SOUTHWEST SURVEY.

AND PLANS CHECKING OFFICE  
924-3611  
**APPROVED/DISAPPROVED**  
*W. D. [Signature]*  
SIGNATURE & DATE

**CONCEPTUAL UTILITY NOTES**

1. THIS PLAN ASSUMES ALL WATER & SEWER SERVICES WILL BE REMOVED AND/OR ABANDONED.
2. EACH BUILDING IS ASSUMED TO HAVE ITS OWN FIRE RISER FOR THE SPRINKLER SYSTEM.
3. THIS PLAN ASSUMES THAT BACKFLOW PREVENTERS FOR DOMESTIC WATER ARE NOT REQUIRED OR THAT THEY ARE LOCATED INSIDE THE BUILDING.
4. EXACT LOCATION (WHETHER IN MECHANICAL ROOM OR OUTSIDE IN A "HOTBOX") & TYPE OF BACKFLOW PREVENTER FOR FIRE PROTECTION WILL BE DETERMINED BY FINAL DESIGN.

**KEYED NOTES**

- (A) NEW 2" DOMESTIC WATER SERVICE
- (B) NEW 6" PRIVATE FIRE LINE
- (C) NEW PRIVATE FIRE HYDRANT
- (D) PRIVATE SAS LINE

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reviewed by	BUS
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project no.	00 321 A 02
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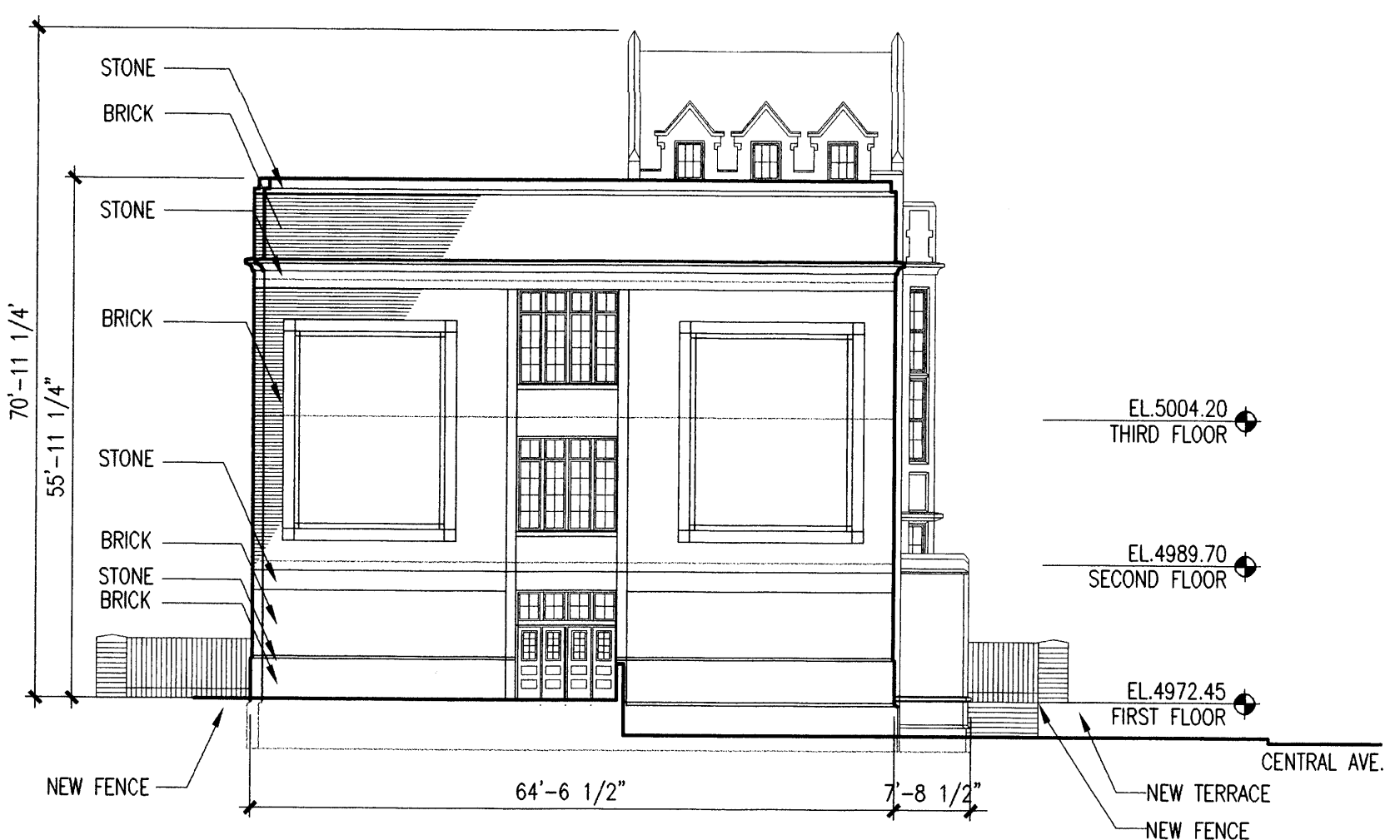
**CONCEPTUAL  
UTILITY PLAN**

**Bohannon & Huston**

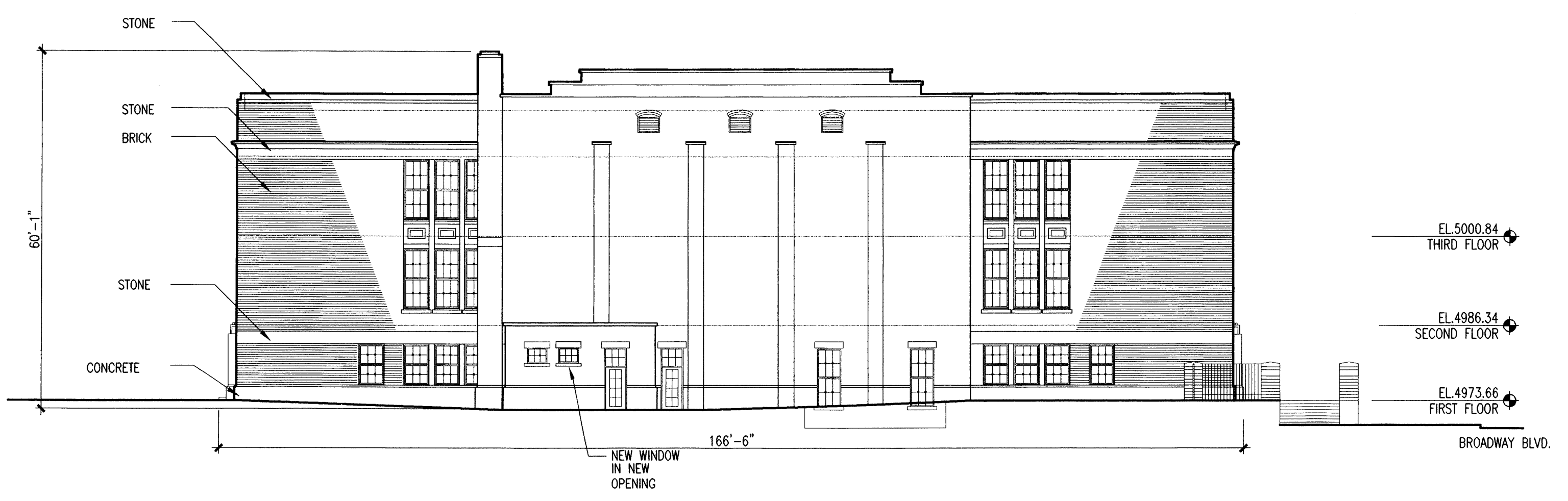
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7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

sheet no.





1 Classroom - Existing North Elevation  
1/16"=1'-0"



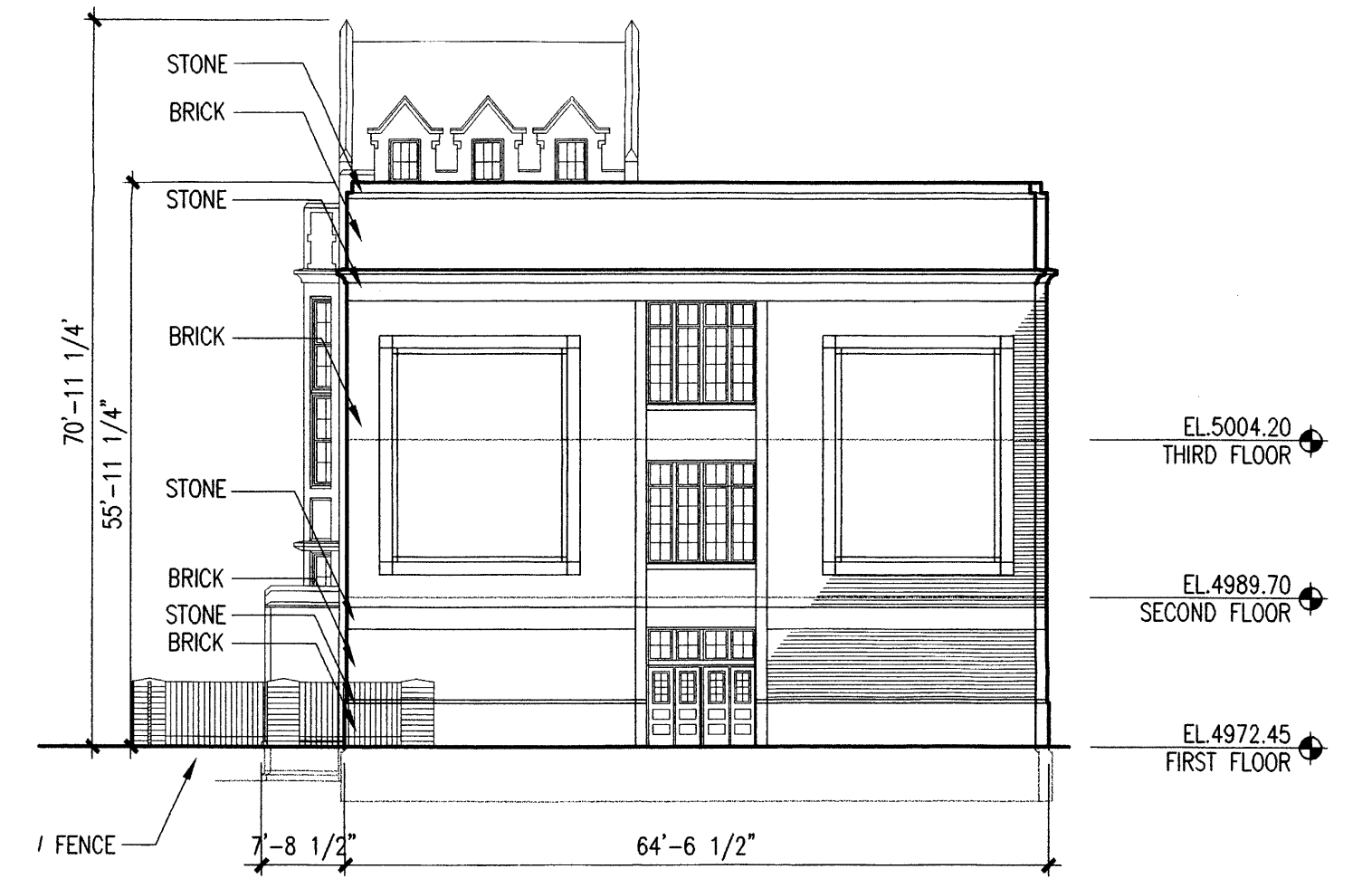
5 Old Main - Existing North Elevation  
1/16"=1'-0"



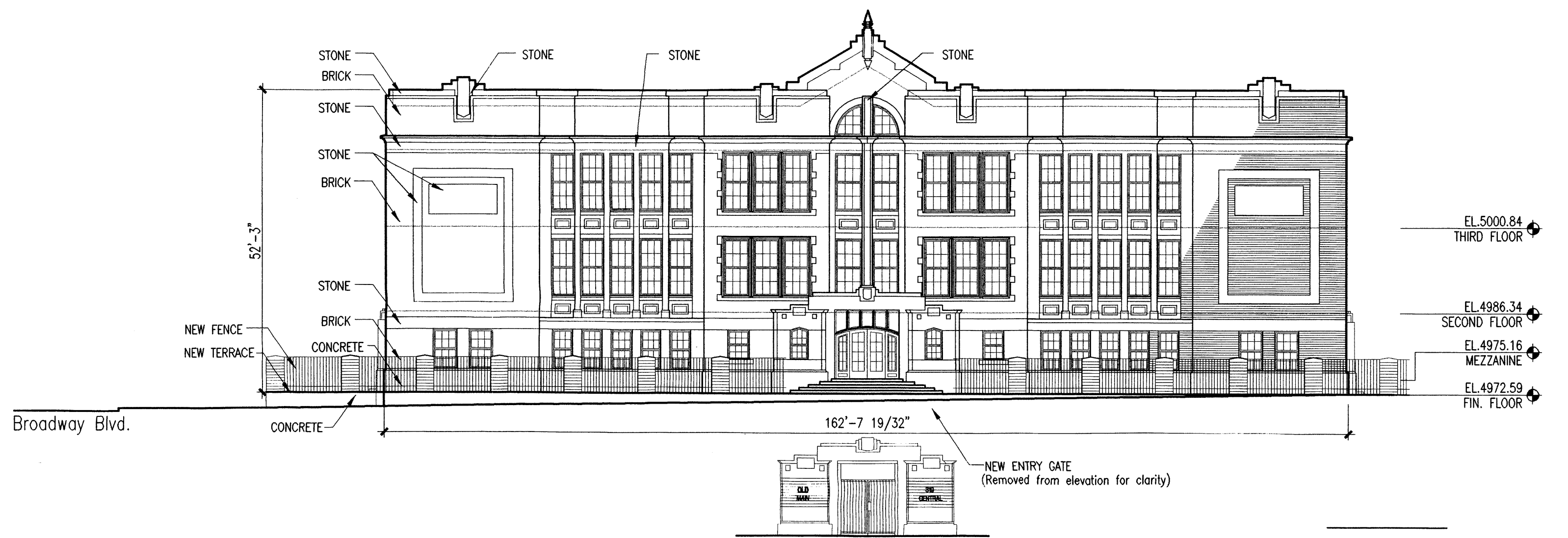
2 Classroom - Existing West Elevation  
1/16"=1'-0"



6 Old Main - Existing West Elevation  
1/16"=1'-0"



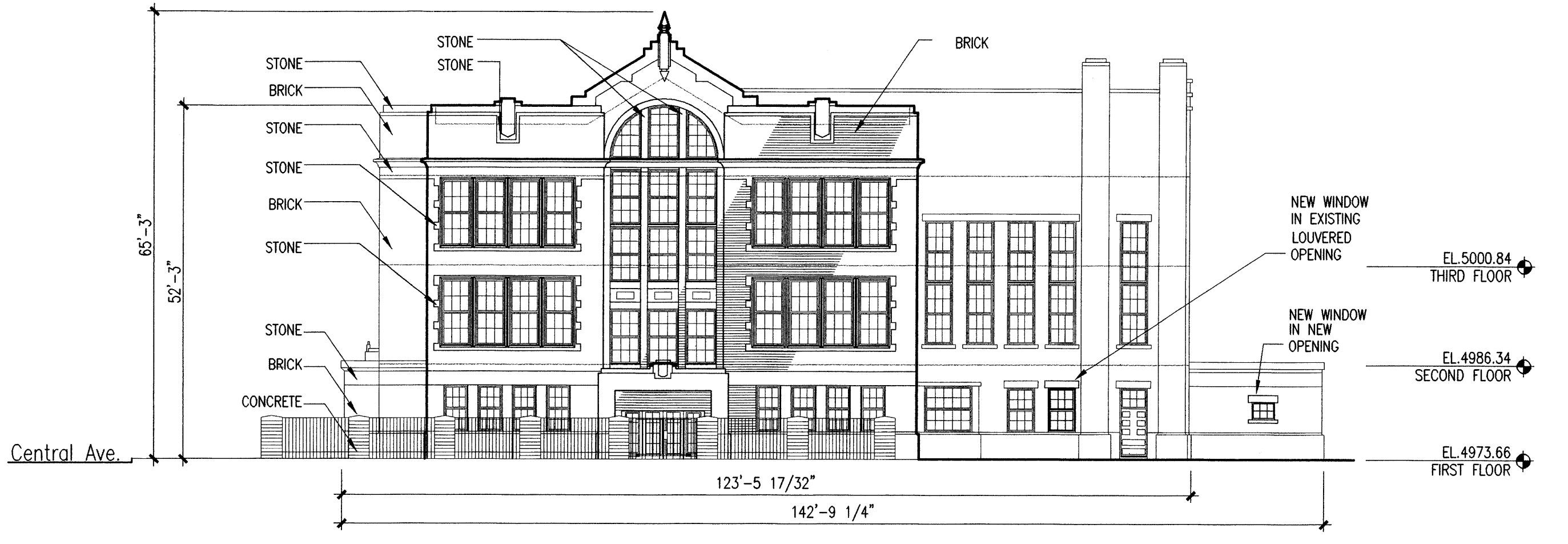
3 Classroom - Existing South Elevation  
1/16"=1'-0"



7 Old Main - Existing South Elevation  
1/16"=1'-0"

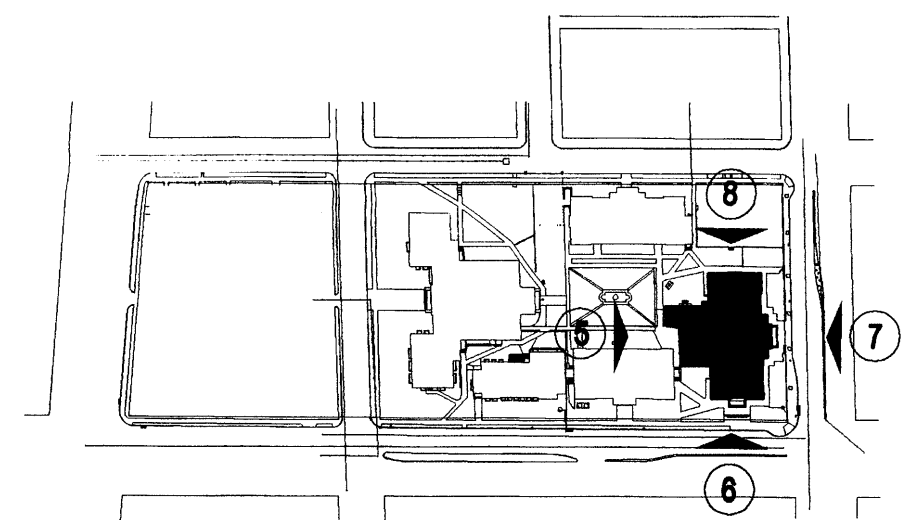


4 Classroom - Existing East Elevation  
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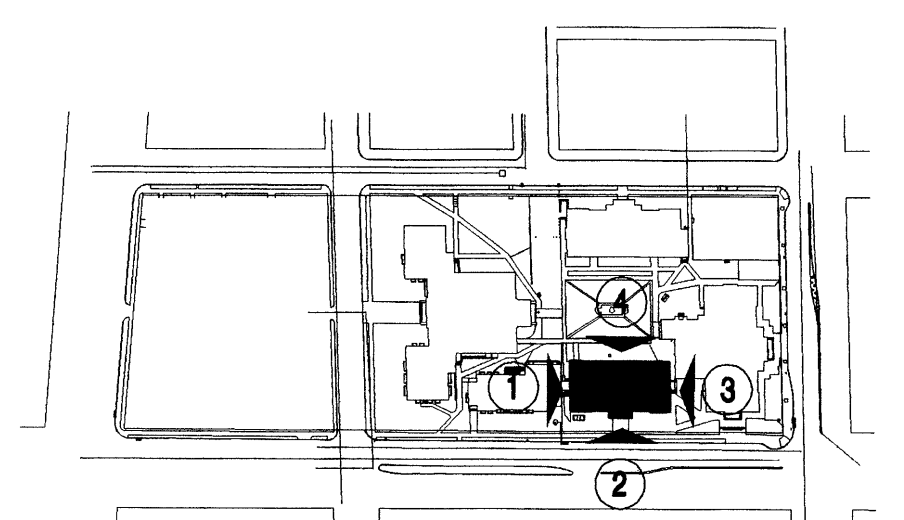


8 Old Main - Existing East Elevation  
1/16"=1'-0"

Note:  
• No changes are proposed to existing elevations.  
• All dark maroon brick is to remain.  
• There are 600+ windows in the four historic buildings of the Old Albuquerque High School campus. The window description is attached. We are in the process of preparing a window survey for the Part II submittal to the State Historic Preservation Office and the National Park Service. That survey will contain detailed information on each window, its current location and a recommendation on restoration or replication/replacement, based on an analysis of that condition.



Old Main - Key Plan  
NTS



Classroom - Key Plan  
NTS

Old Albuquerque High School Renovation  
Albuquerque, New Mexico

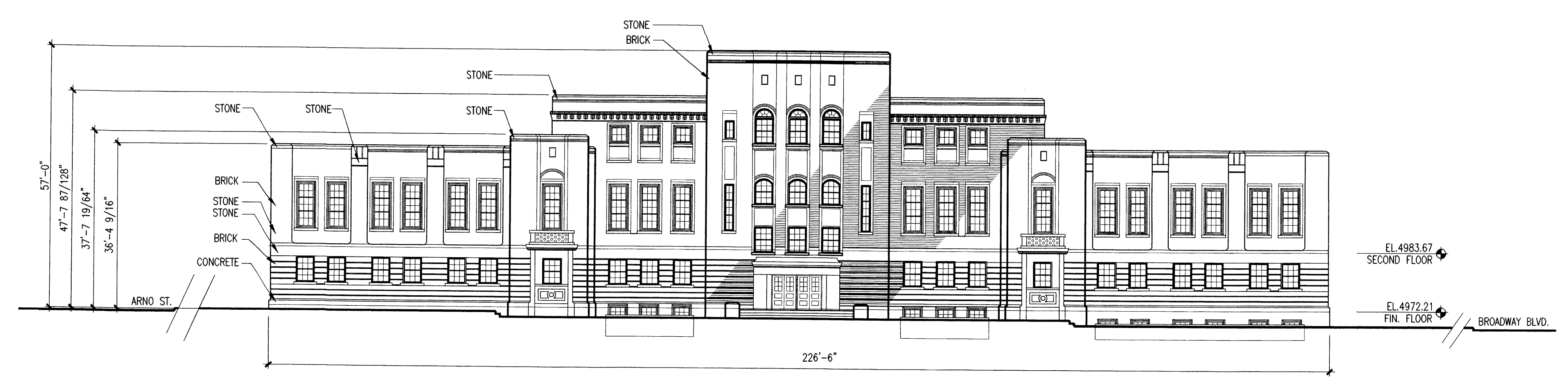
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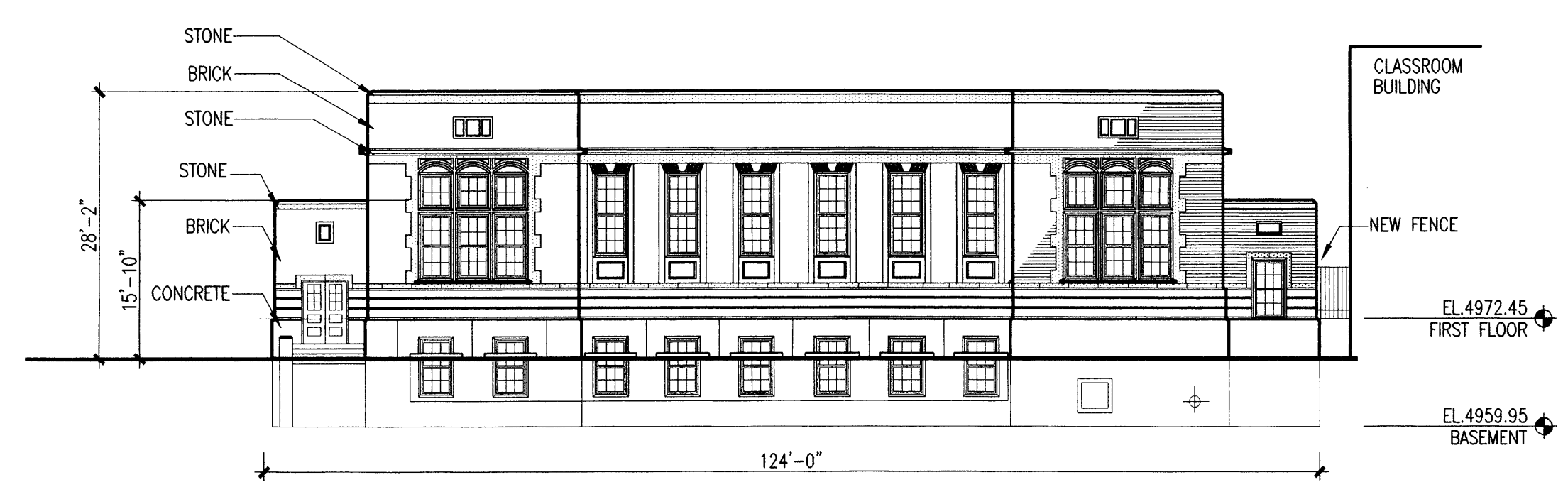
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reviewed by  
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project no. 99111  
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Old Main/Classroom  
Existing Elevations

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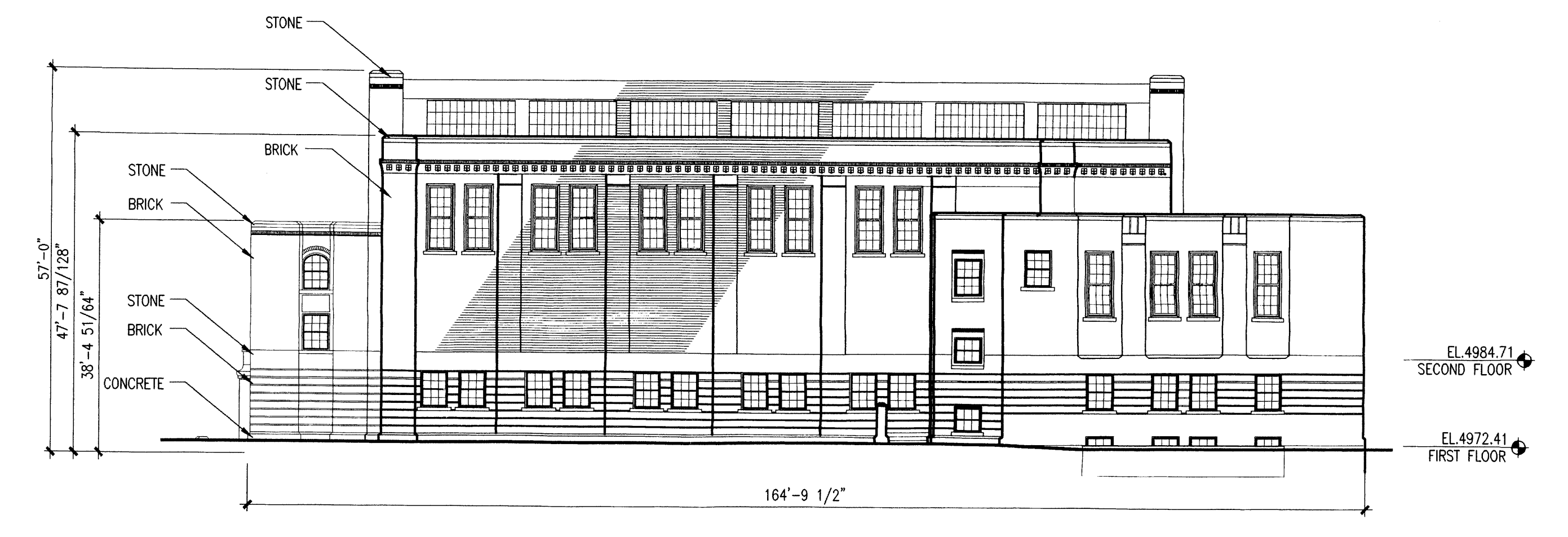




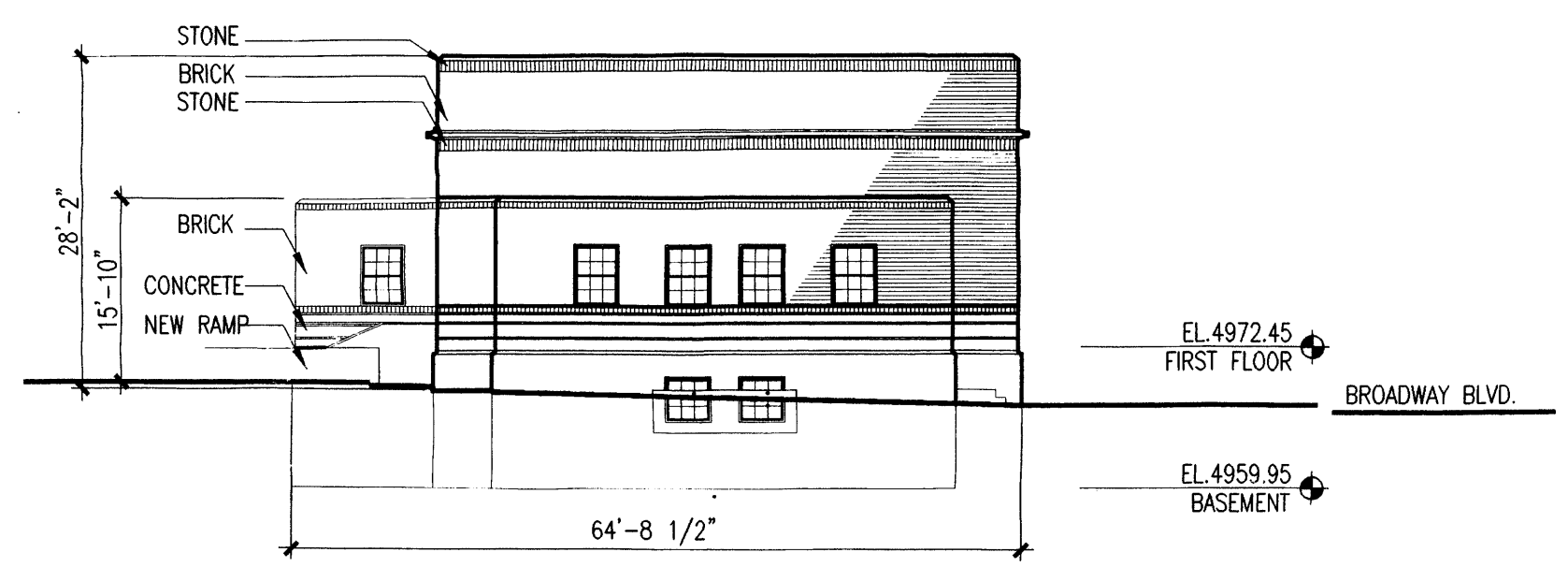
**1 Gymnasium - Existing North Elevation**  
1/16"=1'-0"



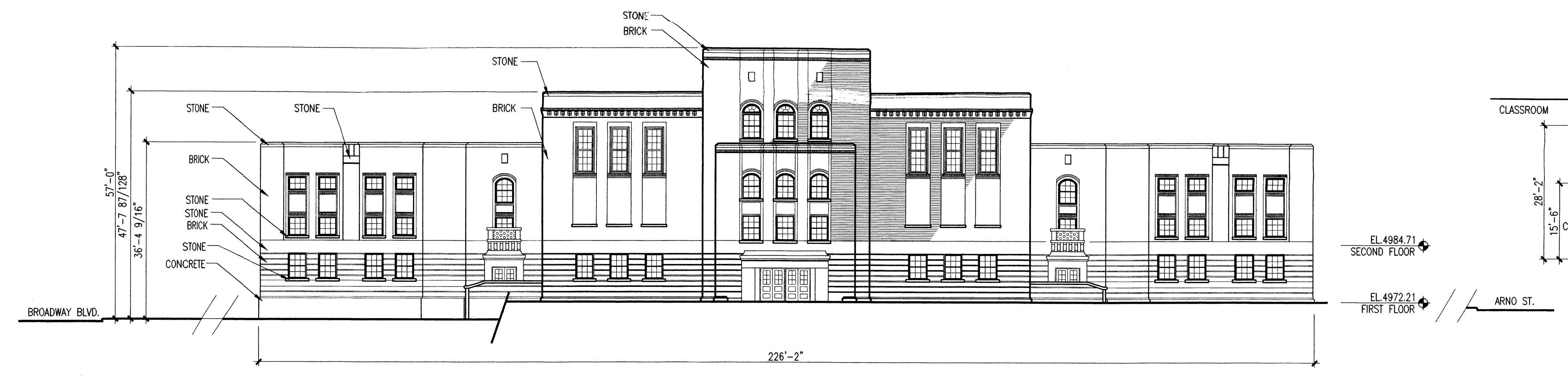
**5 Library - Existing West Elevation**  
1/16"=1'-0"



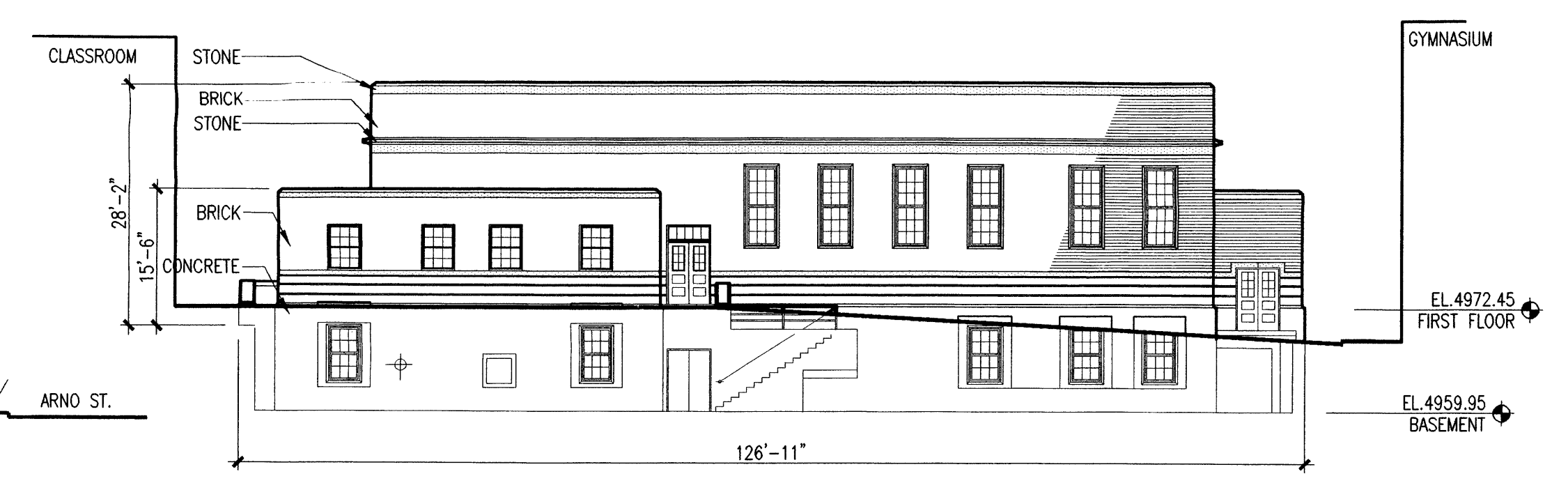
**2 Gymnasium - Existing East Elevation**  
1/16"=1'-0"



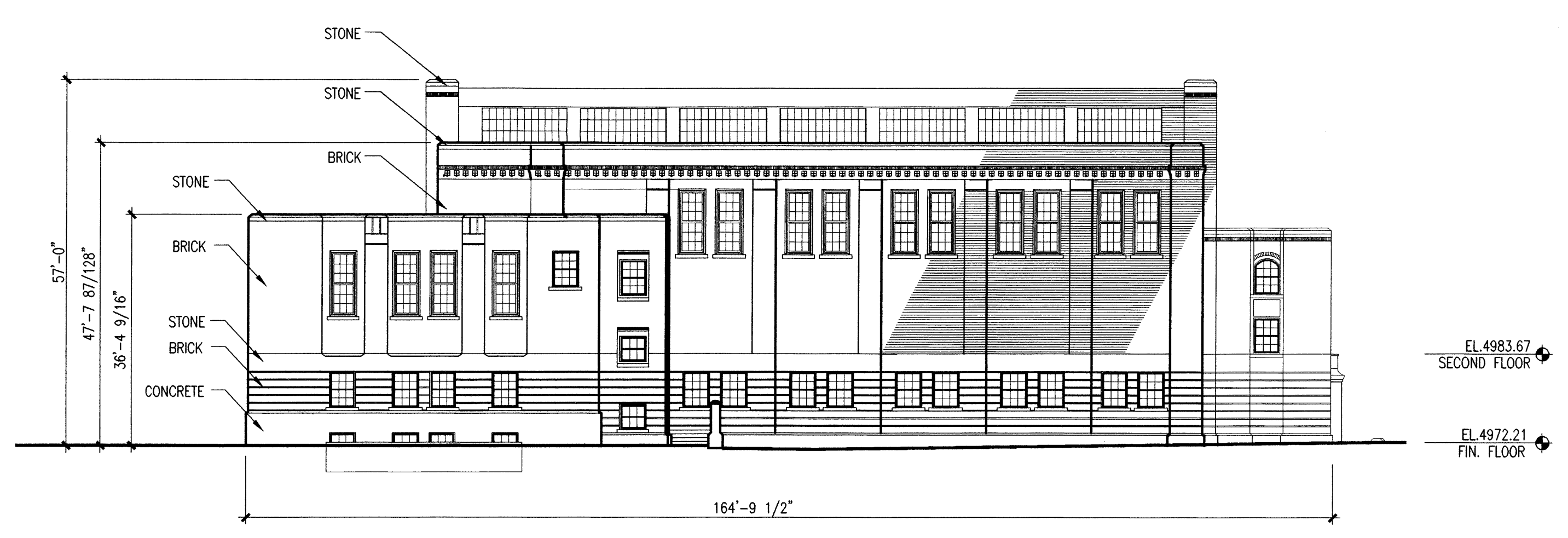
**6 Library - Existing North Elevation**  
1/16"=1'-0"



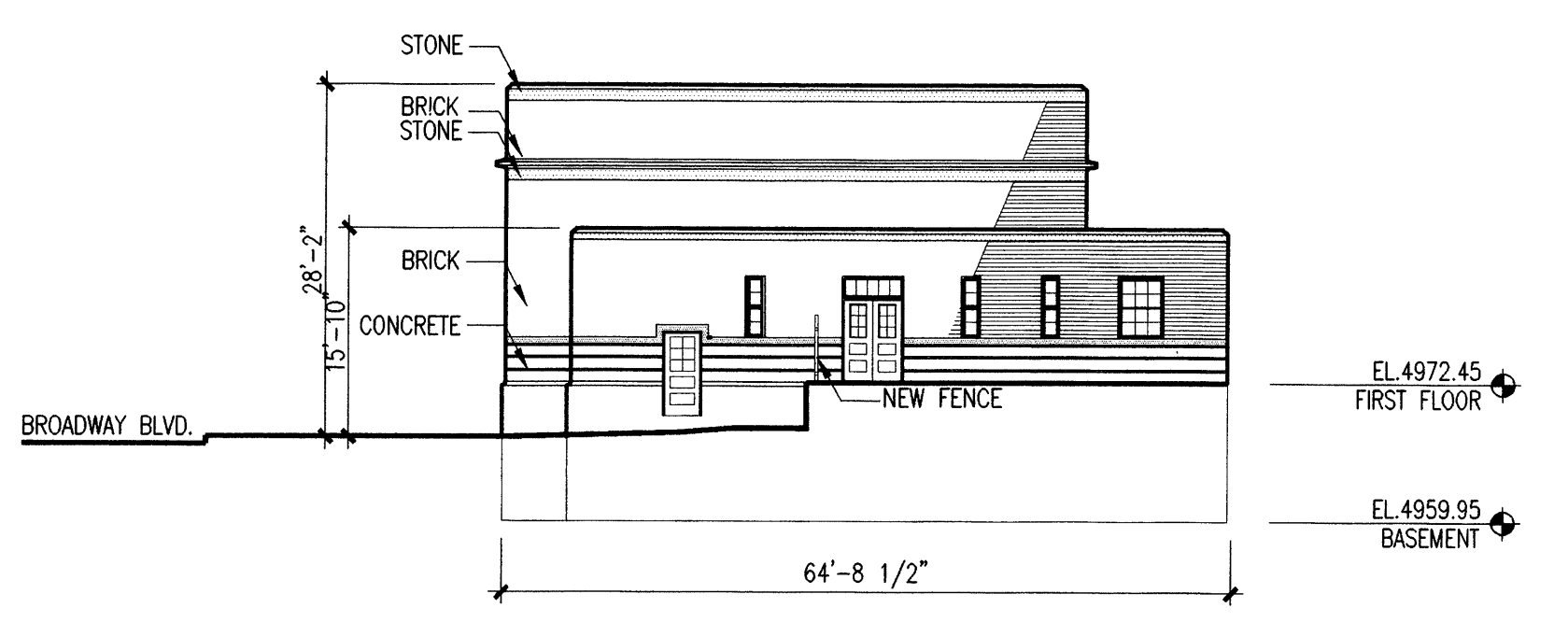
**3 Gymnasium - Existing South Elevation**  
1/16"=1'-0"



**7 Library - Existing East Elevation**  
1/16"=1'-0"

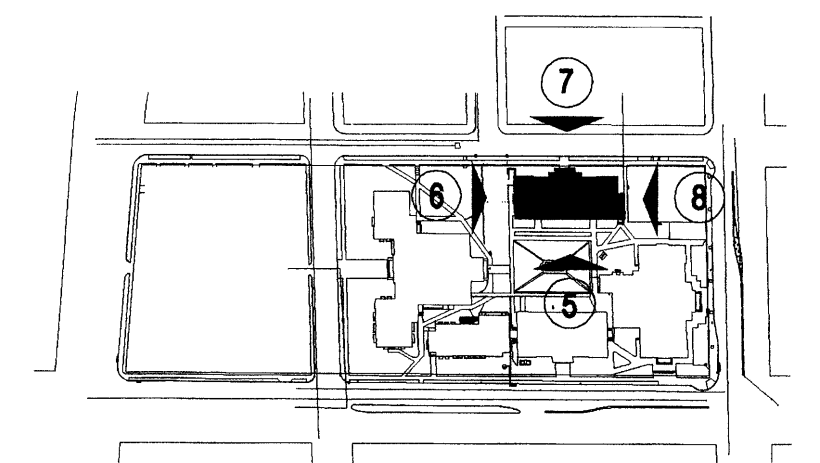


**4 Gymnasium - Existing West Elevation**  
1/16"=1'-0"

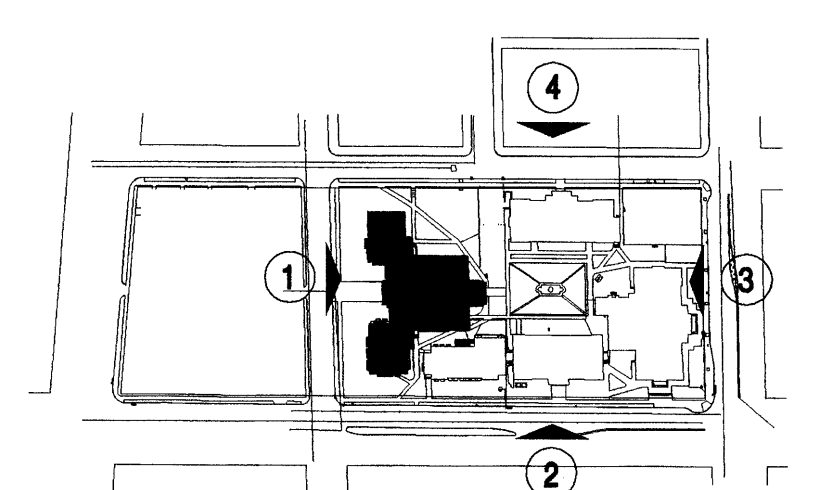


**8 Library - Existing South Elevation**  
1/16"=1'-0"

Note:  
 \* No changes are proposed to existing elevations.  
 \* All dark maroon brick is to remain.  
 \* There are 600+ windows in the four historic buildings of the Old Albuquerque High School campus. The window description is attached. We are in the process of preparing a window survey for the Part II submittal to the State Historic Preservation Office and the National Park Service. That survey will contain detailed information on each window, its current location and a recommendation on restoration or replication/replacement, based on an analysis of that condition.



**Library - Key Plan**  
NTS



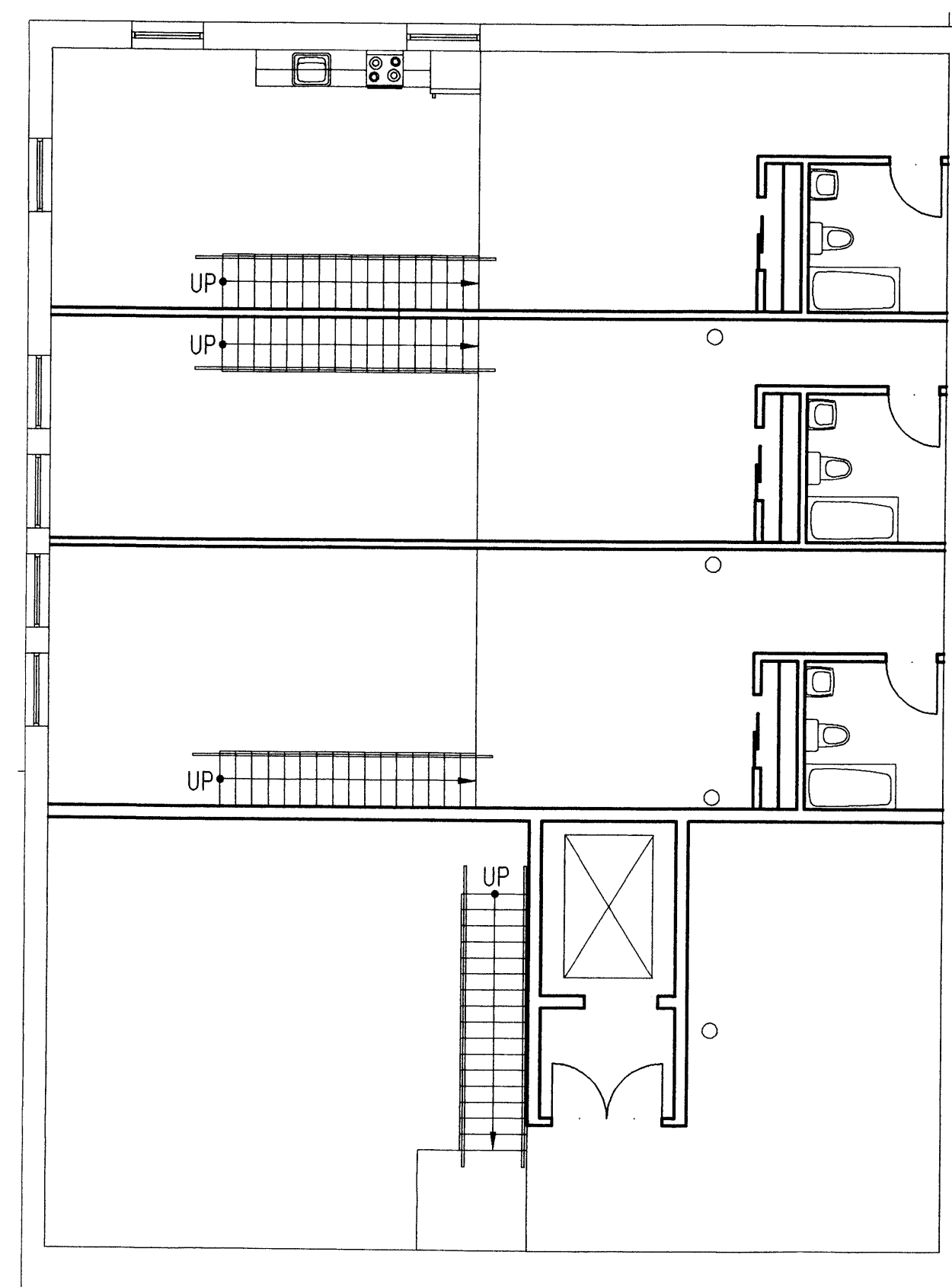
**Gymnasium - Key Plan**  
NTS

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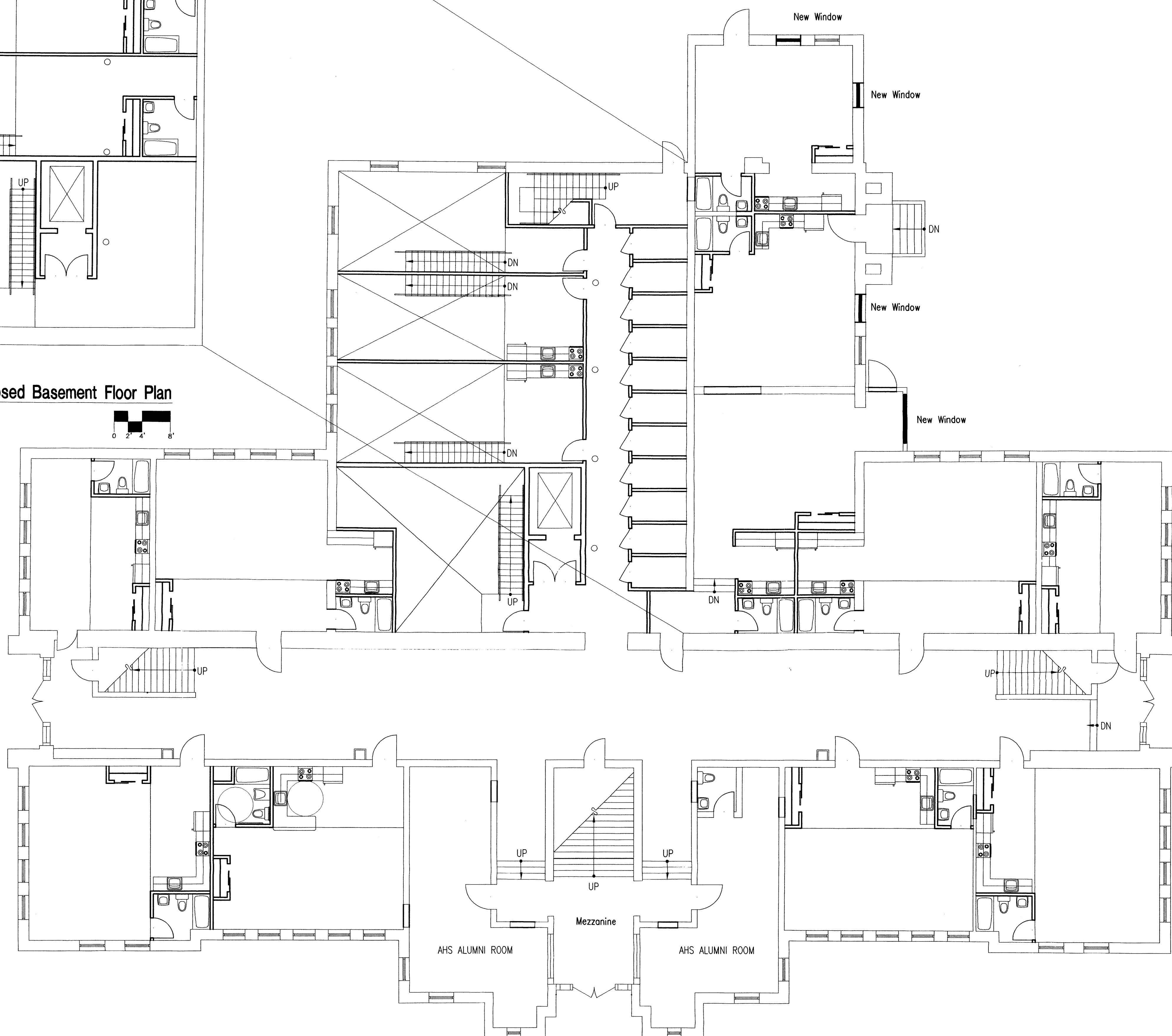
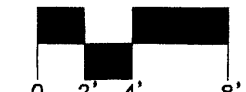
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 reviewed by \_\_\_\_\_  
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 project no. **99111**  
 drawing name \_\_\_\_\_

**Gymnasium/ Library Existing Elevations**





**1** Old Main - Proposed Basement Floor Plan  
1/8"=1'-0"



**2** Old Main - Proposed First Floor Plan  
1/8"=1'-0"



**Old Albuquerque High School Renovation**

Albuquerque, New Mexico

revisions

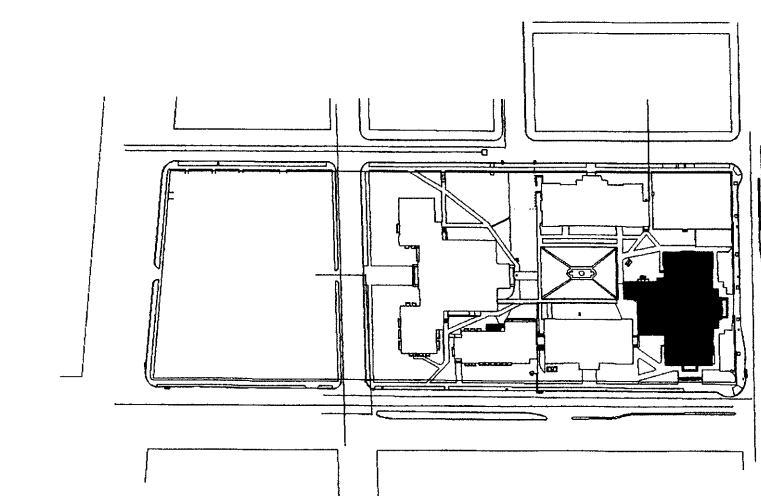
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drawn by  
reviewed by  
date **3-13-00**  
project no. **99111**  
drawing name

**Old Main Proposed  
Basement Floor Plan  
First Floor Plan  
Mezzanine Floor Plan**

sheet no.



**Key Plan**

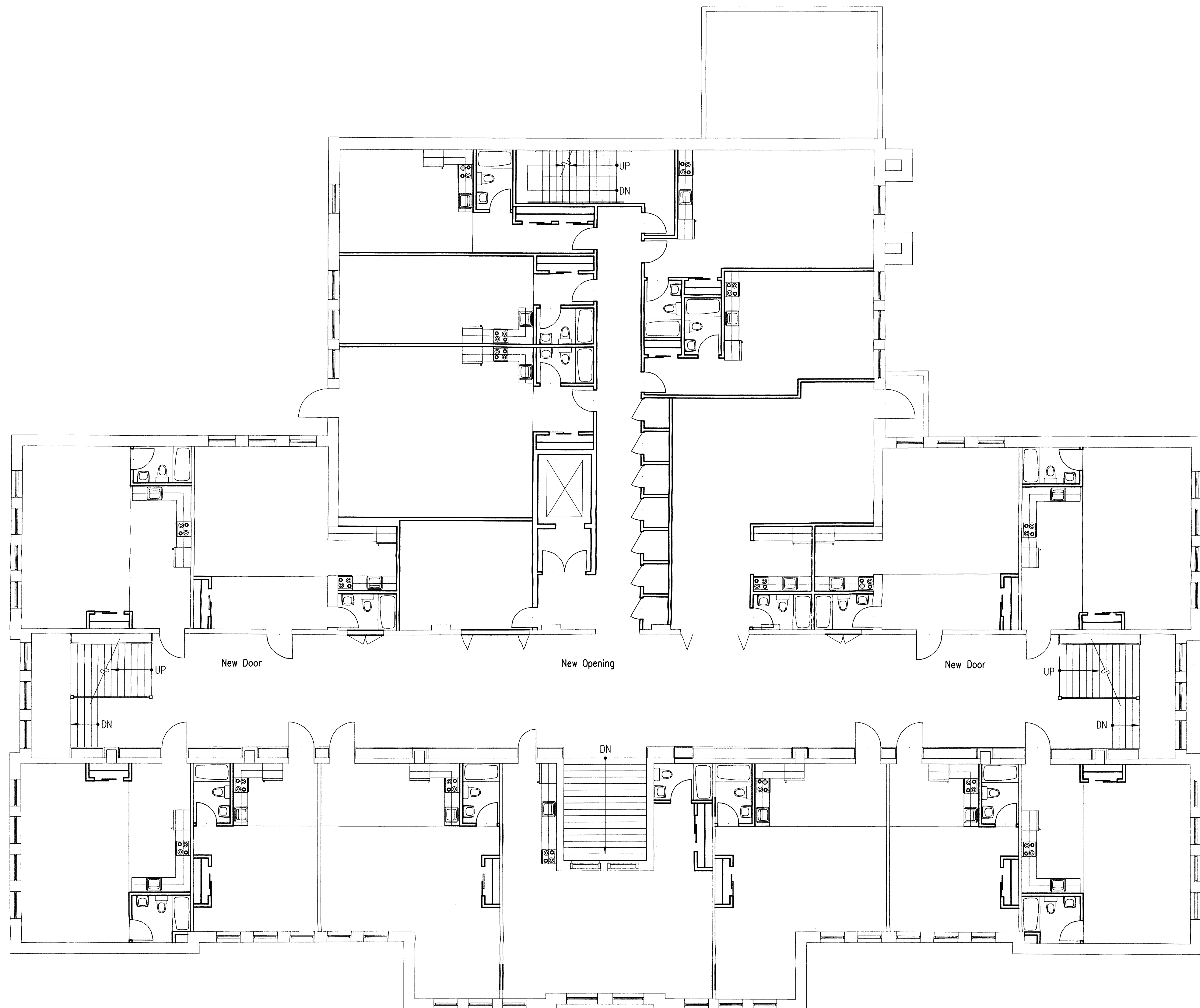
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The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and main hallways are historically significant and are architectural character-defining features of the building. Because of the extensive destruction of the Auditorium, this space shall be considered along with the overall concept and the project as a whole.

The intent of the interior remodeling of this building is to retain as many classrooms as possible in their original condition and create loft apartments.





**1** Old Main - Proposed Second Floor Plan  
1/8"=1'-0"  
0 2' 4' 8'

**Old Albuquerque High School Renovation**

Albuquerque, New Mexico

revisions

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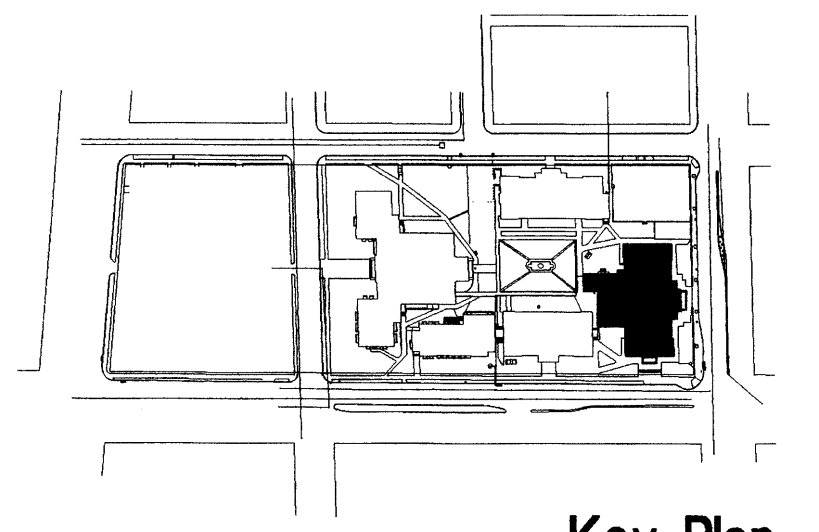
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drawn by  
reviewed by  
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drawing name

**Old Main Proposed  
Second Floor Plan**

sheet no.

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of



**Key Plan**

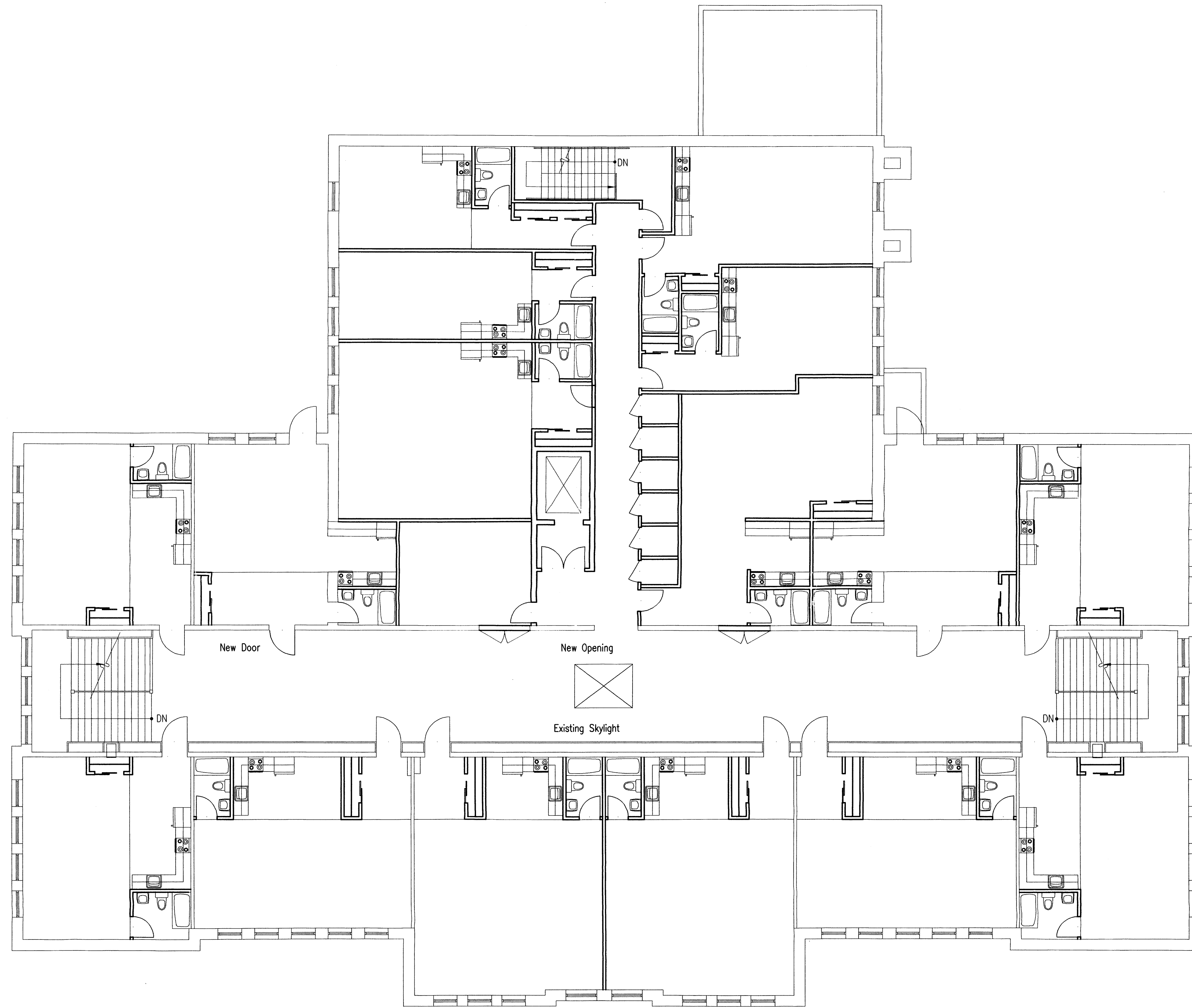
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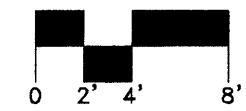
The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and main hallways are historically significant and are architectural character-defining features of the building. Because of the extensive destruction of the Auditorium, this space shall be considered along with the overall concept and the project as a whole.

The intent of the interior remodeling of this building is to retain as many classrooms as possible in their original condition and create loft apartments.





**1** Old Main - Proposed Third Floor Plan  
1/8"=1'-0"



**Old Albuquerque High School Renovation**

Albuquerque, New Mexico

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drawn by

reviewed by

date

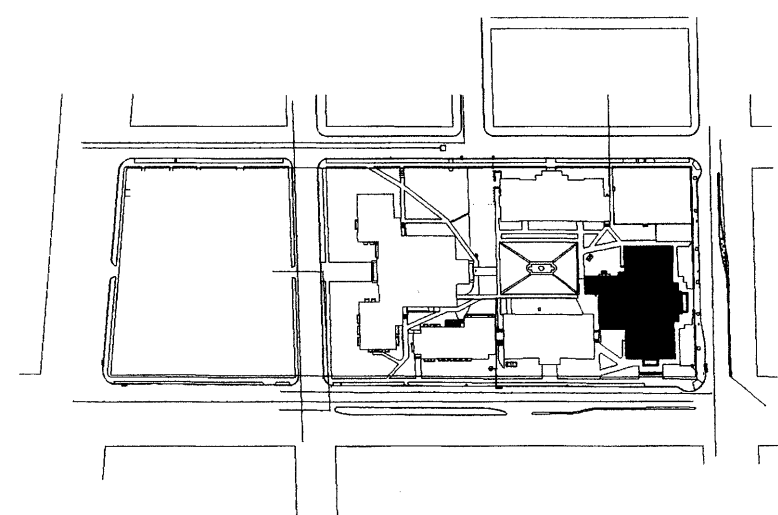
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project no.

99111

drawing name

**Old Main Proposed  
Third Floor Plan**



**Key Plan**

NTS



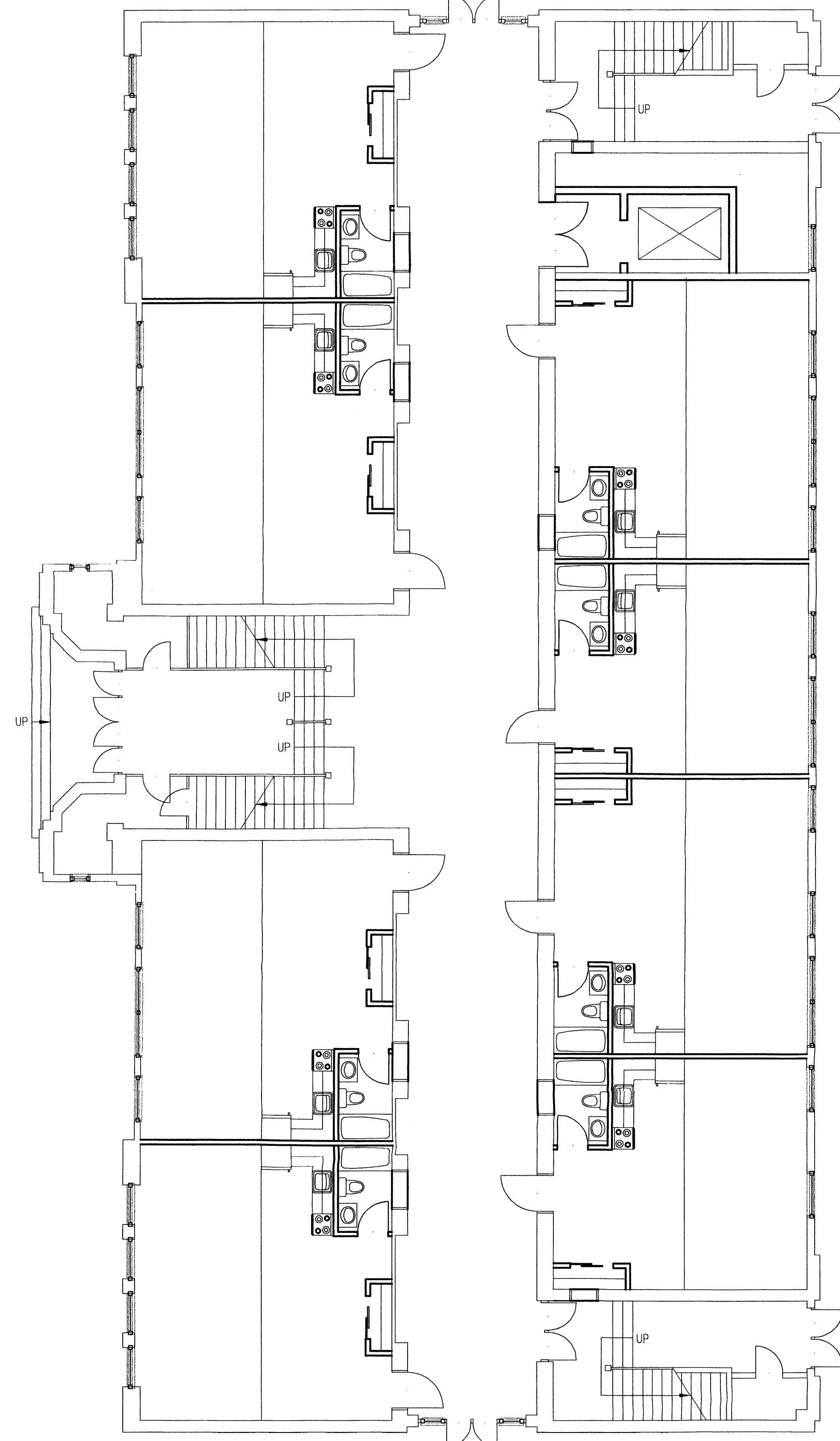
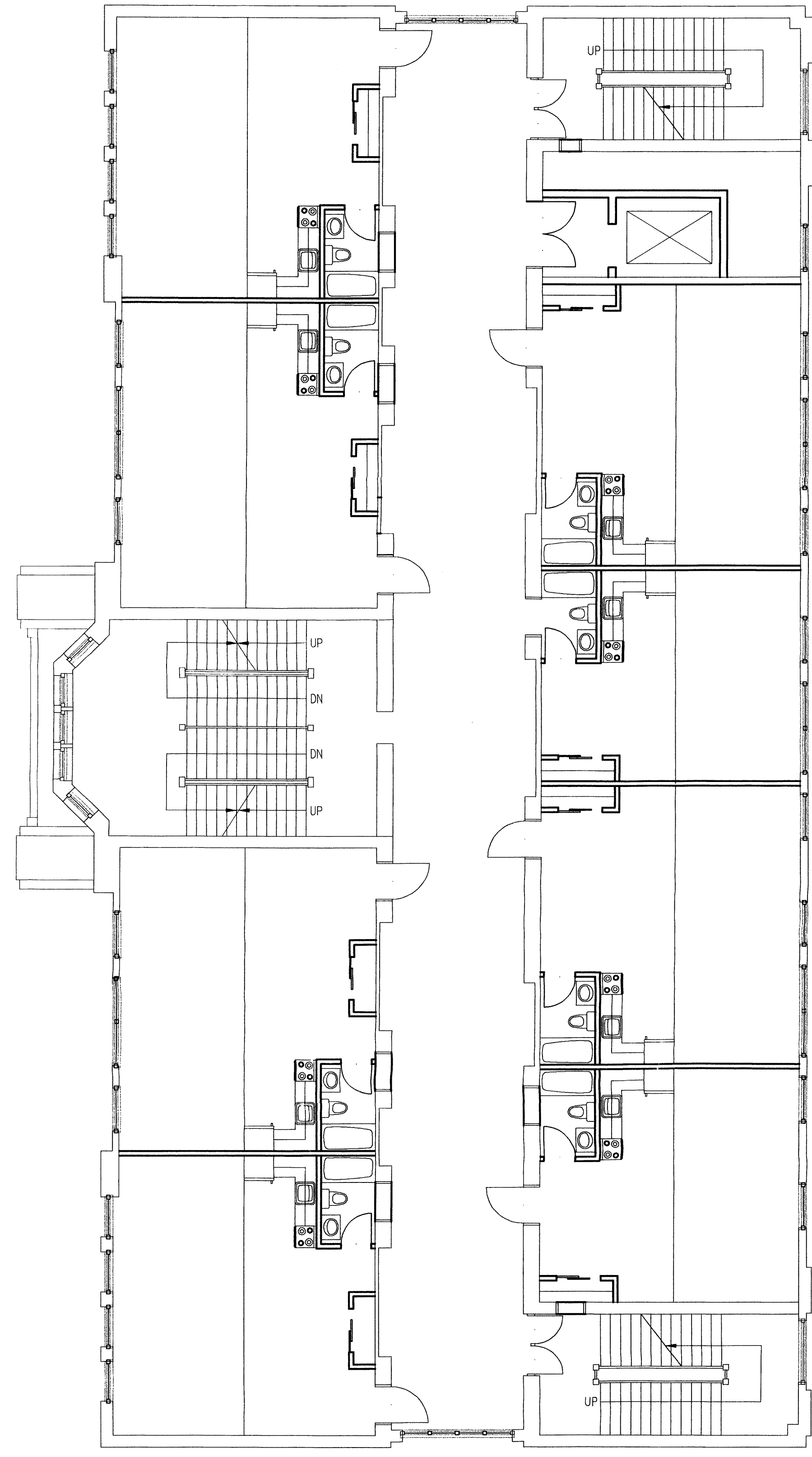
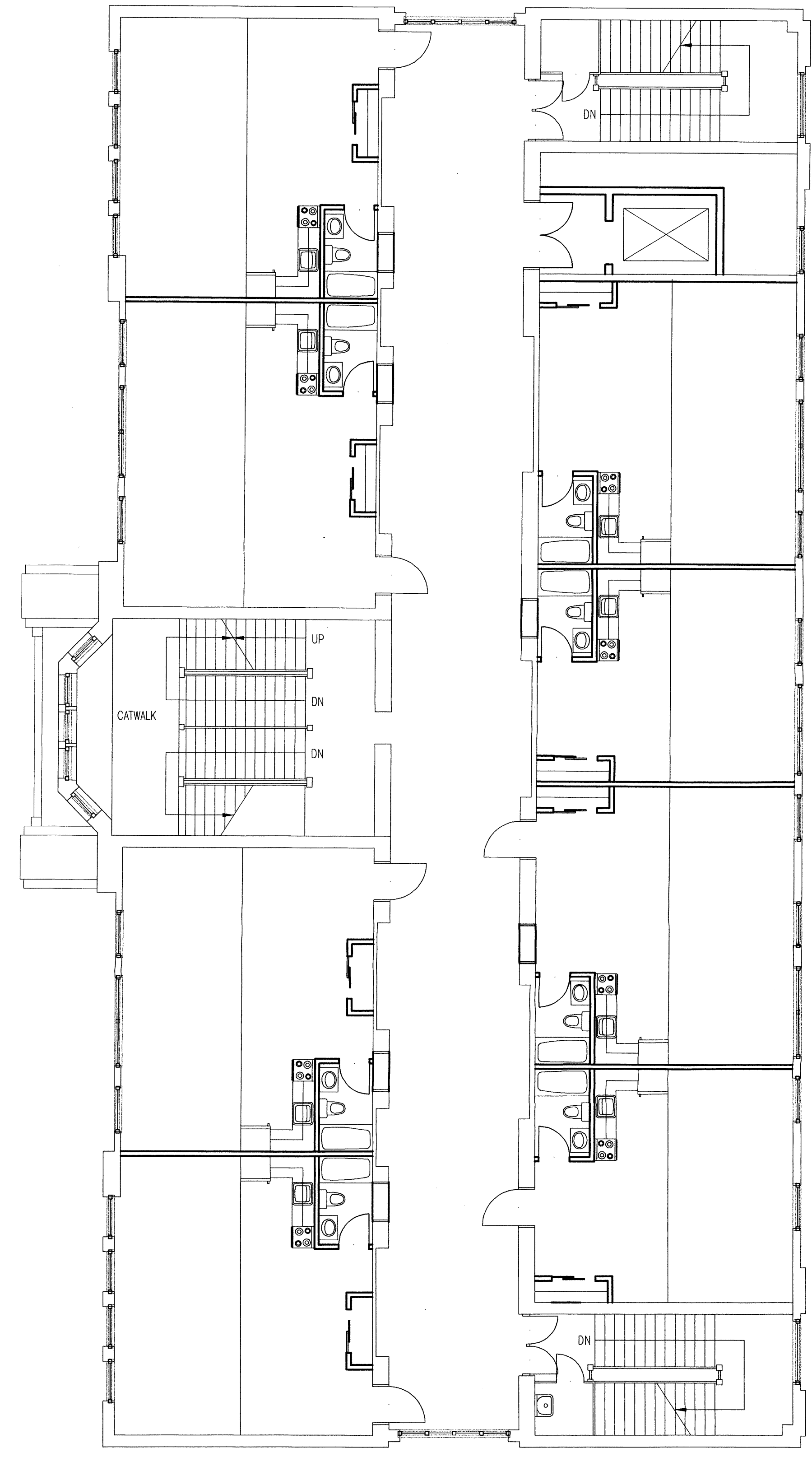
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of

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and main hallways are historically significant and are architectural character-defining features of the building. Because of the extensive destruction of the Auditorium, this space shall be considered along with the overall concept and the project as a whole.

The intent of the interior remodeling of this building is to retain as many classrooms as possible in their original condition and create loft apartments.

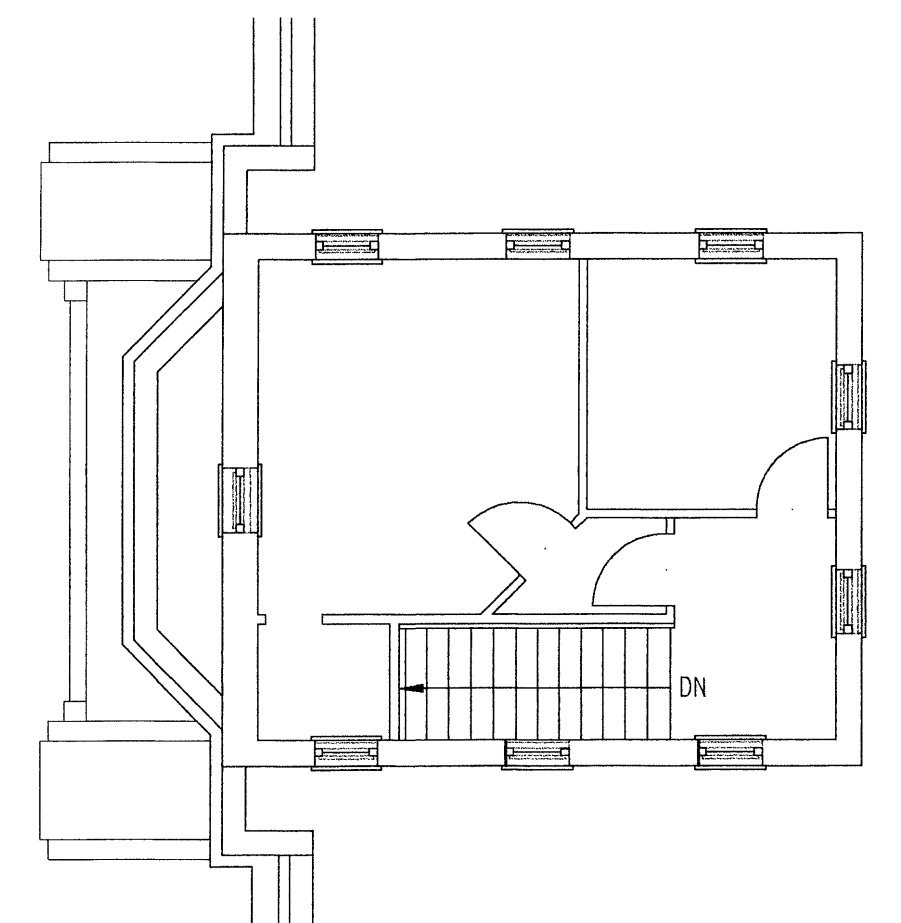




**3 Classroom - Proposed Third Floor Plan**  
1/8"=1'-0"

**2 Classroom - Proposed Second Floor Plan**  
1/8"=1'-0"

**1 Classroom - Proposed First Floor Plan**  
1/8"=1'-0"

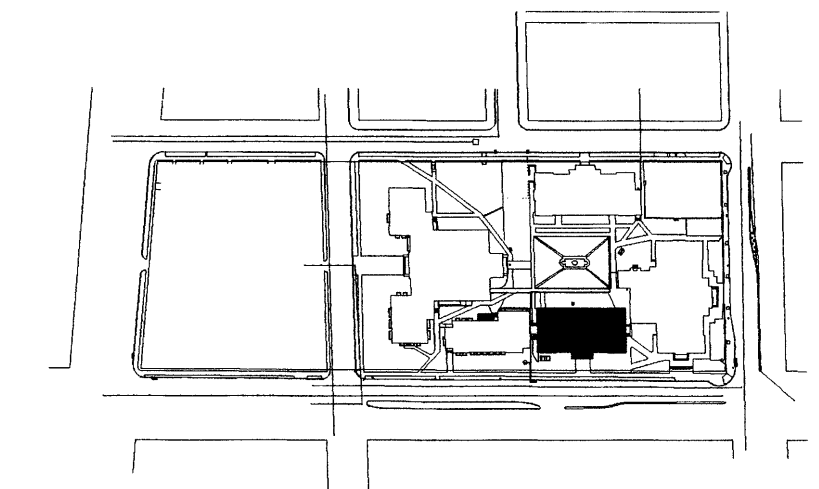


**4 Classroom - Proposed Penthouse Floor Plan**  
1/8"=1'-0"

Existing windows on the Old Albuquerque High School campus range from large 42" x 72" double hung, multi-pane wood windows to small steel frame windows in the gymnasium. All of these windows are single glazed.

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and main hallways are historically significant and are architectural character-defining features of the building.

The intent of the interior remodeling of this building is to retain as many classrooms as possible in their original condition and create loft apartments.



**Key Plan**  
NTS

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drawn by  
reviewed by  
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drawing name

**Classroom Building Propo  
First, Second,  
Third & Penthouse  
Floor Plans**

sheet no.



architect

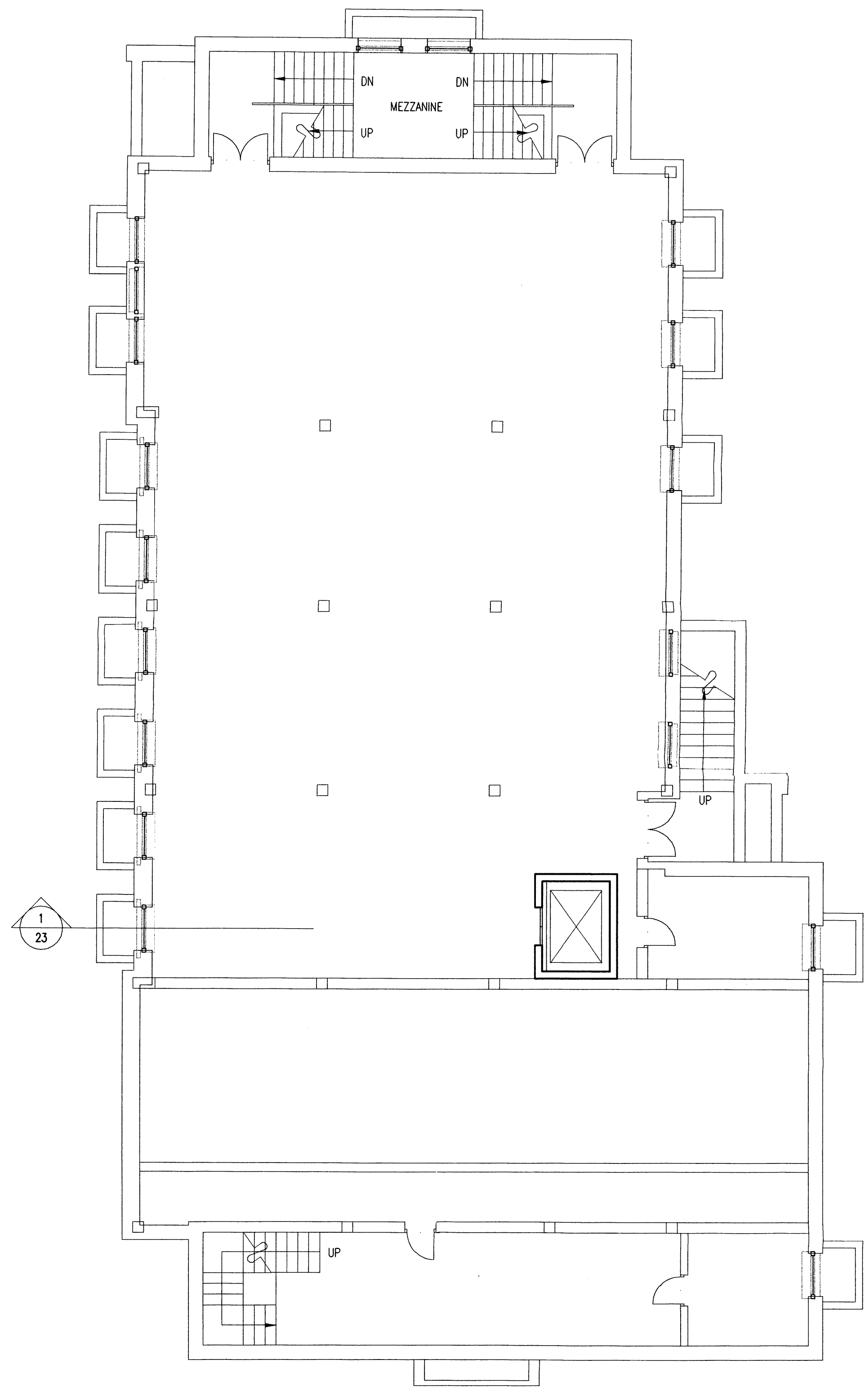
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**EPC/LUCC**  
Submittal

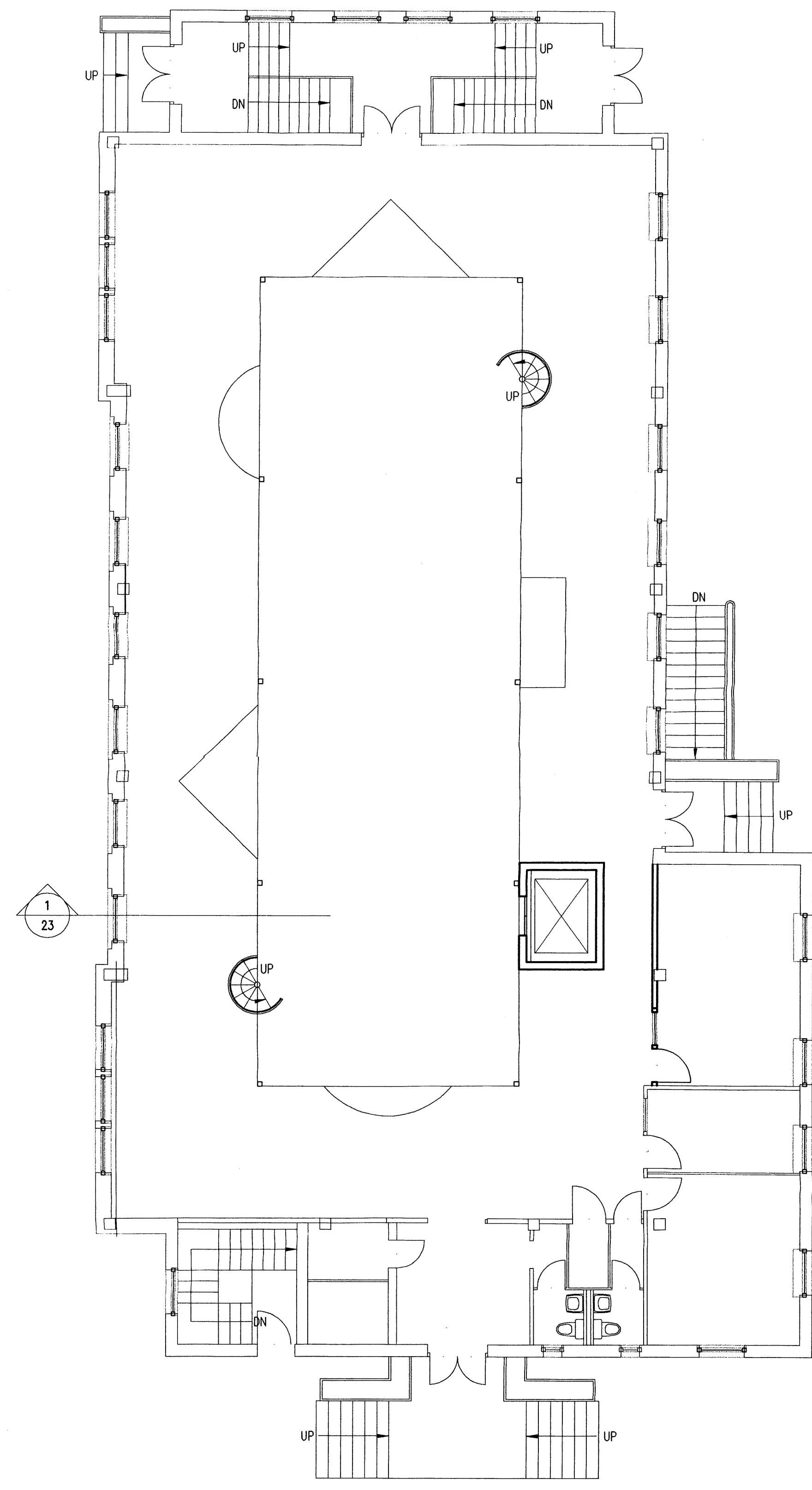
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**Old Albuquerque High School Renovation**

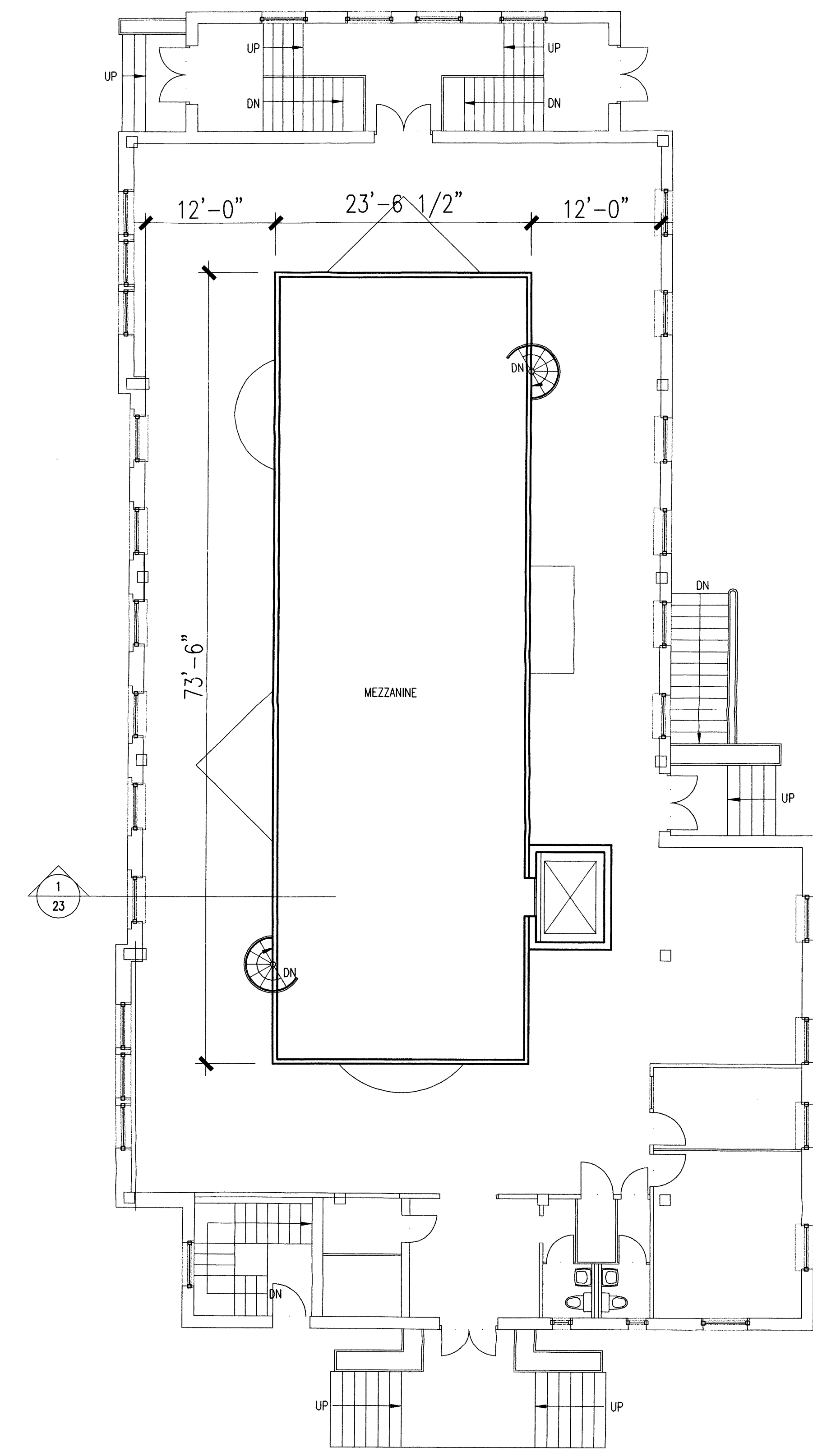
Albuquerque, New Mexico



**1 Library - Proposed Basement Floor Plan**  
1/8"=1'-0"  
0 2' 4' 8'



**2 Library - Proposed First Floor Plan**  
1/8"=1'-0"  
0 2' 4' 8'

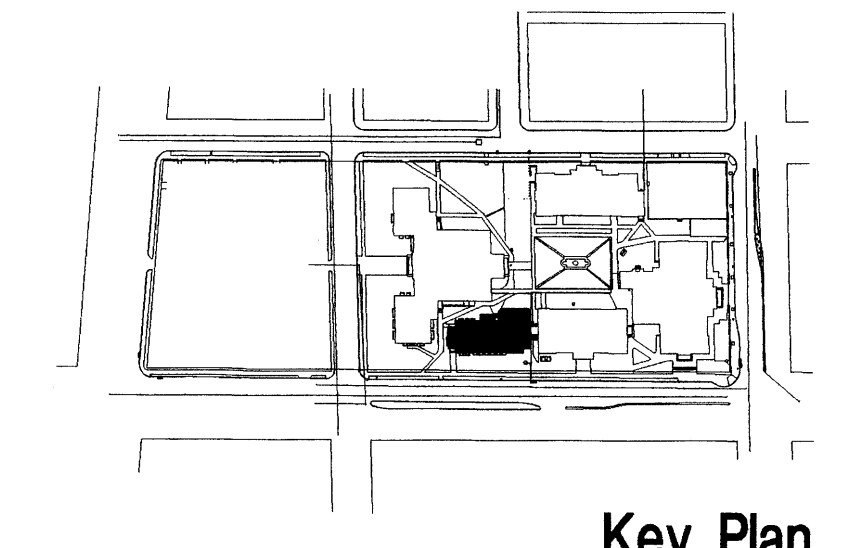


**3 Library - Proposed Mezzanine Floor Plan**  
1/8"=1'-0"  
0 2' 4' 8'

Existing windows on the Old Albuquerque High School campus range from large 42" x 72" double hung, multi-pane wood windows to small steel frame windows in the gymnasium. All of these windows are single glazed.

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and interior volume of the library are historically significant and are architectural character-defining features of the building.

The intent of the interior remodeling of this building is to retain the original library volume.



**Key Plan**  
NTS

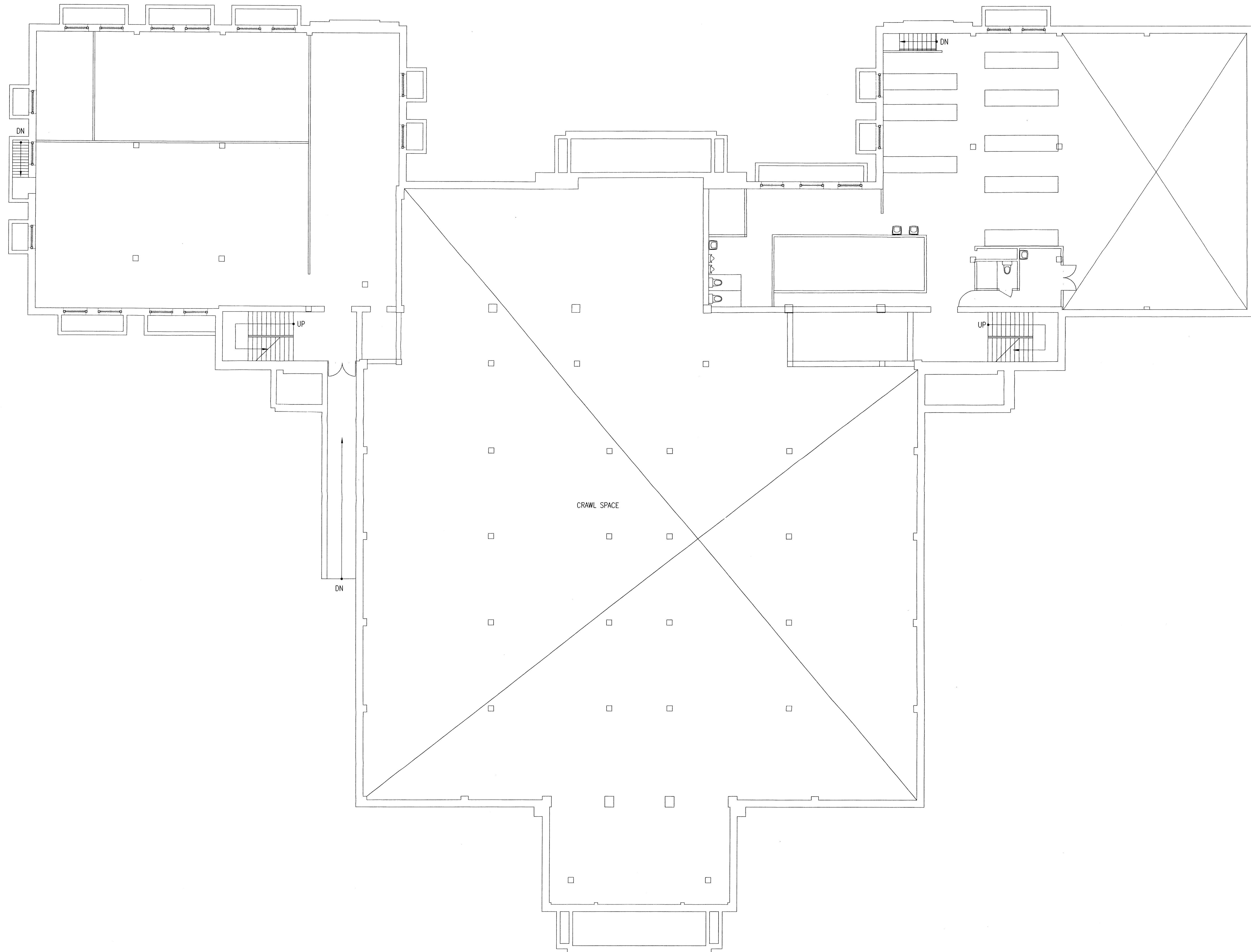
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reviewed by  
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drawing name

**Library - Proposed  
Basement Floor Plan  
First Floor Plan  
Mezzanine Floor Plan**

sheet no.





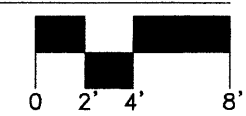
**Old Albuquerque High School Renovation**  
  
 Albuquerque, New Mexico

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**Gymnasium Existing  
Basement  
Floor Plan**

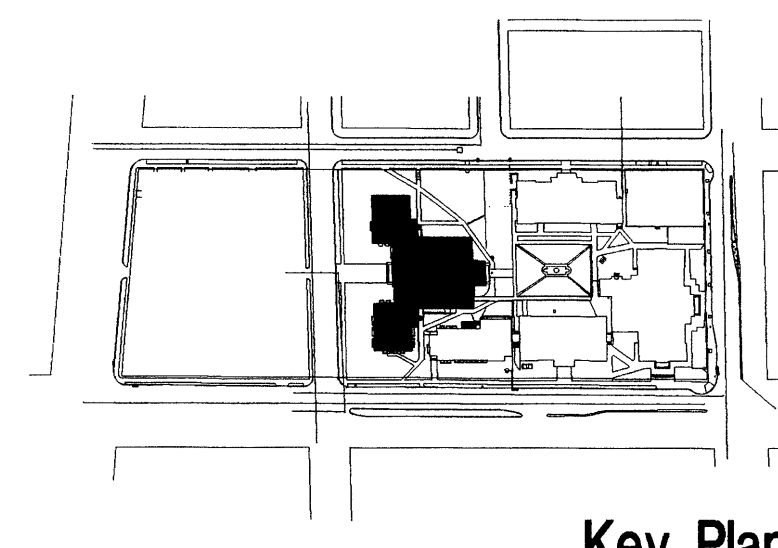
**1** Gymnasium - Existing Basement Floor Plan  
 1/8"=1'-0"



Existing windows on the Old Albuquerque High School campus range from large 42" x 72" double hung, multi-pane wood windows to small steel frame windows in the gymnasium. All of these windows are single glazed.

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and interior volume of the gymnasium are historically significant and are architectural character-defining features of the building.

The intent of the interior remodeling of this building is to retain the original gymnasium volume.

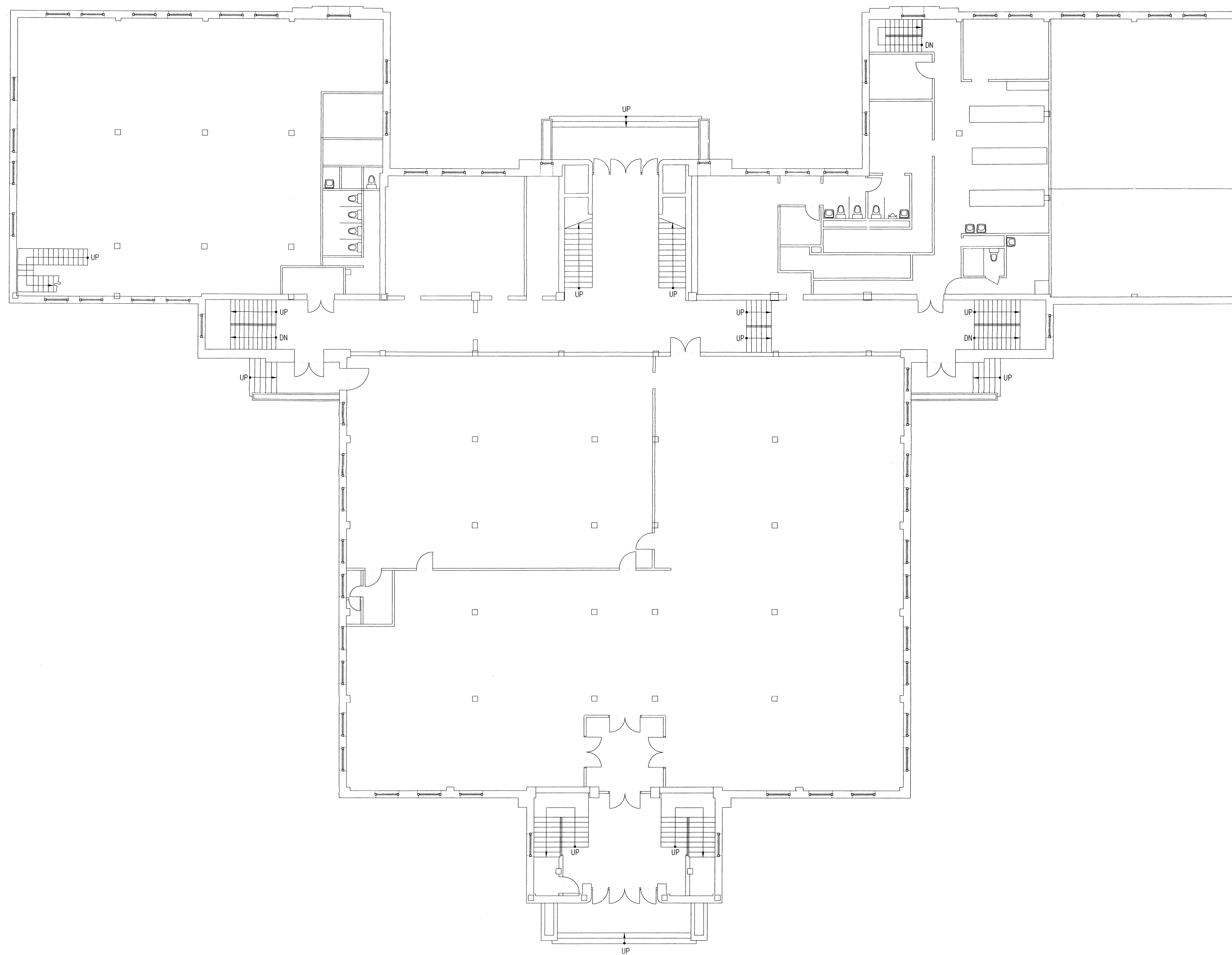


**Key Plan**



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**Old Albuquerque High School Renovation**

Albuquerque, New Mexico

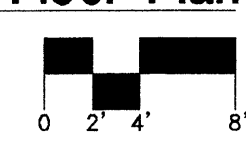
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reviewed by	
date	3-13-00
project no.	99111
drawing name	Gymnasium Existing First Floor Plan

Gymnasium Existing First Floor Plan

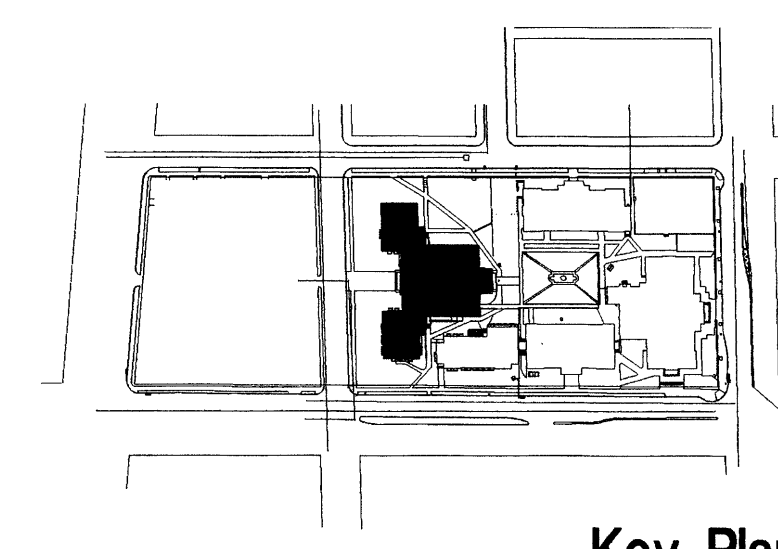
**1** Gymnasium - Existing First Floor Plan  
1/8"=1'-0"



Existing windows on the Old Albuquerque High School campus range from large 42" x 72" double hung, multi-pane wood windows to small steel frame windows in the gymnasium. All of these windows are single glazed.

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and interior volume of the gymnasium are historically significant and are architectural character-defining features of the building.

The intent of the interior remodeling of this building is to retain the original gymnasium volume.

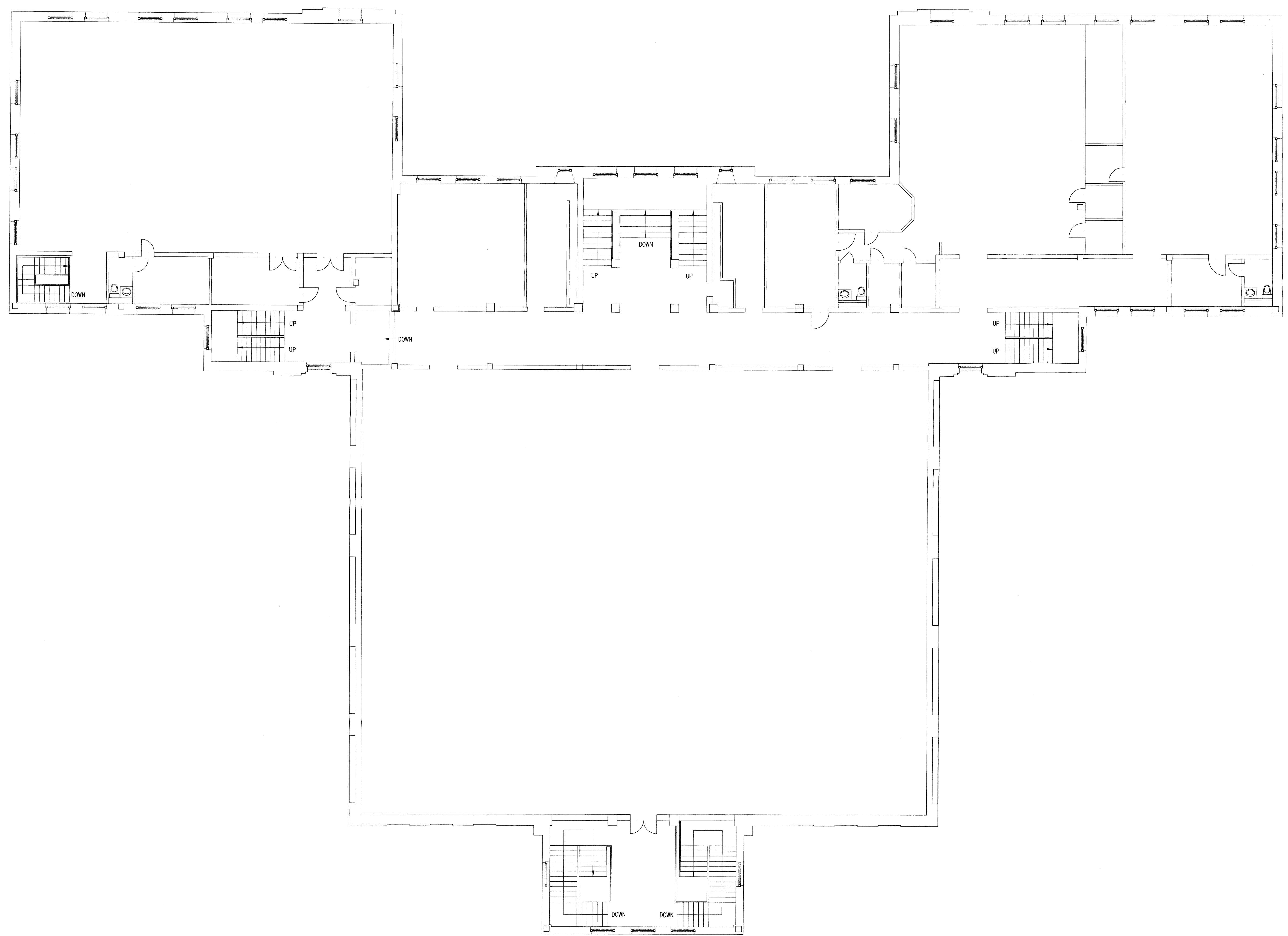


**Key Plan**



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**Old Albuquerque High School Renovation**

Albuquerque, New Mexico

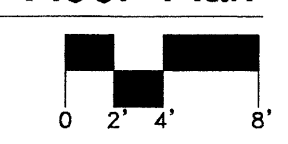
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reviewed by  
date **3-13-00**  
project no. **99111**  
drawing name

**Gymnasium Existing  
Second Floor Plan**

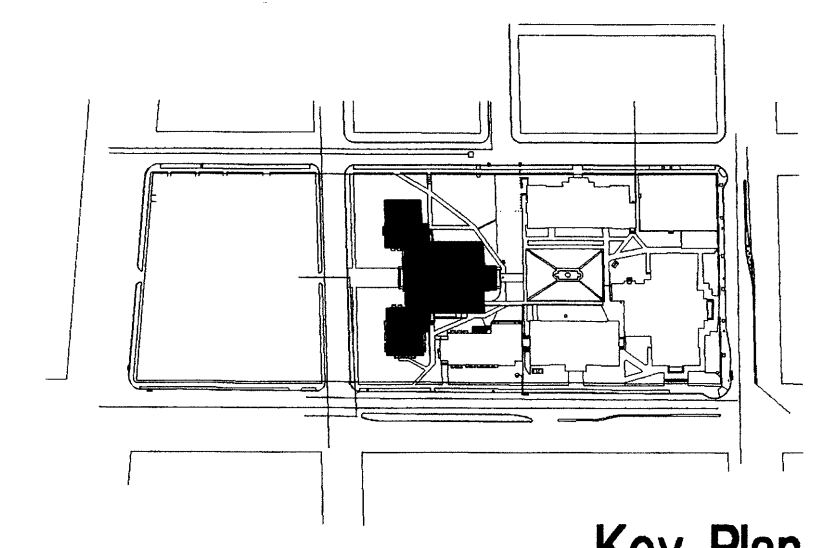
**1** Gymnasium - Existing Second Floor Plan  
1/8" = 1'-0"



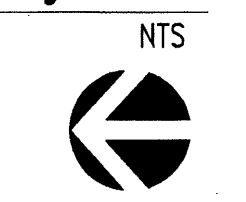
Existing windows on the Old Albuquerque High School campus range from large 42" x 72" double hung, multi-pane wood windows to small steel frame windows in the gymnasium. All of these windows are single glazed.

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and interior volume of the gymnasium are historically significant and are architectural character-defining features of the building.

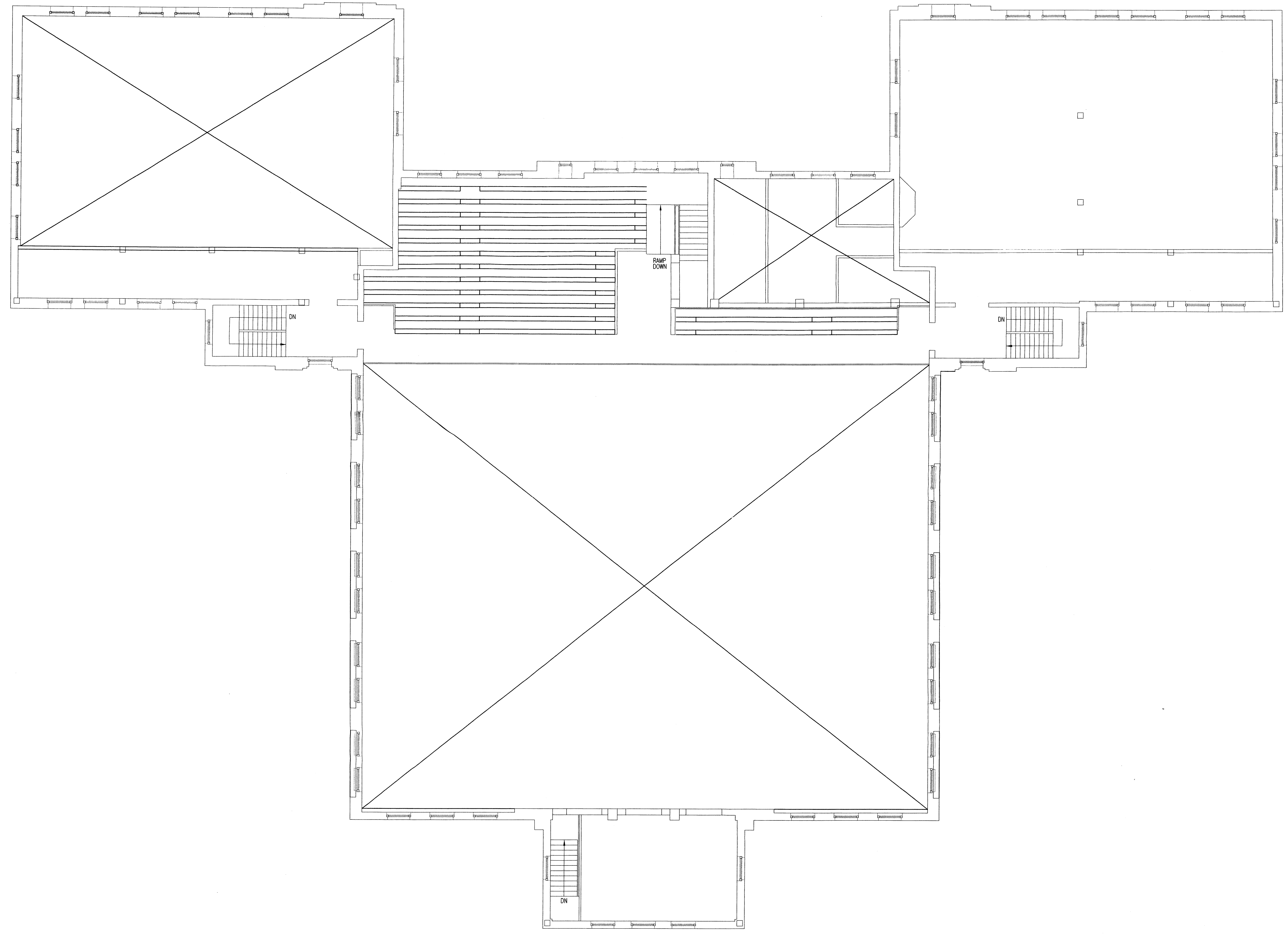
The intent of the interior remodeling of this building is to retain the original gymnasium volume.



**Key Plan**







**Old Albuquerque High School Renovation**

Albuquerque, New Mexico

revisions

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drawn by

reviewed by

date **3-13-00**

project no. **99111**

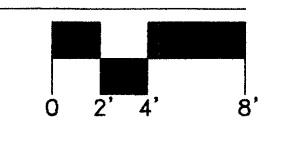
drawing name

**Gymnasium Existing Mezzanine Floor Plan**

sheet no.

**17**  
of

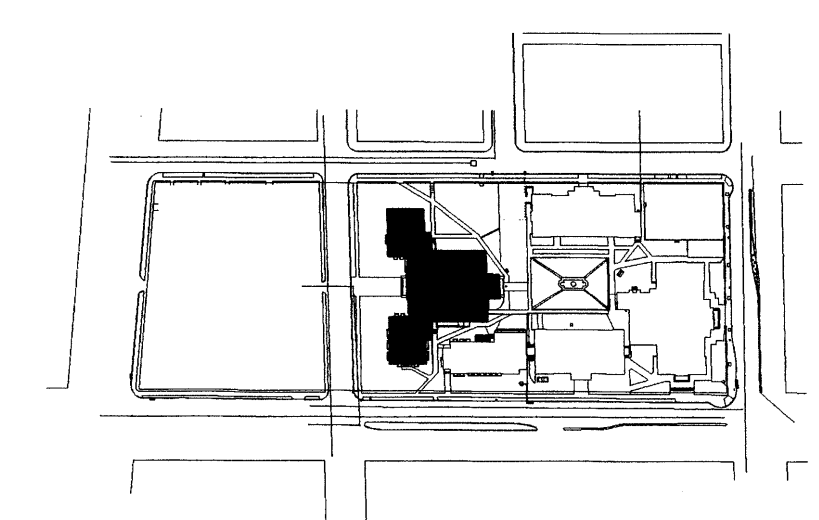
**1** Gymnasium - Existing Mezzanine Floor Plan  
1/8" = 1'-0"



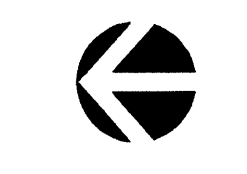
Existing windows on the Old Albuquerque High School campus range from large 42" x 72" double hung, multi-pane wood windows to small steel frame windows in the gymnasium. All of these windows are single glazed.

The State Historic Preservation Office in Santa Fe has determined that the exterior skin of the entire building and interior volume of the gymnasium are historically significant and are architectural character-defining features of the building.

The intent of the interior remodeling of this building is to retain the original gymnasium volume.

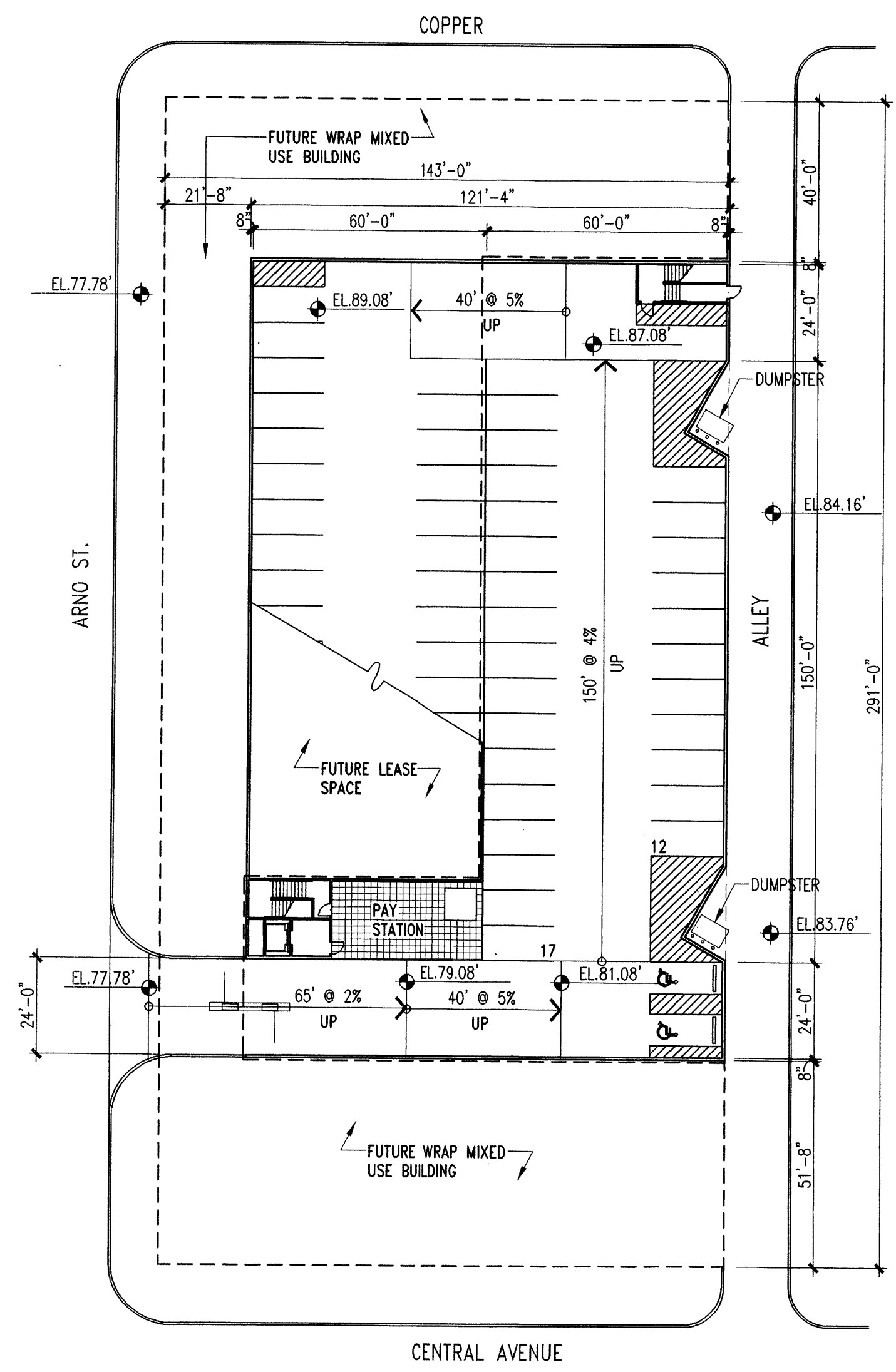


**Key Plan**  
NTS

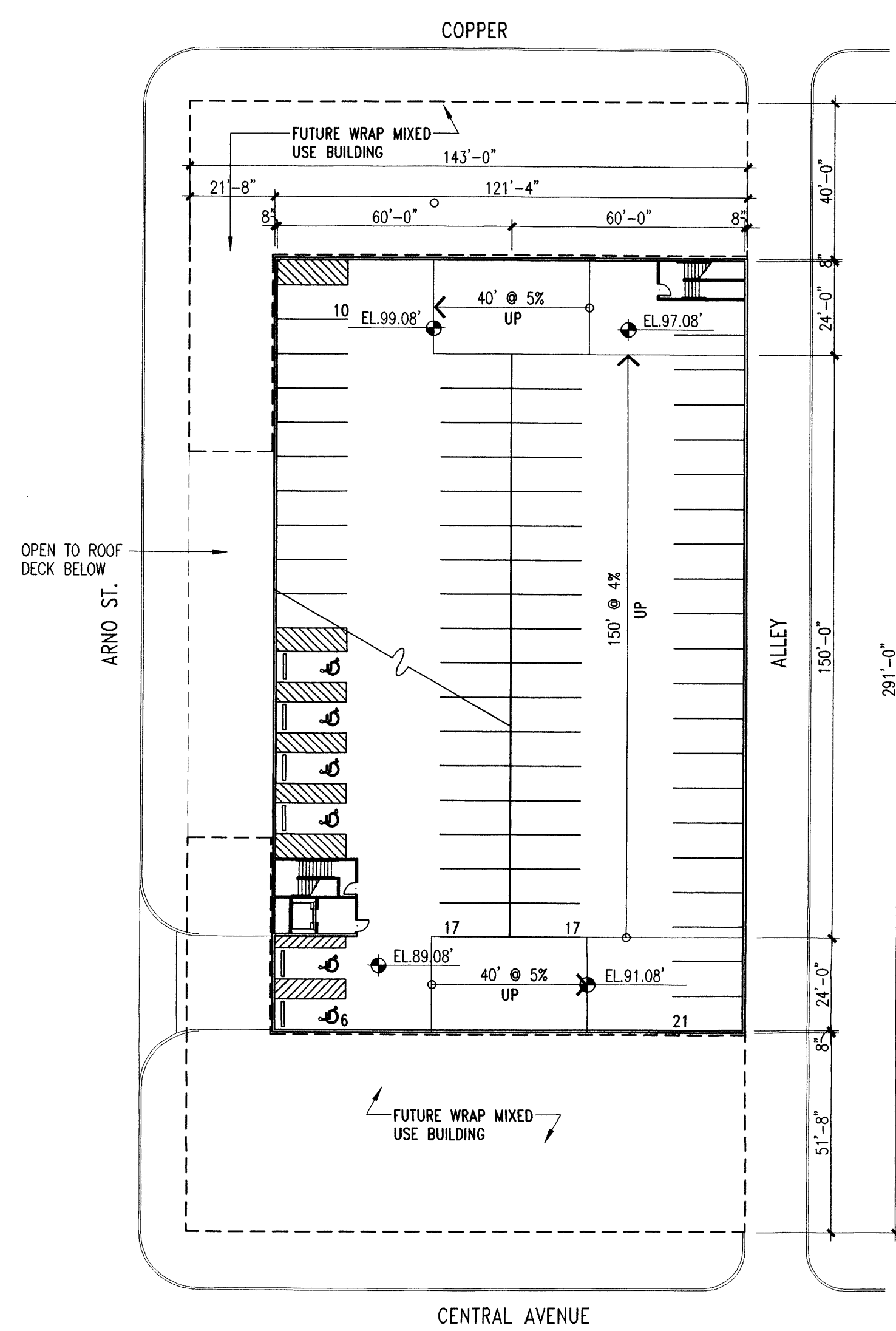


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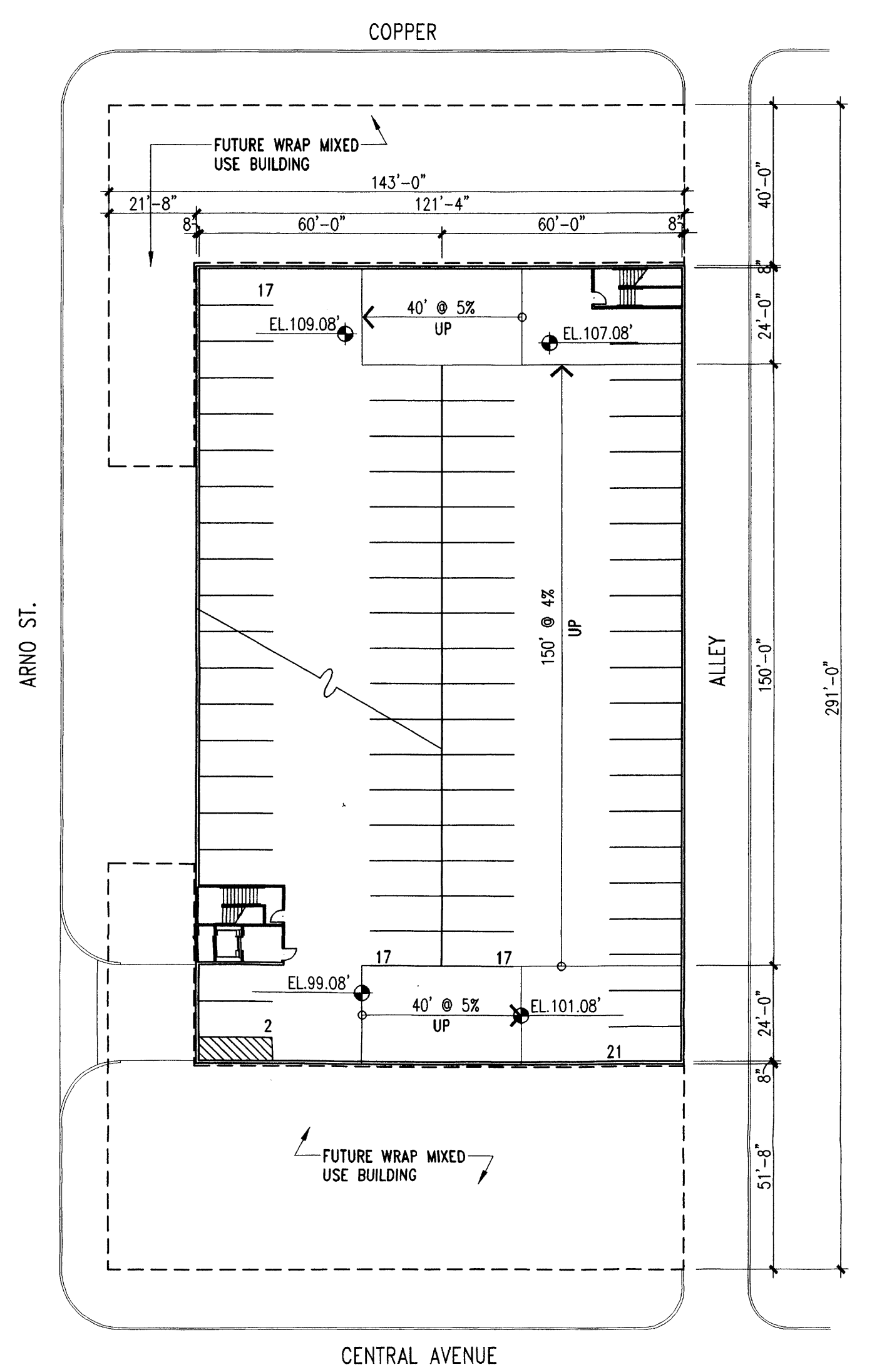




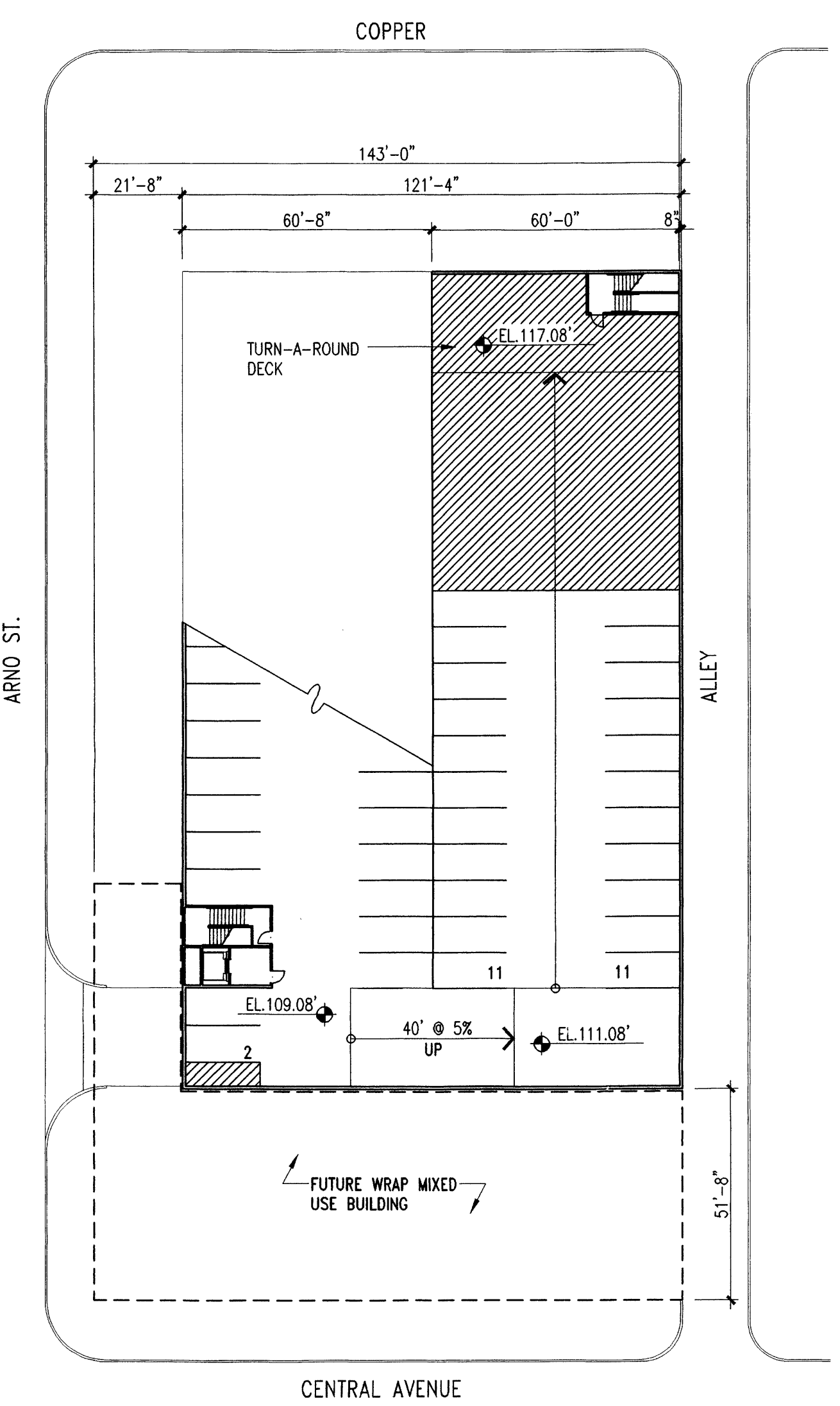
**1** South Lot- Proposed First Floor Plan  
1"=30'-0"  
Parking Spaces: 2 Handicap  
29 Standard  
31 Total



**2** South Lot- Proposed Second Floor Plan  
1"=30'-0"  
Parking Spaces: 6 Handicap  
65 Standard  
71 Total



**3** South Lot- Proposed Third Floor Plan  
1"=30'-0"  
Parking Spaces: 74 Standard



**4** South Lot- Proposed Fourth Floor Plan  
1"=30'-0"  
Parking Spaces: 24 Standard  
200 Total Parking

**2010 Downtown Sector Development Plan  
Type 'N' Half Block**

Urban Regulations

- Placement:
1. Lot Width: 300'
  2. Street Frontage: 90% minimum articulated at 25', 50' or 75' increments
  3. Lot Depth: 142' to alley at mid-block
  4. Building Depth: 20' minimum, 40' preferred.
  5. Recessed corners shall not exceed 10% of street frontage.
- Parking:
1. Types: Interior surface lot, interior garage, or "park-once" garage
  2. Access: through alley

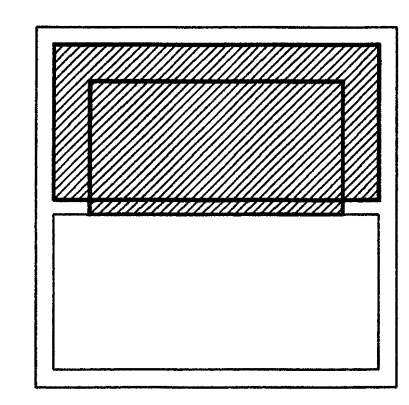
Height and Profile:

1. Street Frontage Height: 3 stories at block centers and 5 stories at street corners
2. Setback: 0'

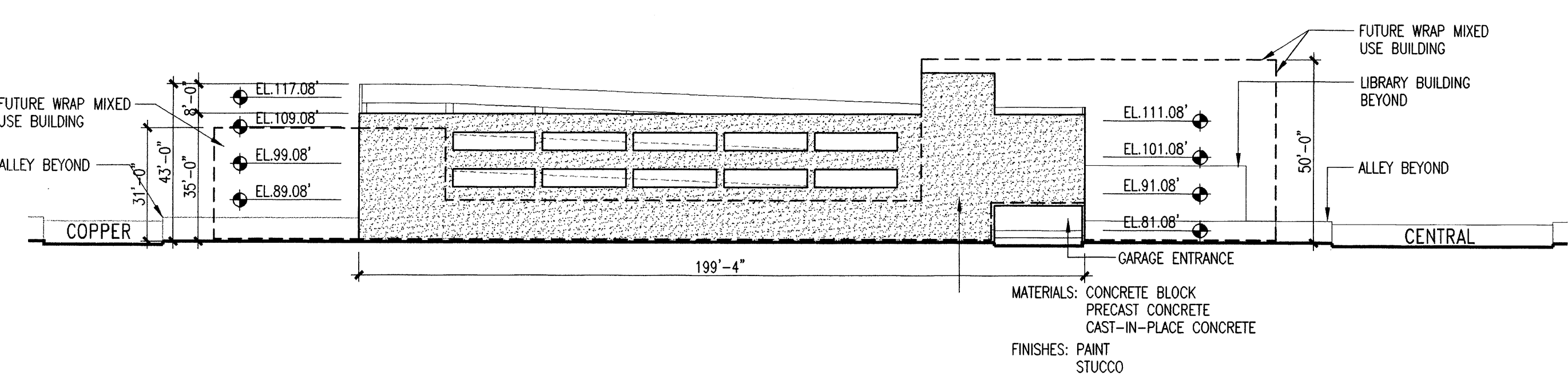
Use:

1. Commercial or Retail on street frontage with mixed-use housing or office lofts above

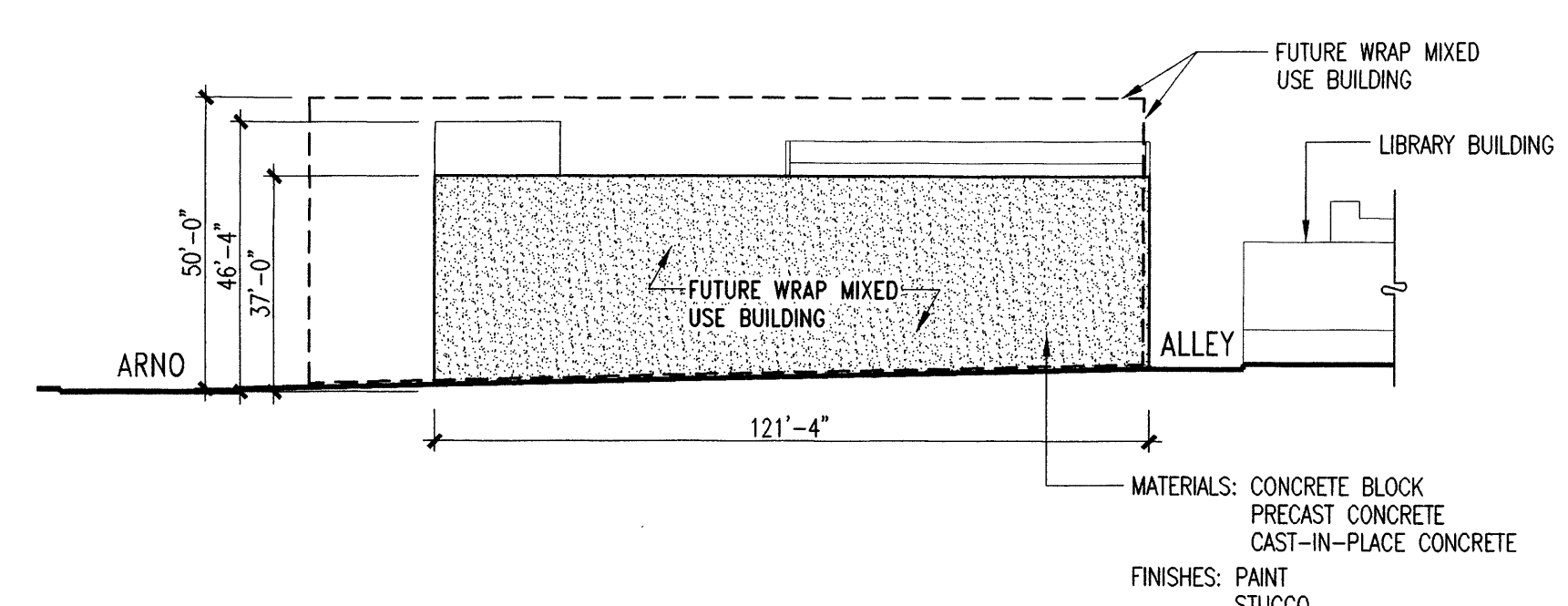
See Sheet 1 and 3 For Huning Highland Historic Overlay Zone Design Guidelines And Development Guidelines For OAHIS adopted by the Albuquerque Landmark and Urban Conservation Commission



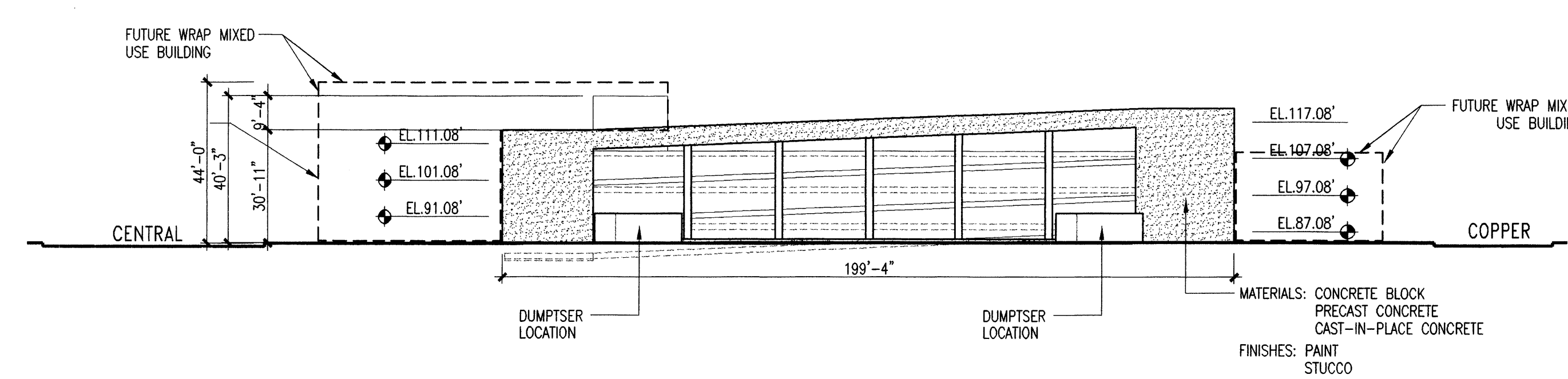
Type Description  
Large floor plate structure surrounded by low-scale "wrappers" or "liners" buildings at street frontage located on half-block



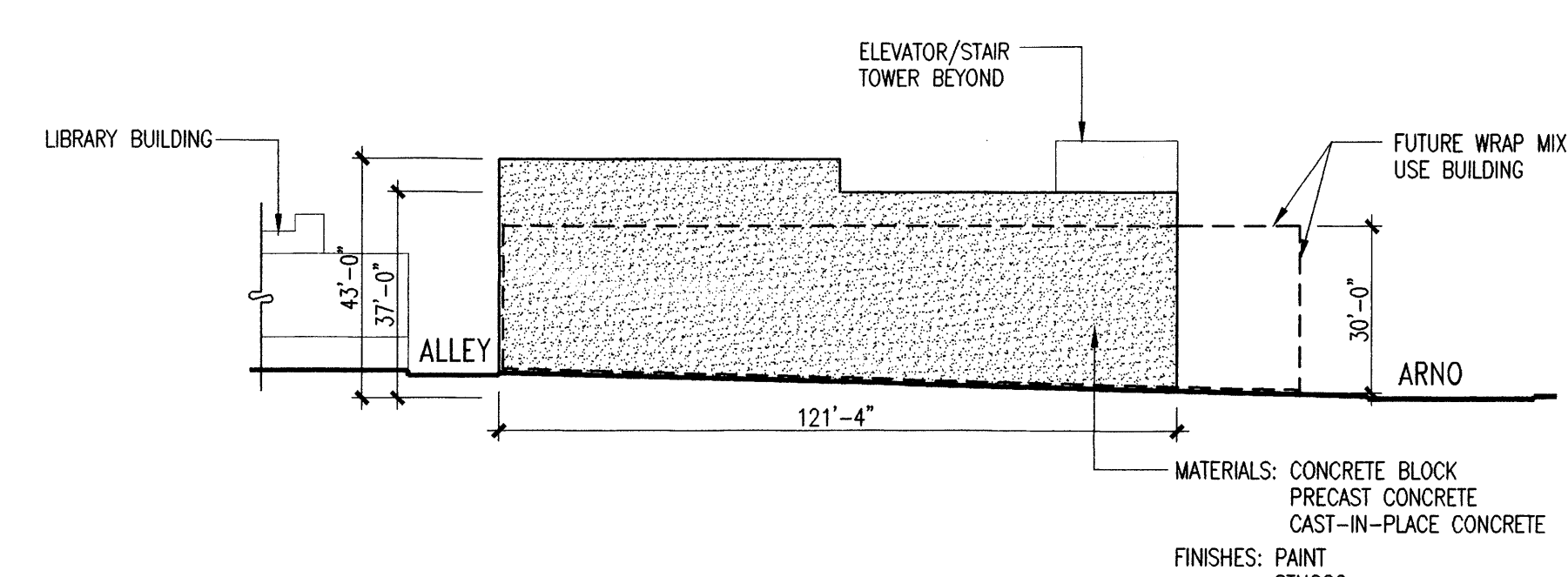
**4** South Lot - Proposed West Elevation  
1"=30'



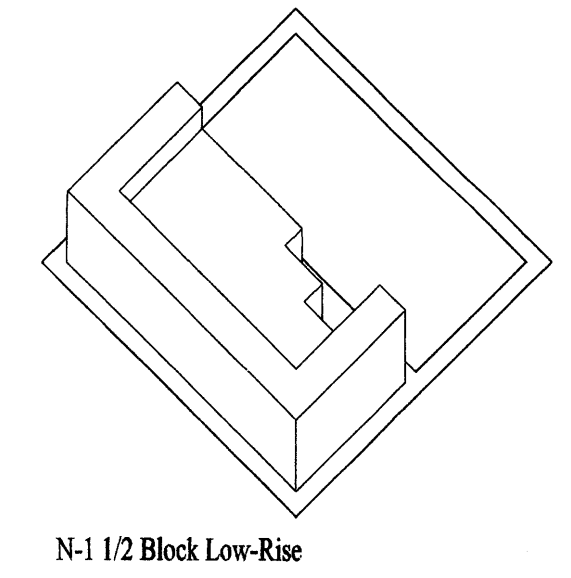
**5** South Lot - Proposed North Elevation  
1"=30'



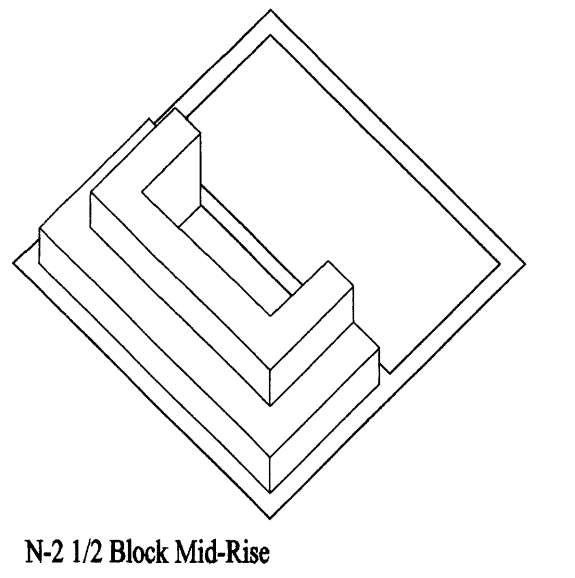
**6** South Lot - Proposed East Elevation  
1"=30'



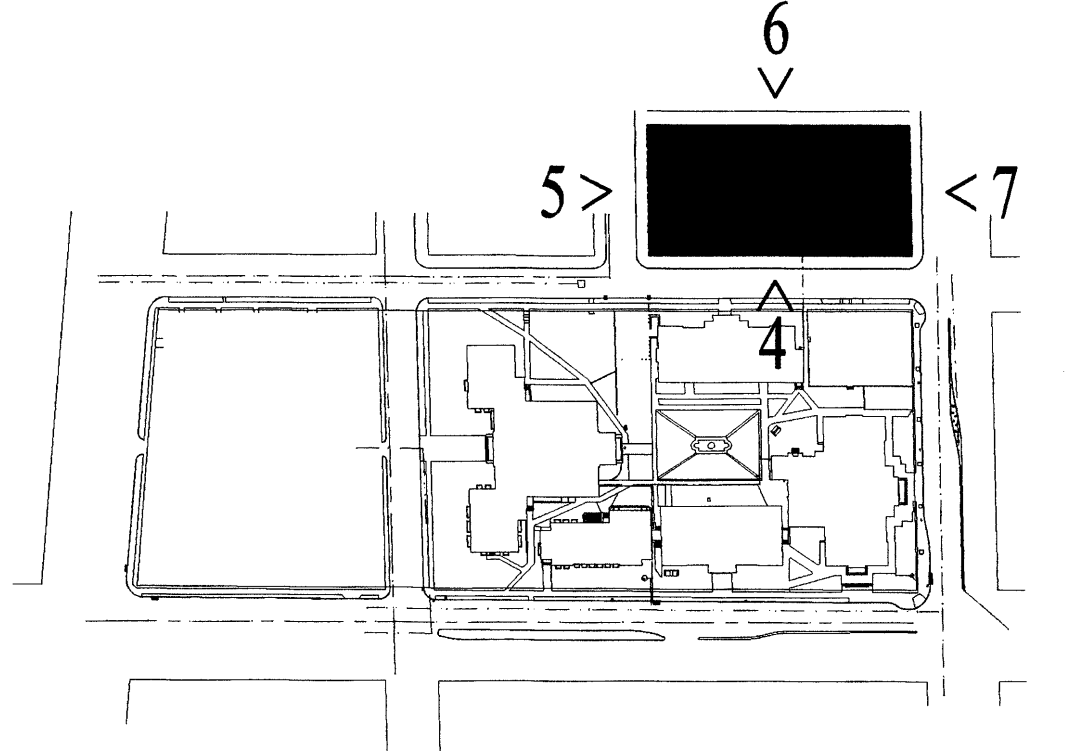
**7** South Lot - Proposed South Elevation  
1"=30'



N-1 1/2 Block Low-Rise



N-2 1/2 Block Mid-Rise



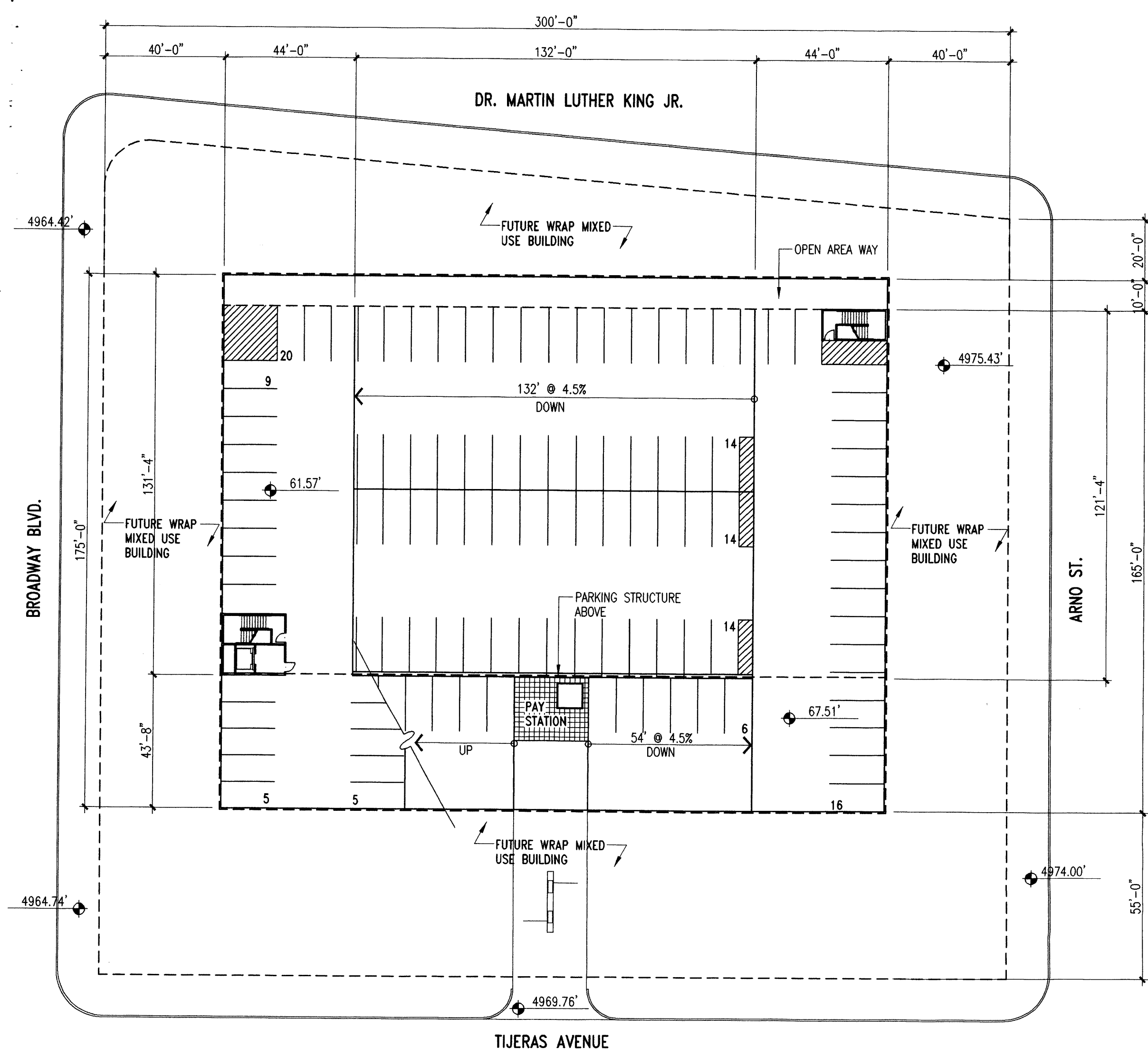
**Key Plan**  
NTS

- revisions
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  - ▲
  - ▲
  - ▲
  - ▲

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02/09/11_DWS/VAS_BUILT/EPIC_SUBMITTAL_SOUTH-LOT1	
drawn by	CC
reviewed by	
date	3-13-00
project no.	99111
drawing name	

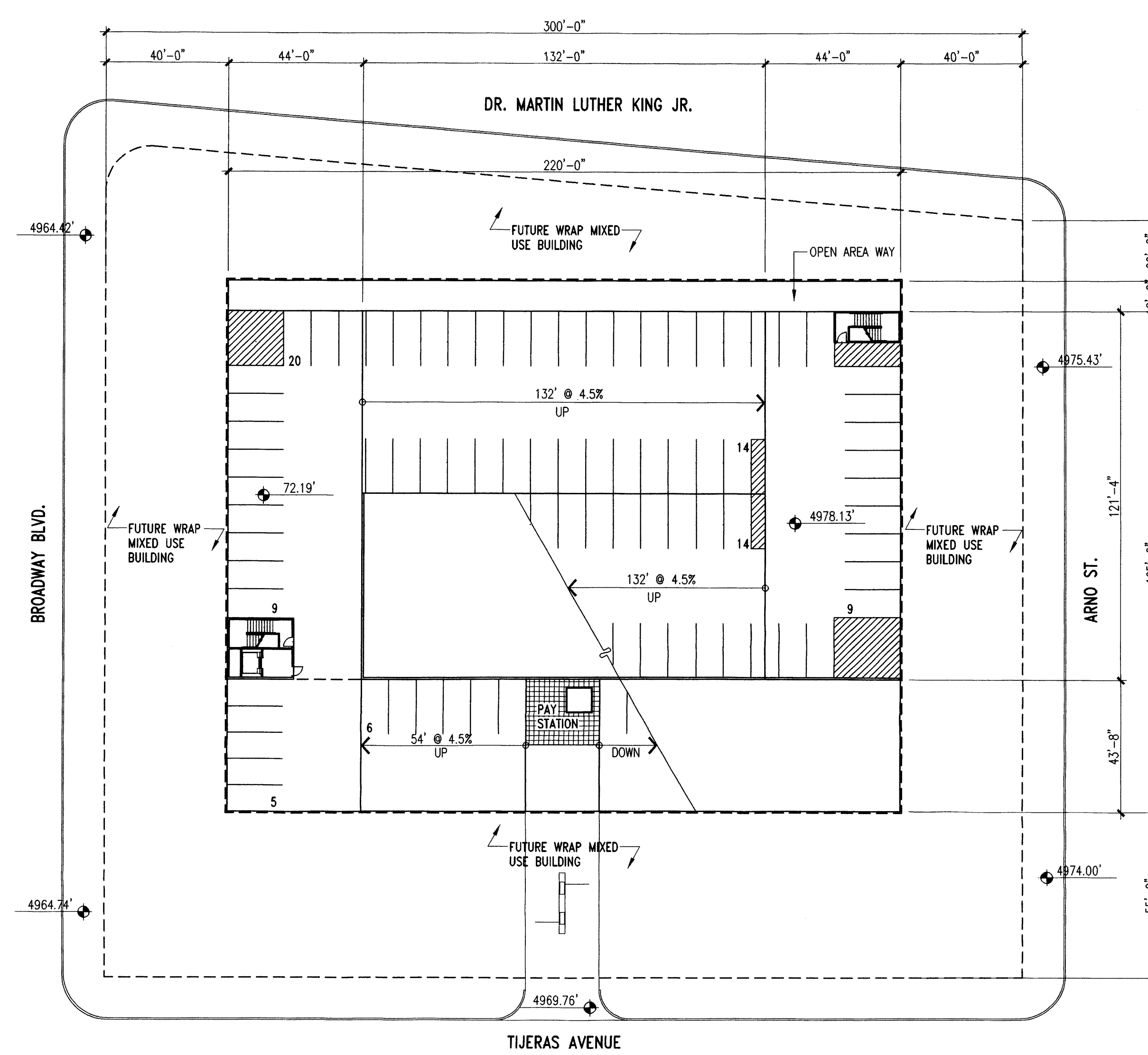
**South Lot  
Proposed Plans  
& Proposed Elevations**





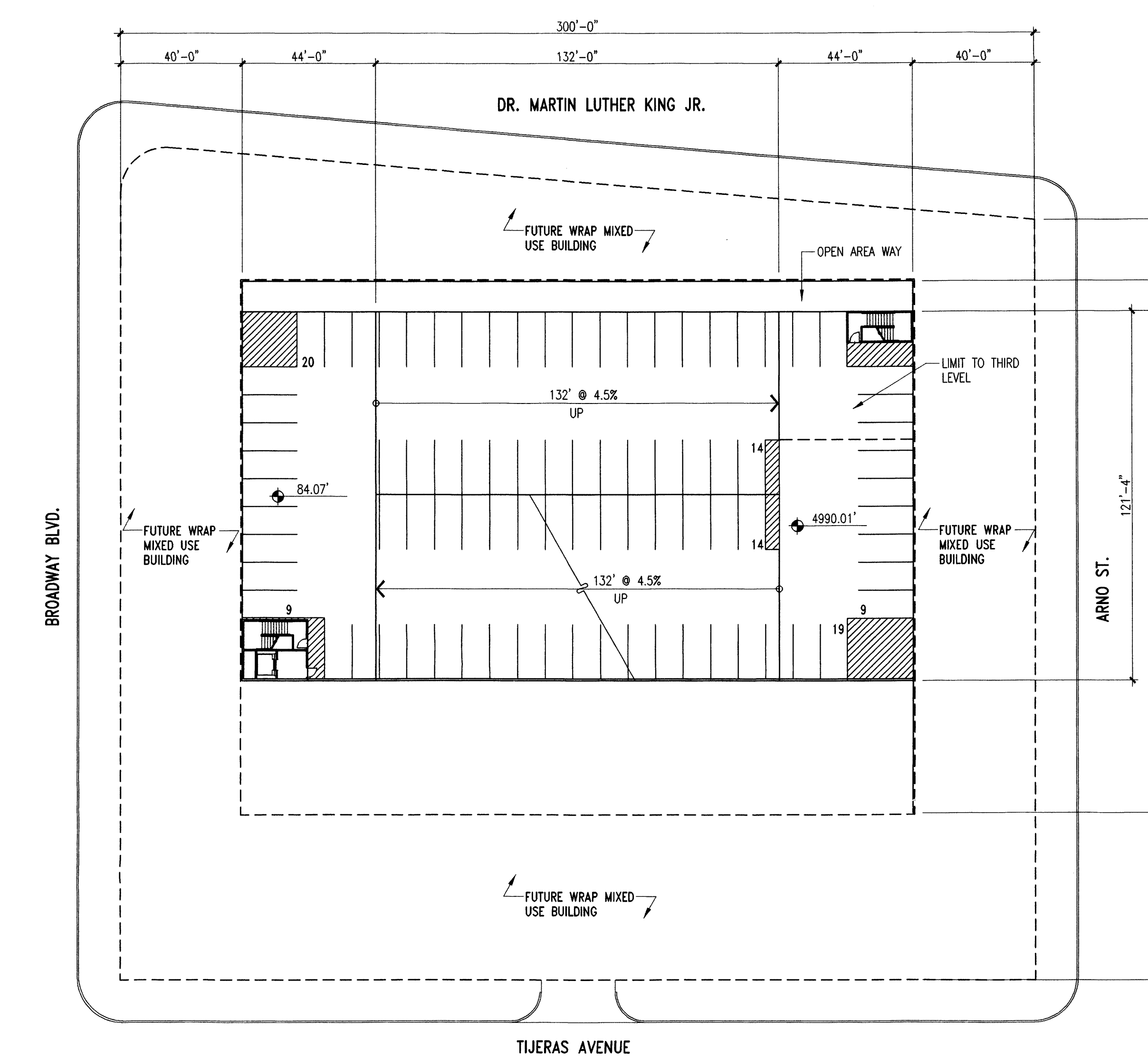
**1** North Lot- Proposed Lower Floor Plan  
1"=30'-0"

Parking Spaces: 103 Standard



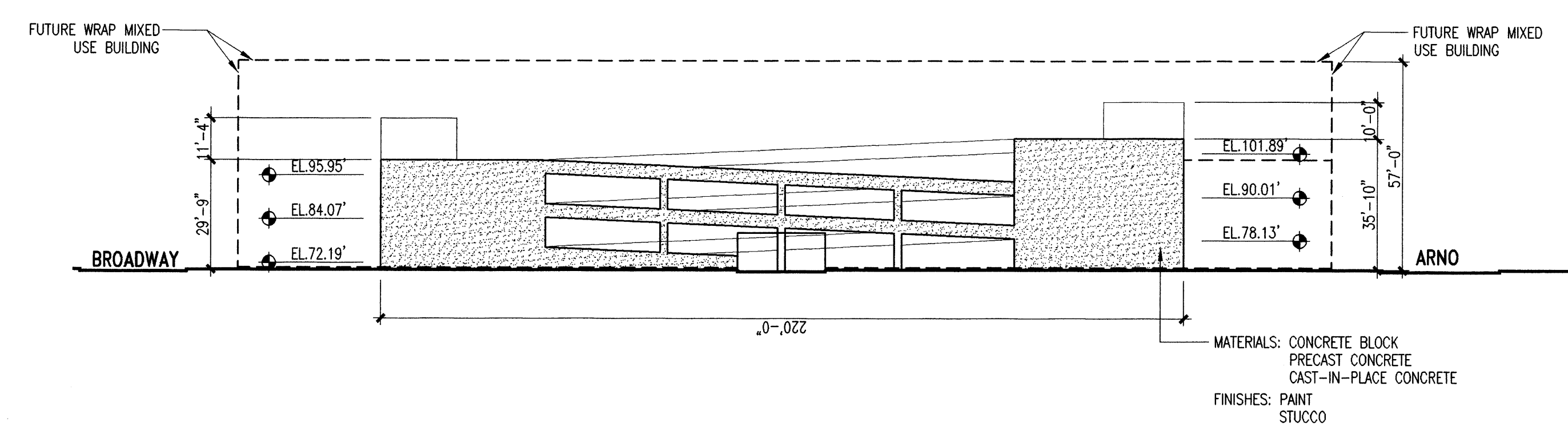
**2** North Lot- Proposed First Floor Plan  
1"=30'-0"

Parking Spaces: 65 Standard

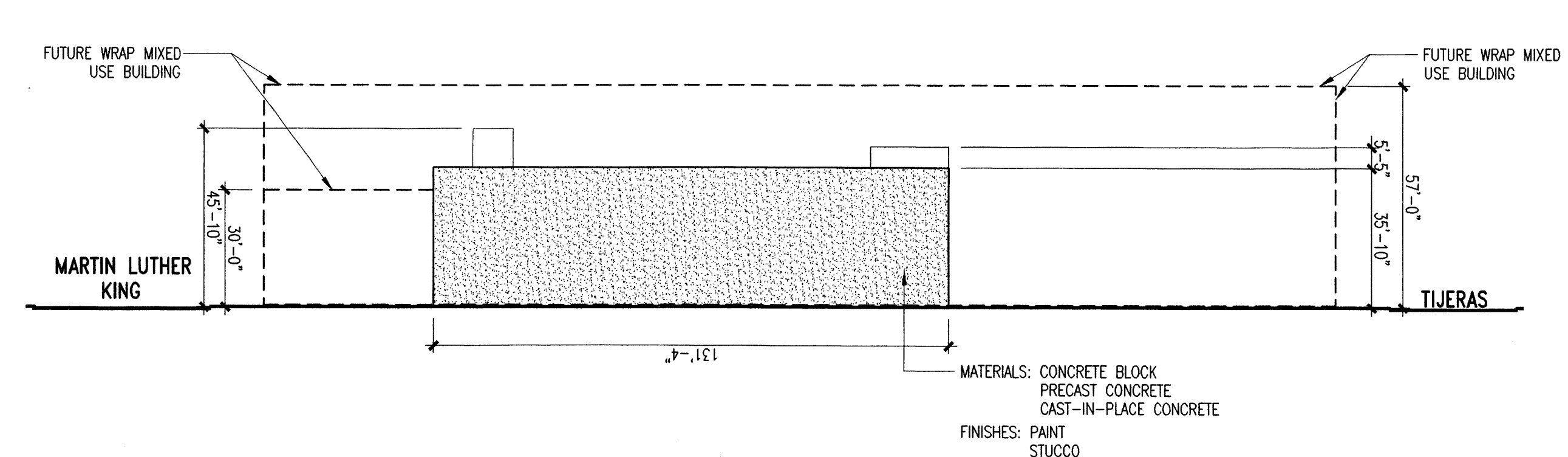


**3** North Lot- Proposed Second/Third Floor Plan  
1"=30'-0"

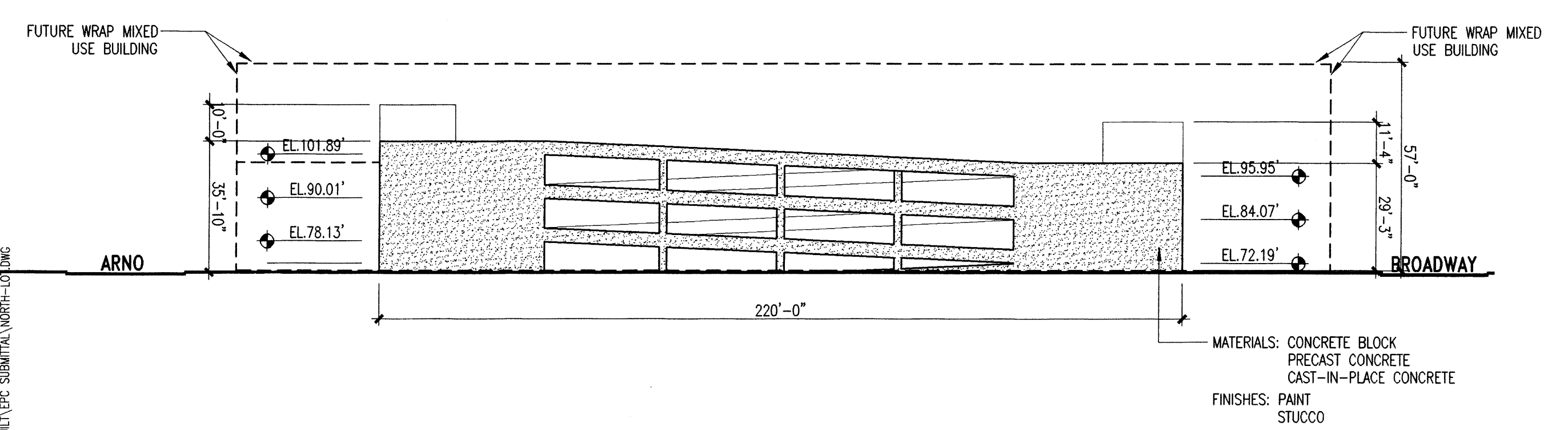
Parking Spaces: 2nd - 85 Standard  
3rd - 72 Standard  
325 Total  
12 Handicap Included



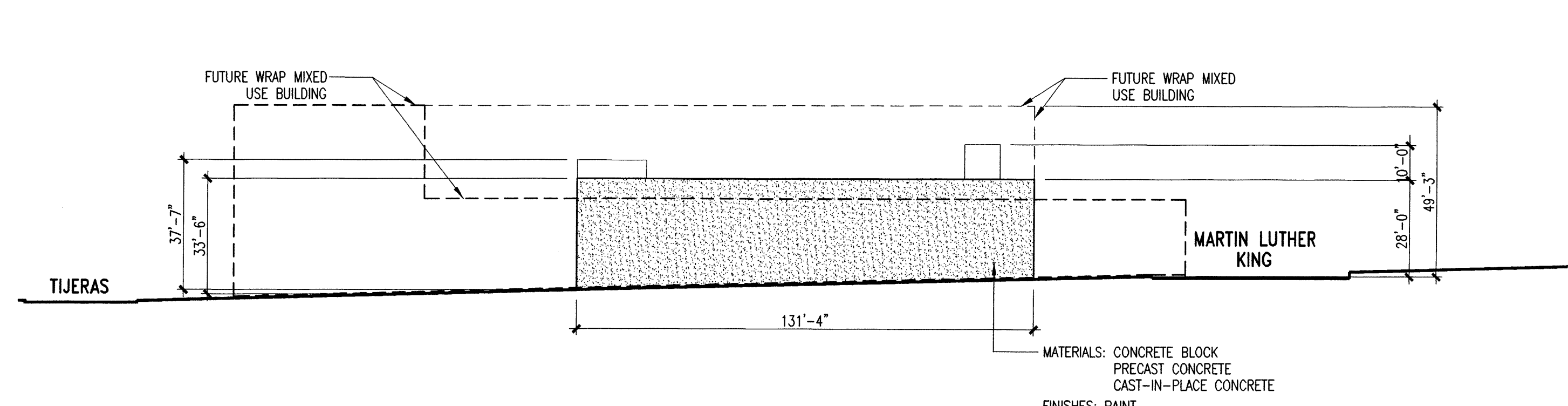
**4** North Lot- Proposed South Elevation  
1"=30'-0"



**5** North Lot- Proposed East Elevation  
1"=30'-0"



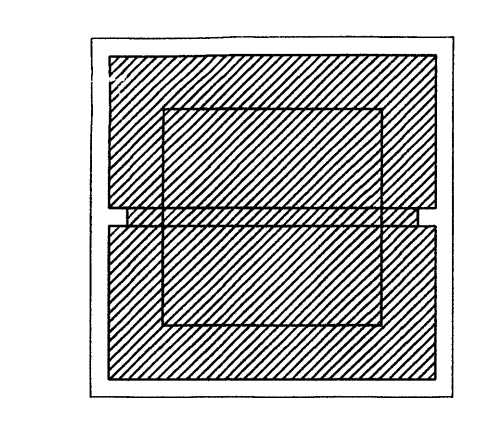
**6** North Lot- Proposed North Elevation  
1"=30'-0"



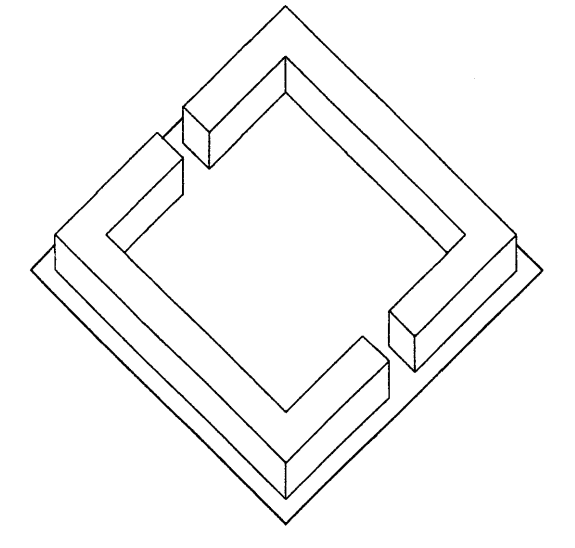
**7** North Lot- Proposed West Elevation  
1"=30'-0"

**2010 Downtown Sector Development Plan  
Type 'M' Full Block**

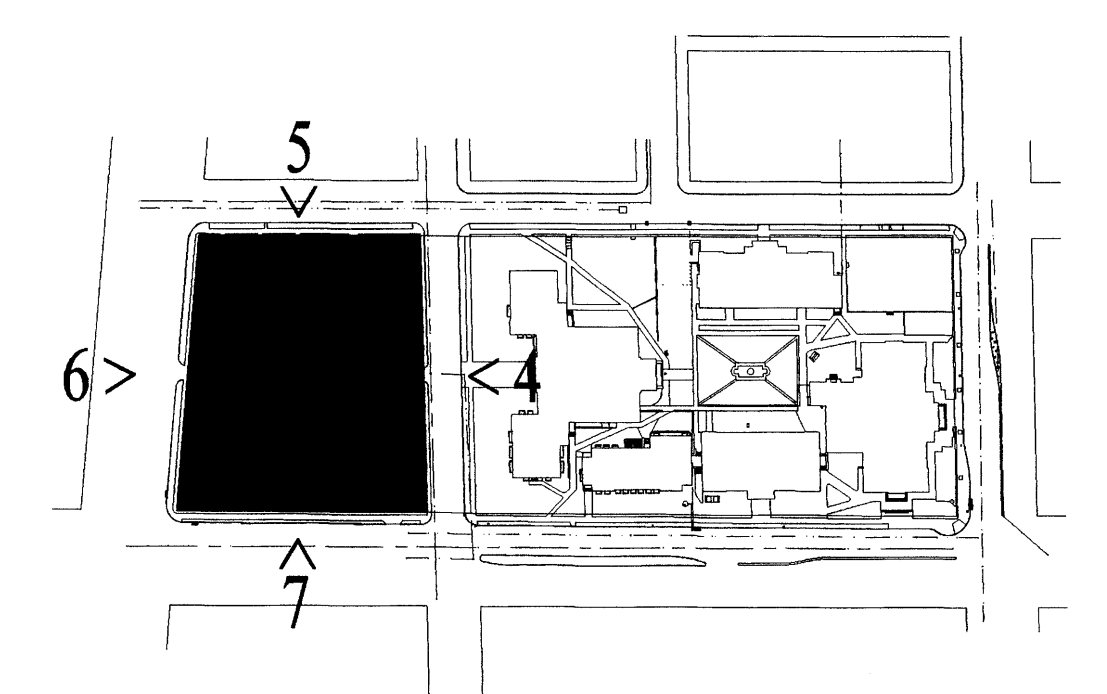
- Urban Regulations  
Wrapper Building:
- Placement:
1. Lot Width: 300'
  2. Street Frontage: 90% minimum articulated at 25', 50' or 75' increments
  3. Lot Depth: 142' to alley at mid-block
  4. Building Depth: 20' minimum, 40' preferred
  5. Recessed corners shall not exceed 10% of street frontage.
- Parking:
1. Types: Interior surface lot, interior garage, or "park-space garage"
  2. Access: through alley
- Height and Profile:
1. Street Frontage Height: 3 stories at block centers and 5 stories at street corners
  2. Setback: 0'
- Typical Uses:
1. Commercial or Retail on street frontage with mixed-use housing or office lofts above



Type Description  
Large floor plate structure surrounded by low-scale "wrapper" or "liner" buildings at street frontage located on full block.



M-1 Full Block Low-Rise



**Key Plan**  
NTS

revisions
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plotted: 03-14-2000 3:06P	
Q:\99111_04HS\AS_BUILT\EPC_SUBMITTAL\NORTH-LOT	
drawn by	CC
reviewed by	
date	3-13-00
project no.	99111
drawing name	

**North Lot  
Proposed Plans  
& Proposed Elevations**

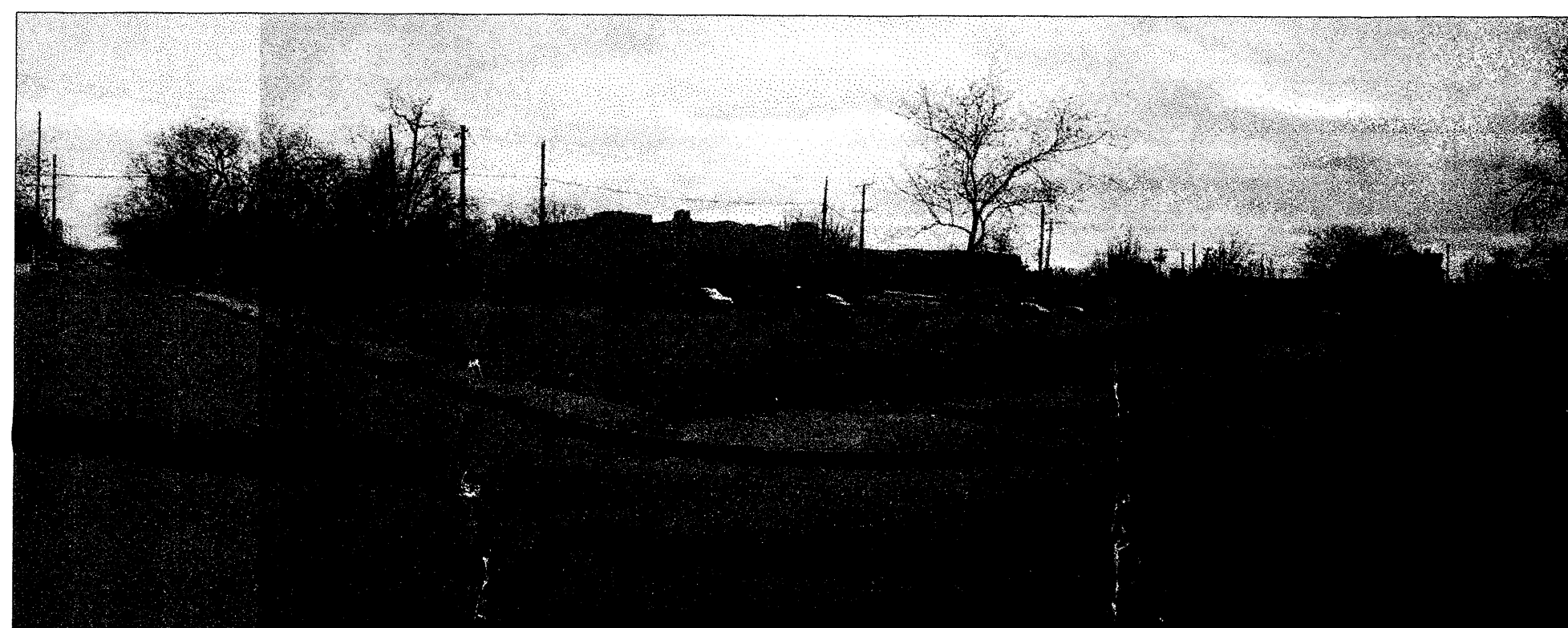




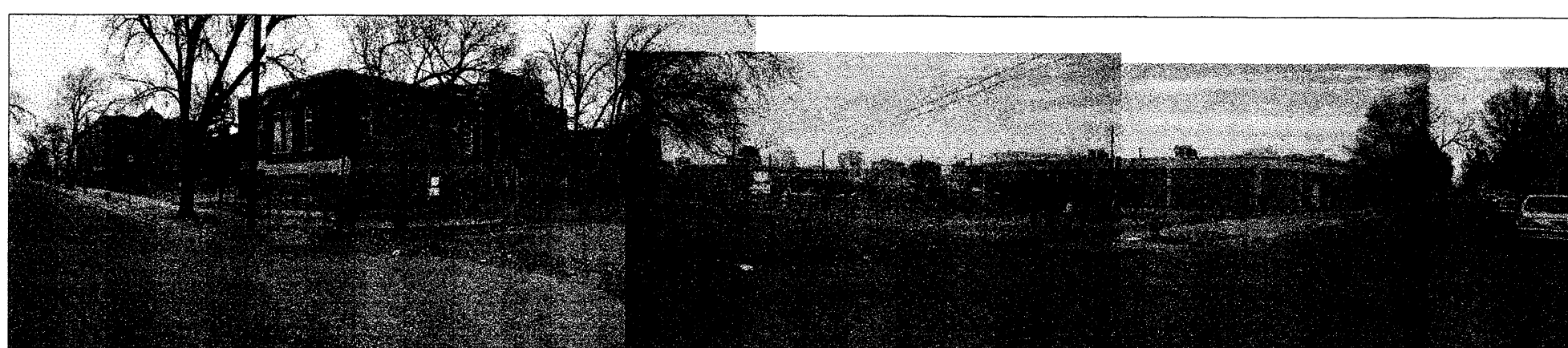
(E) View of Old Main from Central Ave. and Broadway Blvd.



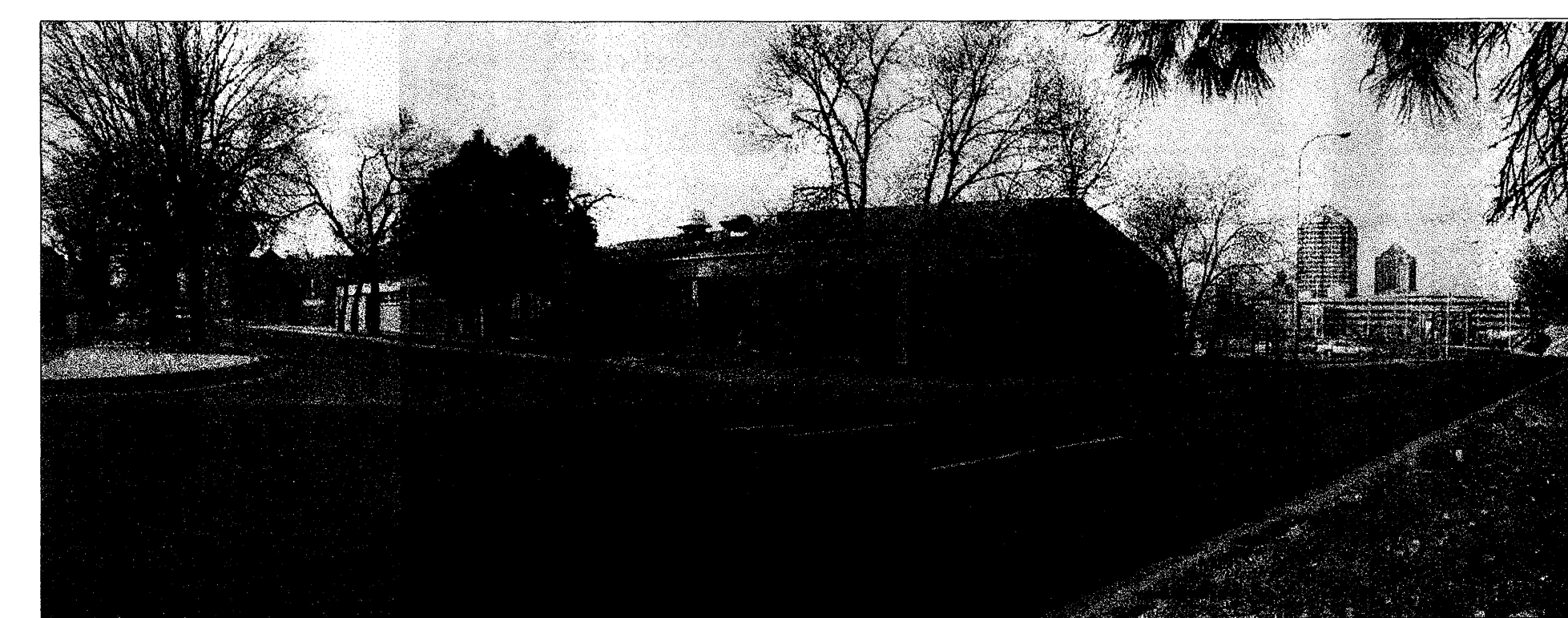
(F) View from Central Ave.



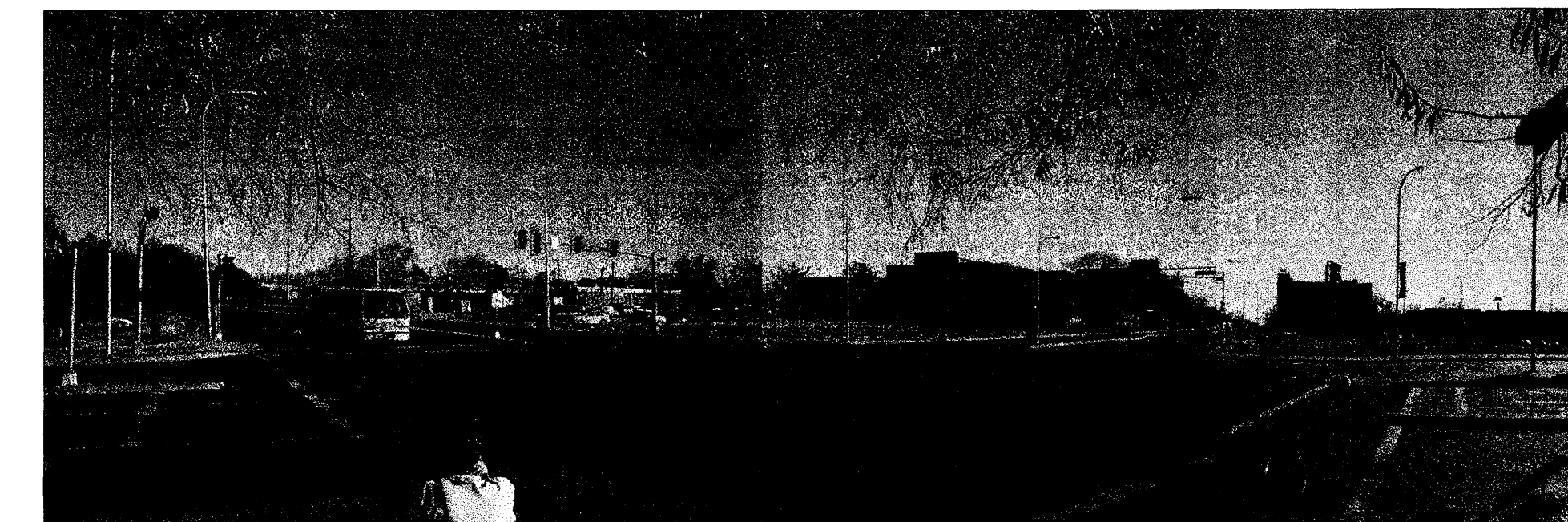
(G) View of South Lot from Arno St. and Copper Ave.



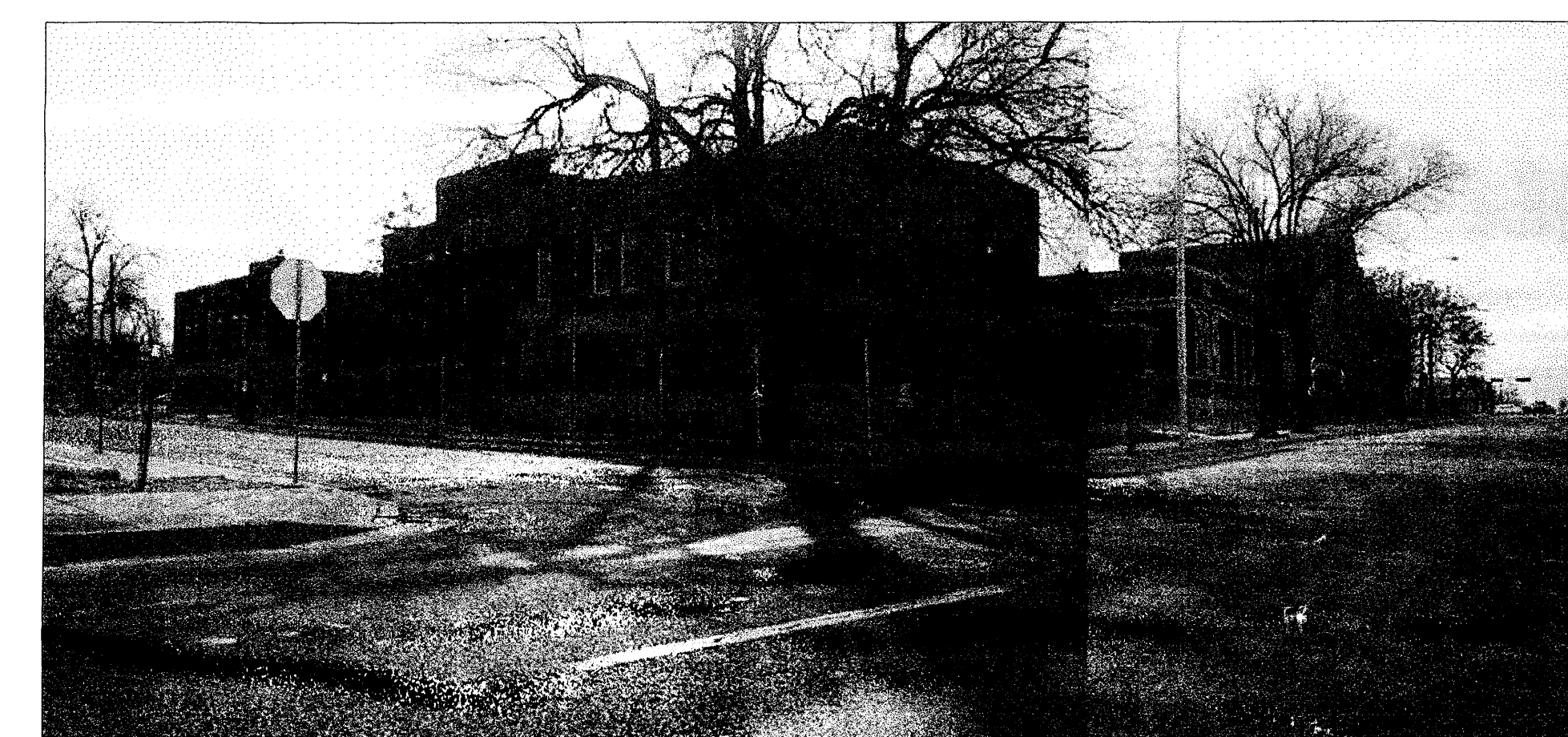
(H) View from Arno St.



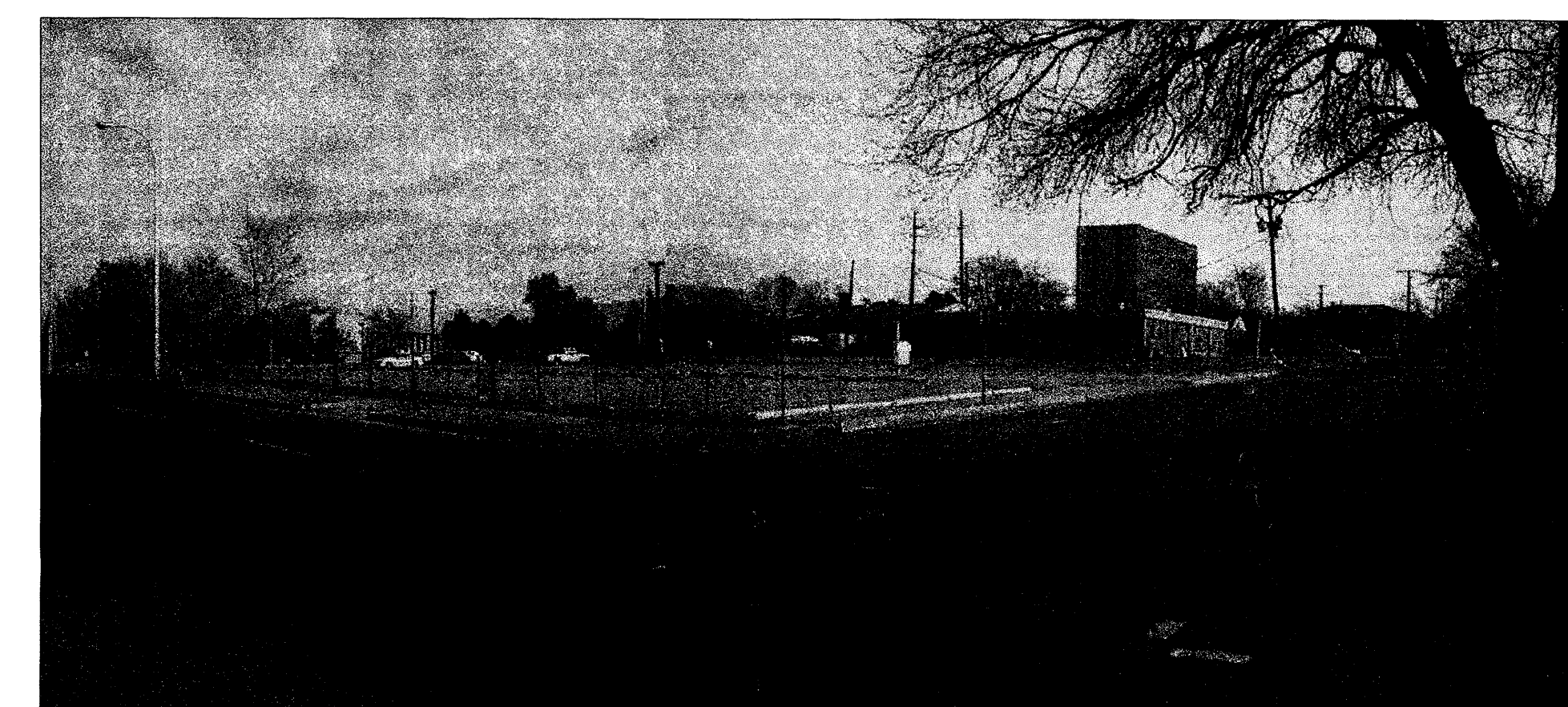
(A) View of North Lot from Arno St. and Dr. Martin Luther King, Jr. Ave.



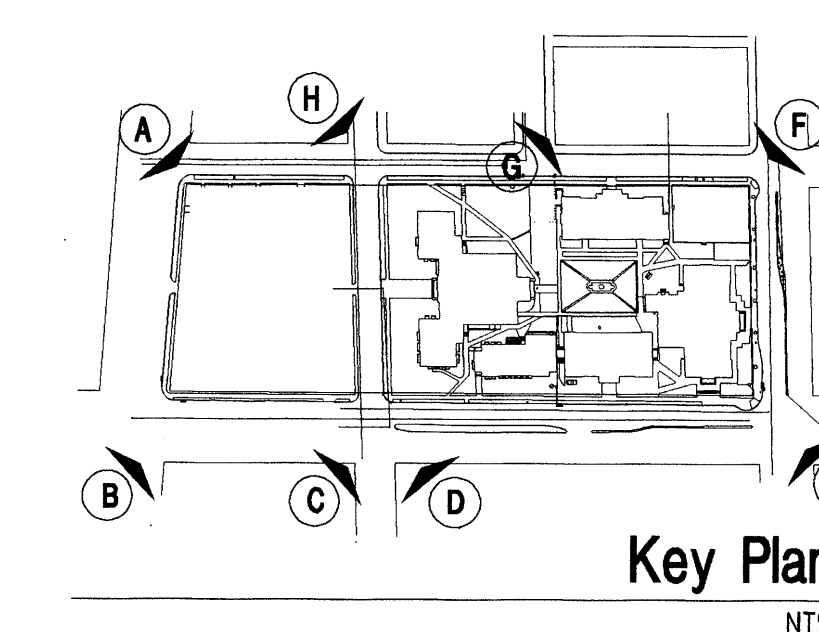
(B) View of North Lot from Broadway Blvd. and Dr. Martin Luther King, Jr. Ave.



(C) View of Gymnasium Building from Vacated Tijeras Ave. and Broadway Blvd.

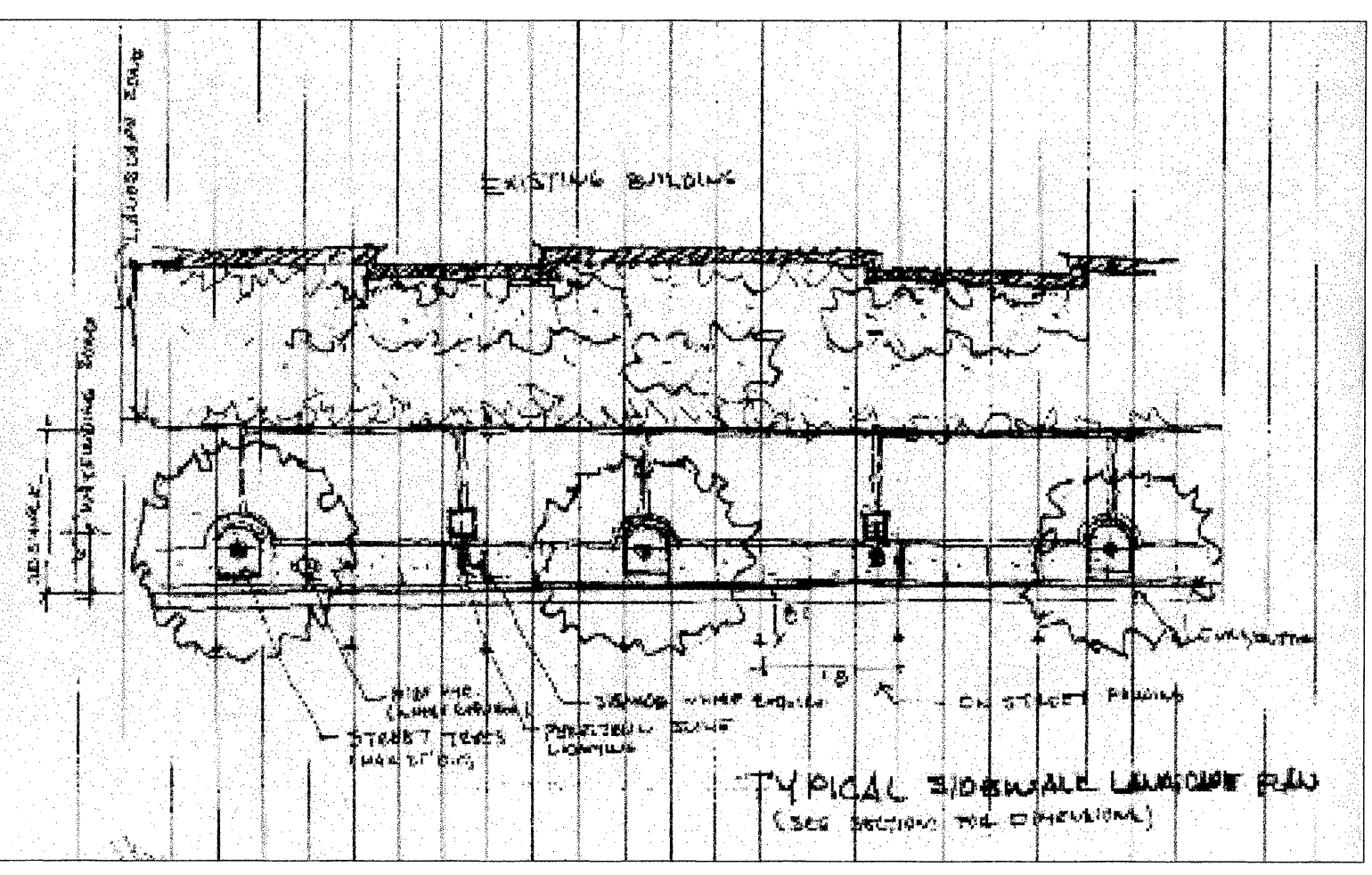
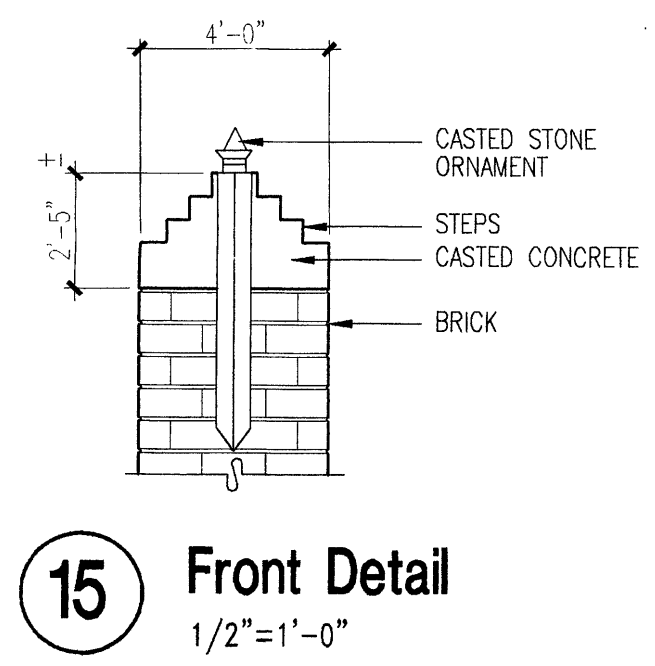
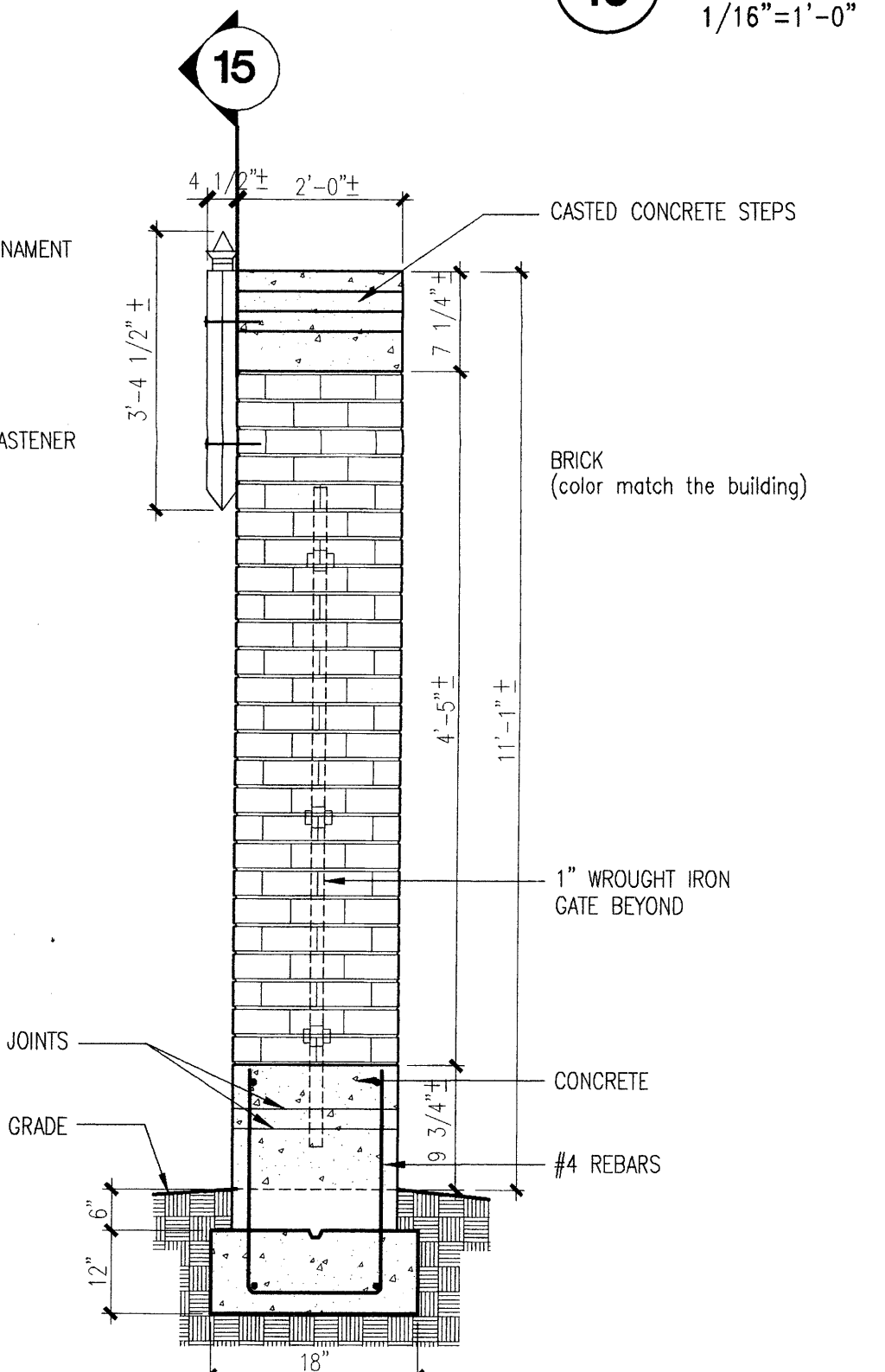
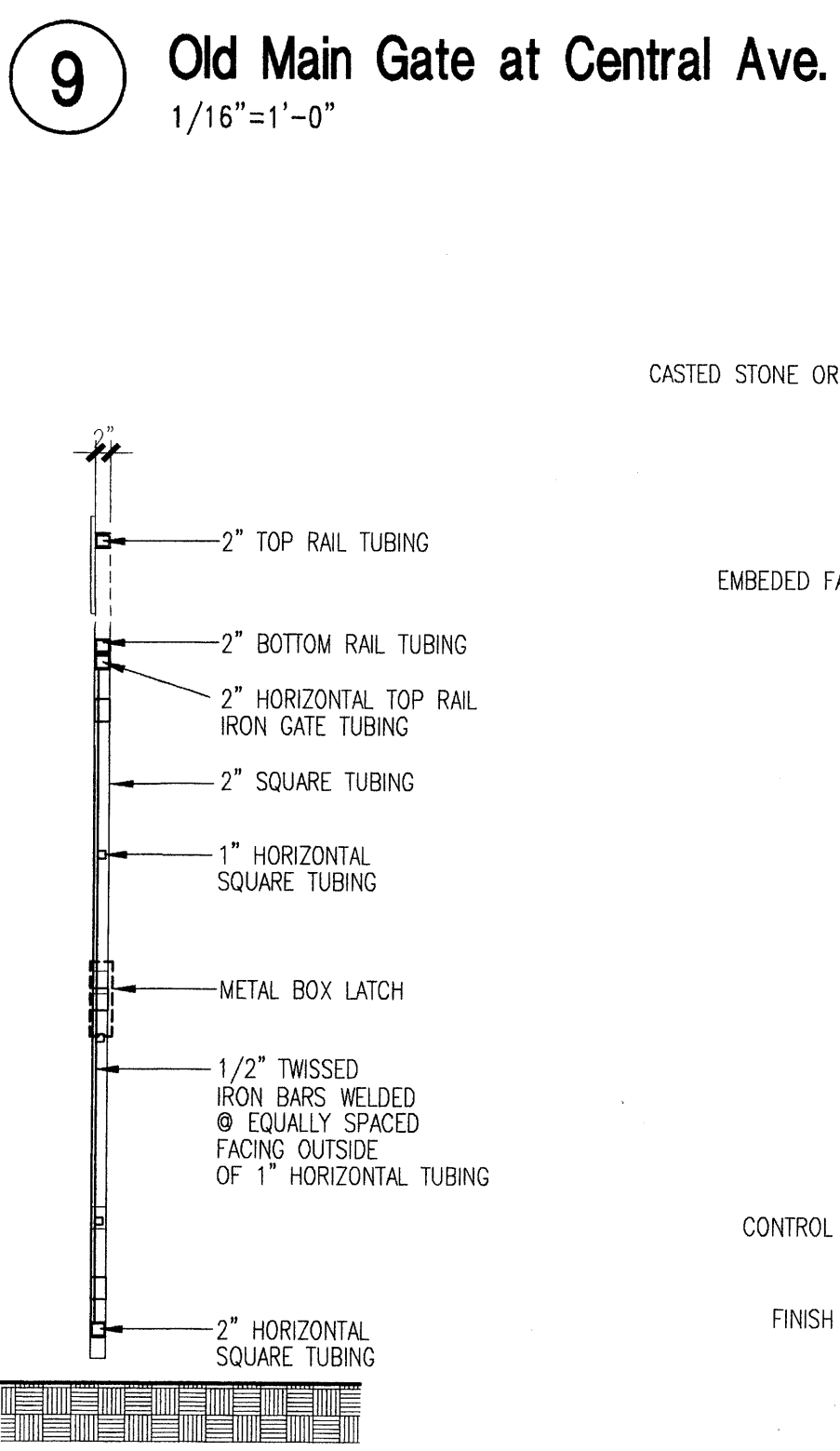
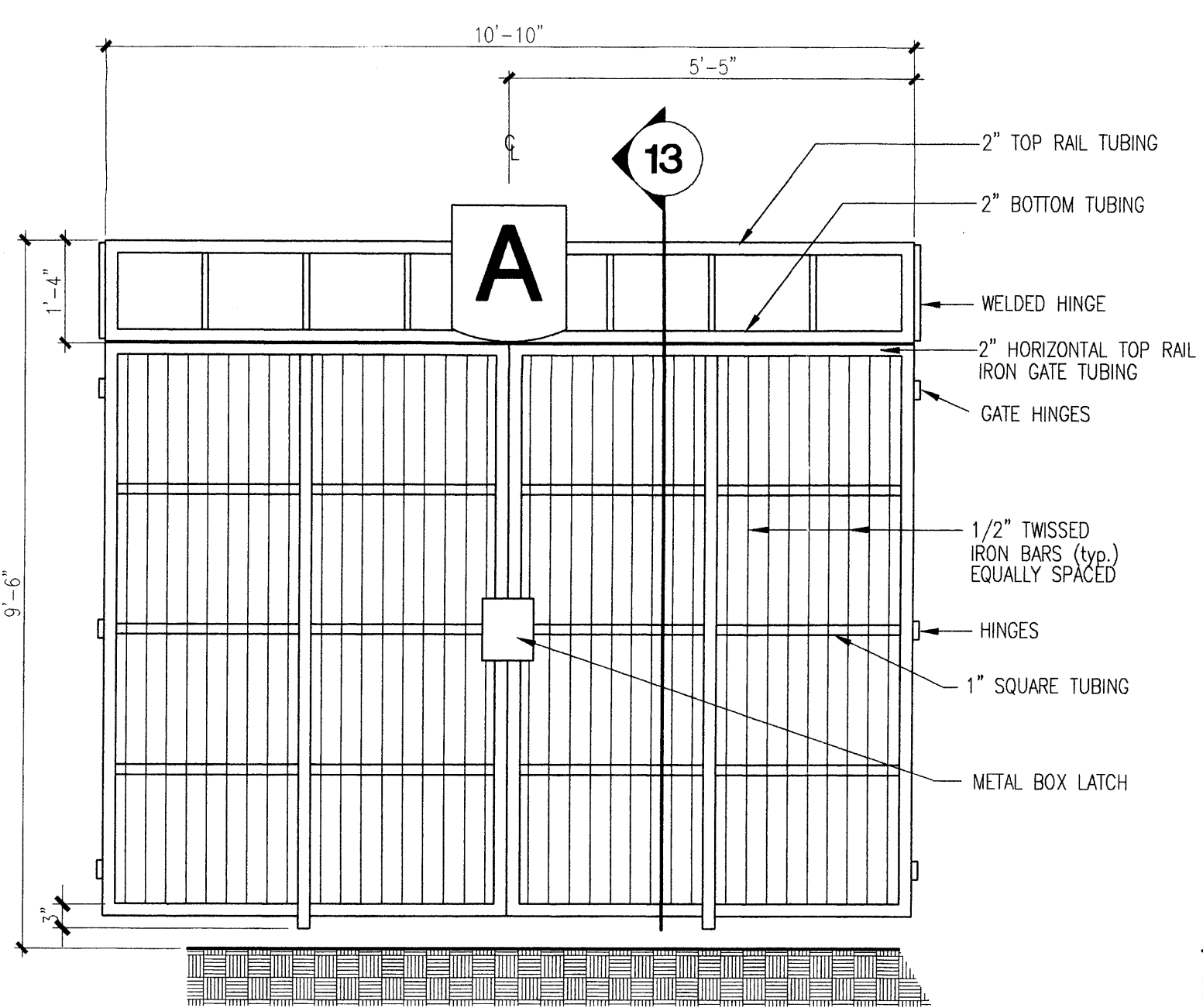
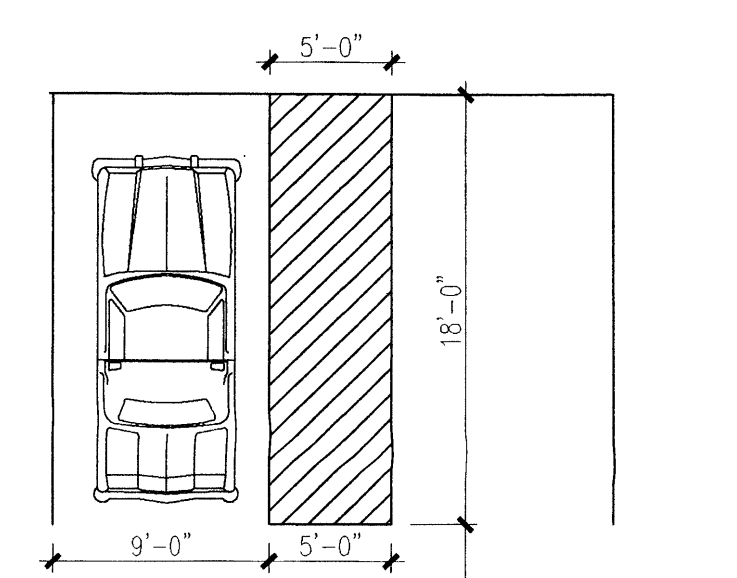
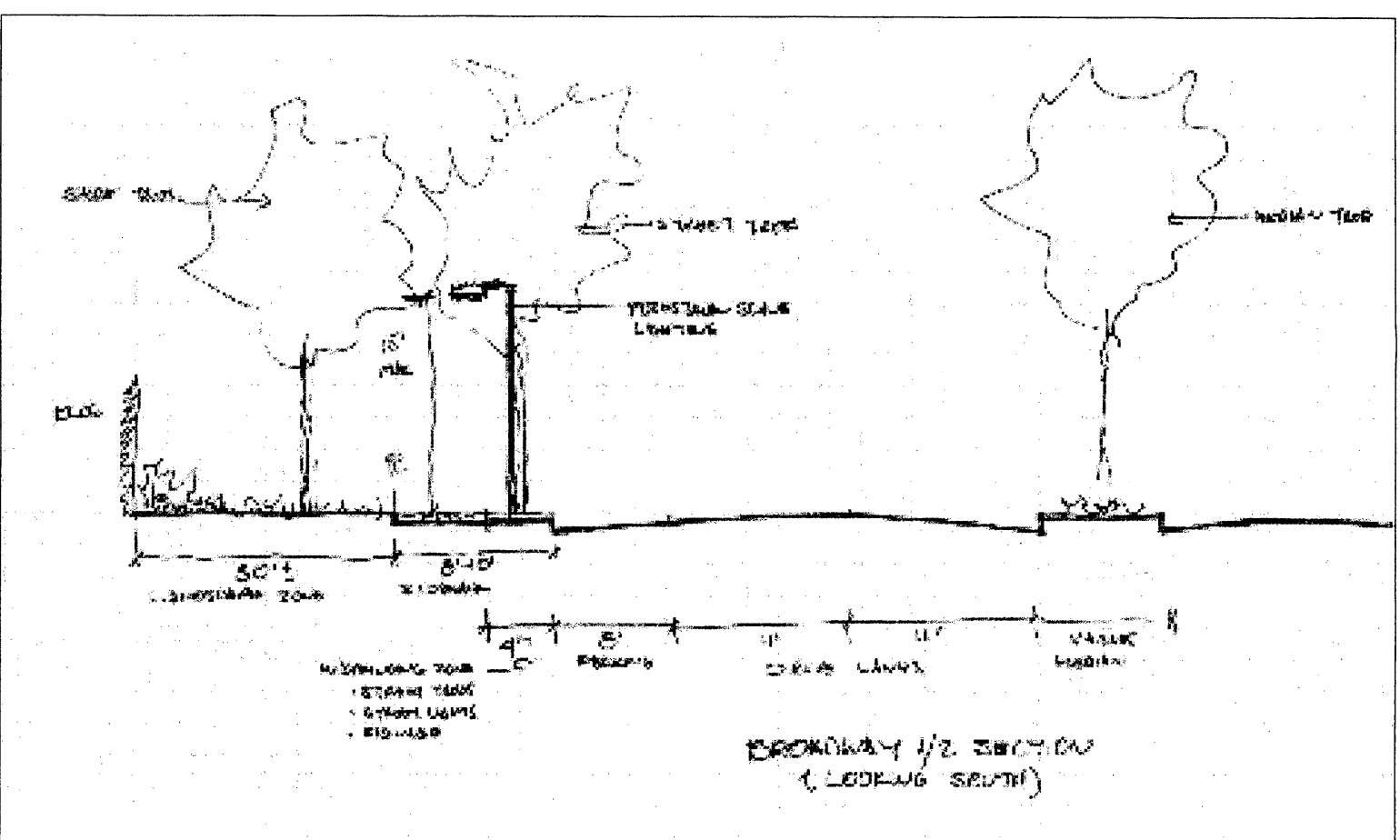
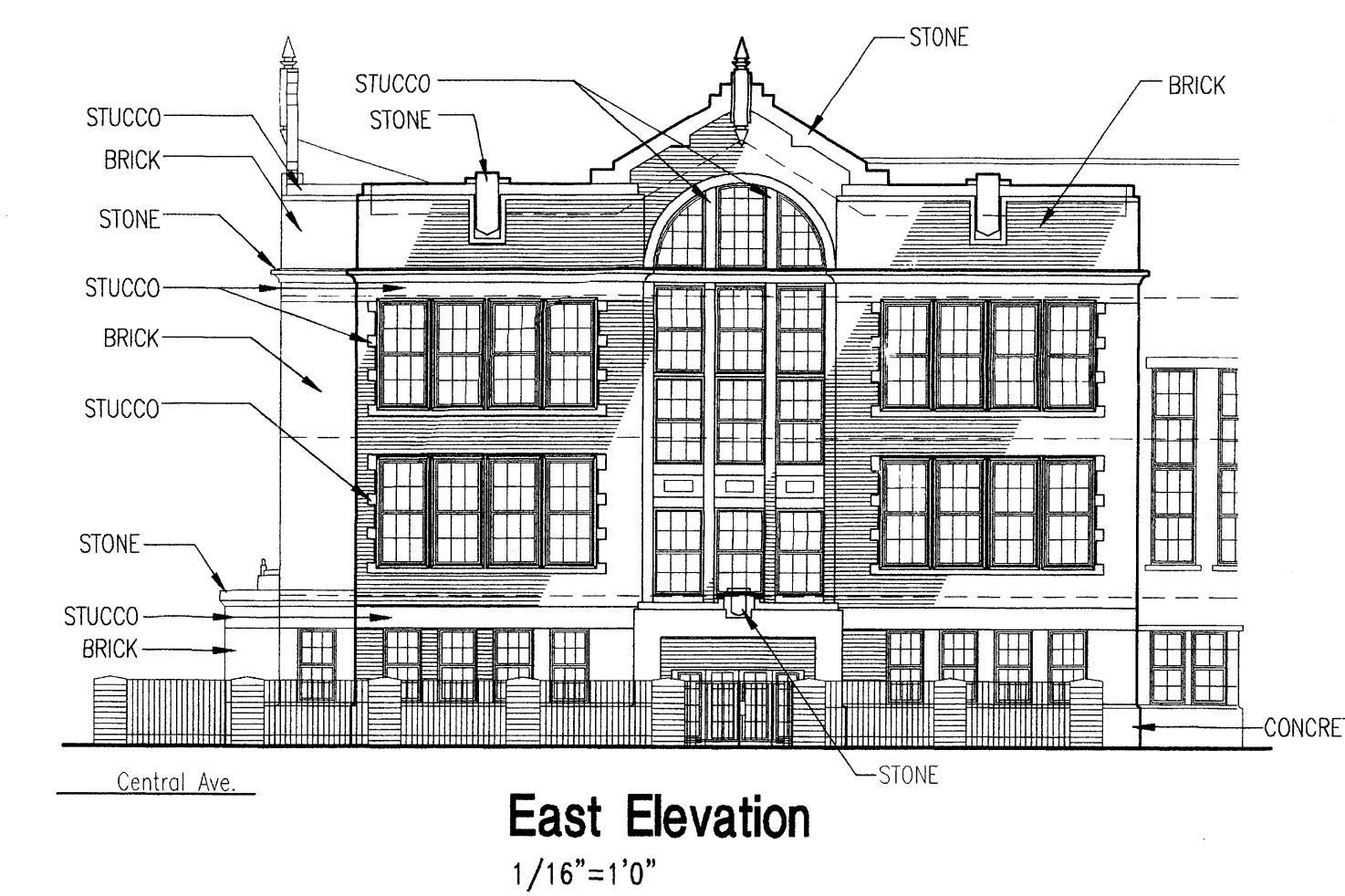
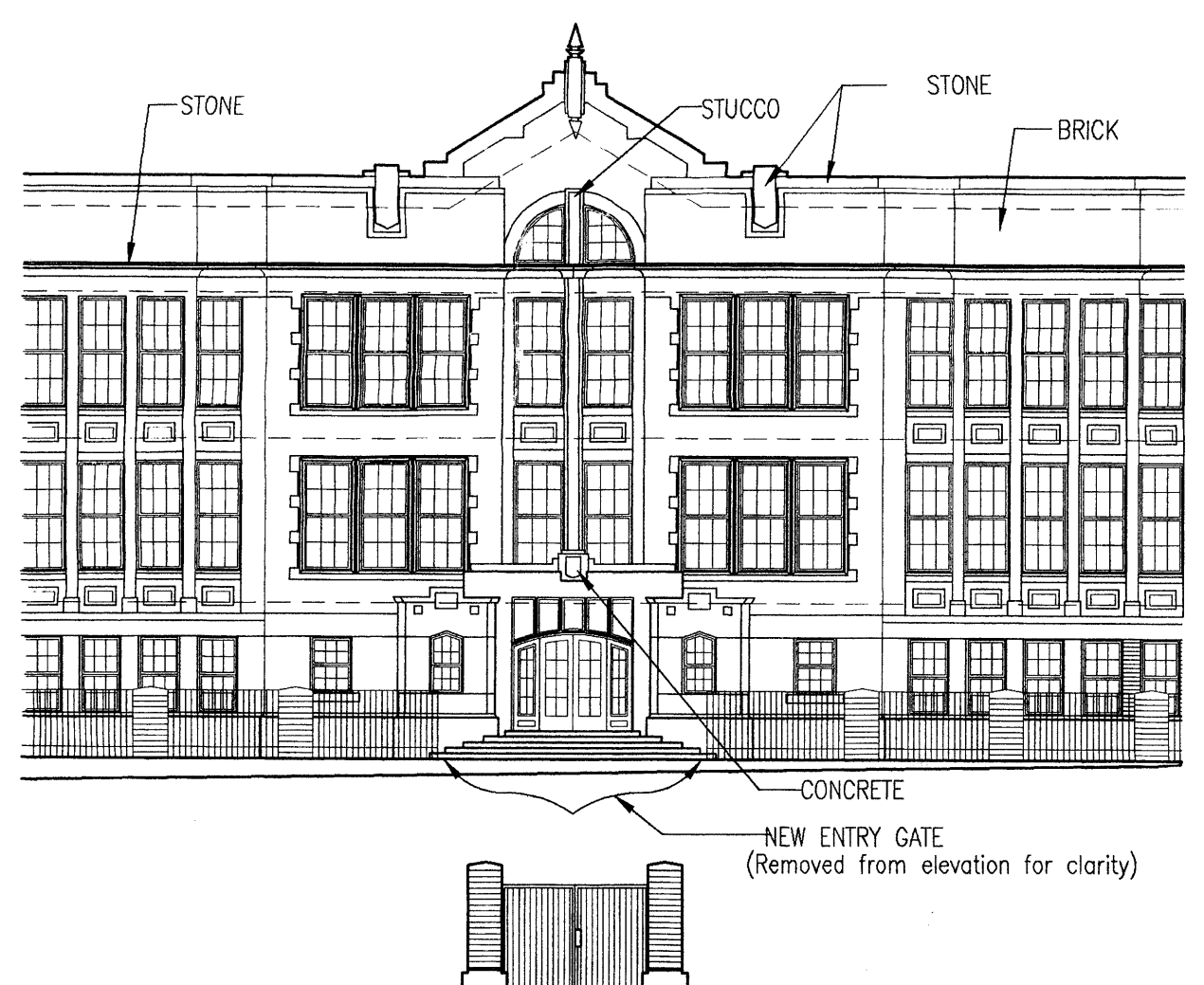
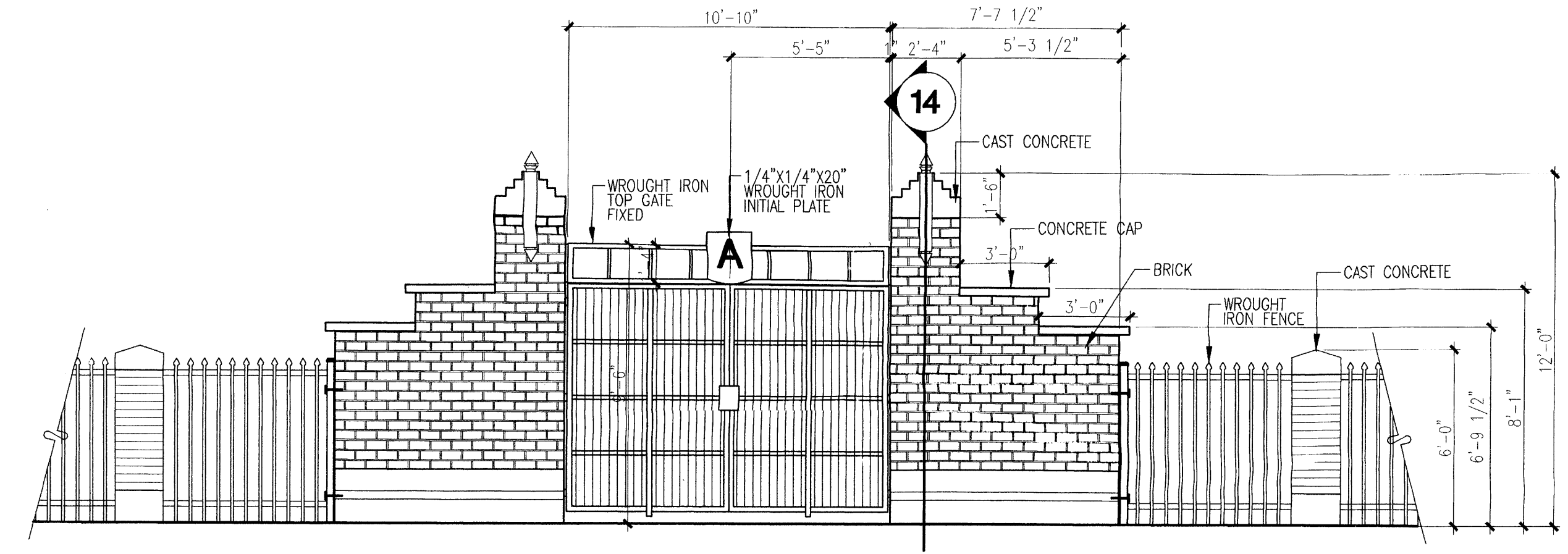
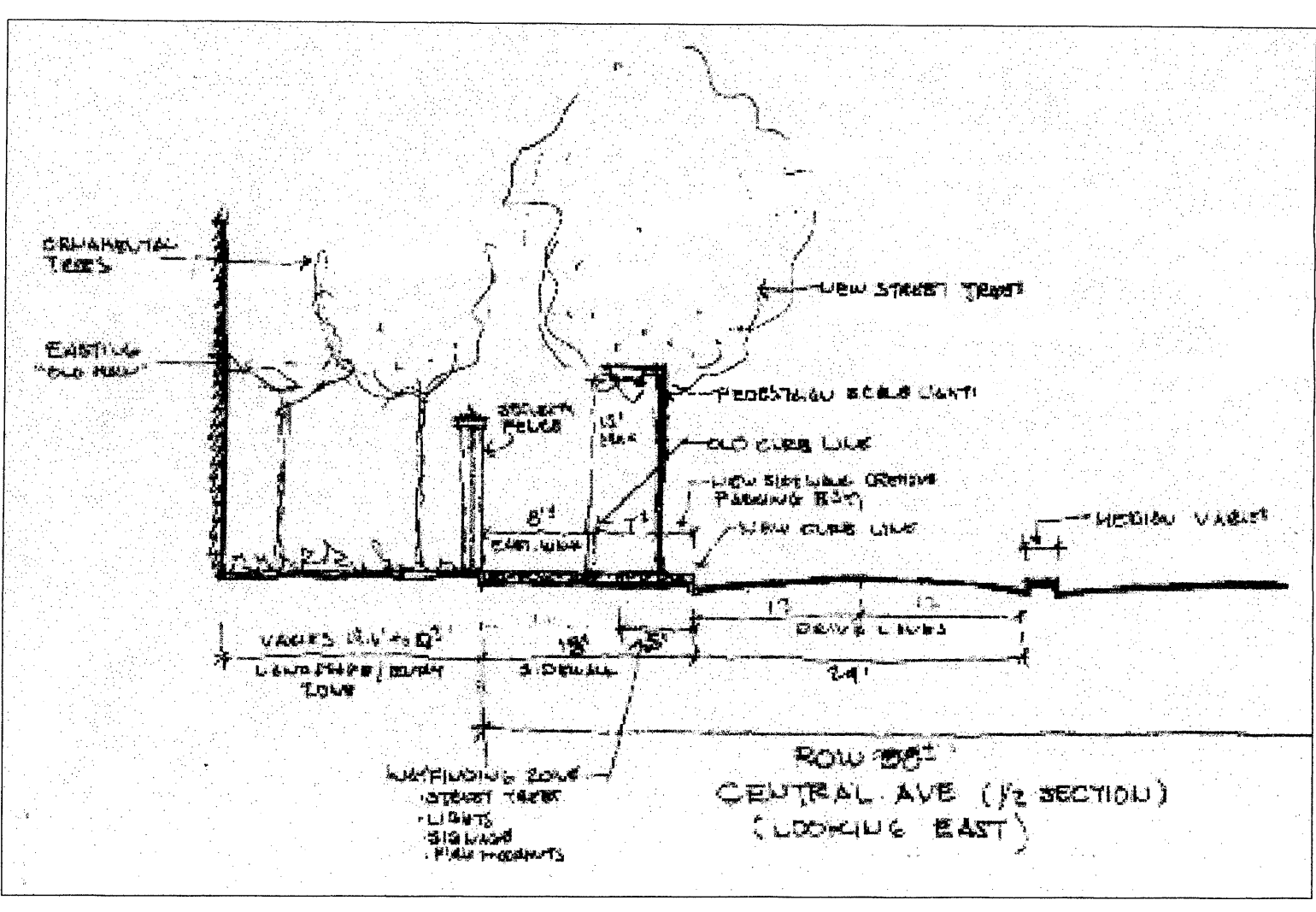
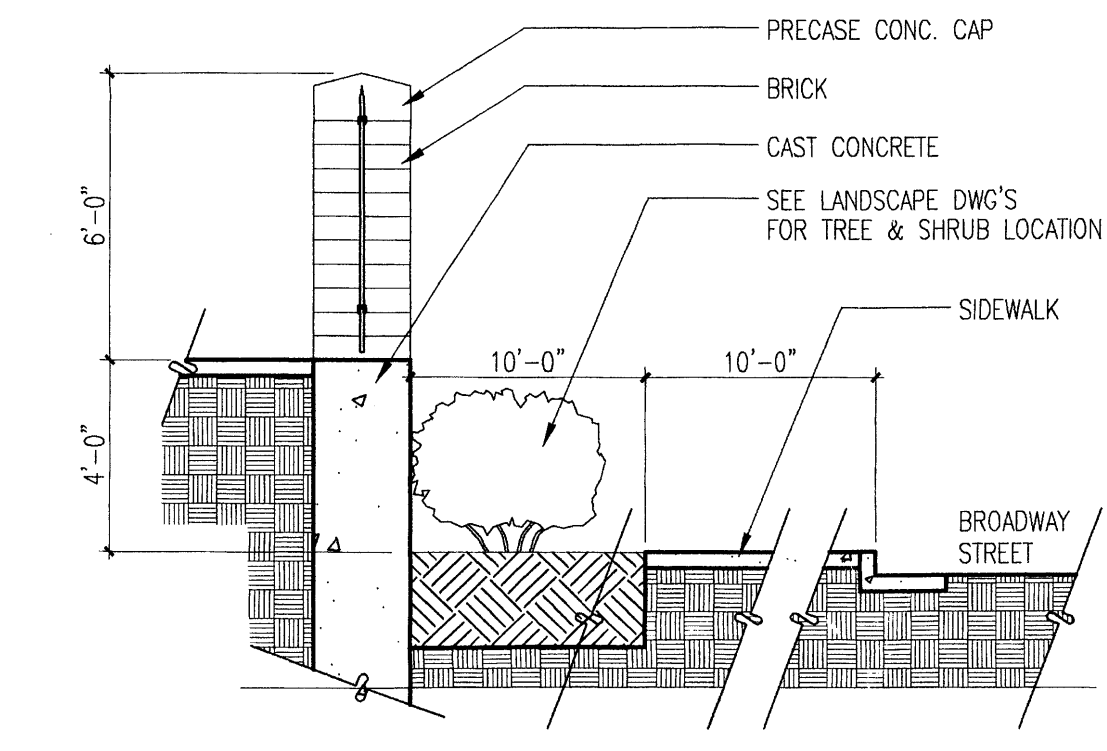
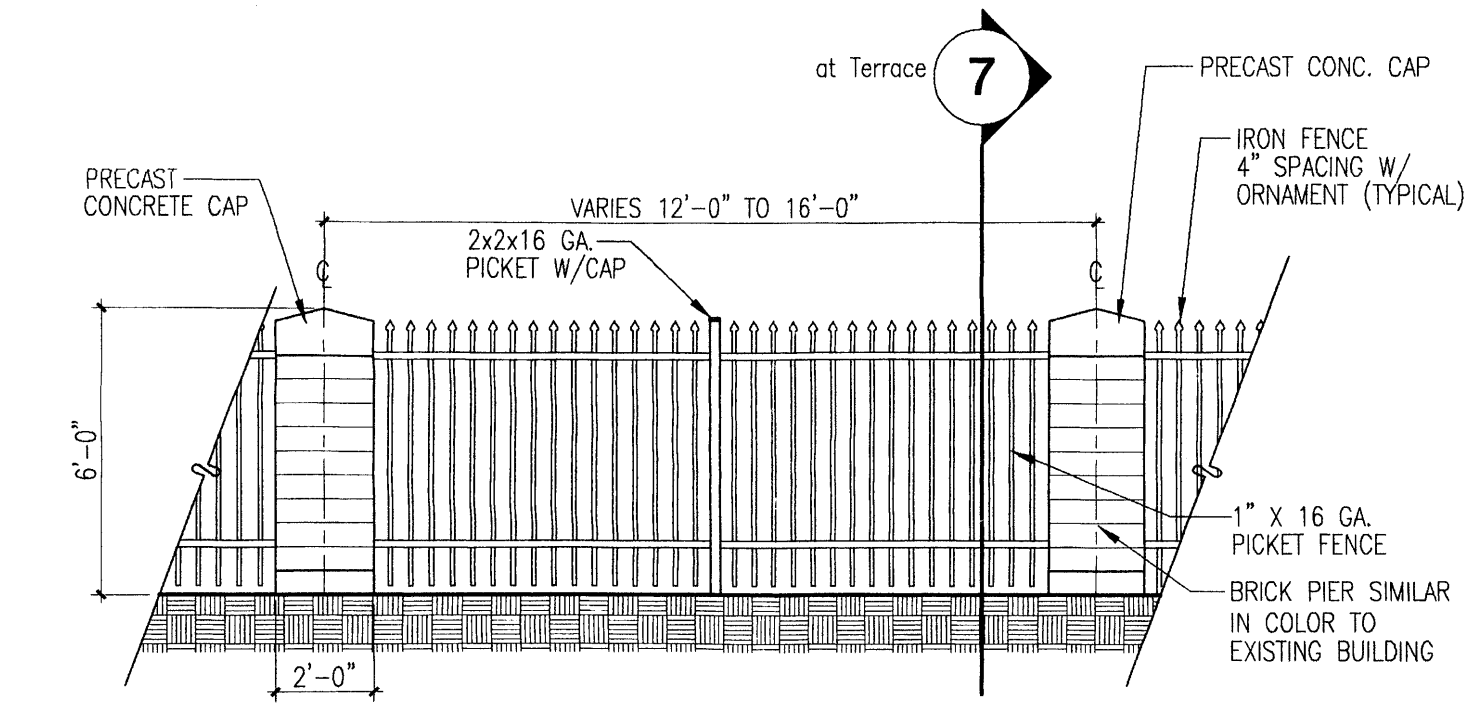
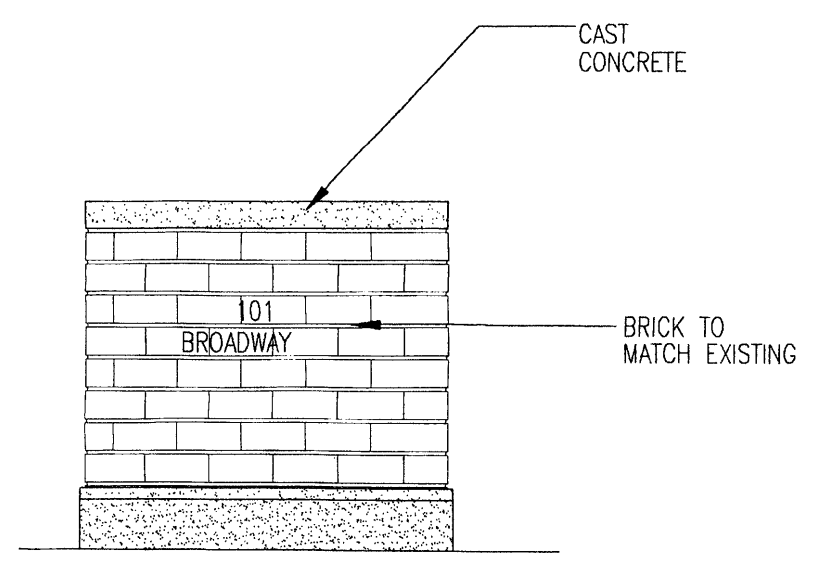
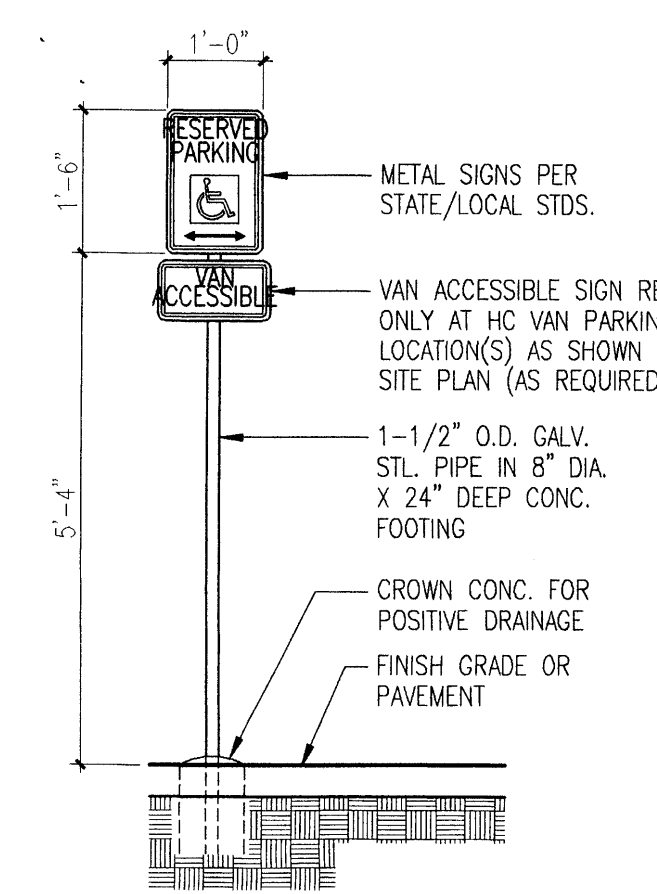
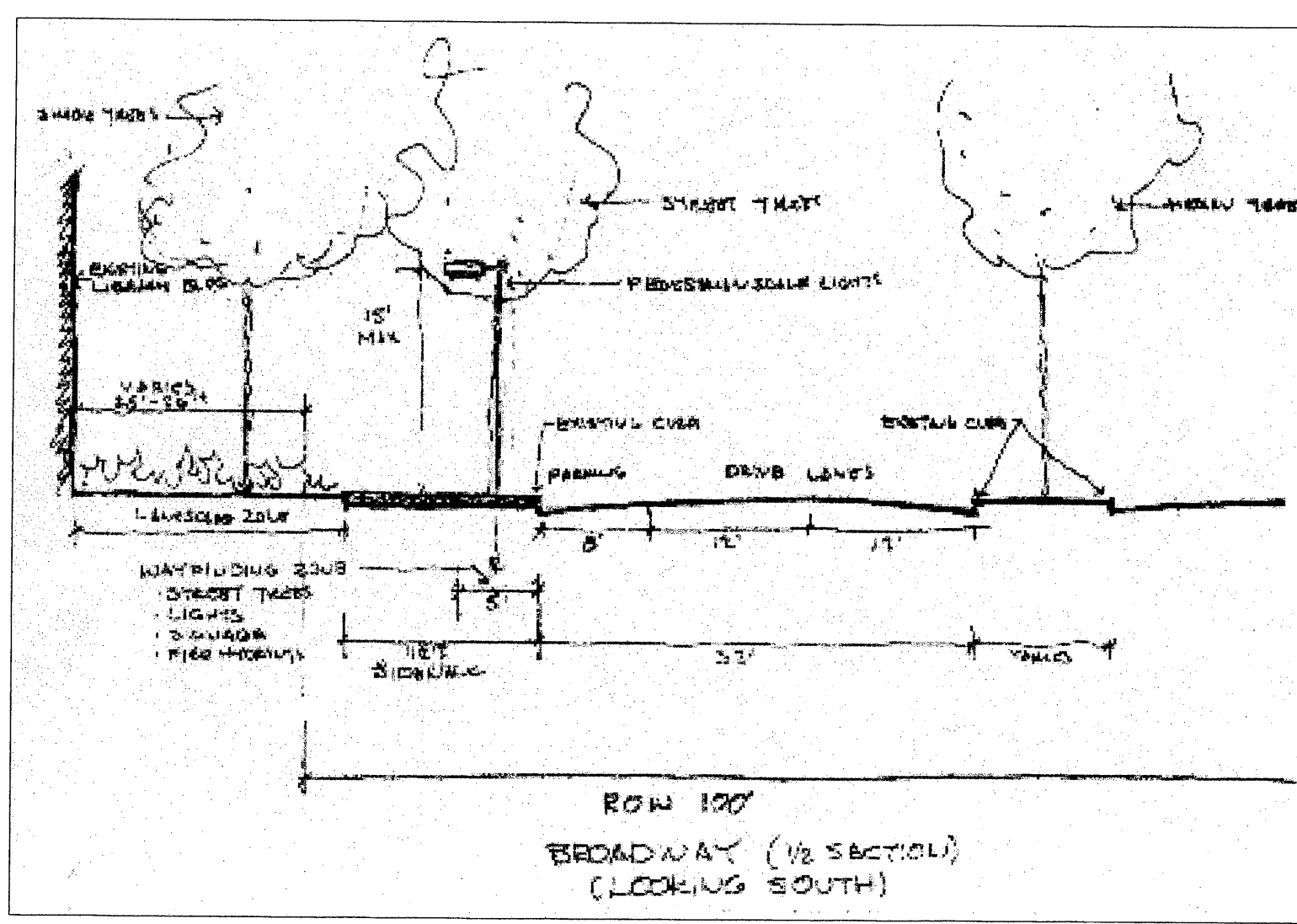
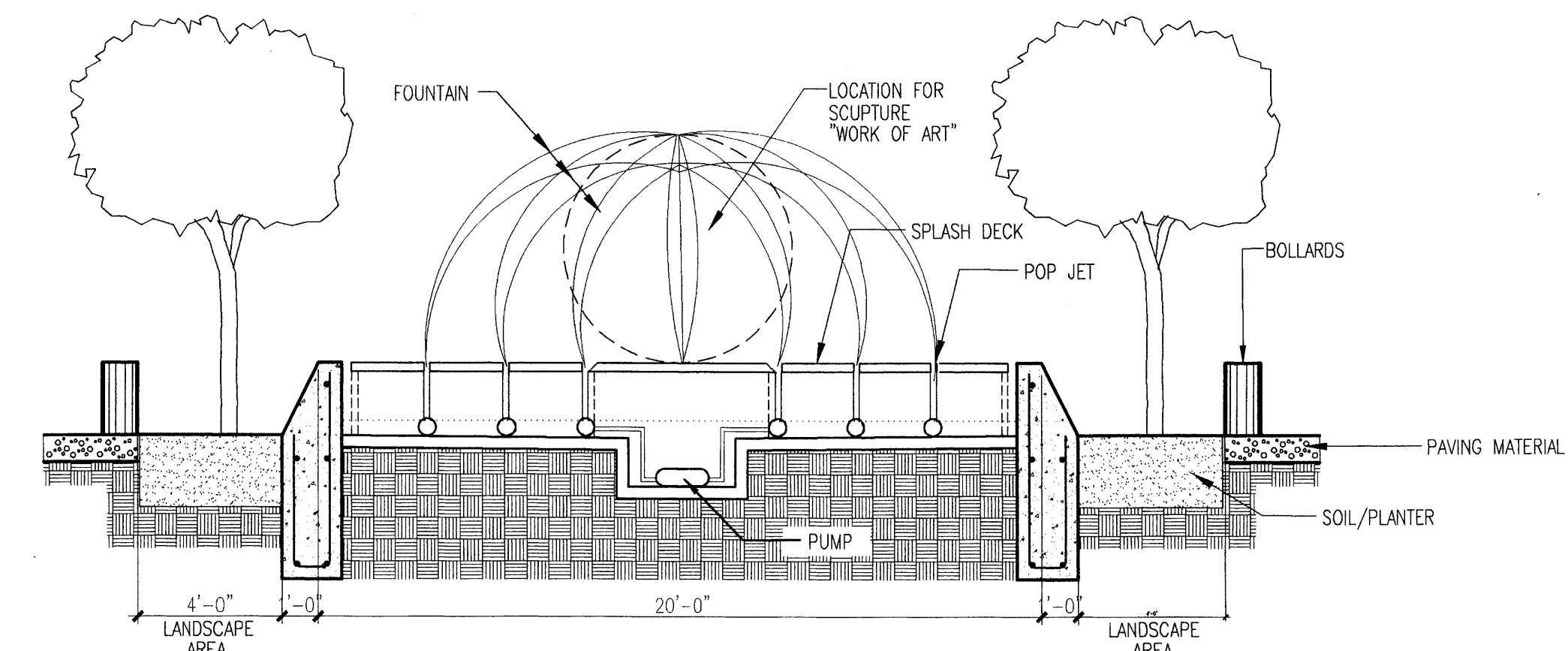
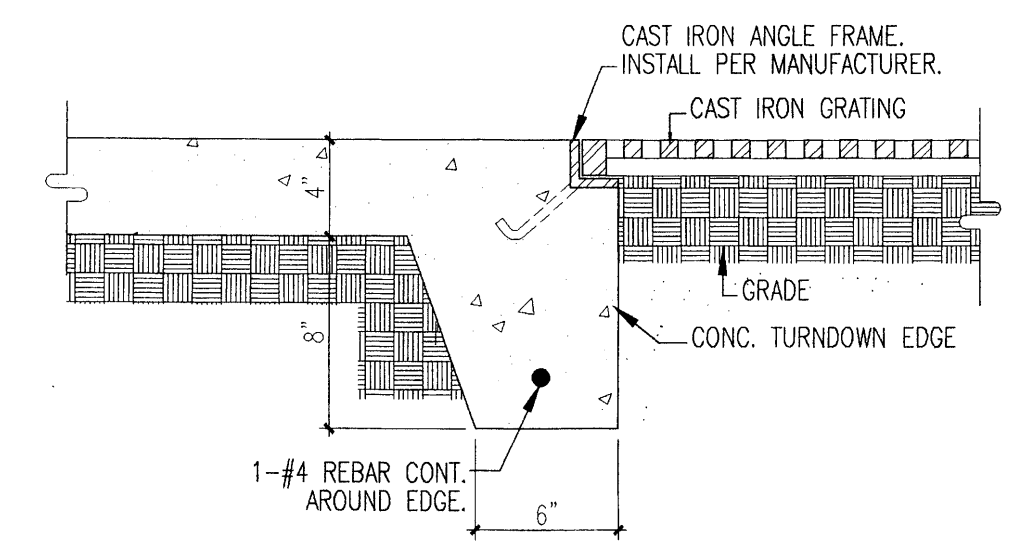
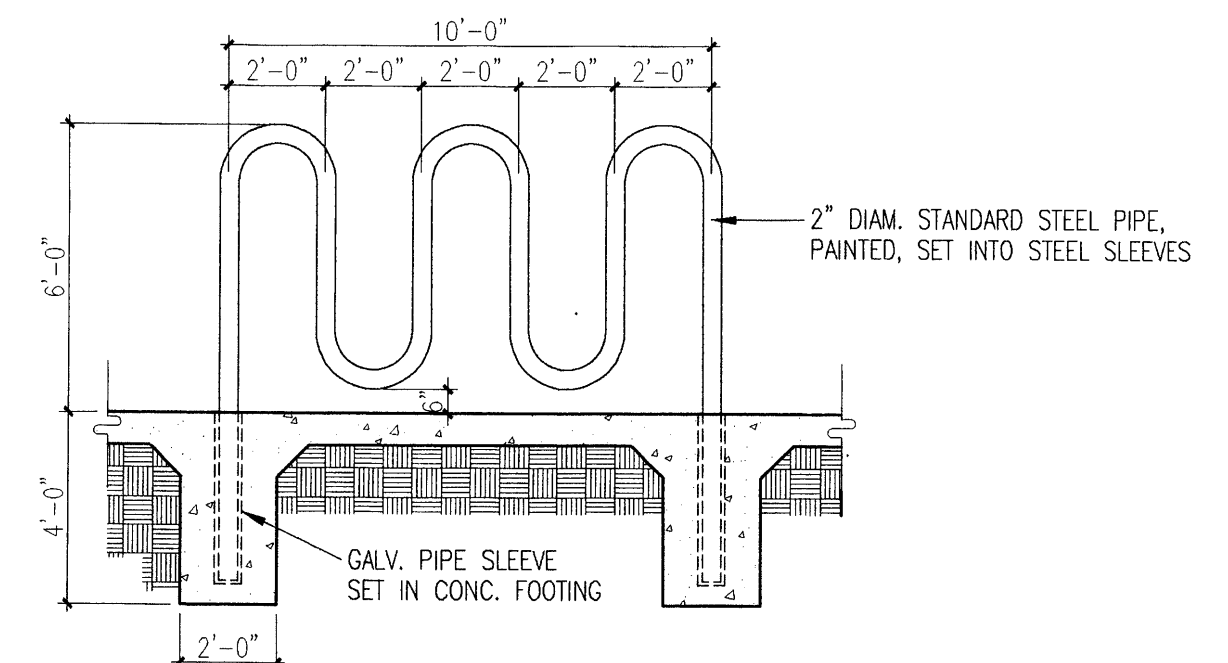
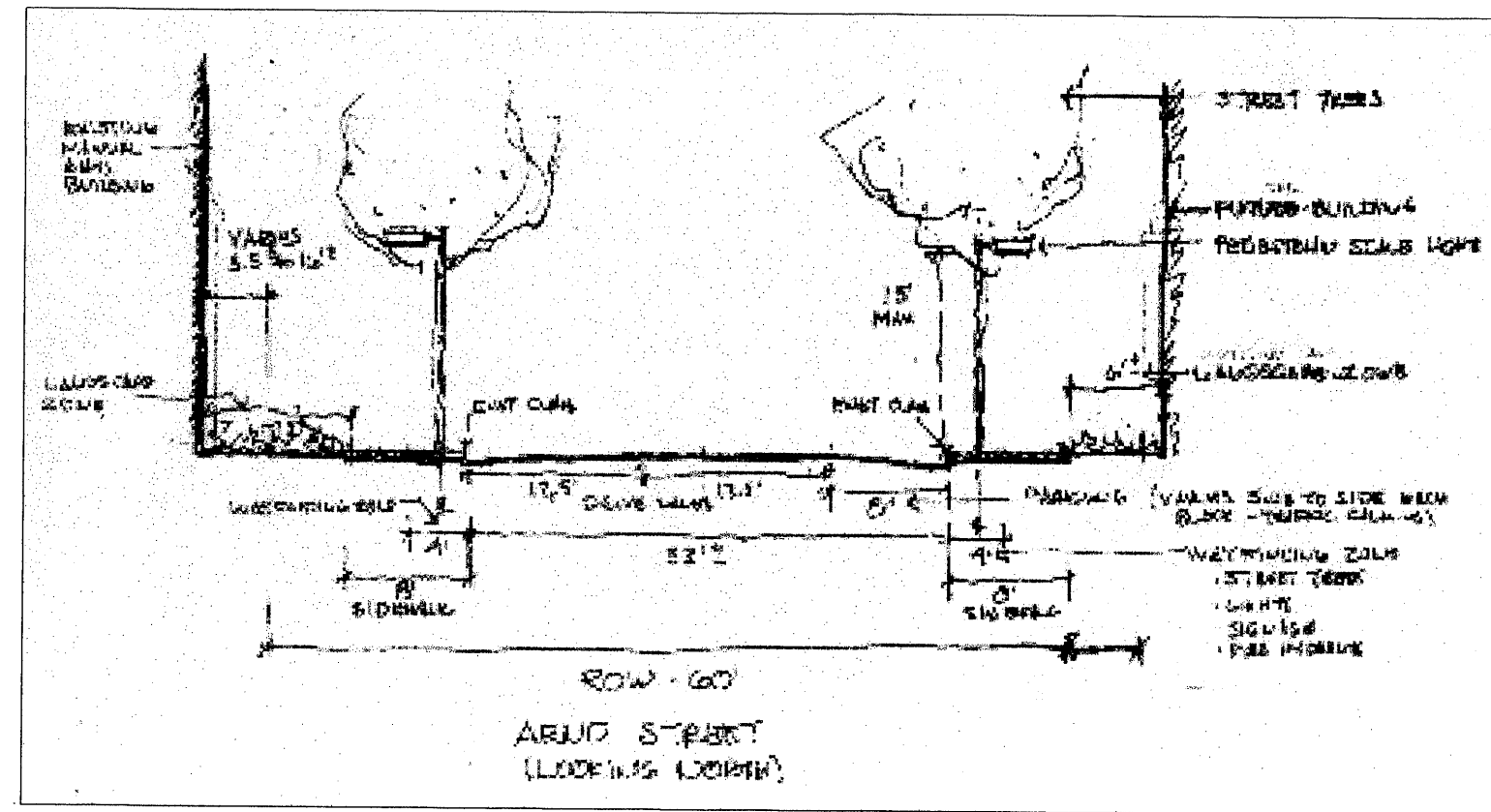


(D) View from Broadway



Key Plan  
NTS





engineer

project

Old Albuquerque High School  
Albuquerque, New Mexico

revisions

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△	
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△	
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plotted 09-20-2000 2:00P

drawn: by: svs BUILT/EPIC SUBMITTAL/DET/IN/2/DWG

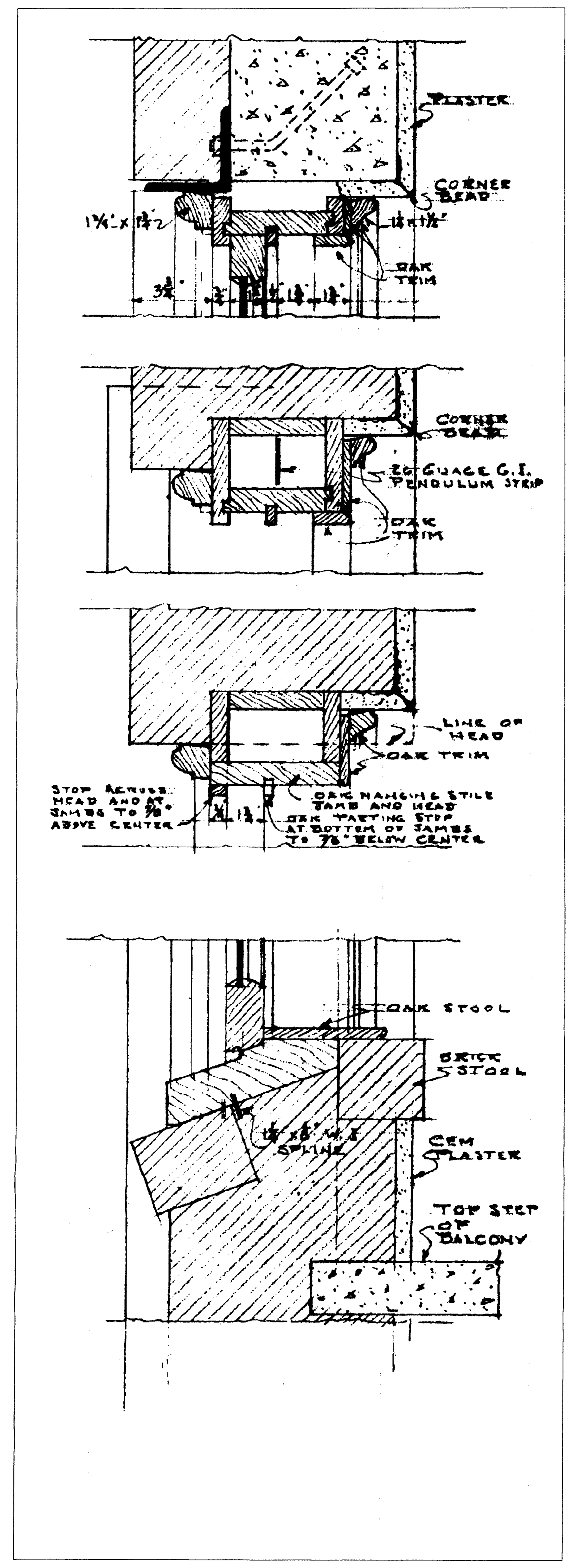
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date: 8/31/00

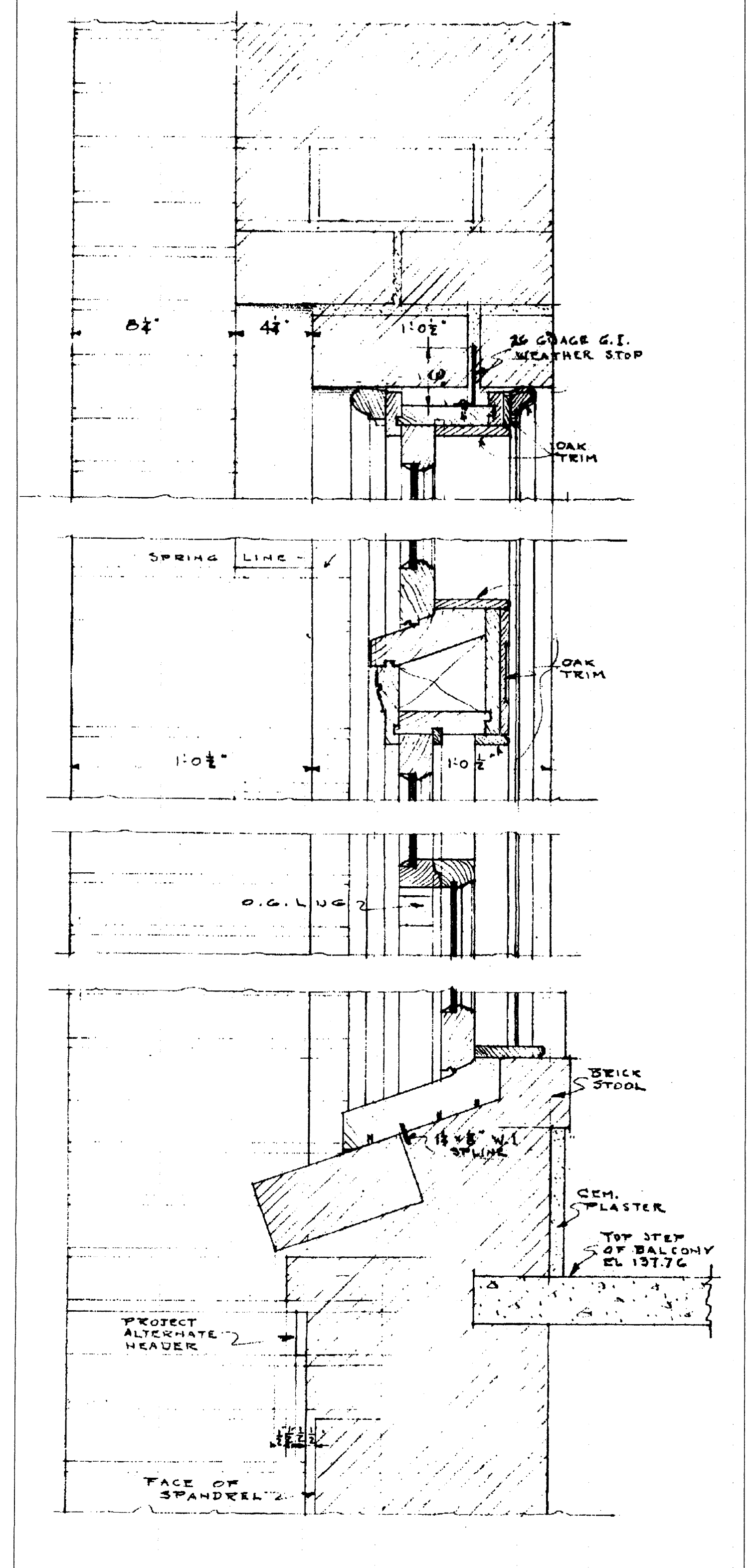
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drawing name: Sections & Details

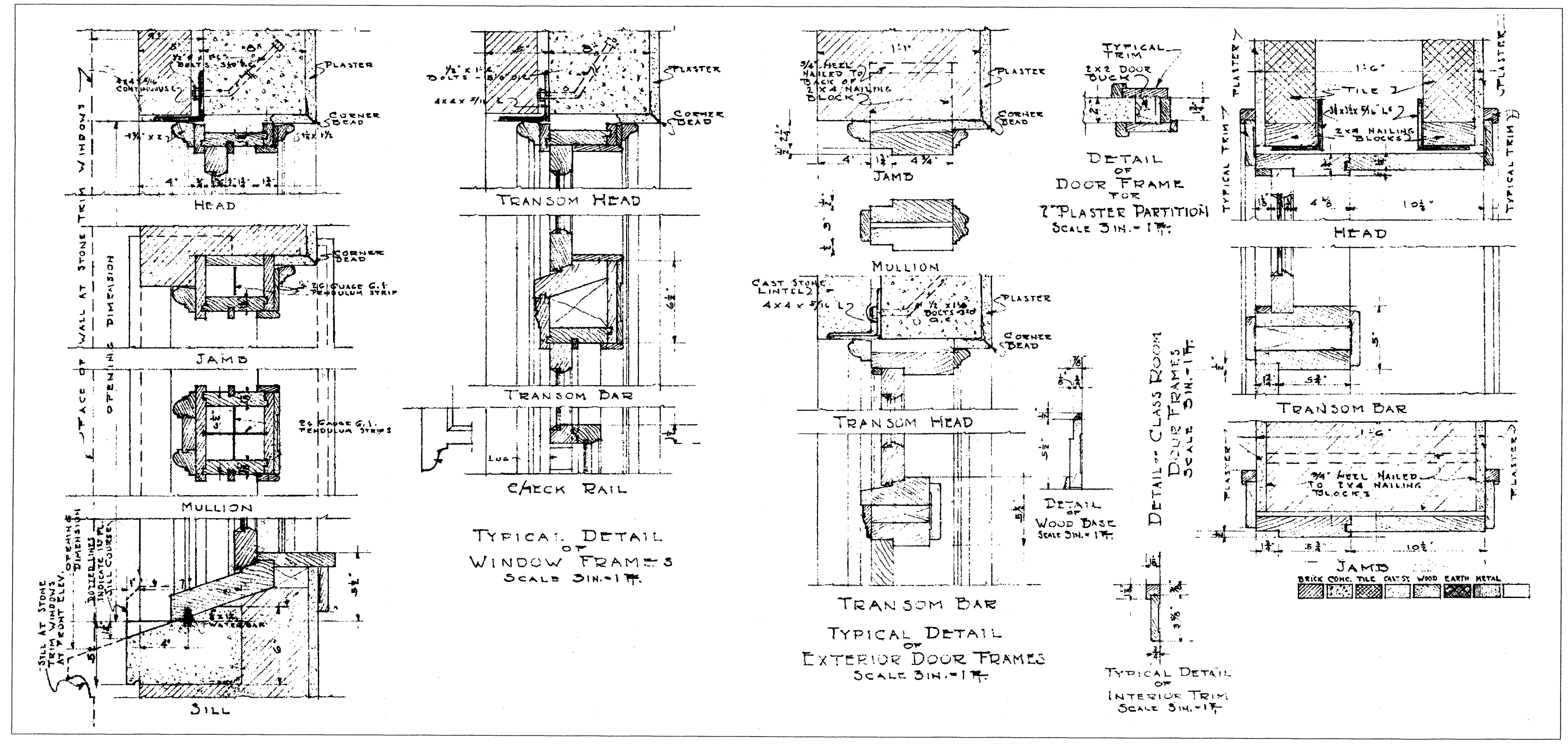




1 Window Detail



2 Window Detail



3 Window Details

revisions

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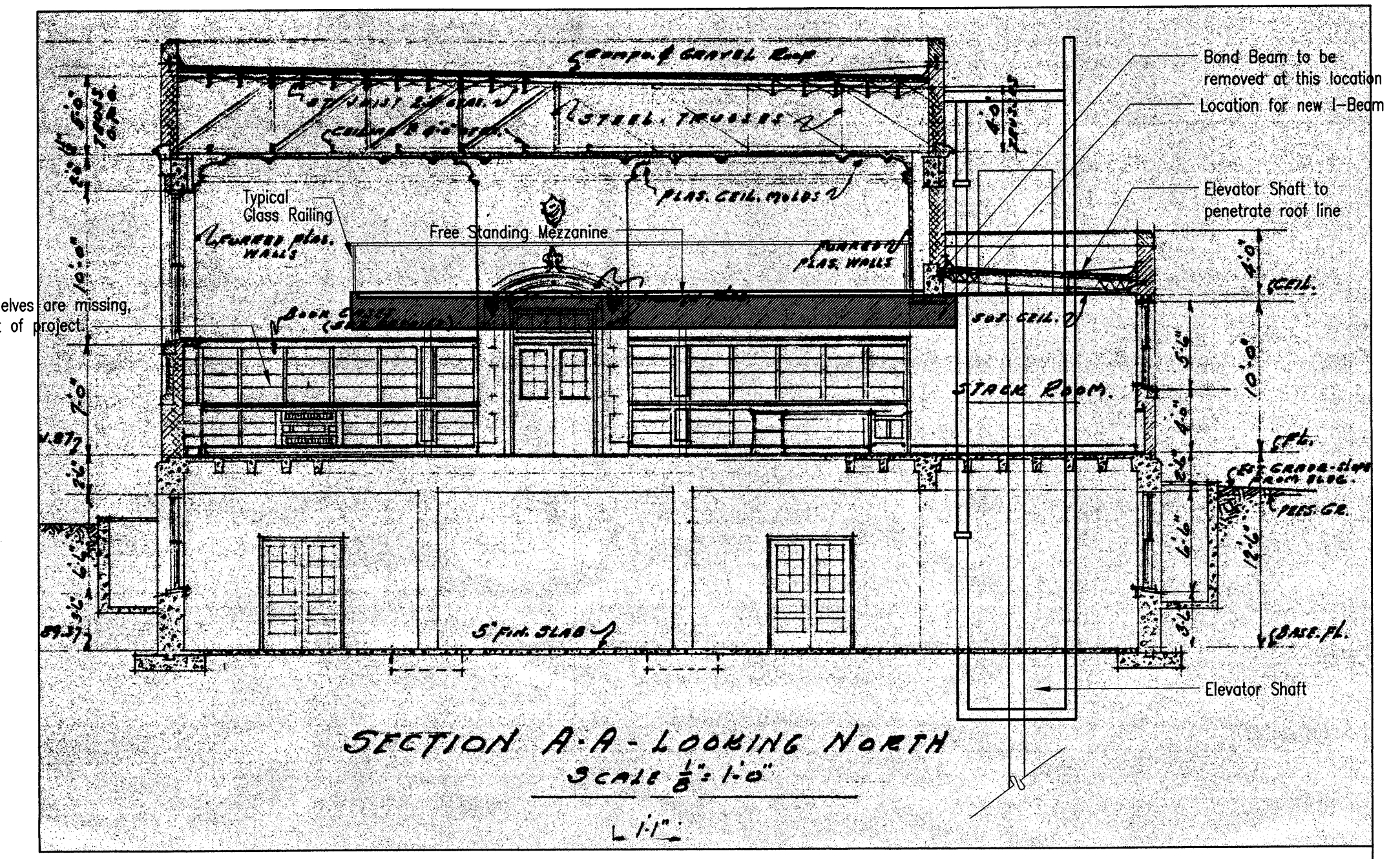
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reviewed by	
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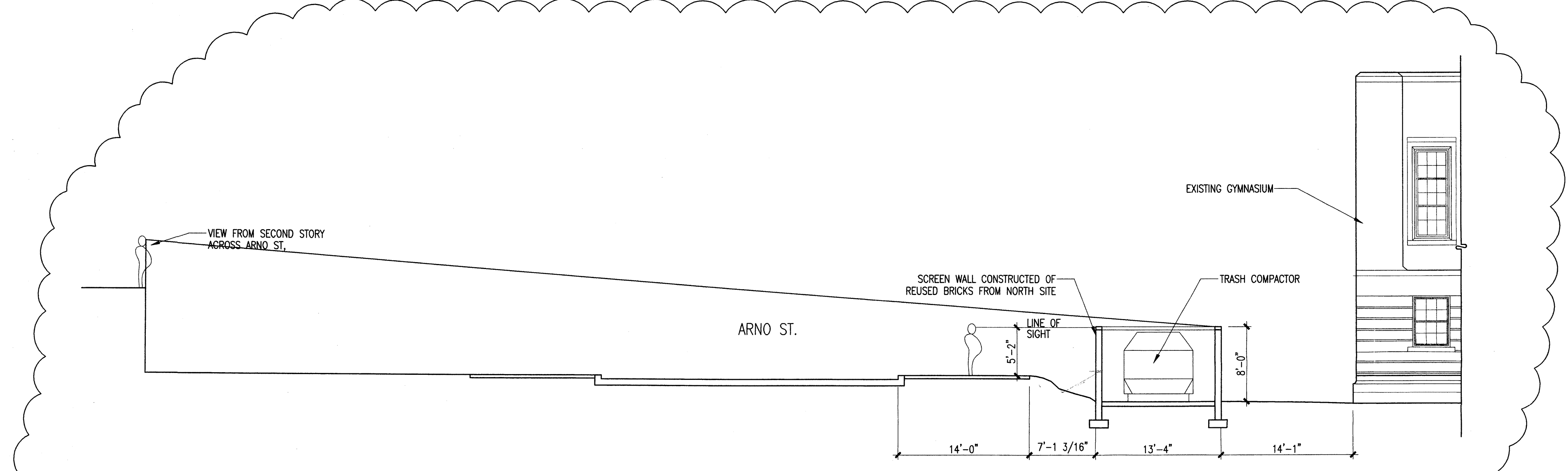


revisions	
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△	
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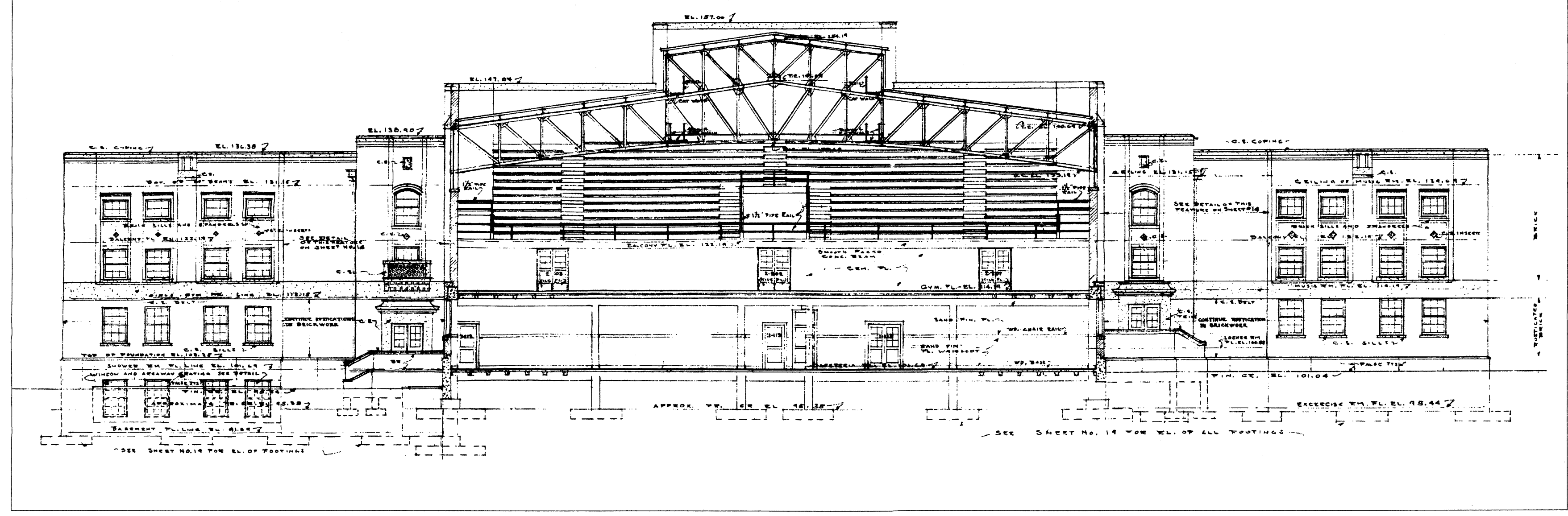
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drawing name



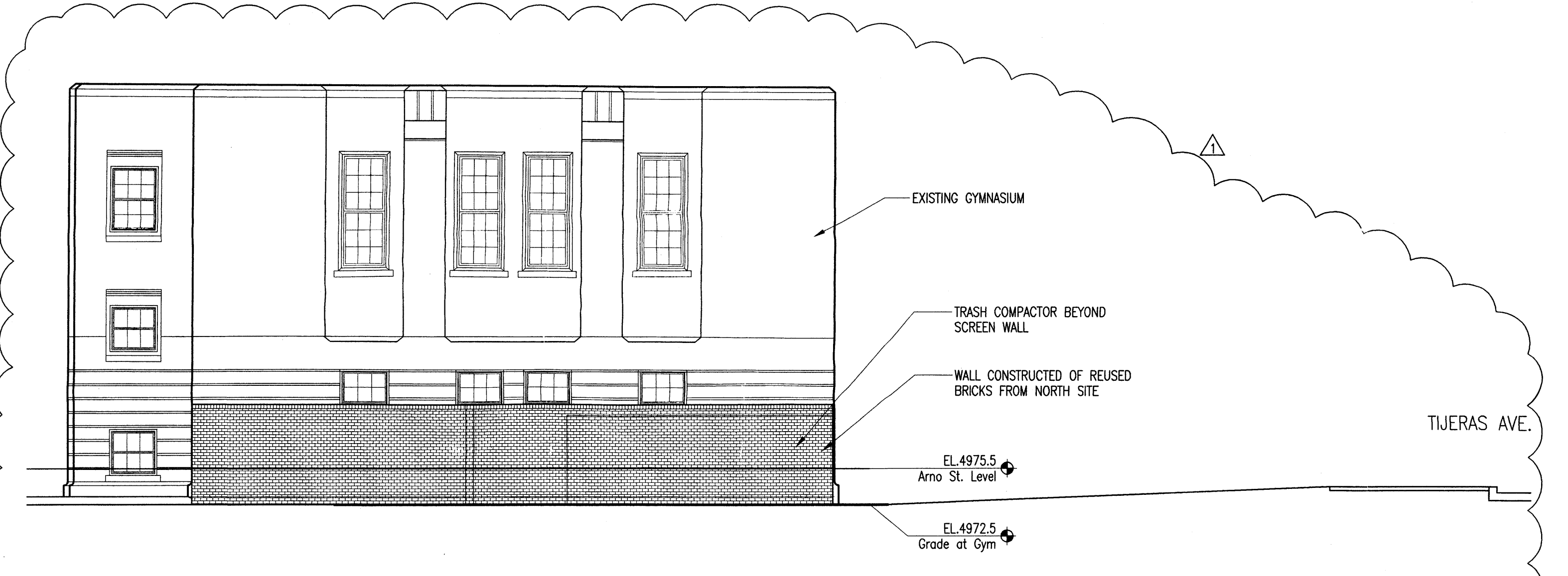
1 Proposed Section thru Library Looking North



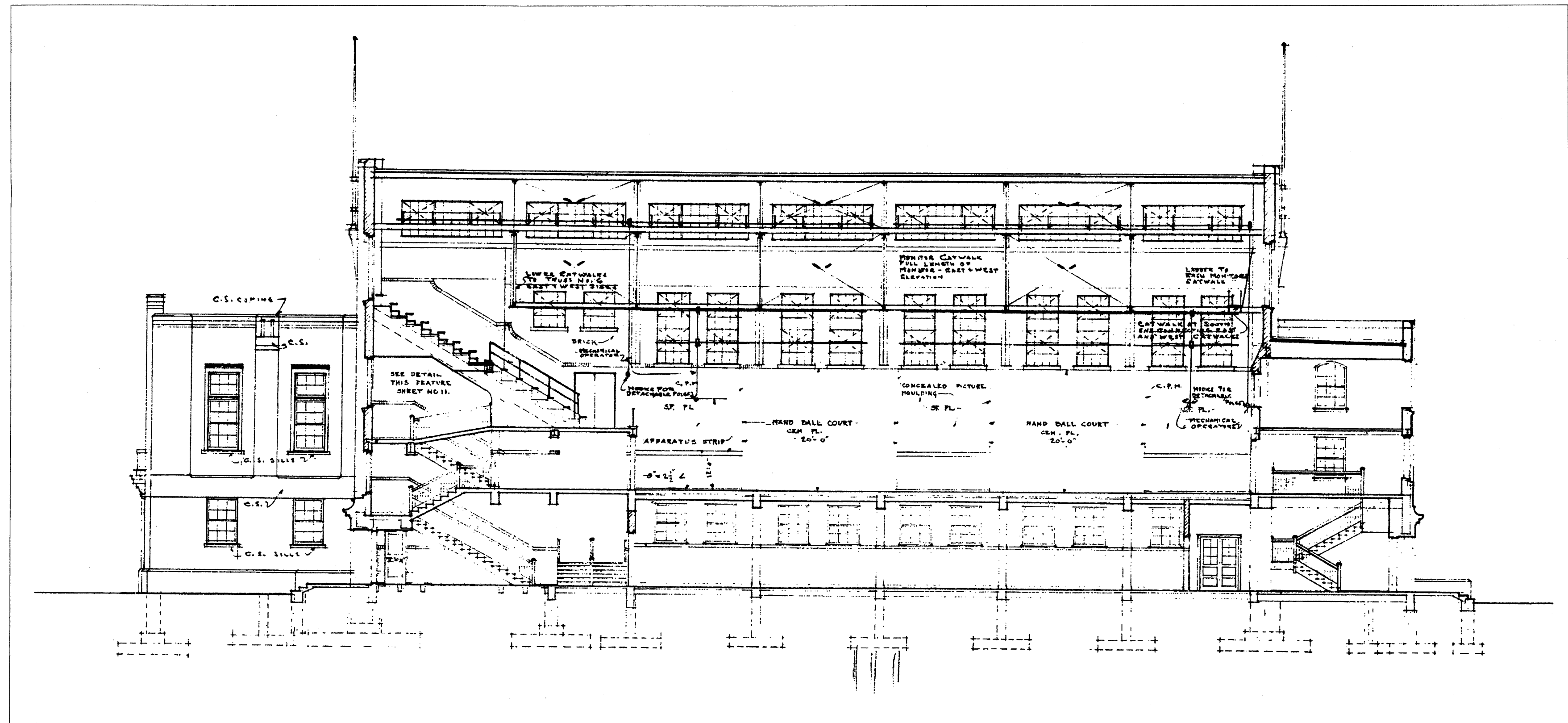
4 Proposed Section thru Trash Compactor Looking South  
1/8"=1'-0"



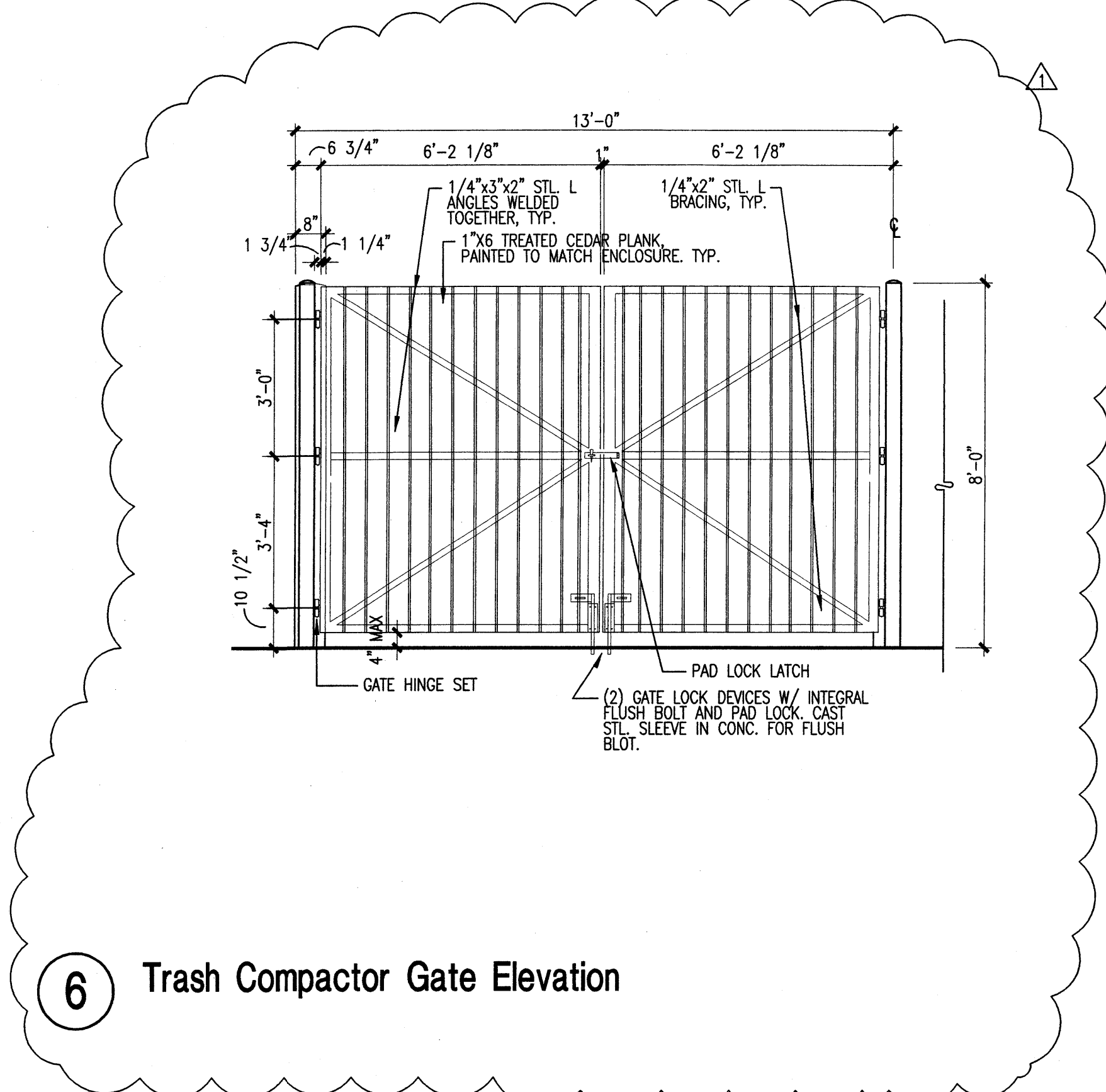
2 Section thru Gymnasium Looking North



5 East Elevation of Trash Compactor and Gymnasium  
1/8"=1'-0"

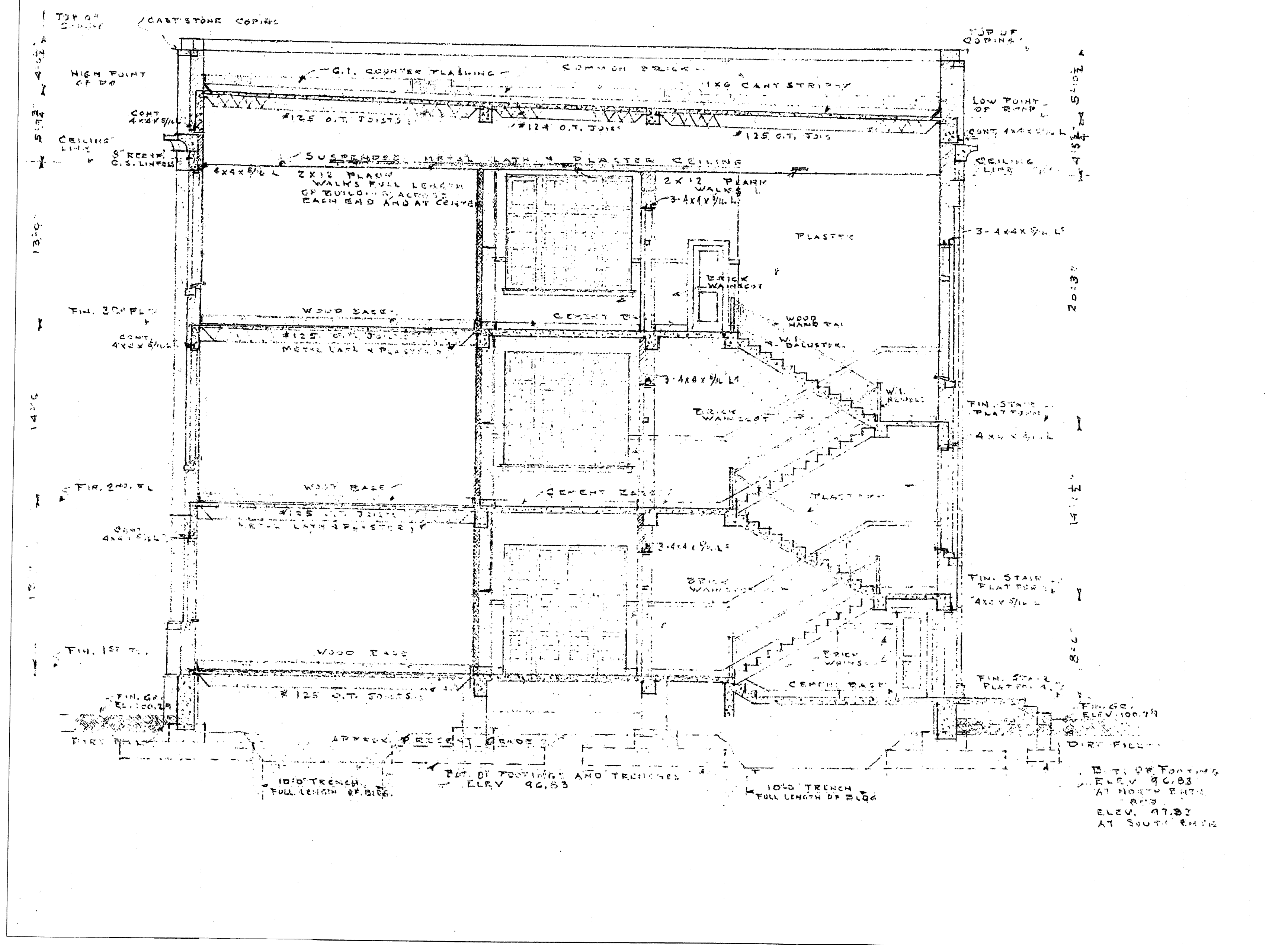


3 Section thru Gymnasium on Main Axis

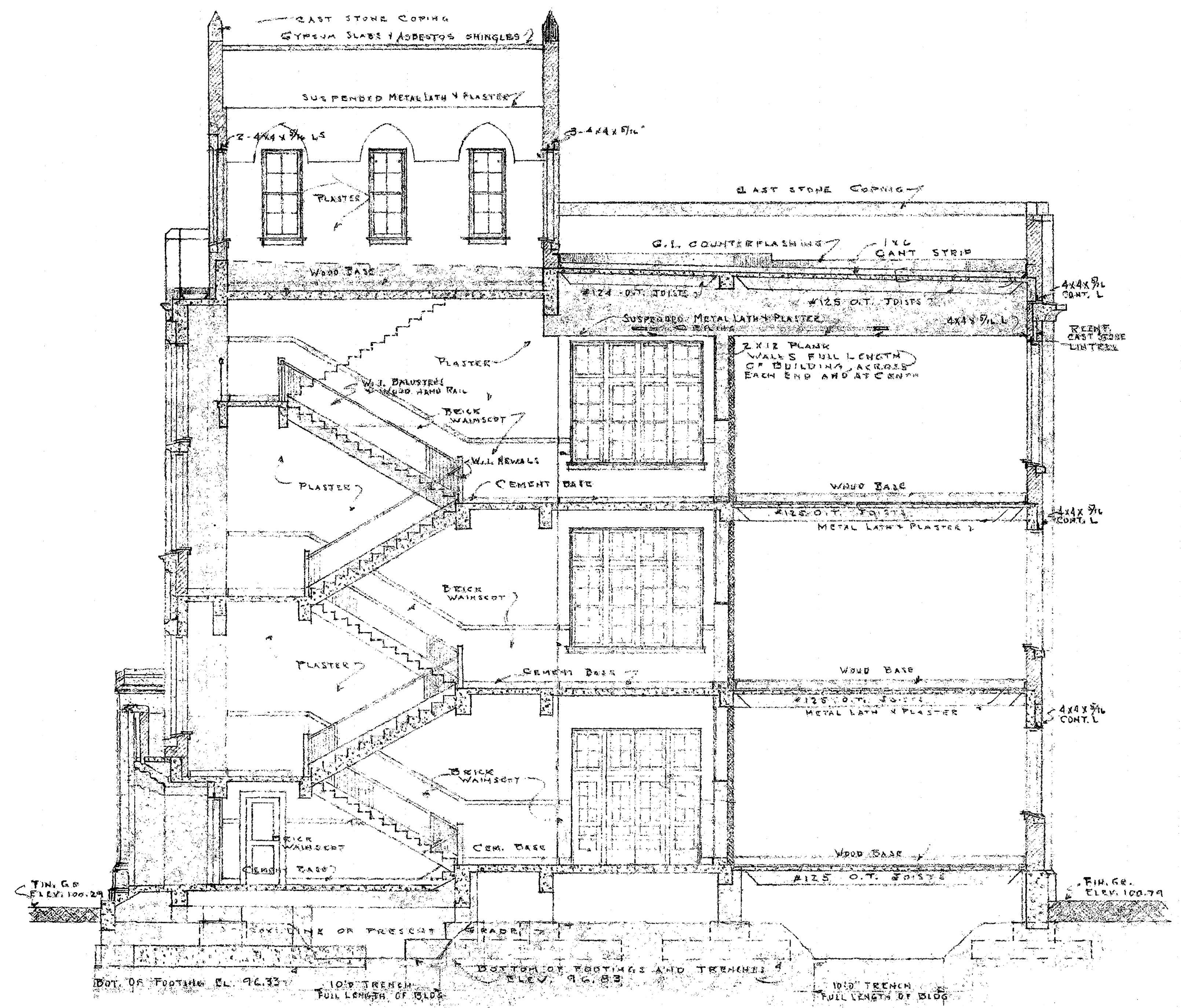


6 Trash Compactor Gate Elevation

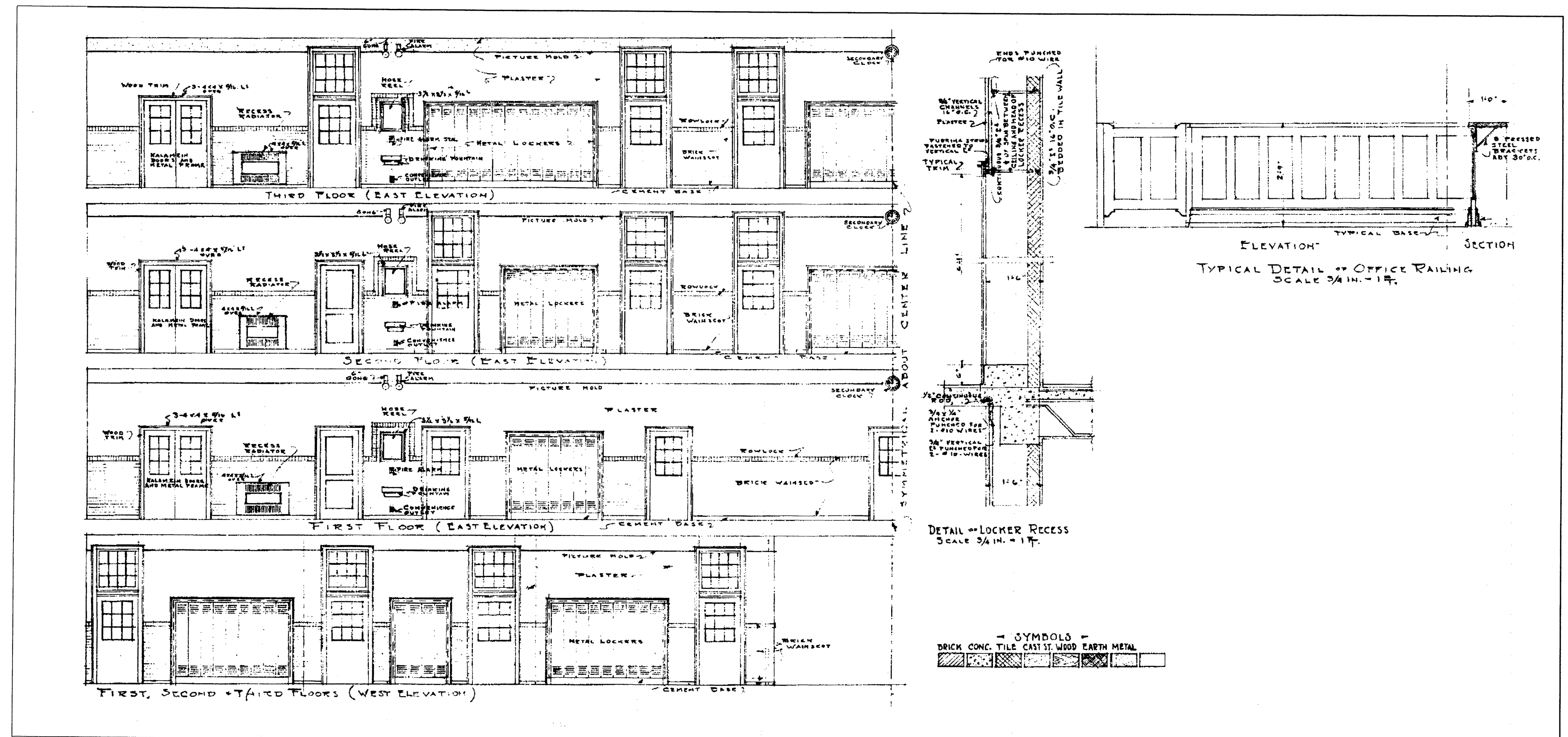




3 Section thru Classrooms Building West Entrance



1 Section thru Classroom Building Main West Entrance Stairs



2 Section thru Classroom Building Main Corridor