

CASE NUMBER: Z-7
Site Development Plan
For Subdivision Approval
THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DESIGN HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
PUBLIC WORKS
CITY ENGINEER, ENGINEERING DIVISION/AMATECA
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

[Signature]
SIGNATURE AND DATE: 07-31-13

AD PLANS CHECKING OFFICE
924-3811
APPROVED/REAPPROVED

DATE	DATE	DATE	DATE

TRACT / LOT NUMBER	ACRES	USGS	BUILDING CSF	FAE	WK
TRACT A-14	21.03	0.0	0.0		
A-3 (Old Main Building)	386	48,178	48,178	313	
A-4 (Library)	209	26,659	26,659	354	
A-5 (Library)	133	14,878	14,878	229	
A-6 (Library)	72	5,203	5,203	276	
A-7 (Gymnasium)	172	7,258	7,258	112	
A-8 (Gymnasium)	170	0.0	0.0		
A-9 (Parking Structure 80,725 CSF, F.A.P. 2-48 AC) / TRACT B TOTAL F.A.E. 2-50 AC)	80,725	0.0	0.0		
TRACT B-16	307	25,833	25,833	146	
TRACT C-2	185	19,771	19,771	114	
TRACT C-3	5,771	45,894	45,894	282	
TOTAL	72,000	143,374	143,374	301,190	112

Project Data

LEGAL DESCRIPTION
LOT A-1, B-1 AND C-1 OF THE BANNER SQUARE SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO.

TOTAL TRACT AREA: 6,819 ACRES
TRACT A-14: 21.03 ACRES
LANDSCAPE AREA: 18,116 SQFT
LANDSCAPE AREA REQUIREMENTS: 18,116 SQFT
LANDSCAPE PROVIDED: 18,116 SQFT

APPROVED ACCESS: 6,819 ACRES
RESIDENTIAL ACCESS: 6,819 ACRES
LANDSCAPE PROVIDED: 18,116 SQFT

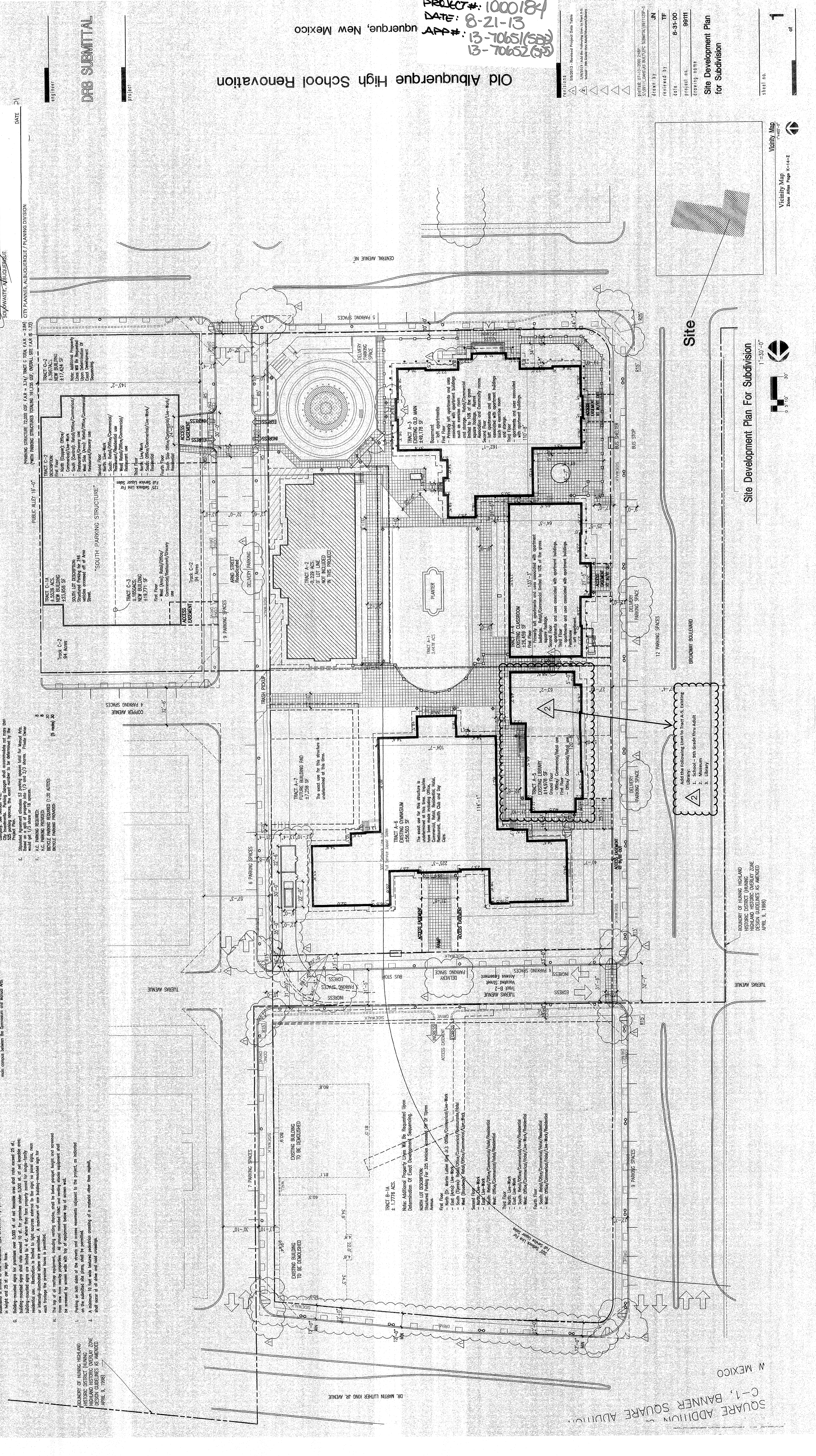
REQUIREMENTS:
A. 1. The minimum lot area shall be 10,000 sq. ft.
2. The minimum lot width shall be 100 feet.
3. The minimum lot depth shall be 100 feet.
4. The minimum lot area shall be 10,000 sq. ft.
5. The minimum lot width shall be 100 feet.
6. The minimum lot depth shall be 100 feet.

Phasing

Phase 1 - The existing building to be demolished.
Phase 2 - The existing building to be demolished.
Phase 3 - The existing building to be demolished.
Phase 4 - The existing building to be demolished.
Phase 5 - The existing building to be demolished.
Phase 6 - The existing building to be demolished.
Phase 7 - The existing building to be demolished.
Phase 8 - The existing building to be demolished.
Phase 9 - The existing building to be demolished.

General Notes

- Lot A-1, Lot B-1 & Lot C-1 will be subdivided into 11 new lots. New property lines on all lots shall be established by a licensed surveyor.
- Future development of the north tract (Proposed Tracts 1-10 and 11) shall be consistent with the City of Albuquerque Comprehensive Zoning Ordinance.
- The lot boundaries shown on this plan are based on the current zoning ordinance and the City of Albuquerque Comprehensive Zoning Ordinance.
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BOUNDARY OF HAWING HIGHLAND HISTORIC DISTRICT (HAWING HIGHLAND HISTORIC OVERLAY ZONE) APRIL 9, 1989

DR. MARTIN LUTHER KING, JR. AVENUE

SQUARE ADDITION SQUARE ADDRESS C-1, BANNER SQUARE ADDRESS

BOUNDARY OF HAWING HIGHLAND HISTORIC DISTRICT (HAWING HIGHLAND HISTORIC OVERLAY ZONE) APRIL 9, 1989

Old Albuquerque High School Renovation

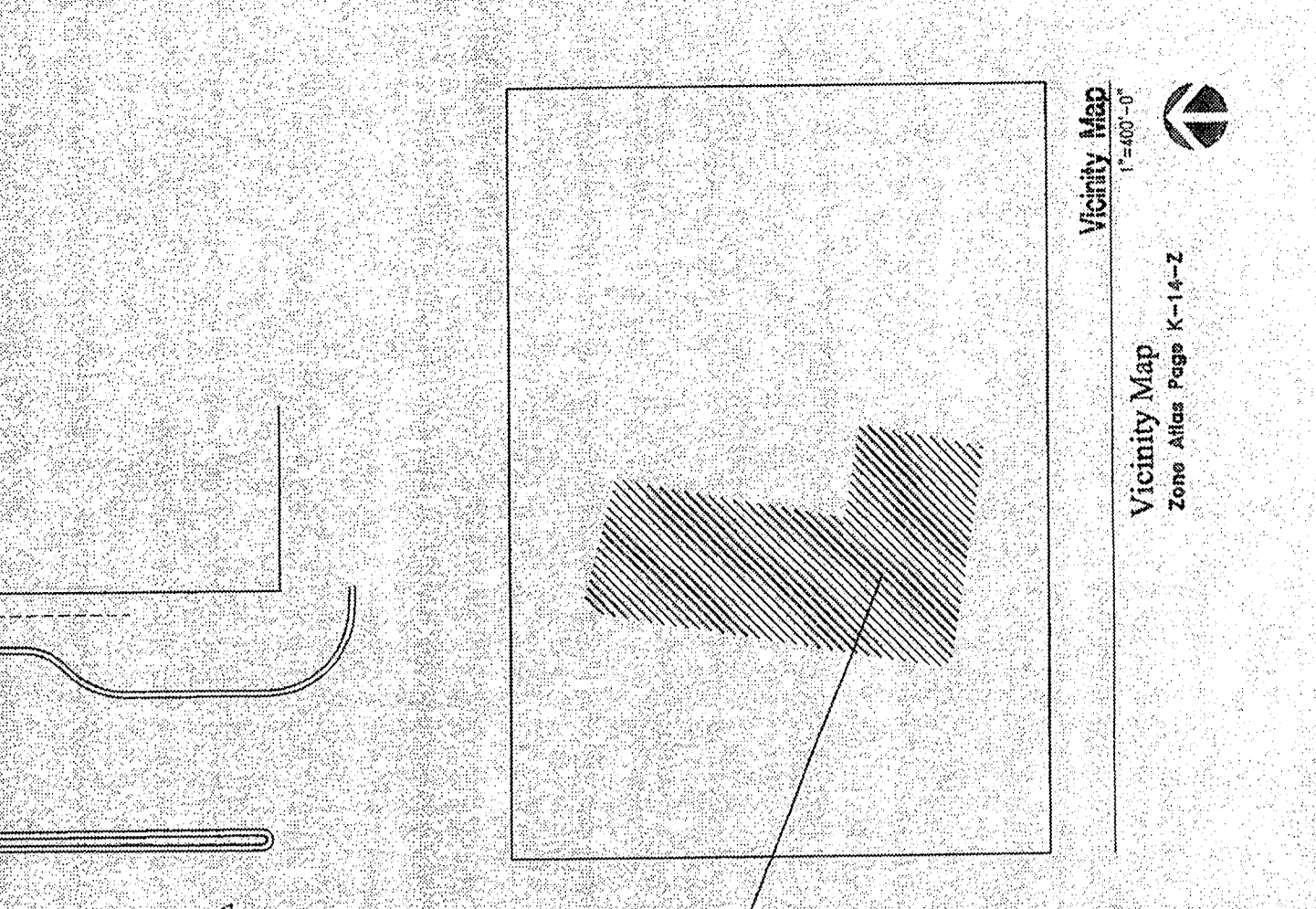
Project No: 13-1067-13
Date: 07-31-13
City: Albuquerque, New Mexico

1810001-0707
13-1067-13
13-1067-13

PROJECT: 13-1067-13
PROJECT NO: 13-1067-13
DATE: 07-31-13
CITY: ALBUQUERQUE, NM

DESIGNED BY: [Firm Name]
CHECKED BY: [Firm Name]
DATE: 07-31-13

PROJECT NO: 13-1067-13
PROJECT NAME: Old Albuquerque High School Renovation
DATE: 07-31-13



Site Development Plan for Subdivision

1 of 1

