

**LEGAL DESCRIPTION**  
 TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO GRANT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°38'56"	28.91
C2	33.89	306.82	08°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	136.00	14°27'18"	17.25
C5	33.18	25.00	78°02'51"	19.55
C6	47.37	250.00	10°51'24"	23.78
C7	36.31	150.00	13°52'08"	18.24
C8	34.73	136.00	14°38'00"	17.46

**SITE DATA TABLE**

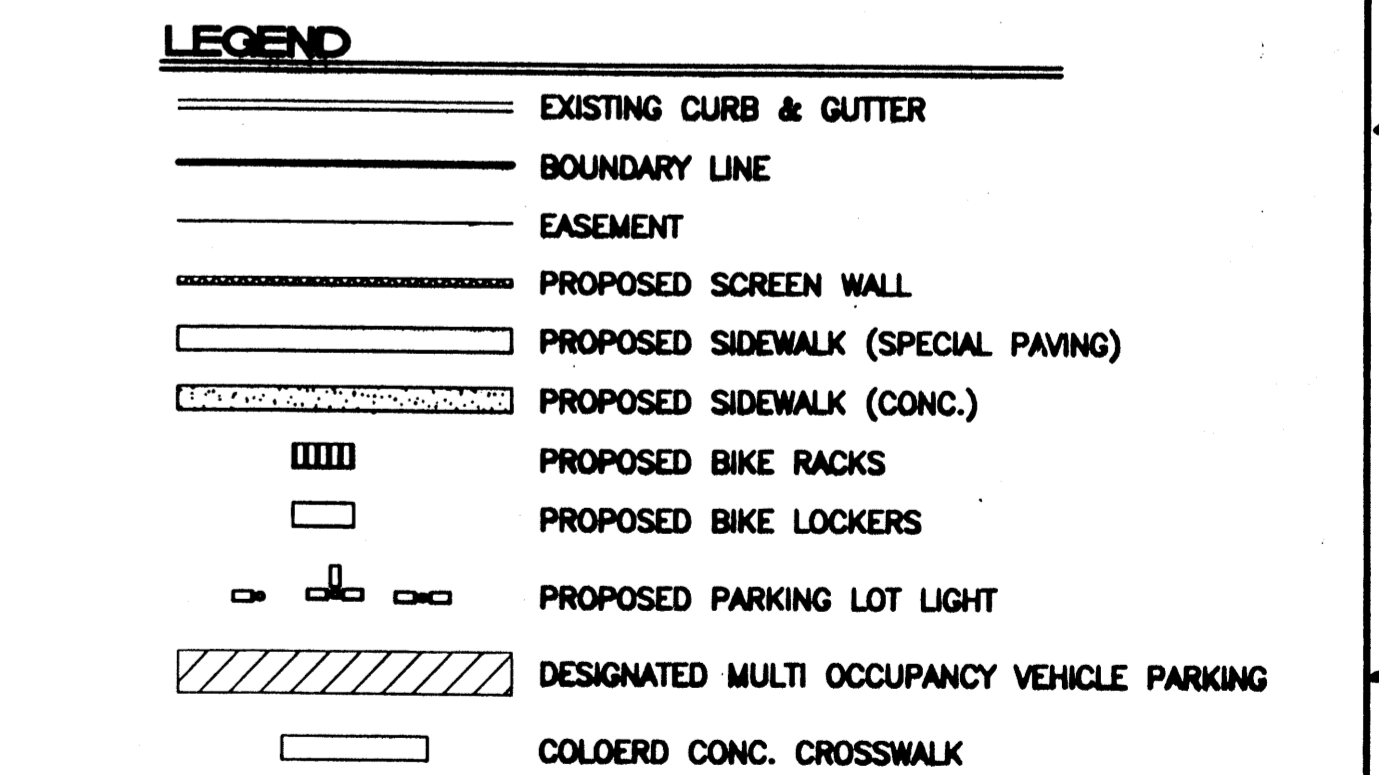
TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,924	RETAIL	SU-1 FOR C-2	0.25	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7626	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

\* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
1	561	529	16	16	29
2	24	49	3	4	2
3	28	40	2	2	2
4	49	52	4	4	1
5	1100	1108	21	24	55

**LANDSCAPE DATA**

TOTAL PARKING AREA FOR TRACTS 1, 2 & 3	152,786 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	30,559 SF ±
LANDSCAPE PROVIDED	58,784 SF ±
TOTAL PARKING AREA FOR TRACTS 4 & 5	319,958 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	63,992 SF ±
LANDSCAPE PROVIDED	109,538 SF ±



- GENERAL NOTES:**
- THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
  - TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
  - LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
  - REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
  - THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAL ROAD, BETWEEN COORS BOULEVARD AND ALAMO/JORDO DRIVE.
  - INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
  - CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
  - SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
  - CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
  - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
  - PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
  - ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
  - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
  - UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
  - ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
  - BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQIA MAY REQUIRE A TIS AMENDMENT.
  - ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
  - EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
  - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
  - OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
  - SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
  - CHAIN LINK FENCING SHALL NOT BE USED.
  - LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

- GENERAL NOTES:**
- MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.
  - SEE SHEET 11 FOR BIKE LOCKER DETAILS.
  - ANY SIGNAGE FOR TRACTS 8, 10, 11, & 12, WEST BLUFF SUBDIVISION SHALL NOT BE CONSIDERED OFF-PREMISE.

#00450-00000-00235  
 #00450-00000-00234 PROJECT #1000188

**CASE NUMBER: Z-99-38** DRB 91-030

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 01/12/00 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**  
 Traffic Engineer, Transportation Division 8/29/00 Date  
 8/19/00 Date  
 Public Works, Water Utilities Division 8-9-00 Date  
 9-27-00 Date  
 City Engineer, Engineering Division / AMAFCA 9/27/00 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.  
 9/27/00 Date

PLNZ (10708) 4/98

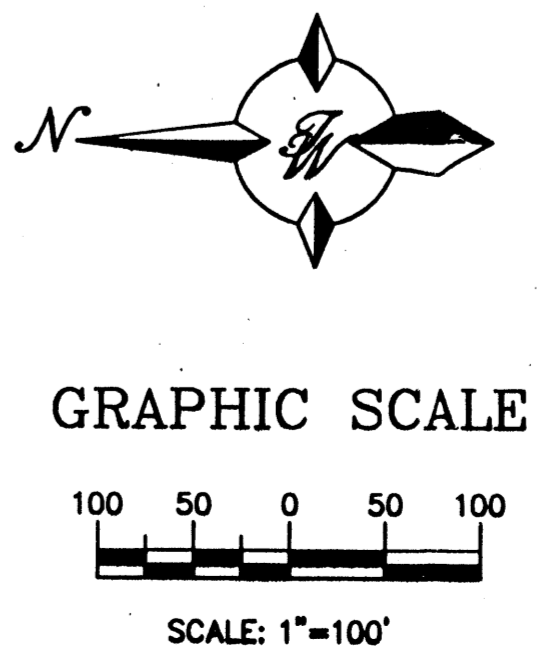
**ADMINISTRATIVE AMENDMENTS**

AA-1 (01238-00000-00304) - APPROVED CROSS ACCESS  
 AA-2 (01238-00000-01782) - APPROVED ELEVATIONS  
 AA-3 (01238-00000-00111) - APPROVED ELEVATIONS & LEXAN CANOPY

**SHEET INDEX**

- OVERALL SITE PLAN FOR SUBDIVISION
- GRADING PLAN
- MASTER UTILITY PLAN
- SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3
- SITE PLAN FOR BUILDING PERMIT TRACTS 1, 2, AND 3
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATIONS TRACT 1
- ELEVATIONS TRACT 2 AND 3
- DETAILS
- SITE PLAN FOR SUBDIVISION TRACTS 4 AND 5
- SITE PLAN FOR BUILDING PERMIT TRACTS 4 AND 5
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- GRADING AND DRAINAGE PLAN DETAILS
- MASTER UTILITY PLAN
- ELEVATIONS TRACT 4
- ELEVATIONS TRACT 5

**SITE PLAN AMENDMENT**  
 PROJECT # 1000188  
 APPLICATION NO. \_\_\_\_\_  
 Approved by \_\_\_\_\_  
 Planning Director DATE 9/23/03



**ENGINEER'S SEAL**

**WEST BLUFF RETAIL CENTER**

**OVERALL SITE PLAN FOR SUBDIVISION**

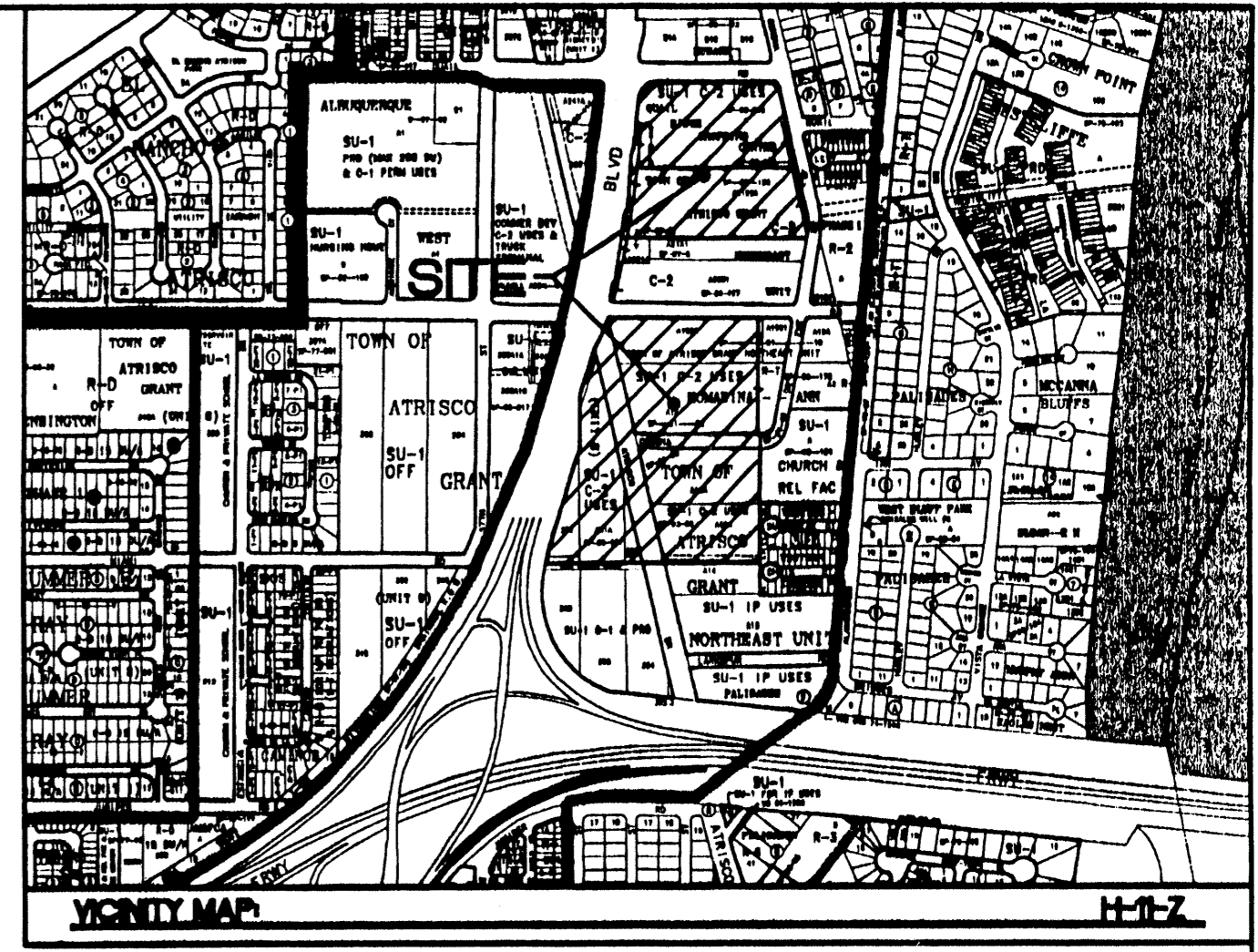
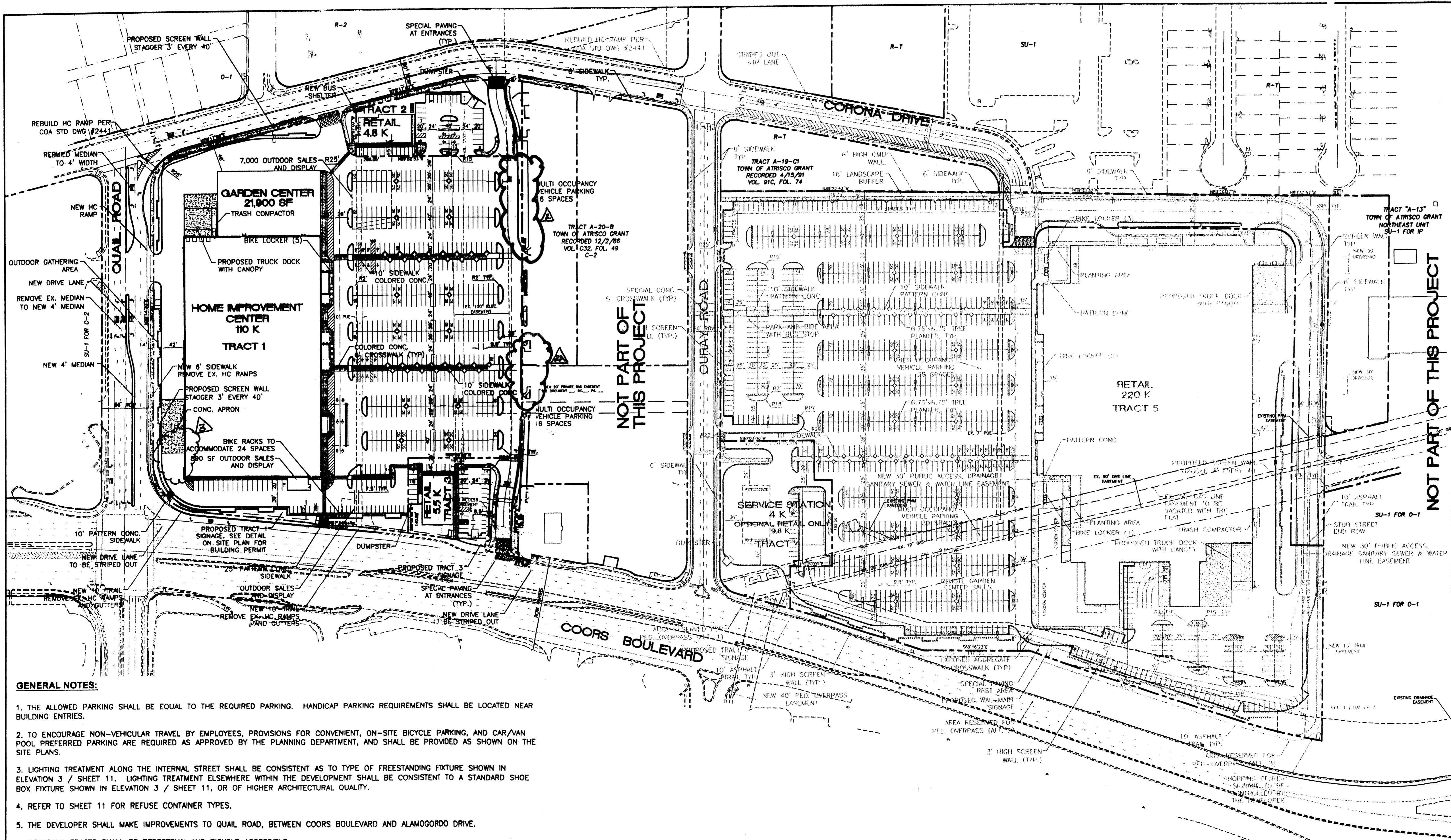
TIERRA WEST, LLC  
 8500 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3160

RONALD R. BOHANNAN  
 P.E. #7868

DRAWN BY: BDG  
 DATE: 8-09-00  
 EPC-SP.DWG  
 SHEET # 1  
 JOB # 980063

PROJ # 1000188





**LEGAL DESCRIPTION:**  
 TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO GRANT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

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  20. OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
  21. SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
  22. CHAIN LINK FENCING SHALL NOT BE USED.
  24. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

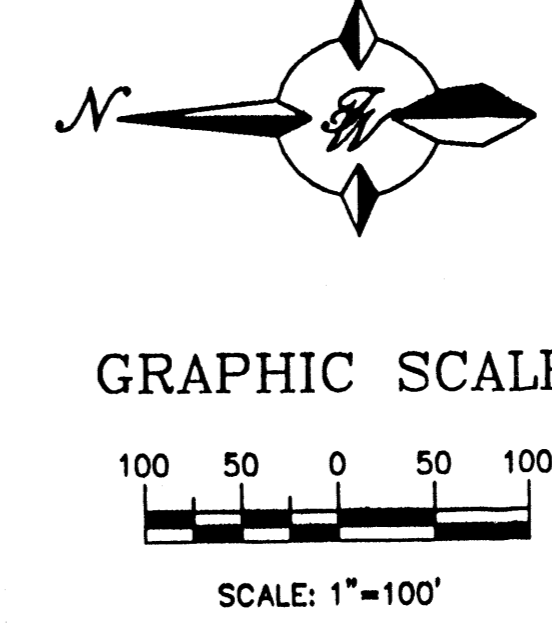
**CASE NUMBER: Z - 99 - 38**

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [ ] and that the findings and conditions in the Official Notice; Notification Decision have been complied with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date

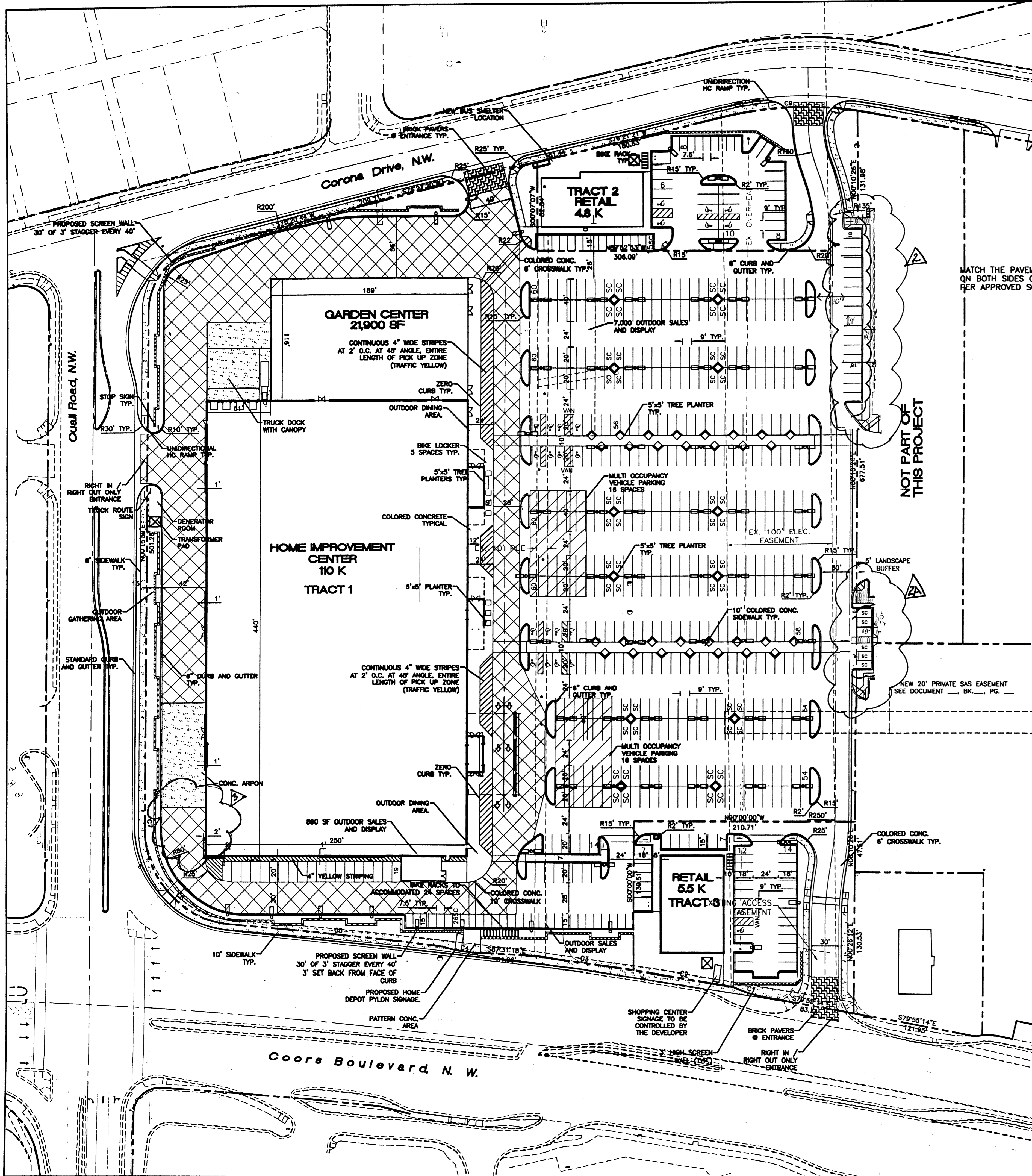
Solid Waste  
 P.N.Z (10706) 4/98



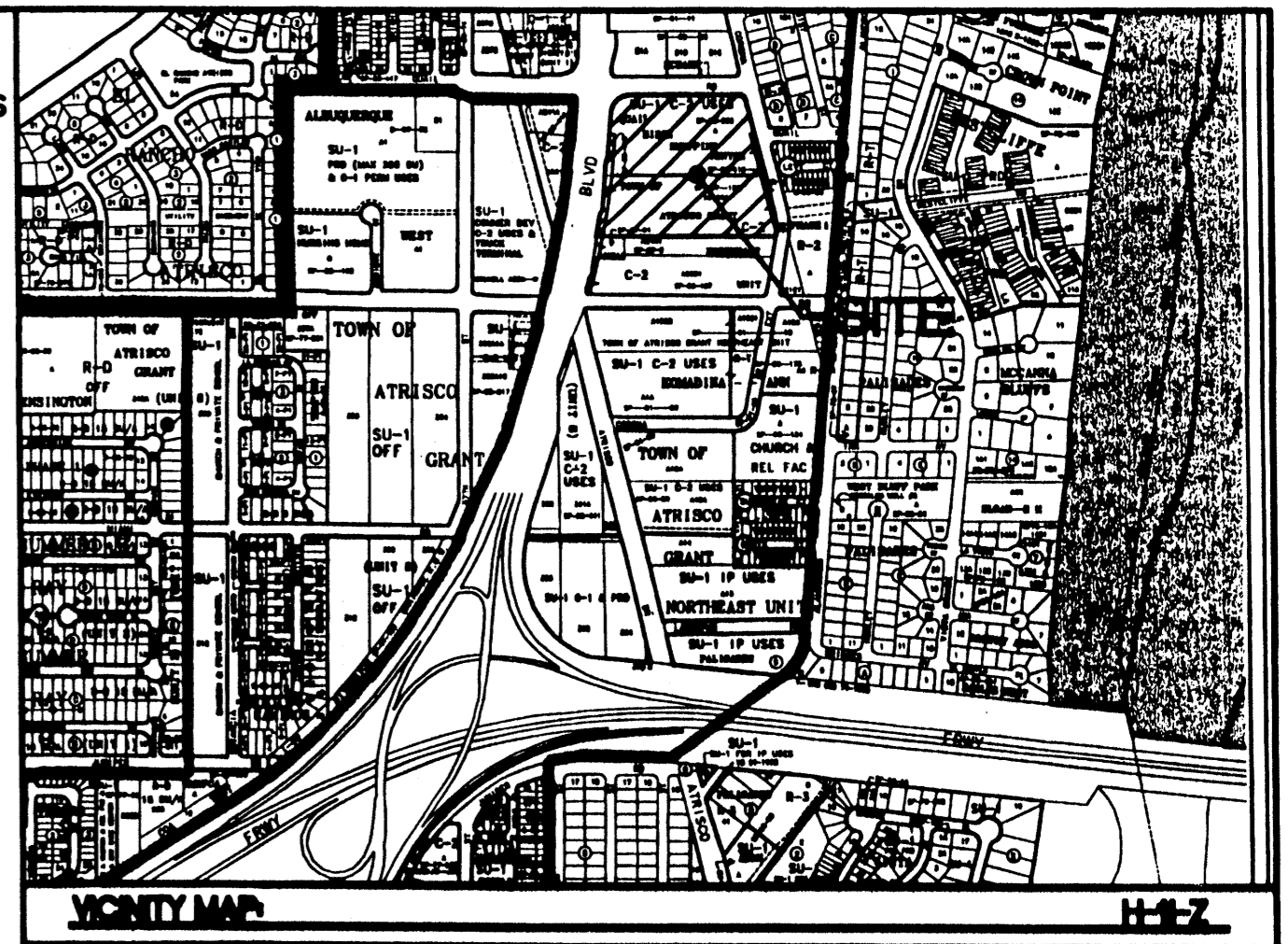
- LEGEND**
- EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED SCREEN WALL
  - PROPOSED SIDEWALK (SPECIAL PAVING)
  - PROPOSED SIDEWALK (CONC.)
  - PROPOSED BIKE RACKS
  - PROPOSED BIKE LOCKERS
  - PROPOSED PARKING LOT LIGHT
  - ▨ DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
  - COLORED CONC. CROSSWALK

	<b>WEST BLUFF RETAIL CENTER</b> <b>SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3</b>	DRAWN BY: BDC DATE: 6-12-00 7123.SP.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4</b> JOB # 980063

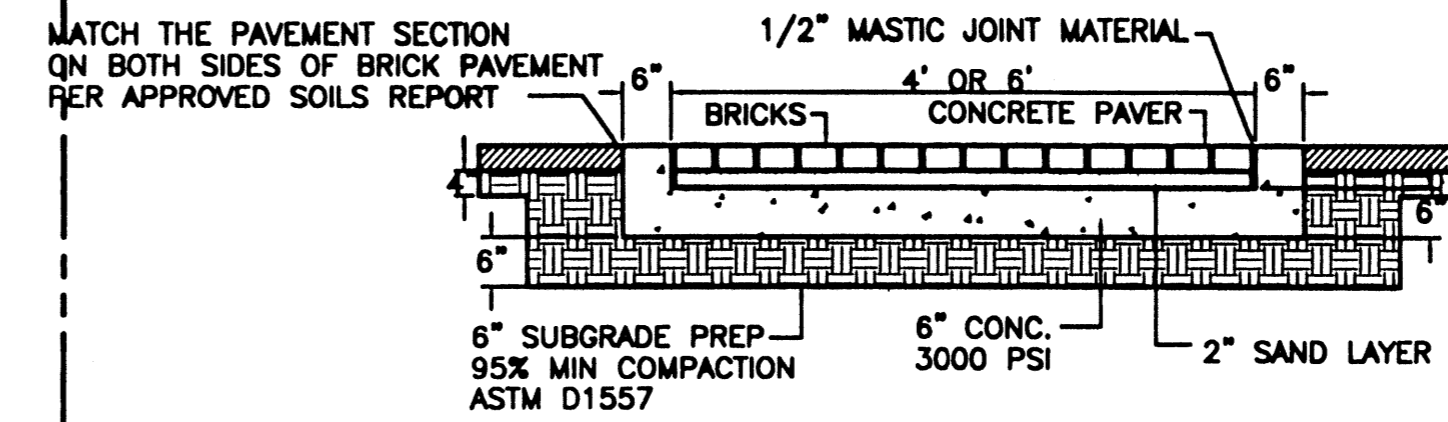




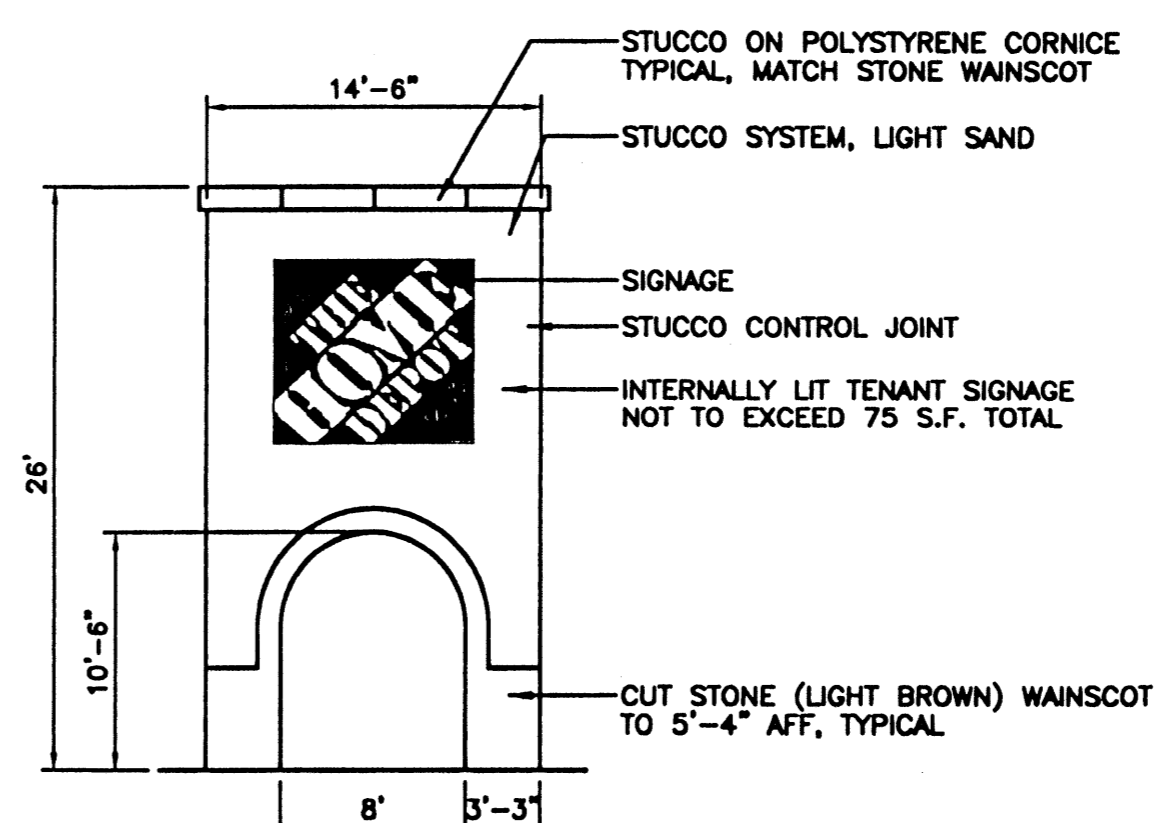
- NOTES**
1. ALL PRIVATE CONSTRUCTION SHALL BE AS PER HOME DEPOT SPECIFICATIONS UNLESS OTHERWISE NOTED.
  2. REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
  3. LIGHT STANDARDS TO BE 16 FEET IN HEIGHT AND SHIELD SHOE BOX TYPE. SEE LIGHTING PLAN FOR DETAILS.
  4. JURISDICTION IS UNDER THE CITY OF ALBUQUERQUE REGULATIONS.
  5. THERE ARE NO KNOWN WETLANDS AND ENDANGERED SPECIES.
  6. THE SITE DEVELOPER IS PAUL SILVERMAN WITH GELTMORE INC. REAL ESTATE SERVICES, 4408 CANYON COURT N.E., ALBUQUERQUE, NM 87111-3010, (505) 294-8825.
  7. SEE SITE PLAN FOR SUBDIVISION FOR SITE CRITERIA.
  8. ALL SIGNAGE TO BE IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.
  9. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 1, 2, AND 3 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
  10. FRONT SIDEWALK SALES AND STORAGE SHALL EXIST ALONG THE ENTIRE FRONT OF THE STORE.



**LEGAL DESCRIPTION**  
TRACT A QUAIL RIDGE SHOPPING CENTER AND TRACT A-2122-A TOWN OF ATRISCO GRANT



**BRICK PAVER DETAIL**

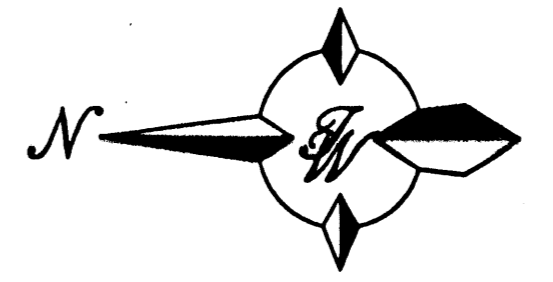


NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.

**PYLON SIGN DETAIL**  
SCALE: 1/8"=1'

**LEGEND**

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- COLORED CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- SMALL CAR SPACES



REVIEWED AND APPROVED FOR CONSTRUCTION BY HOME DEPOT  
DATE

**SITE DATA TABLE**

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	110,000	RETAIL	SU-1 FOR C-2	0.31	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7627	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
TOTAL	11.5746	142,284	-	-	-	-

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE SPACES REQ.	PRKG. RATIO
1	561 (*)	545	16	16	29	4.01
2	24	51	3	4	2	10.21
3	28	40	2	2	2	7.27
TOTAL	613 (*)	617	21	22	33	4.34

(\*) TOTAL PARKING REQUIRED W/15% BUS CREDIT 613

**LANDSCAPE DATA**  
TOTAL PARKING AREA FOR TRACTS 1, 2 & 3 152,796 SF ±  
LANDSCAPE REQUIRED (20% OF PARKING AREA) 30,559 SF ±  
LANDSCAPE PROVIDED 58,784 SF ±

**CASE NUMBER: Z-90-38 DRB 91-030**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division *8/9/00*  
 Date *8/9/00*

Design and Development of Parks & Rec *8/9/00*  
 Date *8/9/00*

Public Works, Water Utilities Division *9-27-00*  
 Date *9-27-00*

City Engineer, Engineering Division / AMAFCA *9/27/00*  
 Date *9/27/00*

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo *9/27/00*  
 Date *9/27/00*

City Planning Division

PLNZ (10706) 4/96

BP 9-11-00

*Shirley De Baca* *815 00*  
 Solid Waste *815 00*  
 # 00450-0000-00235 Date  
 # 00450-0000-00124 PROJECT # 1000188

NO.	DATE	REVISIONS	BY
4	08/20/01	SIGNAGE NOTE FOR OFF-TRENCH SIGNS (SEE AA-5.6A) KS	
3	08/20/01	PIPE RACKS FOR PIPES OVER 20 FEET IN LENGTH KS	
2A	08/20/01	ACCOMMODATE ADJUT'L CROSS ACCESS KS	
2B	08/20/01	18 ADJUT'L PARKING SPACES ADDED KS	
1	12/19/00	ADDED ACCESS TO SOUTHERN PARCELS BDB	

**ENGINEER'S SEAL**

**WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER**

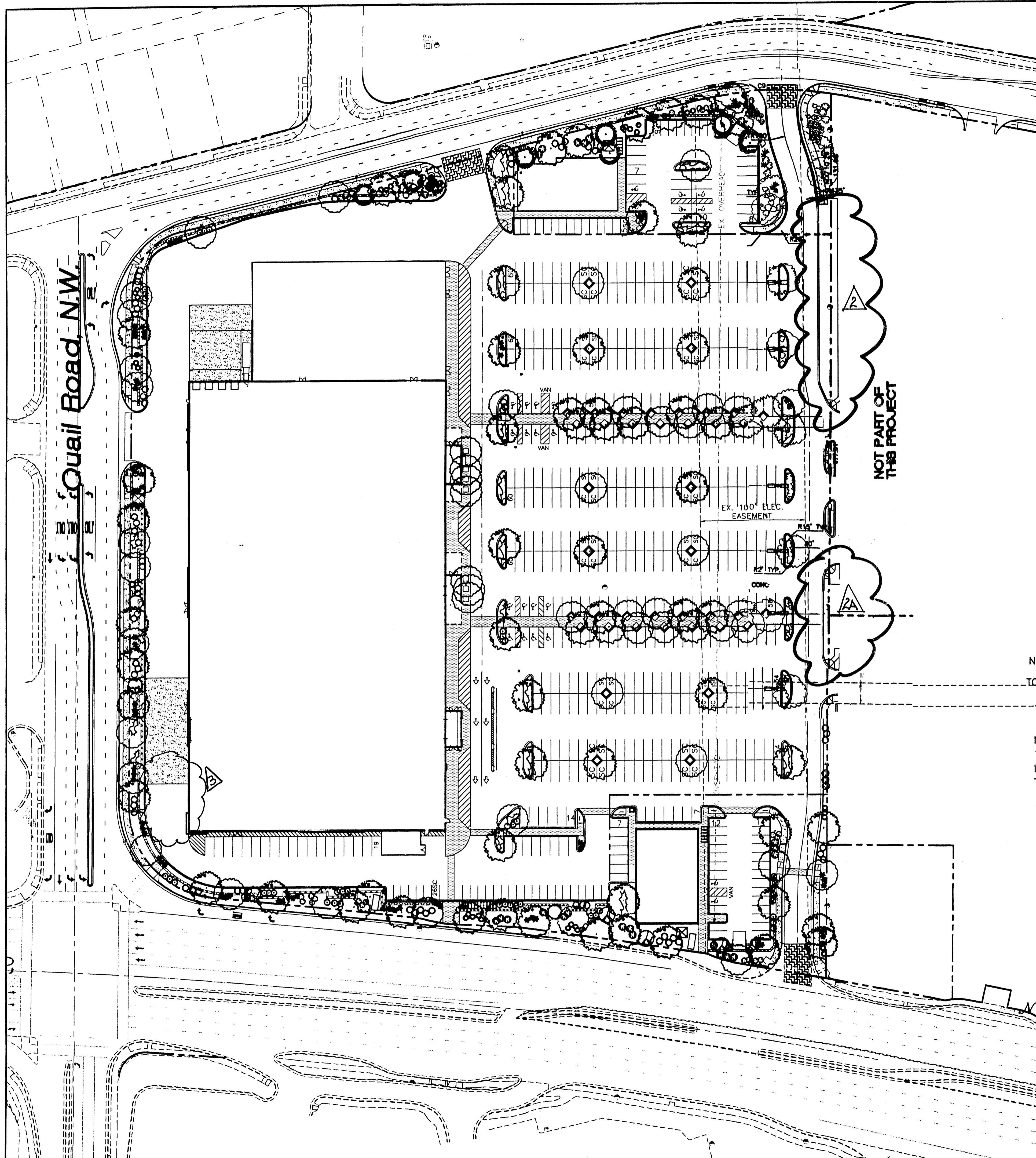
**SITE PLAN FOR BUILDING PERMIT TRACT 1, 2, AND 3**

**TERRA WEST, LLC**  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505) 858-3100

RONALD R. BOHANNAN  
 P.E. 77868

DRAWN BY: BDB  
 DATE: 8-09-00  
 HOME-SPB.DWG  
 SHEET # **5**  
 JOB # 980063





**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters  
 Shrubs to receive (2) 1.0 GPH Drip Emitters  
 Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**PLANT LEGEND**

- ARIZONA ASH (H) 78  
Fraxinus velutina  
2" cal
- RAYWOOD ASH (H) 49  
Fraxinus oxycarpa raywood  
2" cal
- BRADFORD PEAR (H) 3  
Pyrus calleryana bradford  
2" cal
- AUSTRIAN PINE (H) 7  
Pinus  
6-8'
- PALM YUCCA (L) 6
- DESERT WILLOW (L) 4  
Chilopsis linearis  
15 gal
- CHAMISA (L) 50  
Chrysothamnus nauseosus  
1 gal
- THREE-LEAF SUMAC (L) 74  
Rhus trilobata  
5 gal
- MAIDEN GRASS (M) 112  
Miscanthus sinensis  
5 gal
- BLUE MIST (M) 38  
Caryopteris spp.  
5 gal
- ROSEMARY (M) 56  
Rosmarinus officinalis  
5 gal
- WILDFLOWER 42  
(Coryopsis, Echinacea, Wallflower, Mexican Primrose)  
1 gal
- INDIAN HAWTHORN (M) 5  
Raphiolepis indica  
5 gal
- TAM JUNIPER (H) 60  
Juniperus sabinia  
5 gal
- CORAL BEAUTY COTONEASTER (M) 42  
Cotoneaster spp. 'Coral Beauty'  
5 gal
- OVERSIZED GRAVEL & BOULDERS

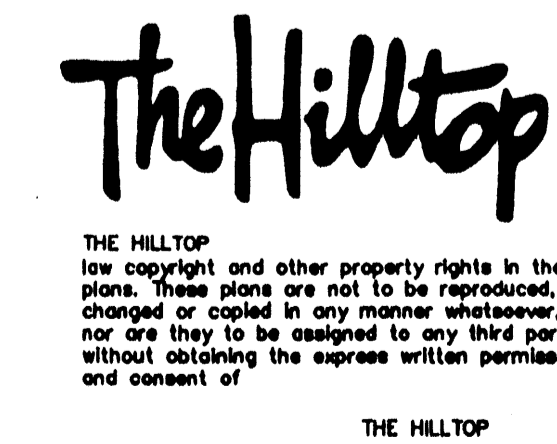
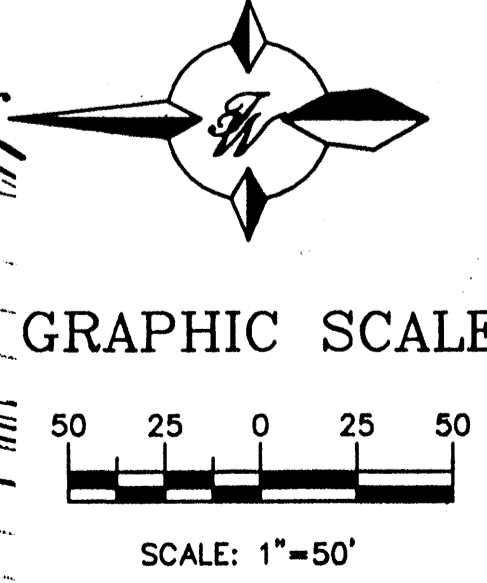
**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA		
TOTAL LOT AREA	516,033	square feet
TOTAL BUILDINGS AREA	144,348	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	371,685	square feet
TOTAL PARKING AREA	152,796	square feet
LANDSCAPE REQUIREMENT	20	square feet
TOTAL LANDSCAPE REQUIREMENT	30,559	square feet
TOTAL LANDSCAPE PROVIDED	58,483	square feet
TOTAL BED PROVIDED	58,483	square feet

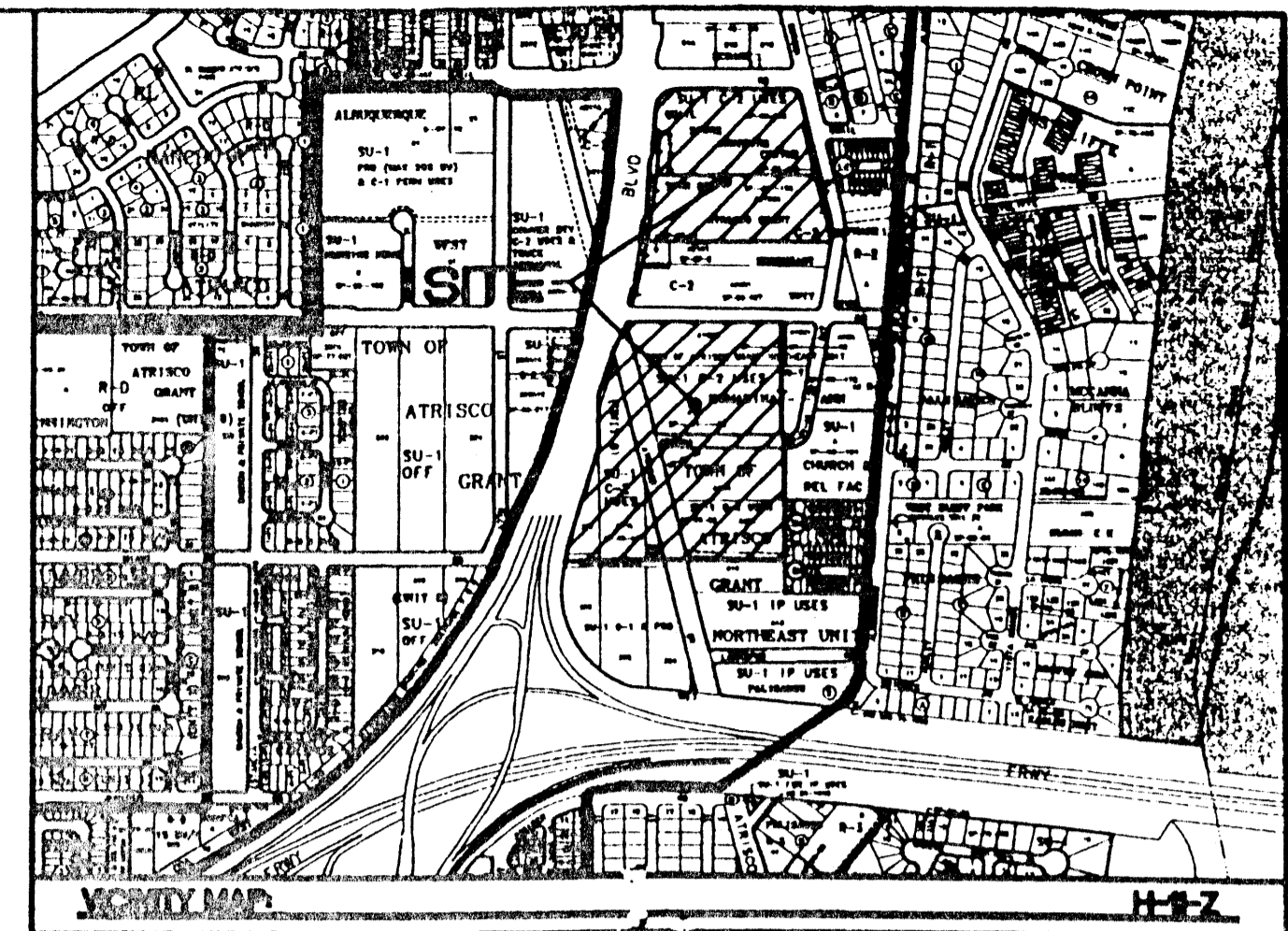
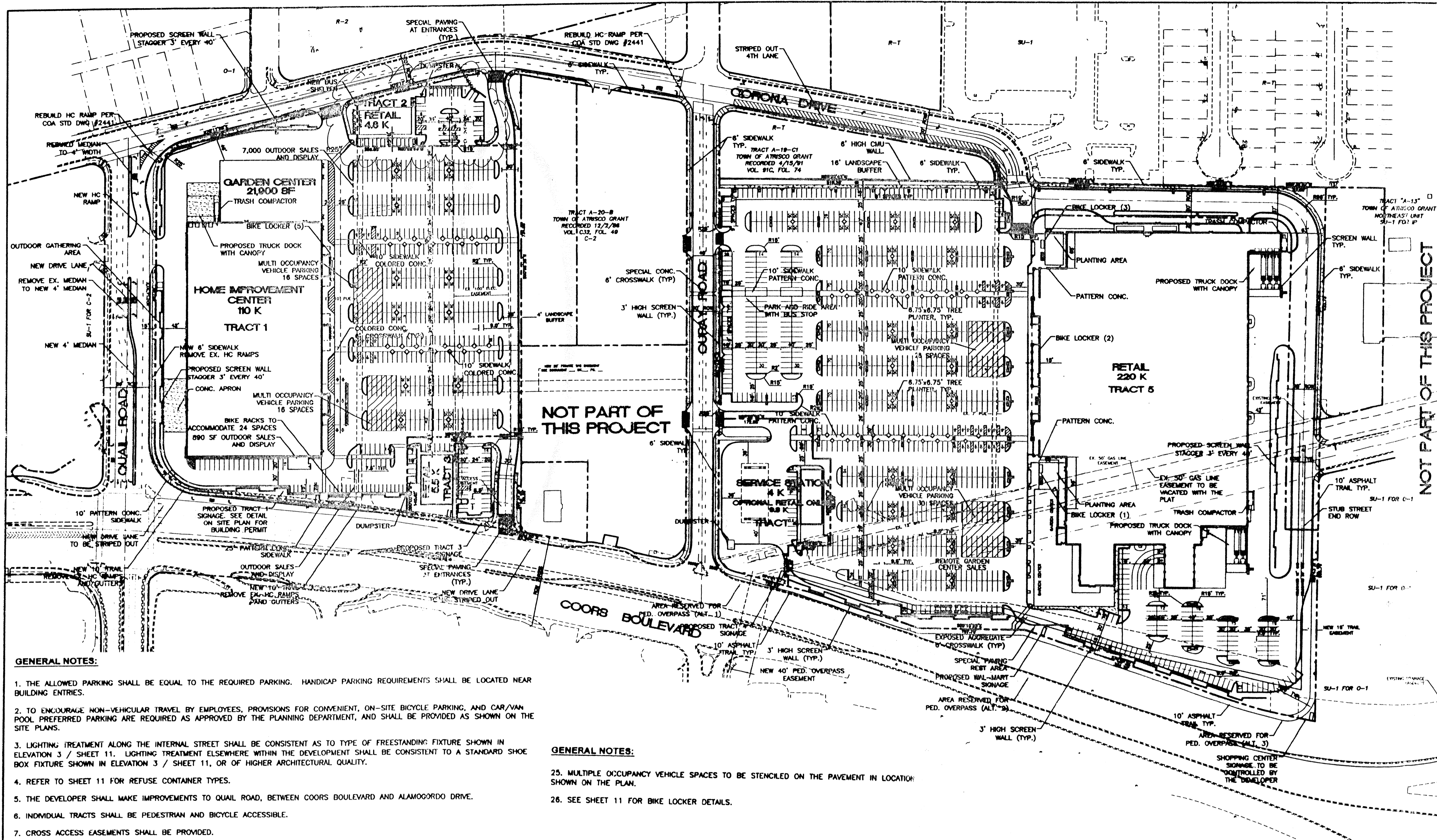
NO.	DATE	REMARKS	BY
1	12/19/00	ADDED ACCESS TO SOUTHERN PARCELS	BDB
2	8/20/01	ADDITIONAL PARKING SPACES ADDED	KS
2A	8/20/01	ADD ACCOMMODATE ADDITIONAL CROSS ACCESS	KS
3	8/20/01	PIPE RACKS FOR PIPES OVER 20 FEET IN LENGTH	KS
4	8/20/01	SIGNAGE NOTE FOR OFF-PREMISE SIGNS (SEE APPS Pg. 1)	KS

**REVISIONS**

	<b>WEST BLUFF SHOPPING CENTER</b> <b>HOME IMPROVEMENT CENTER</b>	DRAWN BY: IRT DATE: 6-13-00 LD-LAYOUT.DWG
	<b>LANDSCAPE PLAN</b>	SHEET # <b>6</b>
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 980063







**LEGAL DESCRIPTION**  
 TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO NORTHEAST UNIT, TRACT A-1-A LANDS OF KODJADIAL, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°36'58"	28.91
C2	33.89	308.62	08°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	138.00	14°27'18"	17.25
C5	33.18	25.00	78°02'31"	19.55
C6	47.37	250.00	10°51'24"	23.76
C7	36.31	150.00	17°52'08"	18.24
C8	34.73	138.00	14°38'00"	17.46

**SITE DATA TABLE**

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,924	RETAIL	SU-1 FOR C-2	0.25	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7626	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

\* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
1	561	529	16	16	29
2	24	49	3	4	2
3	28	40	2	2	2
4	49	52	4	4	1
5	1100	1108	21	24	55

**LANDSCAPE DATA**

TOTAL PARKING AREA FOR TRACTS 1, 2, & 3	152,796 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	30,559 SF ±
LANDSCAPE PROVIDED	58,764 SF ±
TOTAL PARKING AREA FOR TRACTS 4 & 5	319,858 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	63,972 SF ±
LANDSCAPE PROVIDED	109,538 SF ±

- GENERAL NOTES:**
1. THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
  2. TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
  3. LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
  4. REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
  5. THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAIL ROAD, BETWEEN COORS BOULEVARD AND ALAMOGORDO DRIVE.
  6. INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
  7. CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
  8. SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
  9. CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
  10. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
  11. PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
  12. ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
  13. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
  14. UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
  15. ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
  16. BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQA MAY REQUIRE A TIS AMENDMENT.
  17. ALL H.C. RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
  18. EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
  19. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
  20. OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
  21. SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
  22. CHAIN LINK FENCING SHALL NOT BE USED.
  24. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

- GENERAL NOTES:**
25. MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.
  26. SEE SHEET 11 FOR BIKE LOCKER DETAILS.

#00450-00000-00235  
 #00450-00000-00234 PROJECT #1000188

**CASE NUMBER Z-99-38** DAB 91-030

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 4-16-1999 and that the findings and conditions in the Official Notice/Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

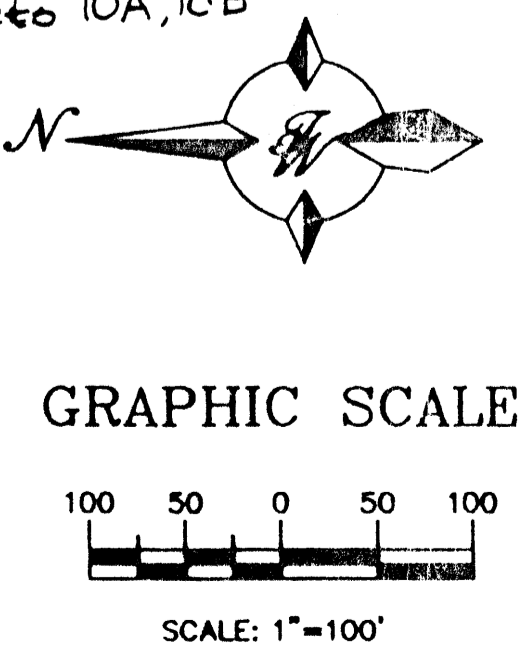
Traffic Engineer, Transportation Division	8-27-00	Date
Paul S. Saino	8-19-00	Date
Public Works Department	8-9-00	Date
Public Works Water Utilities Division	9-27-00	Date
John O. Aguiar	9-27-00	Date
City Engineer, Engineering Division / AMAFCA	9/27/00	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernellita  
 Terry Planning Division  
 Solid Waste  
 8-15-2000

PLNZ (10706) 4/98

- SHEET INDEX**
1. OVERALL SITE PLAN FOR SUBDIVISION
  2. GRADING PLAN
  3. MASTER UTILITY PLAN
  4. SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3
  5. SITE PLAN FOR BUILDING PERMIT TRACTS 1, 2, AND 3
  6. LANDSCAPE PLAN
  7. GRADING AND DRAINAGE PLAN
  8. MASTER UTILITY PLAN
  9. ELEVATIONS TRACT 1
  10. ELEVATIONS TRACT 2 AND 3
  11. DETAILS
  12. SITE PLAN FOR SUBDIVISION TRACTS 4 AND 5
  13. SITE PLAN FOR BUILDING PERMIT TRACTS 4 AND 5
  14. LANDSCAPE PLAN
  15. GRADING AND DRAINAGE PLAN
  16. GRADING AND DRAINAGE PLAN DETAILS
  17. MASTER UTILITY PLAN
  18. ELEVATIONS TRACT 4
  19. ELEVATIONS TRACT 5
- Revised Elevations Sheets 10A, 10B



**LEGEND**

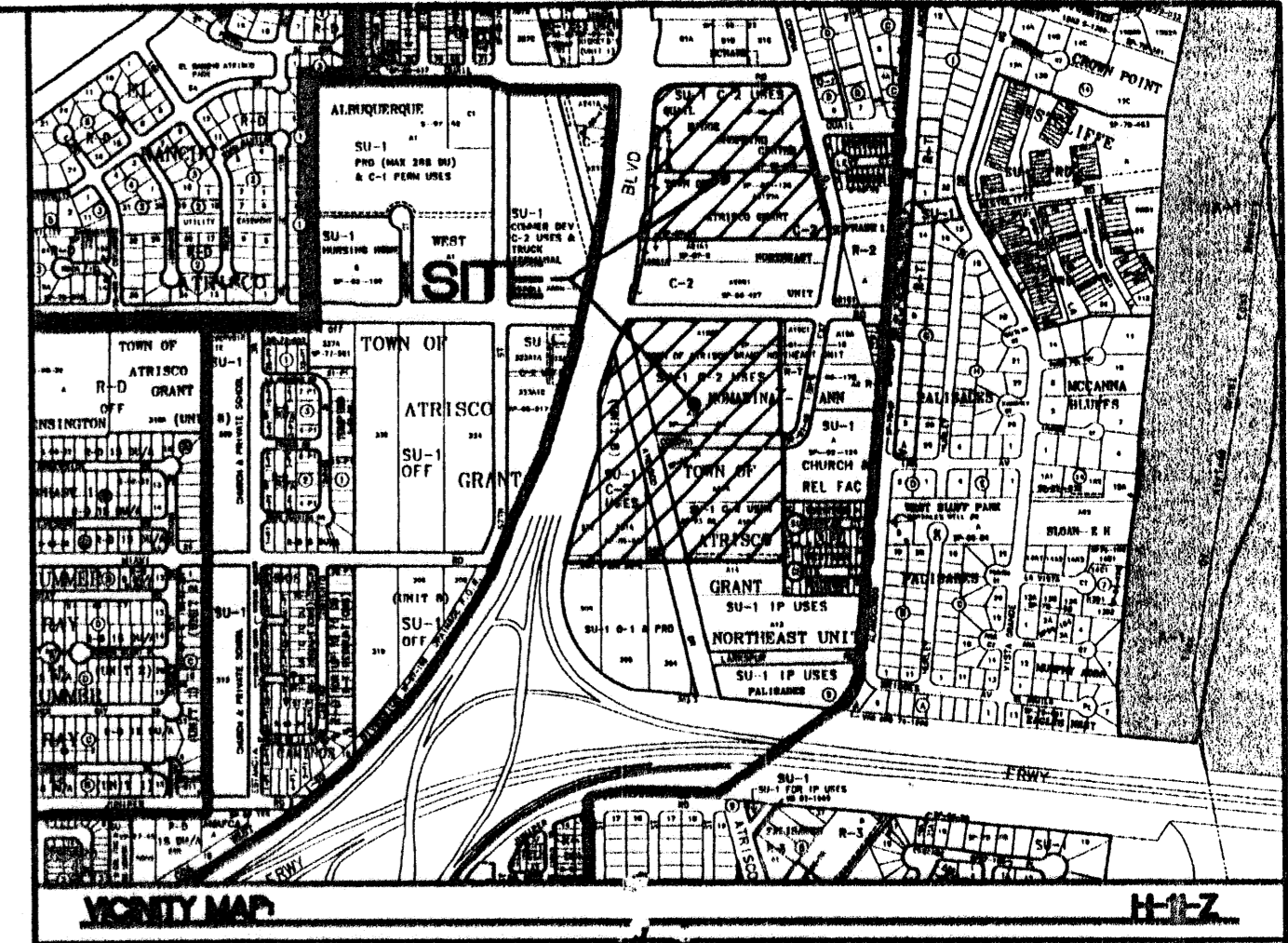
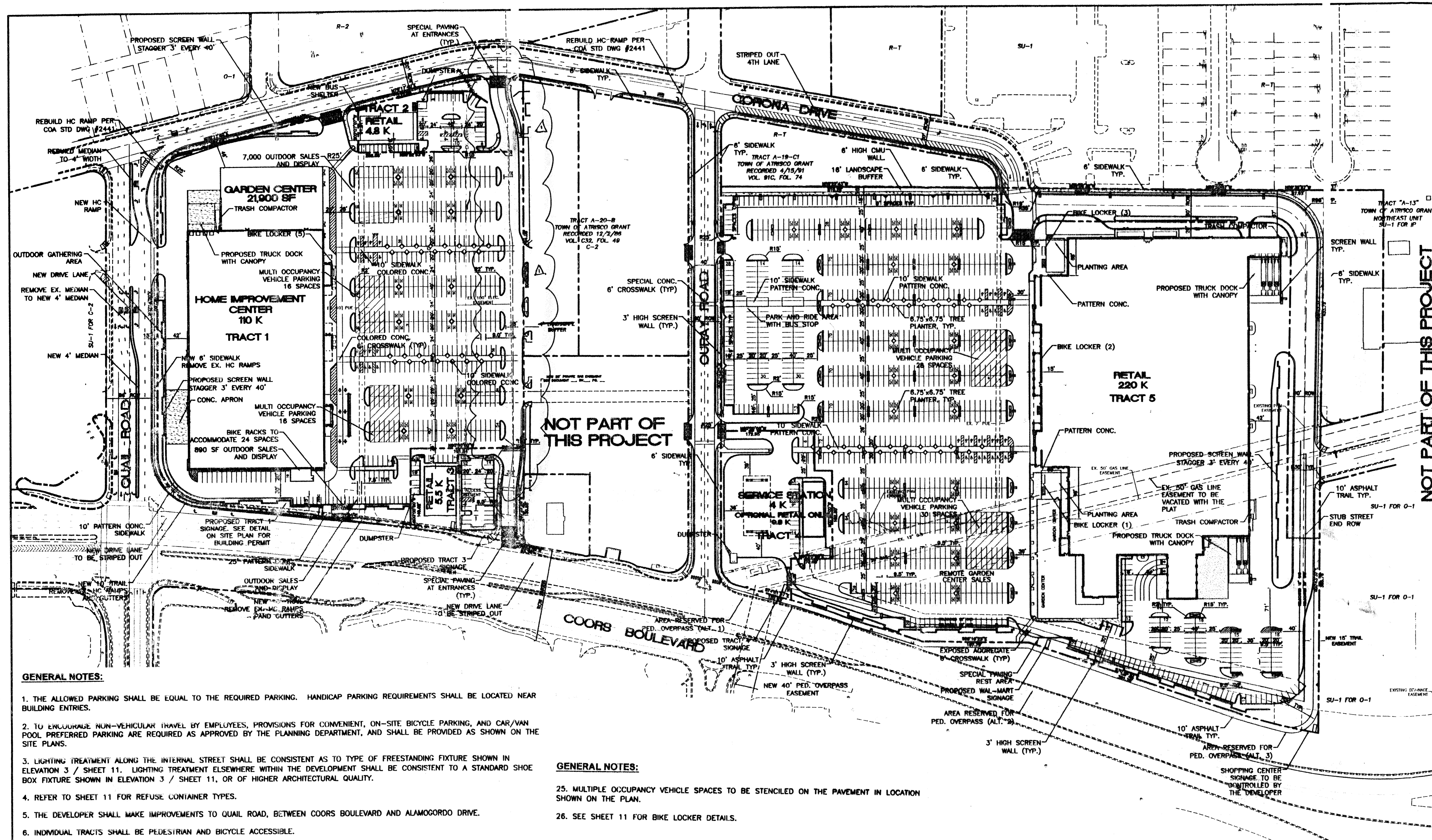
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- BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK (SPECIAL PAVING)
- PROPOSED SIDEWALK (CONC.)
- PROPOSED BIKE RACKS
- PROPOSED BIKE LOCKERS
- PROPOSED PARKING LOT LIGHT
- DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
- COLOR COC. CROSSWALK

ENGINEER'S SEAL	<b>WEST BLUFF RETAIL CENTER</b>	DRAWN BY: BOG
	<b>OVERALL SITE PLAN FOR SUBDIVISION</b>	DATE: 8-09-00
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE, ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	EPC-SP.DWG
	SHEET # <b>1</b>	JOB # 980063

**ACCESS CHANGES ONLY**

Copy for Applicant





**LEGAL DESCRIPTION**  
 TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO GRANT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT 8

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  - CONSTRUCTION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

- GENERAL NOTES:**
- MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.
  - SEE SHEET 11 FOR BIKE LOCKER DETAILS.

~~20450-0000-00235  
 20450-0000-0024 PROJECT#100018  
 CASE NUMBER Z-99-38 DAB 91-02~~

This plan is consistent with the specific site development plan approved by the Metropolitan Planning Commission (EPC) on [redacted] and that the findings and conditions in the Official Notice of Decision have been met with:

**SITE DEVELOPMENT PLAN**  
 Traffic Engineer, Transportation Division Date 8-19-00  
 [Signature] Date 8/19/00  
 Public Works, Water Utilities Division Date 8-9-00  
 City Engineer, Engineering Division / AFCA Date 9-27-00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.  
 City Planner, Albuquerque / Bernalillo County Planning Division Date 9/27/00  
 Solid White Date 8-1-00

PLN# 10706 4/96

**SHEET INDEX**

- OVERALL SITE PLAN FOR SUBDIVISION
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GRAPHIC SCALE  
 100 50 0 50 100  
 SCALE: 1"=100'

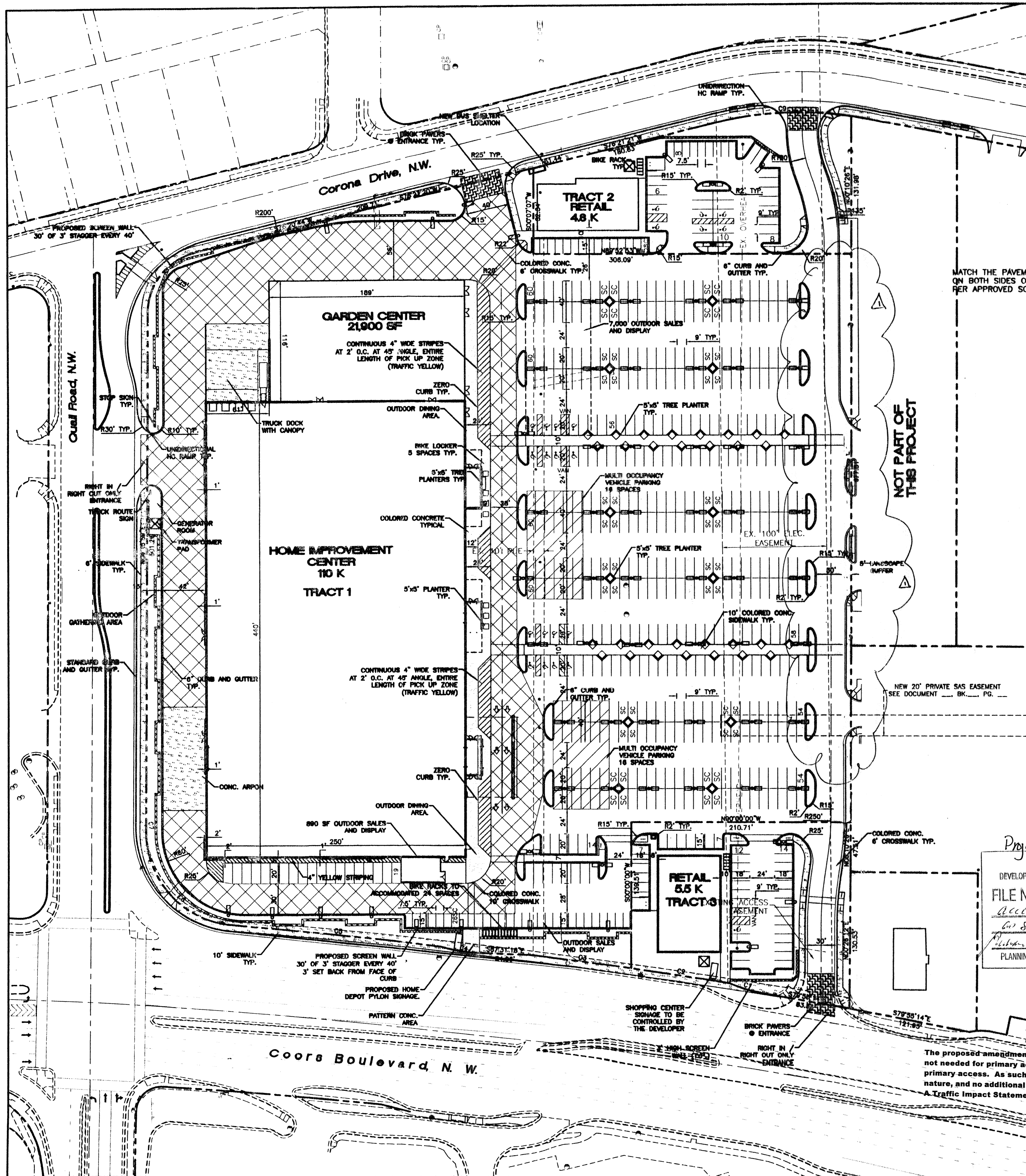
Added Access to Southern Parcel

**LEGEND**

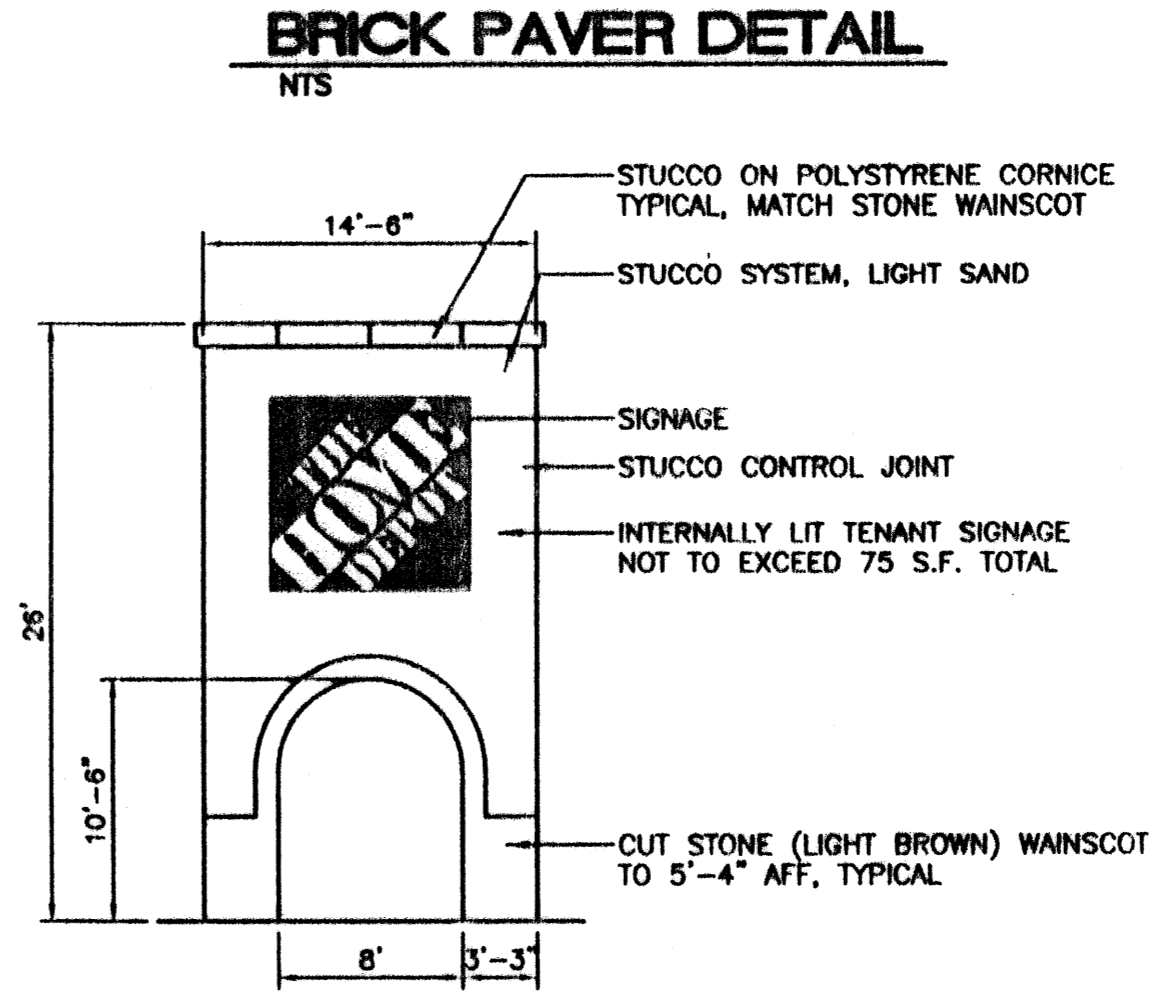
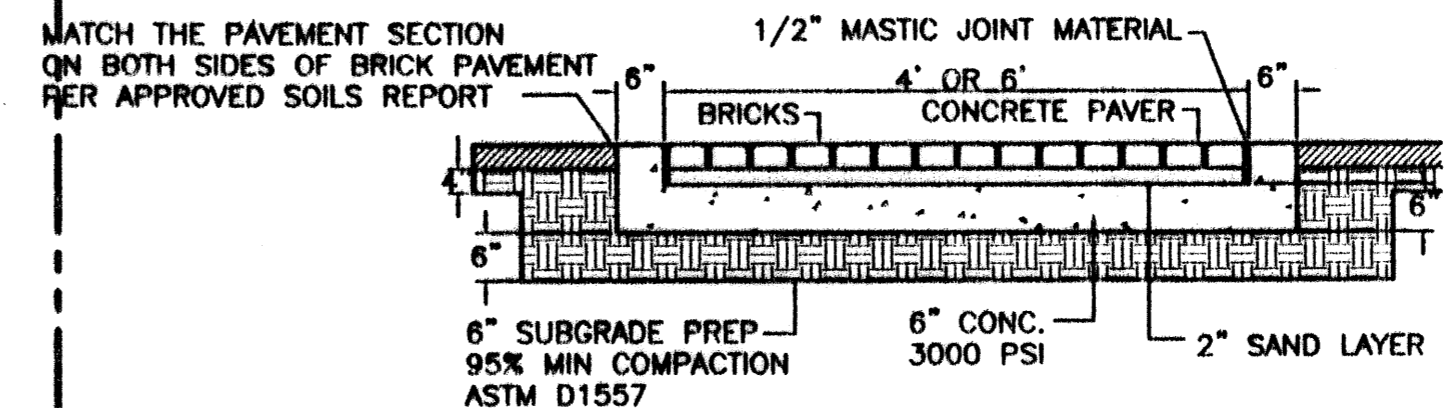
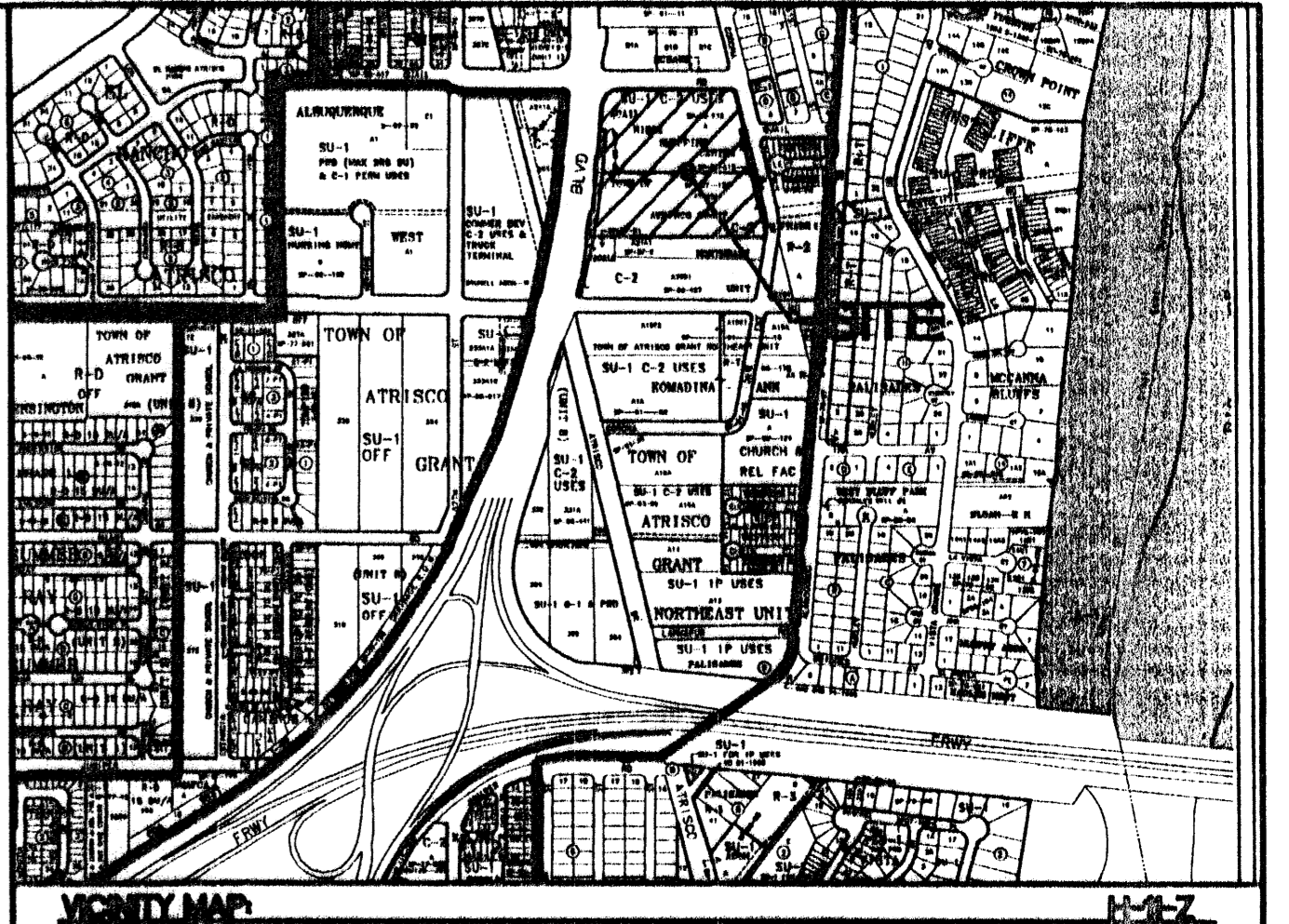
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- PROPOSED BIKE LOCKERS
- PROPOSED PARKING LOT LIGHT
- DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
- COLORED CONC. CROSSWALK

ENGINEER'S SEAL	<b>WEST BLUFF RETAIL CENTER</b>	DRAWN BY BDG
	<b>OVERALL SITE PLAN FOR SUBDIVISION</b>	DATE 8-09-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	EPC-SP.DWG
		SHEET # 1
		JOB # 980063

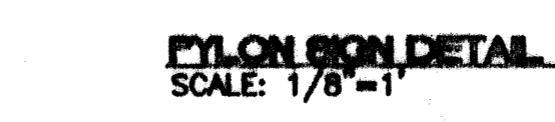




- NOTED**
1. ALL PRIVATE CONSTRUCTION SHALL BE AS PER HOME DEPOT SPECIFICATIONS UNLESS OTHERWISE NOTED.
  2. REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
  3. LIGHT STANDARDS TO BE 16 FEET IN HEIGHT AND SHIELD SHOE BOX TYPE. SEE LIGHTING PLAN FOR DETAILS.
  4. JURISDICTION IS UNDER THE CITY OF ALBUQUERQUE REGULATIONS.
  5. THERE ARE NO KNOWN WETLANDS AND ENDANGERED SPECIES.
  6. THE SITE DEVELOPER IS PAUL SILVERMAN WITH GELTMORE INC. REAL ESTATE SERVICES, 4408 CANYON COURT N.E., ALBUQUERQUE, NM 87111-3010, (505) 294-8825.
  7. SEE SITE PLAN FOR SUBMISSION FOR SITE CRITERIA.
  8. ALL SIGNAGE TO BE IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.
  9. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 1, 2, AND 3 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  10. FRONT SIDEWALK SALES AND STORAGE SHALL EXIST ALONG THE ENTIRE FRONT OF THE STORE.



NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.



- LEGEND**
- EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED EASEMENT
  - PROPOSED SCREEN WALL
  - PROPOSED SIDEWALK
  - HEAVY ASPHALT PAVING AREA
  - HEAVY CONCRETE AREA
  - COLORED CONCRETE AREA
  - PROPOSED PARKING LOT LIGHTING
  - PROPOSED BOLLARD
  - SMALL CAR SPACES

Project # 1000188  
 ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. AA-00304  
 Access Modification  
 Paul Silverman  
 Planning Director

**APPROVED**  
 Date: 3/14/2001  
 By: J.D. Mendez  
 DEPT. TRAFFIC ENGINEERING  
 Albuquerque, New Mexico

**GRAPHIC SCALE**  
 50 25 0 25 50  
 SCALE: 1"=50'

The proposed amendment showing aisles connecting to adjacent Tracts are not needed for primary access to those Tracts; Uray Road NW provides the primary access. As such, the cross-access easements are of a convenience nature, and no additional traffic generation is anticipated due to this feature. A Traffic Impact Statement is not required.

REVIEWED AND APPROVED FOR CONSTRUCTION BY HOME DEPOT

**LEGAL DESCRIPTION**  
 TRACT A QUAIL RIDGE SHOPPING CENTER AND TRACT A-2122-A TOWN OF ATRISCO GRANT

**SITE DATA TABLE**

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,900	RETAIL	SU-1 FOR C-2	0.31	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7627	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
TOTAL	11.5746	142,284	-	-	-	-

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE SPACES REQ.	PRKG. RATIO
1	561 (*)	528	16	16	29	4.01
2	24	49	3	4	2	10.21
3	28	40	2	2	2	7.27
TOTAL	613 (*)	617	21	22	33	4.34

(\*) TOTAL PARKING REQUIRED W/10% BUS CREDIT 613

**LANDSCAPE DATA**  
 TOTAL PARKING AREA FOR TRACTS 1, 2 & 3 152,788 SF ±  
 LANDSCAPE REQUIRED (20% OF PARKING AREA) 30,558 SF ±  
 LANDSCAPE PROVIDED 56,784 SF ±

**PERMITS**  
 PERMIT NUMBER: Z-90-38 DRB 9-230

Application is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 12-12-1999 and that the terms and conditions in the Official Notice of Notification of Decision have been complied with.

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	Date	8/9/00
Public Works, Water Utilities Division	Date	8/9/00
City Engineer, Engineering Division	Date	9-27-00
City Planning Division	Date	1/23/00

APPROVAL AND CONDITIONAL ACCEPTANCE: specified by the Development Program Manual.

City Planning Division  
 County Planning Division  
 PLNZ (70706) 4/98

PROJECT # 1000188

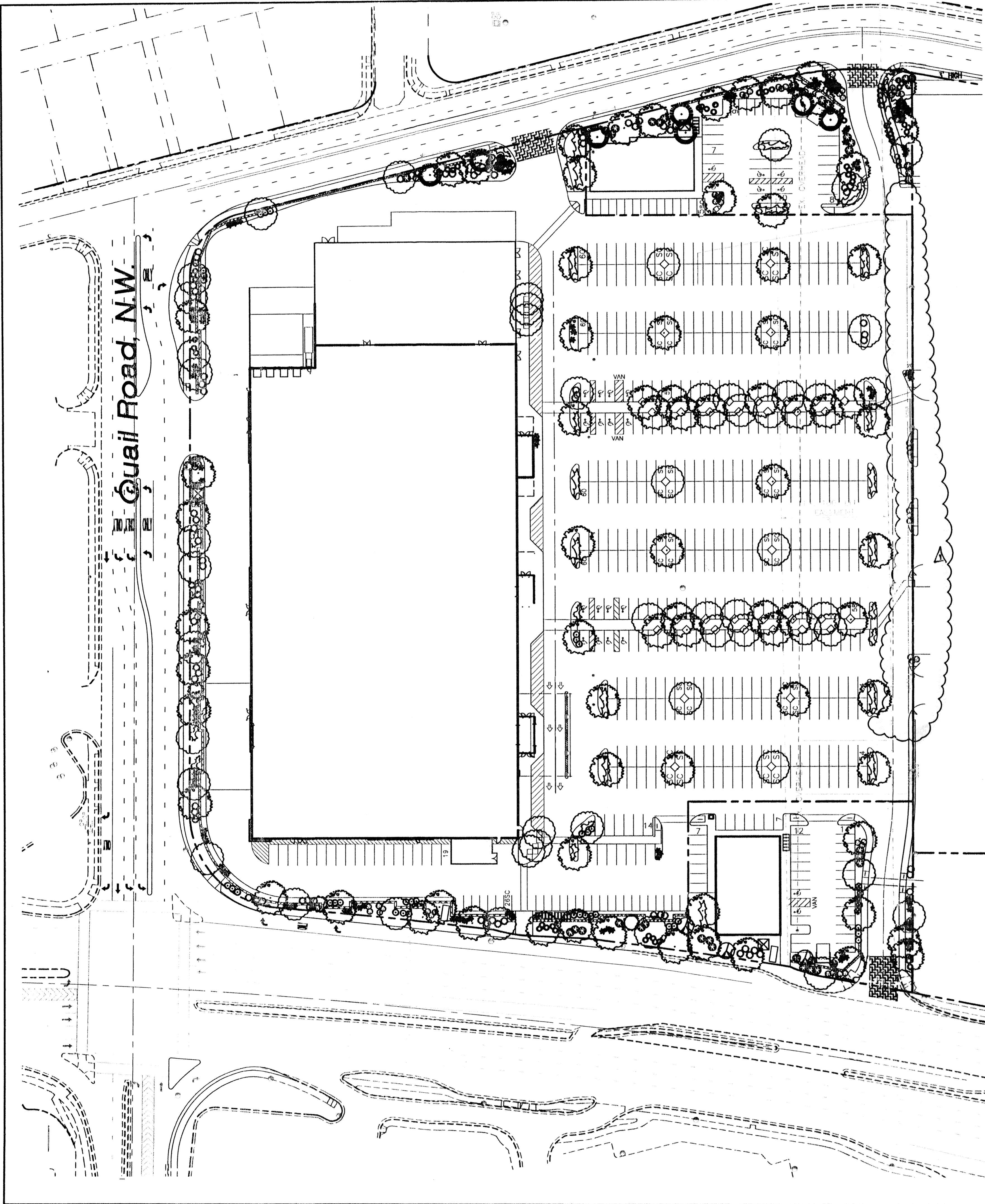
NO.	DATE	REVISIONS	BY
1	12/19/00	Added Access to Southern Parcels	BDG

**ENGINEER'S SEAL**  
 WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER  
 SITE PLAN FOR BUILDING PERMIT TRACT 1, 2, AND 3  
 SHEET # 5  
 JOB # 980063

TERRA WEST, LLC  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505) 858-3100

RONALD R. BOHANNAN  
 P.E. #7868





### PLANT LEGEND

- ARIZONA ASH (H) 78  
Fraxinus velutina  
2" cal
- RAYWOOD ASH (H) 49  
Fraxinus oxycarpa raywood  
2" cal
- BRADFORD PEAR (H) 3  
Pyrus calleryana bradford  
2" cal
- AUSTRIAN PINE (H) 7  
Pinus  
6-8'
- PALM YUCCA (L) 6
- DESERT WILLOW (L) 4  
Chilopsis linearis  
15 gal
- CHAMISA (L) 50  
Chrysothamnus nauseosus  
1 gal
- THREE-LEAF SUMAC (L) 74  
Rhus trilobata  
5 gal
- MAIDEN GRASS (M) 112  
Miscanthus sinensis  
5 gal
- BLUE MIST (M) 38  
Caryopteris spp.  
5 gal
- ROSEMARY (M) 56  
Rosmarinus officianalis  
5 gal
- WILDFLOWER 42  
(Coryopsis, Echinacea, Wallflower, Mexican Primrose)  
1 gal
- INDIAN HAWTHORN (M) 5  
Raphiolepis indica  
5 gal
- TAM JUNIPER (H) 60  
Juniperus sabina  
5 gal
- CORAL BEAUTY COTONEASTER (M) 42  
Cotoneaster spp. 'Coral Beauty'  
5 gal
- OVERSIZED GRAVEL  
& BOULDERS

3/4" CRUSHED GREY GRAVEL

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters  
Shrubs to receive (2) 1.0 GPH Drip Emitters  
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

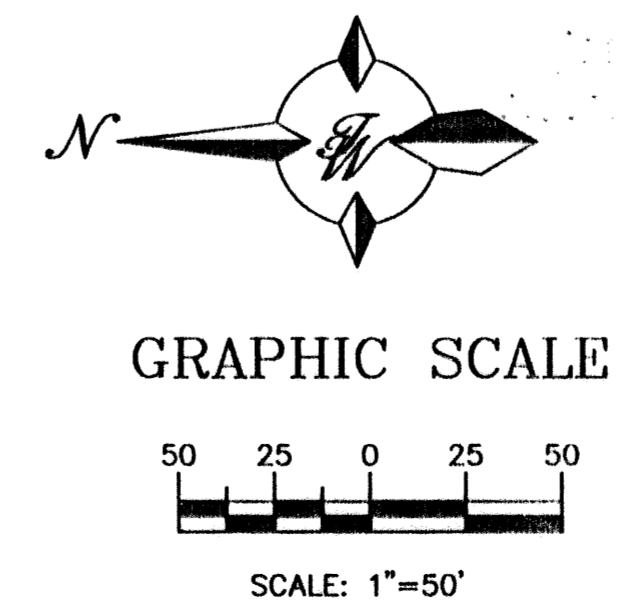
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

ALL PLANTING BEDS SHALL REACH 75% LIVE GROUND COVER AT MATURITY

### LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	516,033	square feet
TOTAL LOT AREA	144,348	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	371,685	square feet
NET LOT AREA	.15	square feet
LANDSCAPE REQUIREMENT	55,753	square feet
TOTAL LANDSCAPE REQUIREMENT	56,675	square feet
TOTAL LANDSCAPE PROVIDED	56,675	square feet
TOTAL BED PROVIDED	56,675	square feet



NO.	12/19/00	Added Access to Southern Parcel / Remove landscape	SEA
REVISIONS			
LANDSCAPE ARCHITECT	WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER		DRAWN BY IRT
	LANDSCAPE PLAN FOR BUILDING PERMIT		DATE 12-19-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		HOME-SPB.DWG
JAMES DEFLOM #0007			SHEET # 6
			JOB # 980063