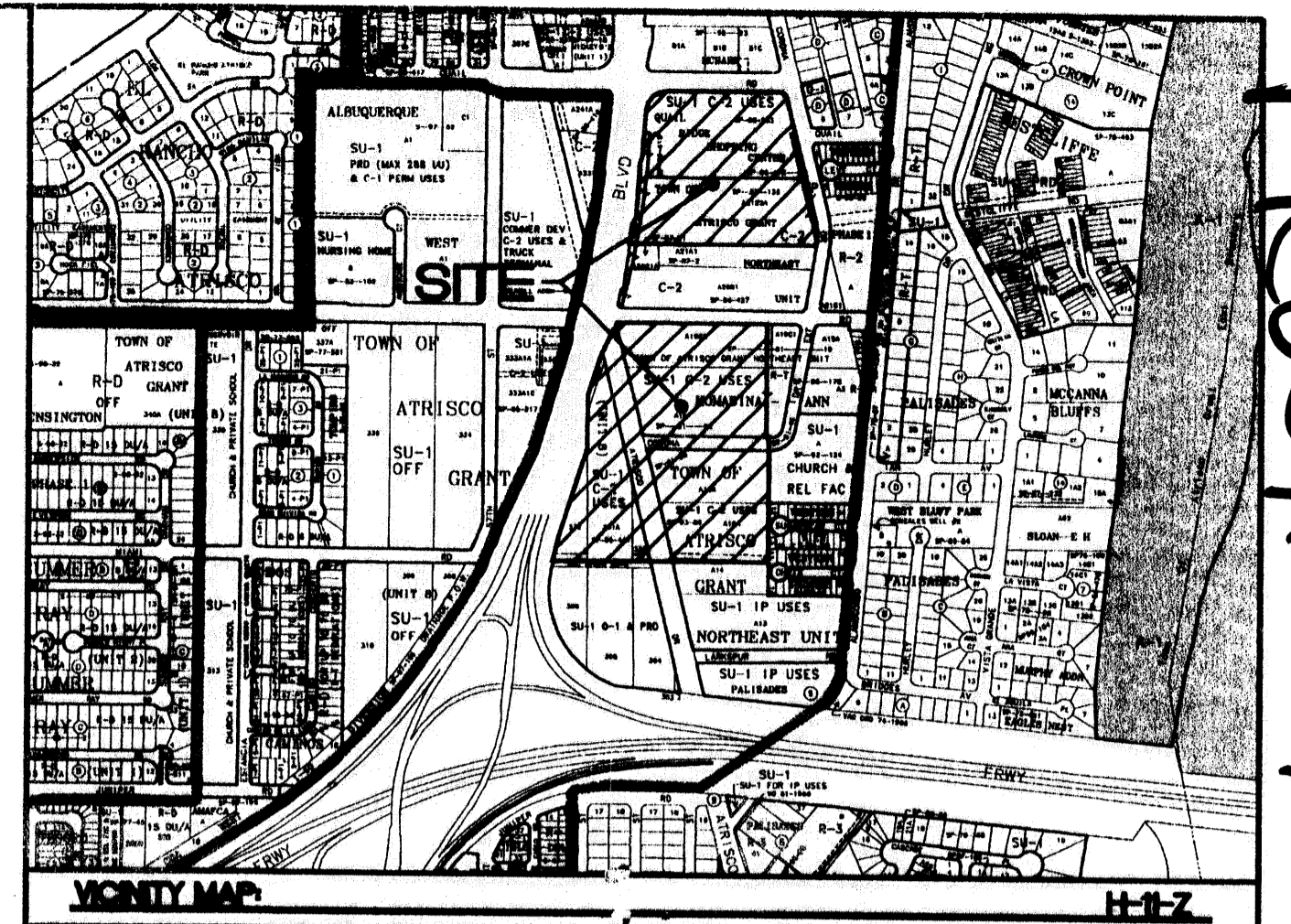
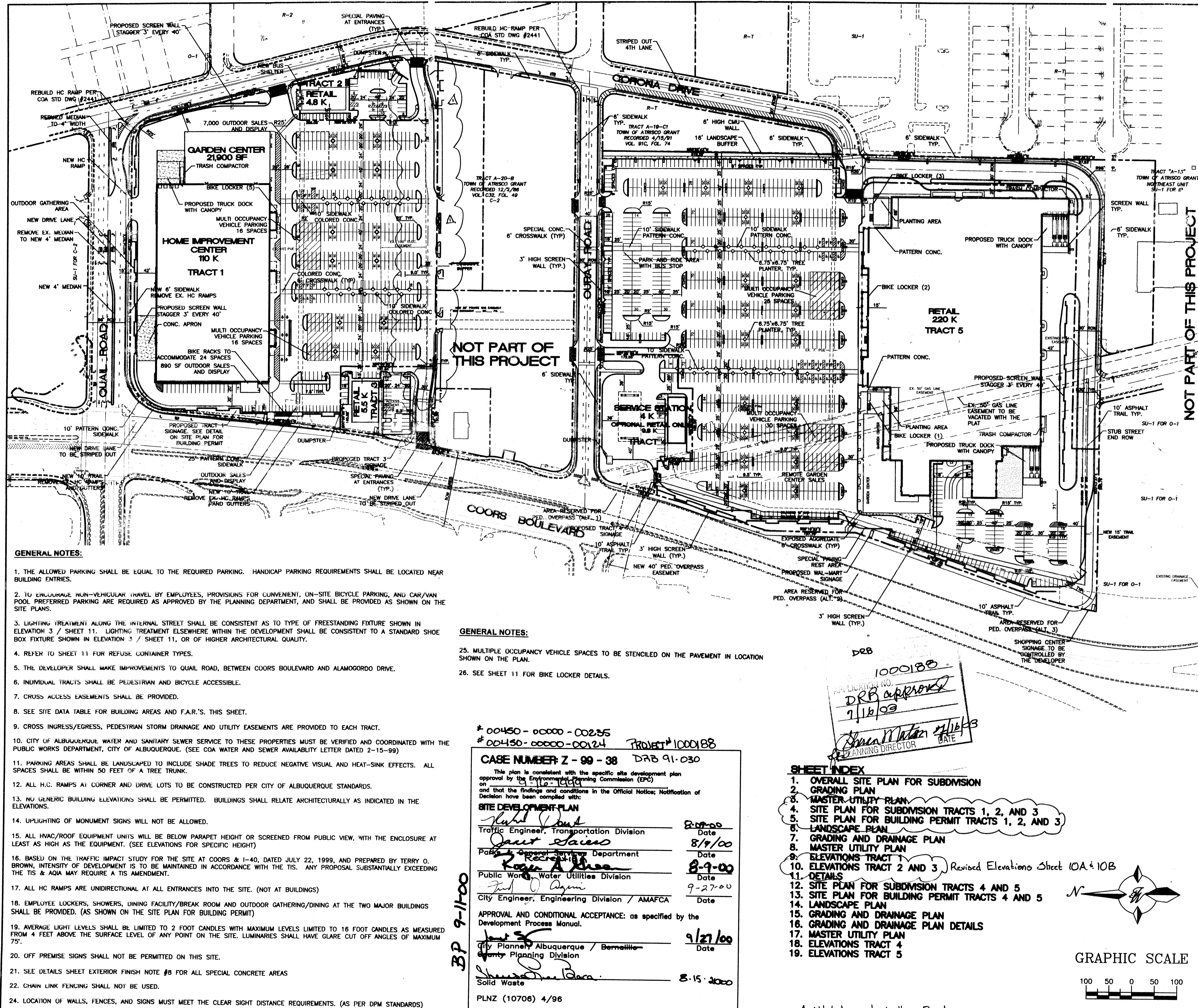


1000188
 1000188



LEGAL DESCRIPTION
 TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO NORTHEAST UNIT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°38'56"	28.91
C2	33.09	306.62	06°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	138.00	14°27'18"	17.25
C5	33.18	25.00	76°02'51"	19.55
C6	47.37	250.00	10°51'24"	23.76
C7	38.31	150.00	13°52'08"	18.24
C8	34.73	138.00	14°38'00"	17.46

SITE DATA TABLE

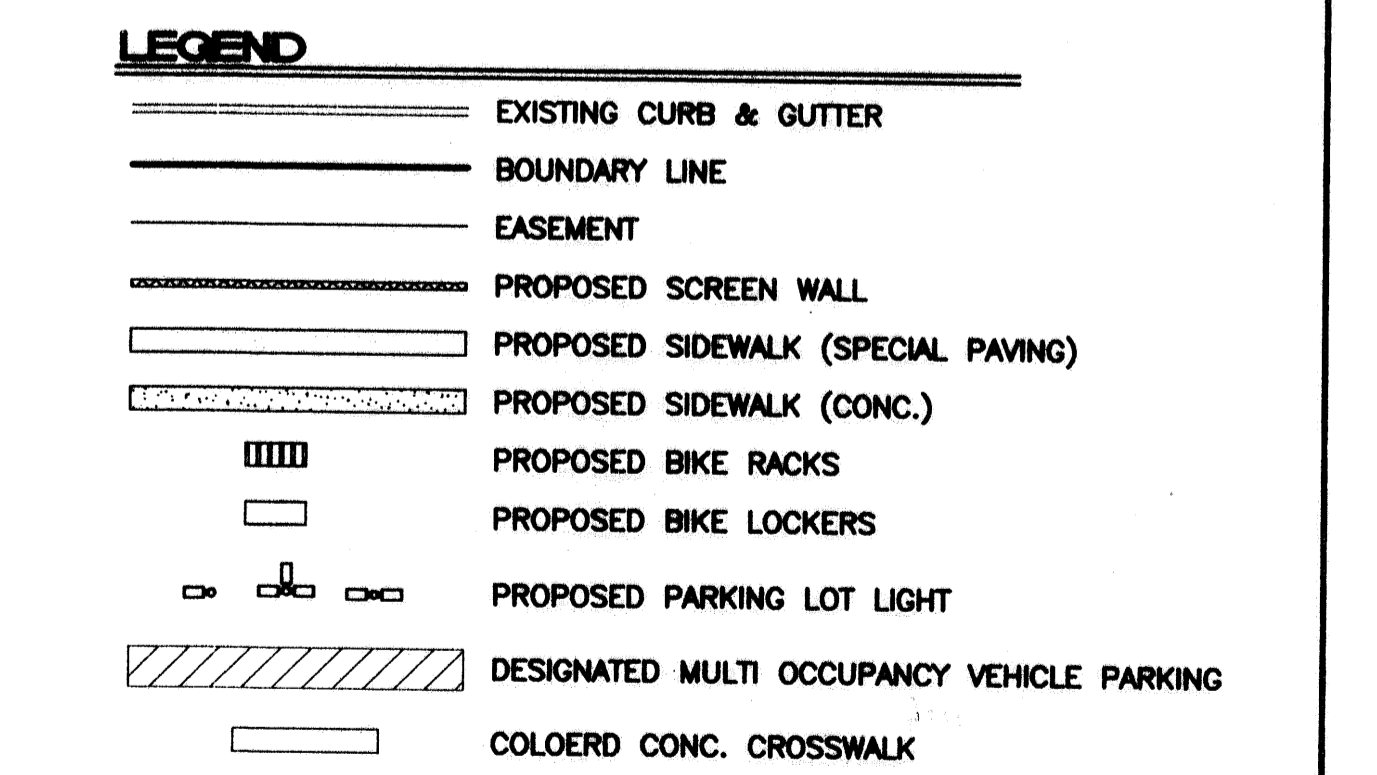
TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,924	RETAIL	SU-1 FOR C-2	0.25	45' SOLAR SETBACK
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3	0.7626	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
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4	49	52	4	4	1
5	1100	1108	21	24	55

LANDSCAPE DATA

TOTAL PARKING AREA FOR TRACTS 1, 2 & 3	152,796 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	30,559 SF ±
LANDSCAPE PROVIDED	58,764 SF ±
TOTAL PARKING AREA FOR TRACTS 4 & 5	319,958 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	63,992 SF ±
LANDSCAPE PROVIDED	109,538 SF ±



- GENERAL NOTES:**
1. THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
 2. TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
 3. LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
 4. REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
 5. THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAIL ROAD, BETWEEN COORS BOULEVARD AND ALAMOGORDO DRIVE.
 6. INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
 7. CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
 8. SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
 9. CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
 10. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
 11. PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 12. ALL H.C. RAMP AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
 13. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
 14. UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
 15. ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
 16. BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQA MAY REQUIRE A TIS AMENDMENT.
 17. ALL HC RAMP ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
 18. EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
 19. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
 20. OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
 21. SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
 22. CHAIN LINK FENCING SHALL NOT BE USED.
 24. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

- GENERAL NOTES:**
25. MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.
 26. SEE SHEET 11 FOR BIKE LOCKER DETAILS.

00450 - 00000 - 00235
 # 00450 - 00000 - 00124 PROJECT # 1000188

CASE NUMBER: Z - 90 - 38 DRB 91-030

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 8-12-1000 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN
 Traffic Engineer, Transportation Division
 Date: 8/9/00

Public Works, Water Utilities Division
 Date: 8-9-00

City Engineer, Engineering Division / AMAFCA
 Date: 9-27-00

City Planner, Albuquerque / Bernellie
 Date: 9/27/00

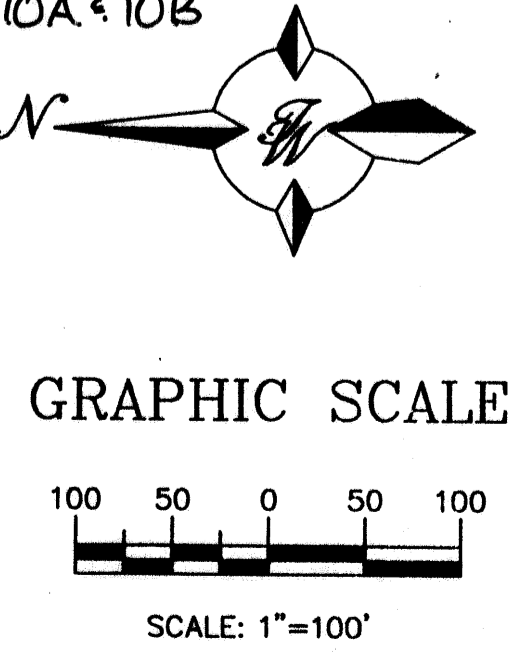
Solid Waste
 Date: 8-15-2000

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/96

- SHEET INDEX**
1. OVERALL SITE PLAN FOR SUBDMISION
 2. GRADING PLAN
 3. MASTER UTILITY PLAN
 4. SITE PLAN FOR SUBDMISION TRACTS 1, 2, AND 3
 5. SITE PLAN FOR BUILDING PERMIT TRACTS 1, 2, AND 3
 6. LANDSCAPE PLAN
 7. GRADING AND DRAINAGE PLAN
 8. MASTER UTILITY PLAN
 9. ELEVATIONS TRACT 1
 10. ELEVATIONS TRACT 2 AND 3 Revised Elevations Sheet 10A & 10B
 11. DETAILS
 12. SITE PLAN FOR SUBDMISION TRACTS 4 AND 5
 13. SITE PLAN FOR BUILDING PERMIT TRACTS 4 AND 5
 14. LANDSCAPE PLAN
 15. GRADING AND DRAINAGE PLAN
 16. GRADING AND DRAINAGE PLAN DETAILS
 17. MASTER UTILITY PLAN
 18. ELEVATIONS TRACT 4
 19. ELEVATIONS TRACT 5

1000188
 DRB APPROVED
 9/16/03
 Planning Director



ENGINEER'S SEAL

WEST BLUFF RETAIL CENTER

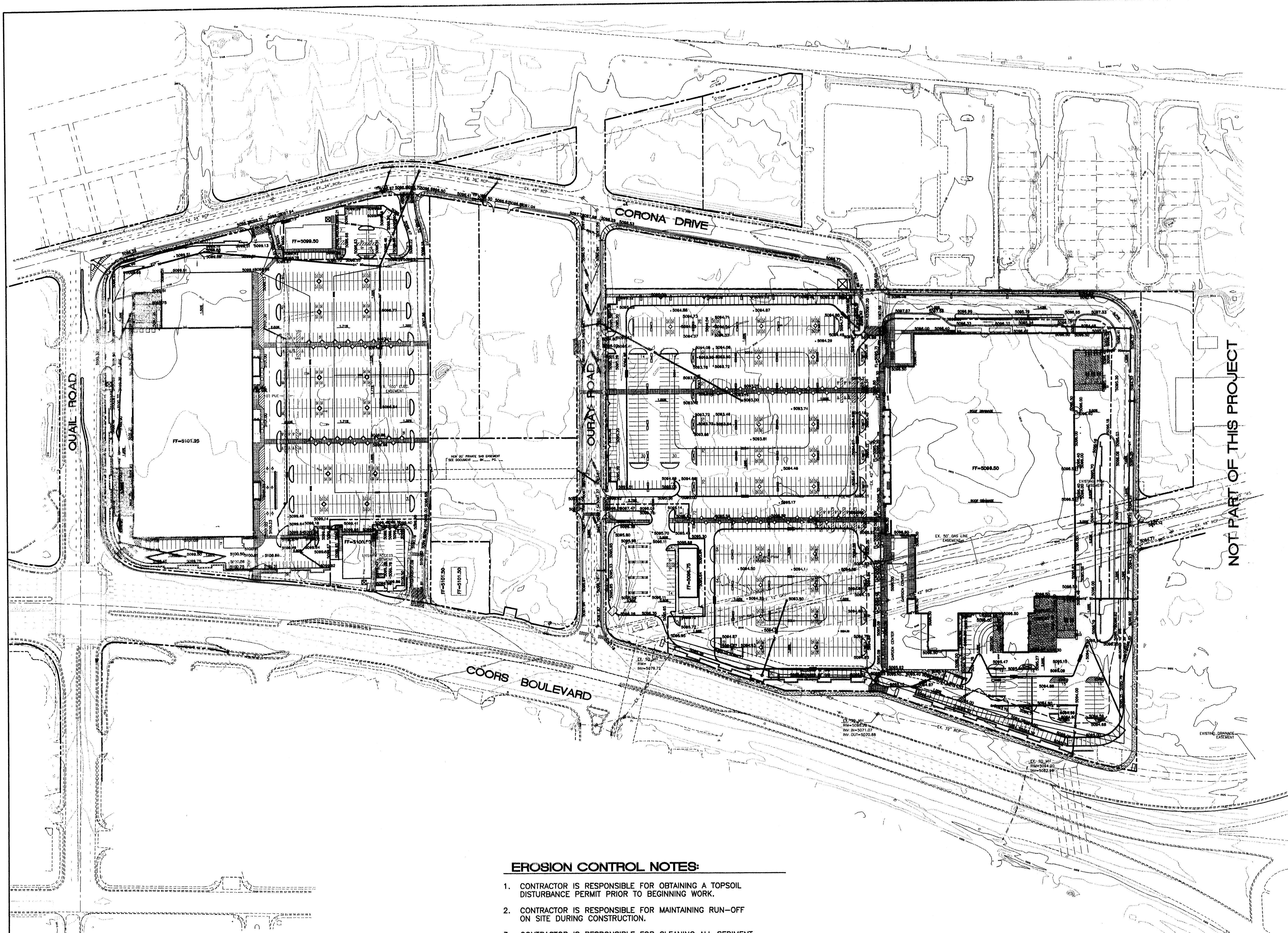
OVERALL SITE PLAN FOR SUBDMISION

TERRA WEST, LLC
 8509 JEFFERSON NE.
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RONALD R. BOHANNAN
 P.E. #7868

DRAWN BY BDG
 DATE 8-09-00
 EPC-SP.DWG
 SHEET # 1
 JOB # 980063

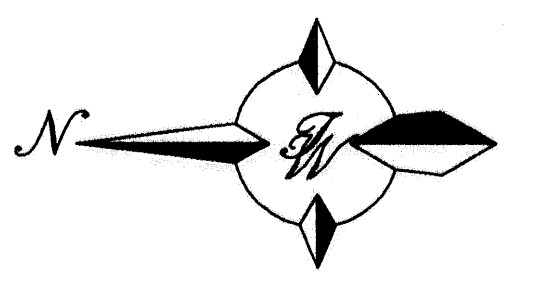
Added Access to Southern Parcel



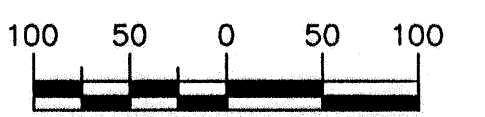
NOT PART OF THIS PROJECT

EROSION CONTROL NOTES:

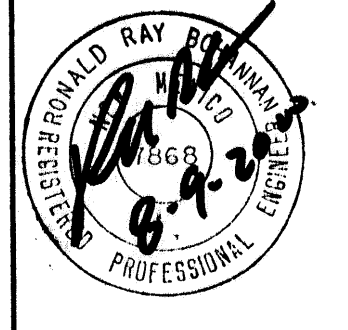
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

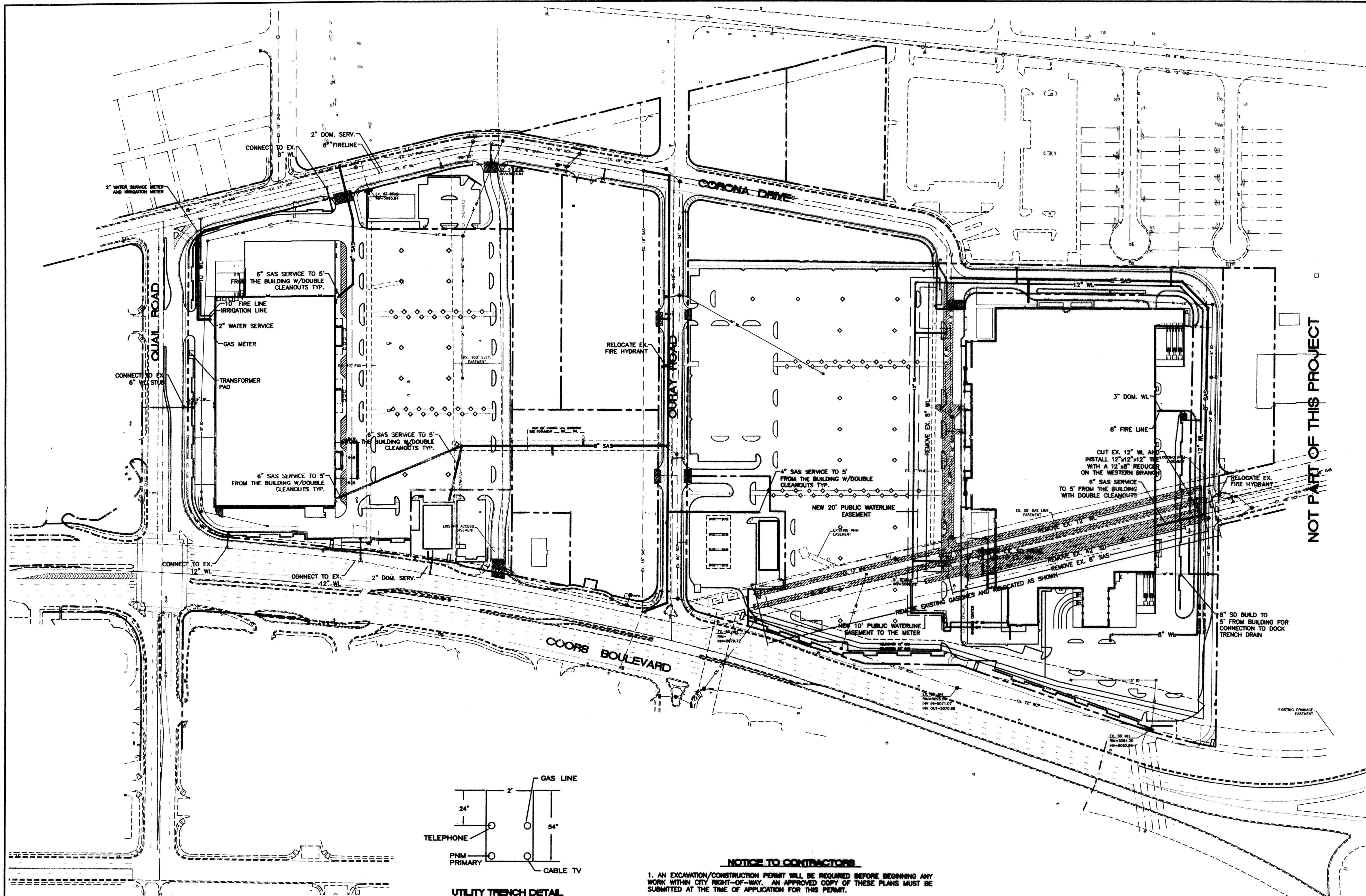


GRAPHIC SCALE



SCALE: 1"=100'

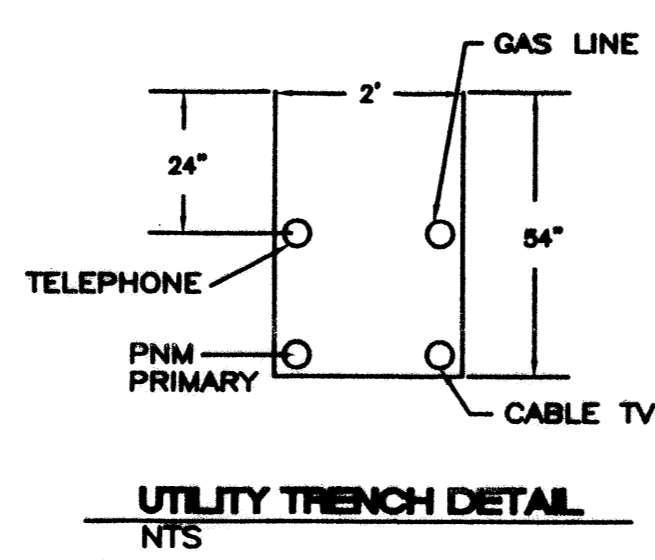
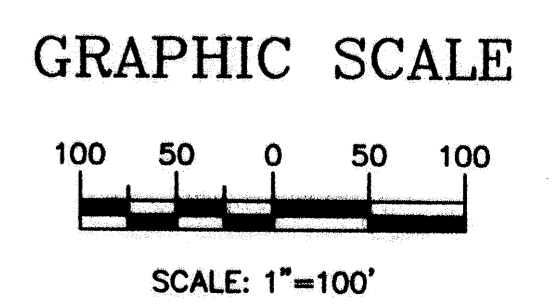
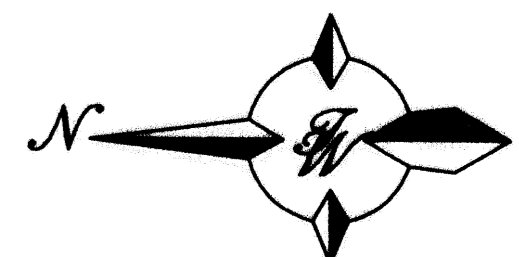
 RONALD R. BOHANNAN P.E. #7868	WEST BLUFF RETAIL CENTER	DRAWN BY BDG
	GRADING PLAN	DATE 6-15-00
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	EPC-GR.DWG
		SHEET # 2
		JOB # 980063



NOT PART OF THIS PROJECT

LEGEND

	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT



NOTICE TO CONTRACTORS

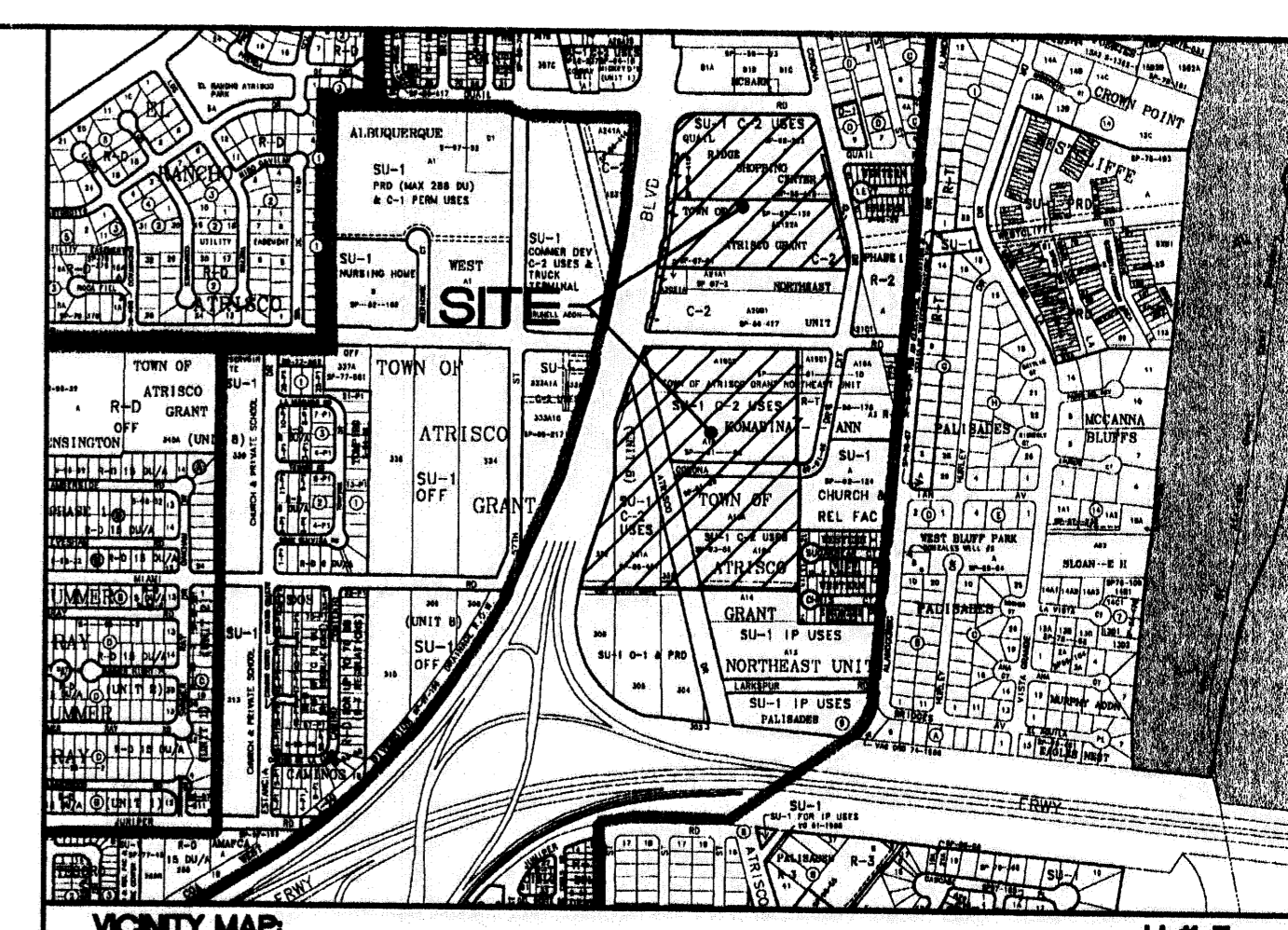
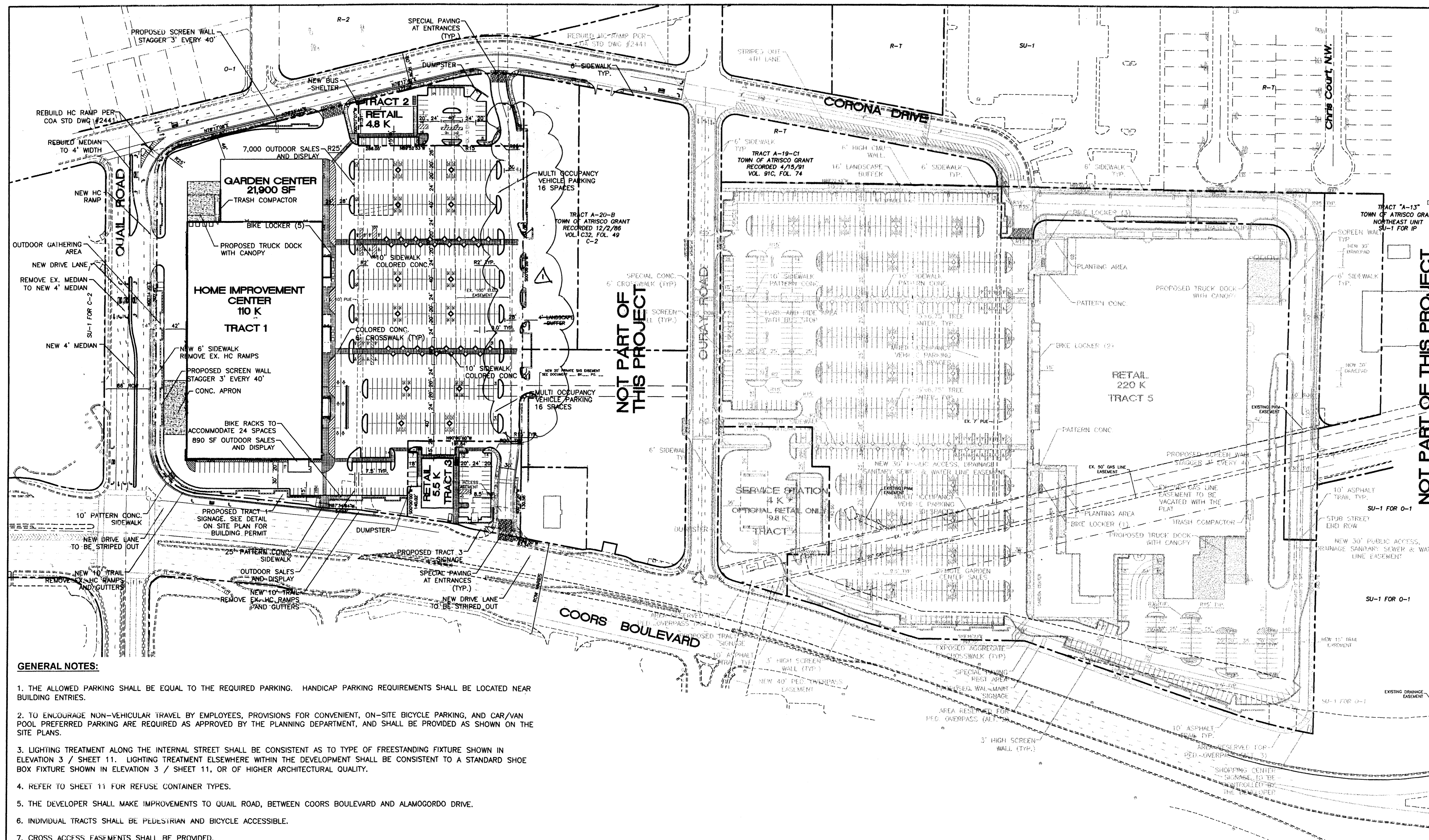
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

GENERAL NOTES

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	WEST BLUFF RETAIL CENTER	DRAWN BY BDC DATE 6-13-00
	MASTER UTILITY PLAN	9863MU2.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 3 JOB # 980063



LEGAL DESCRIPTION:
 TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO NORTHEAST UNIT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

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 TOTAL PARKING AREA FOR TRACTS 4 & 5: 319,958 SF ±
 LANDSCAPE REQUIRED (20% OF PARKING AREA): 63,992 SF ±
 LANDSCAPE PROVIDED: 109,536 SF ±

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK (SPECIAL PAVING)
- PROPOSED SIDEWALK (CONC.)
- PROPOSED BIKE RACKS
- PROPOSED BIKE LOCKERS
- PROPOSED PARKING LOT LIGHT
- DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
- COLORED CONC. CROSSWALK

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CASE NUMBER: Z - 99 - 38

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice; Notification Decision have been complied with:

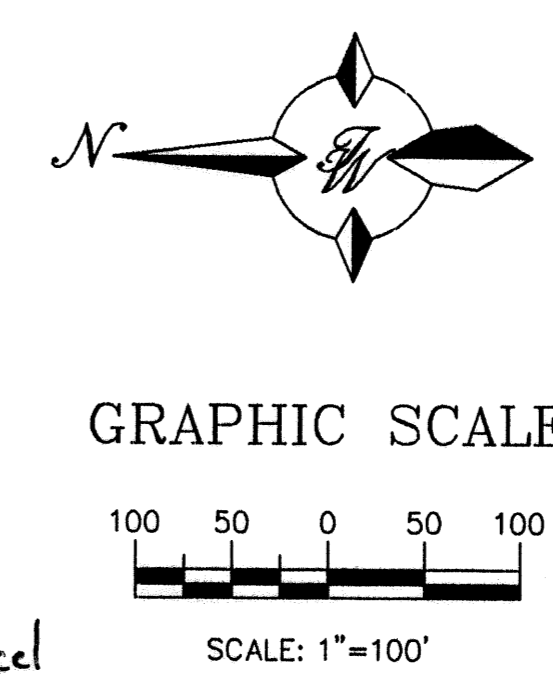
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
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Solid Waste
 BLNZ (10706) 4/96



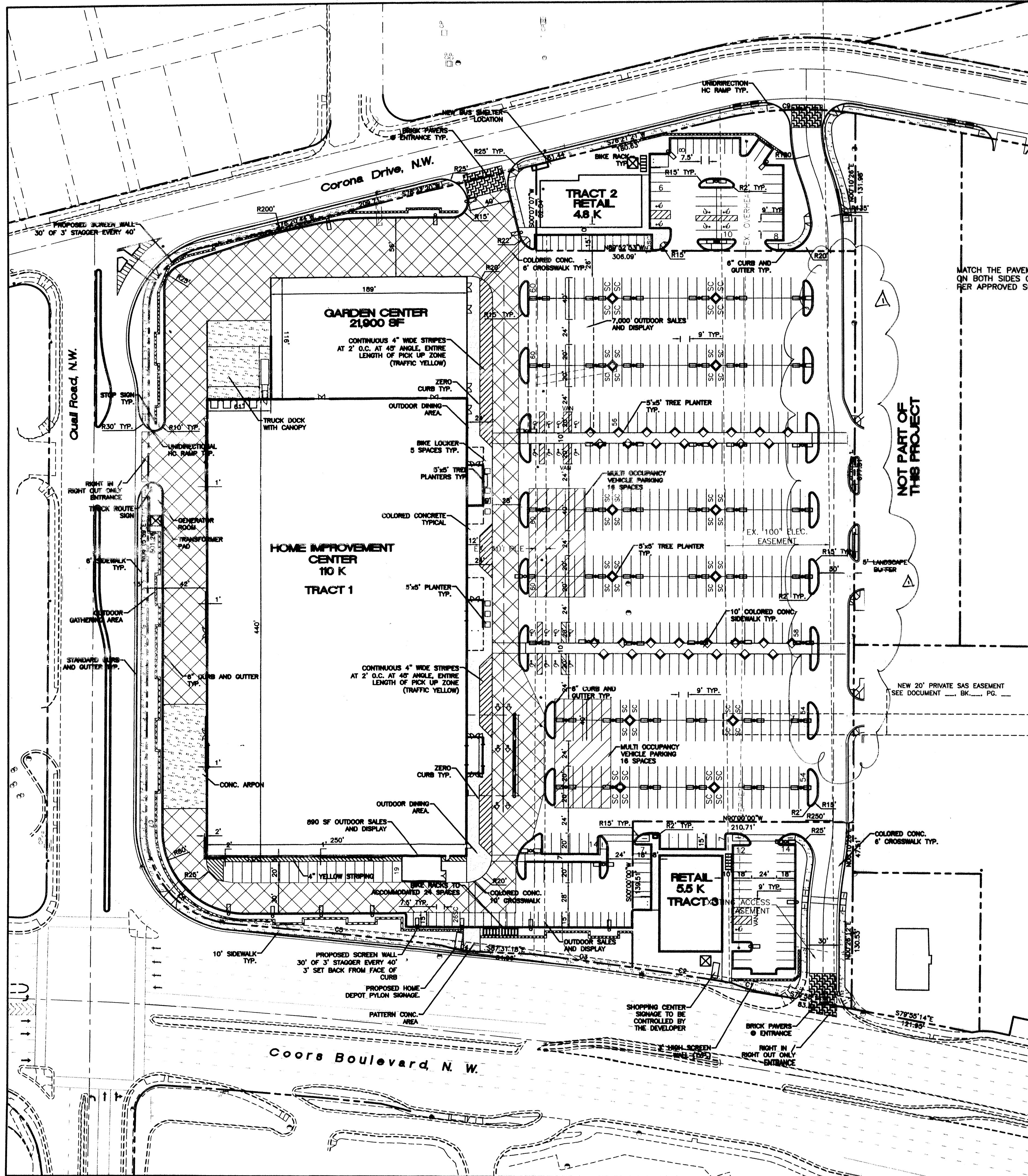
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

WEST BLUFF RETAIL CENTER
 SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3

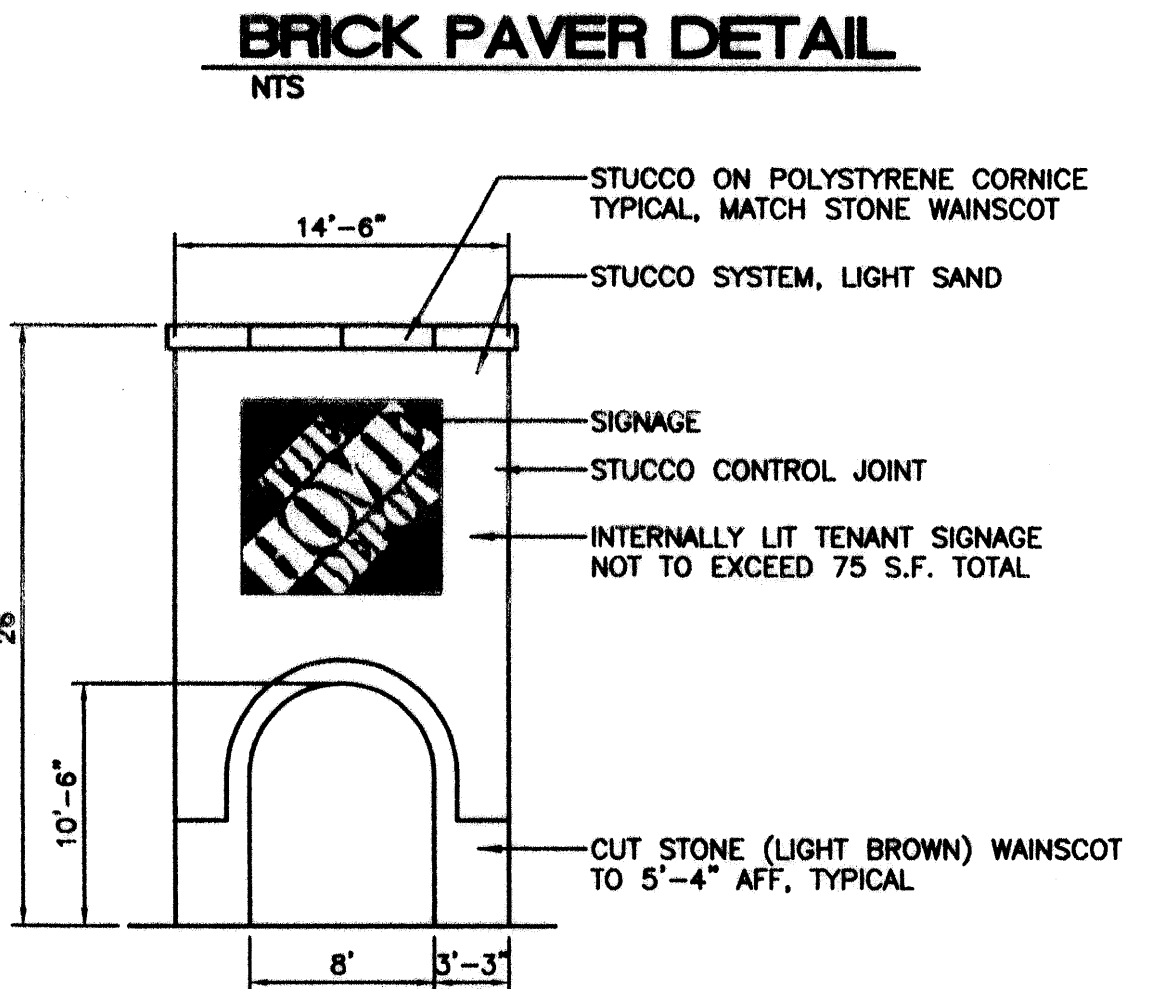
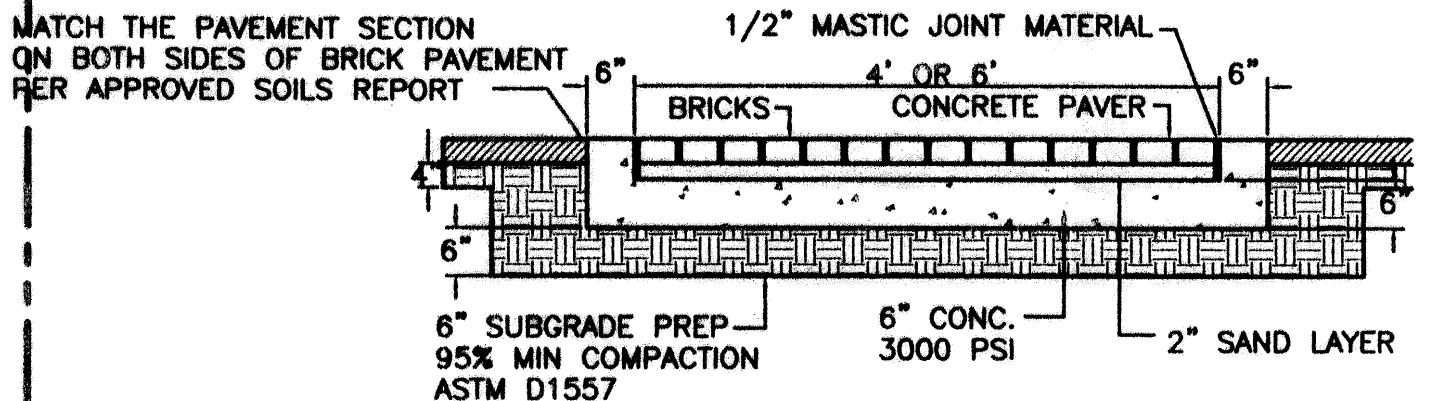
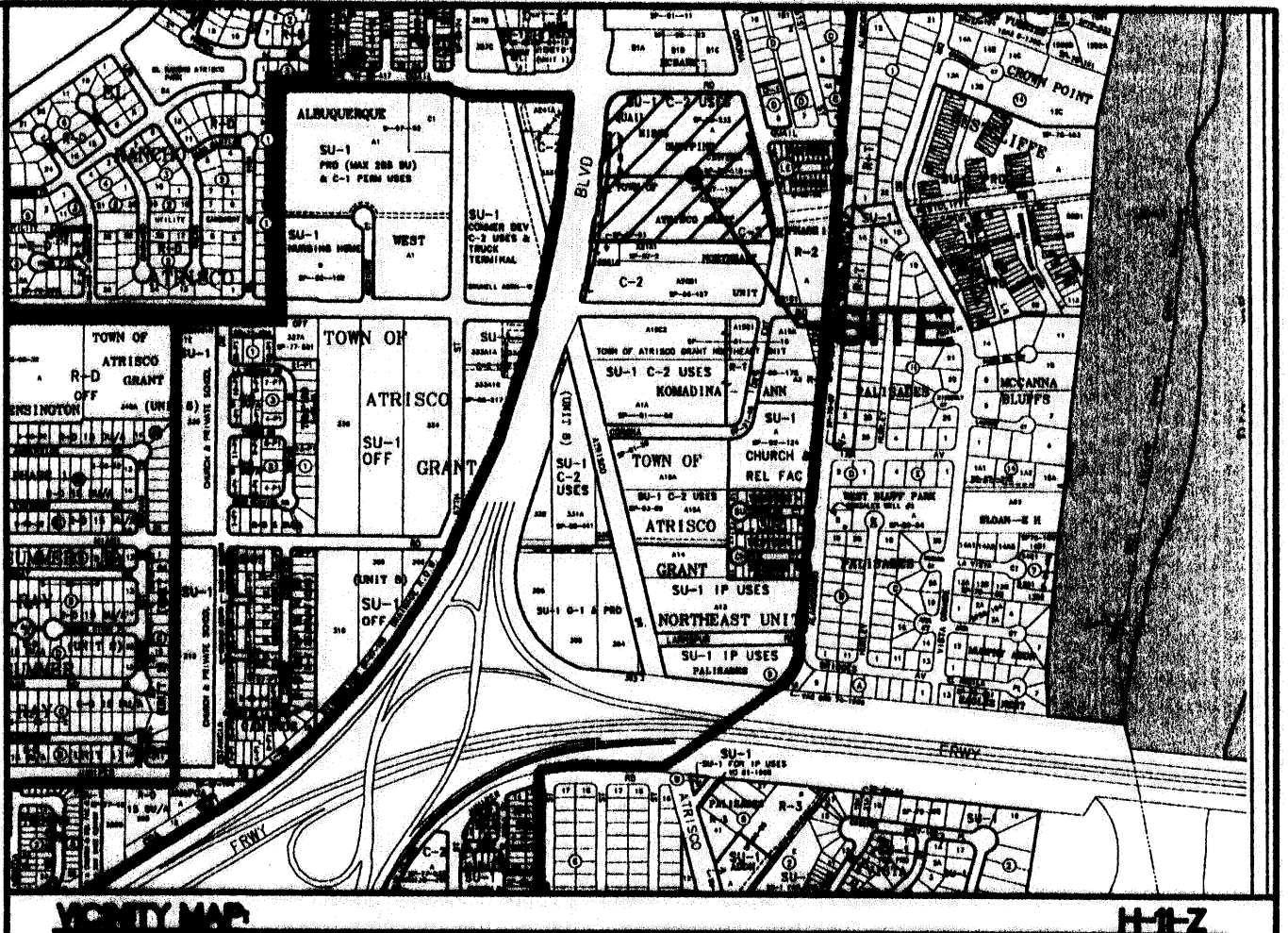
TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY BDG
 DATE 6-12-00
 T123.SP.DWG
 SHEET # 4
 JOB # 980063

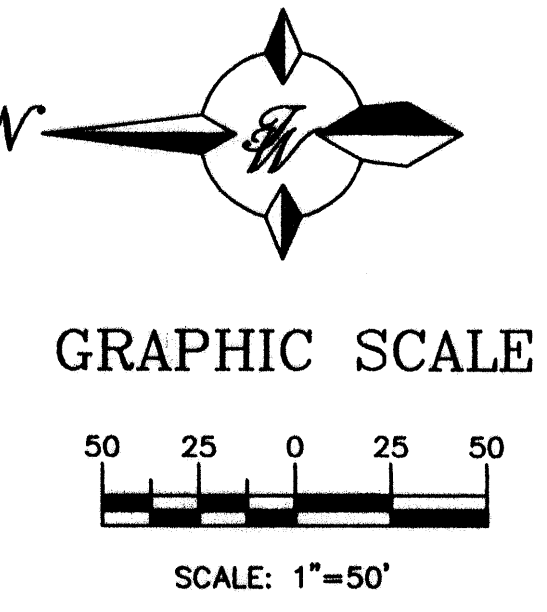
Access to Southern Parcel



- NOTES**
1. ALL PRIVATE CONSTRUCTION SHALL BE AS PER HOME DEPOT SPECIFICATIONS UNLESS OTHERWISE NOTED.
 2. REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
 3. LIGHT STANDARDS TO BE 16 FEET IN HEIGHT AND SHIELD SHOE BOX TYPE. SEE LIGHTING PLAN FOR DETAILS.
 4. JURISDICTION IS UNDER THE CITY OF ALBUQUERQUE REGULATIONS.
 5. THERE ARE NO KNOWN WETLANDS AND ENDANGERED SPECIES.
 6. THE SITE DEVELOPER IS PAUL SILVERMAN WITH GELTMORE INC. REAL ESTATE SERVICES, 4408 CANYON COURT N.E., ALBUQUERQUE, NM 87111-3010, (505) 294-8625.
 7. SEE SITE PLAN FOR SUBDIVISION FOR SITE CRITERIA.
 8. ALL SIGNAGE TO BE IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.
 9. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 1, 2, AND 3 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 10. FRONT SIDEWALK SALES AND STORAGE SHALL EXIST ALONG THE ENTIRE FRONT OF THE STORE.



- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED SIDEWALK
 - HEAVY ASPHALT PAVING AREA
 - HEAVY CONCRETE AREA
 - COLORLED CONCRETE AREA
 - PROPOSED PARKING LOT LIGHTING
 - PROPOSED BOLLARD
 - SMALL CAR SPACES



LEGAL DESCRIPTION
TRACT A QUAIL RIDGE SHOPPING CENTER AND TRACT A-2122-A TOWN OF ATRISCO GRANT

SITE DATA TABLE

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,900	RETAIL	SU-1 FOR C-2	0.31	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7627	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
TOTAL	11.5746	142,284	-	-	-	-

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE SPACES REQ.	PRKG. RATIO
1	561 (*)	528	16	16	29	4.01
2	24	49	3	4	2	10.21
3	28	40	2	2	2	7.27
TOTAL	613 (*)	617	21	22	33	4.34

(*) TOTAL PARKING REQUIRED W/15% BUS CREDIT 613

LANDSCAPE DATA
TOTAL PARKING AREA FOR TRACTS 1, 2 & 3: 152,796 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA): 30,559 SF ±
LANDSCAPE PROVIDED: 58,784 SF ±

CASE NUMBER: Z-90-38 DRB 91-030

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 11/16/00 and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division: *Roger...* Date: 8/9/00
 Parks & Rec: *...* Date: 8/9/00
 Public Works, Water Utilities Division: *...* Date: 9-27-00
 City Engineer, Engineering Division / AMAFCA: *...* Date: 1/27/00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernette: *...* Date: 1/27/00
 City Planning Division: *...* Date: 1/27/00
 PLNZ (10706) 4/96

Solid Waste: *Shirley...* Date: 8/15/00
 #00450-0000-00235 PROJECT #1000188
 #00450-0000-00124

NO.	DATE	REVISIONS	BY
1	12/19/00	Added Access to Southern Parcels	BDG

ENGINEER'S SEAL
RONALD R. BOHANNAN P.E. #7868

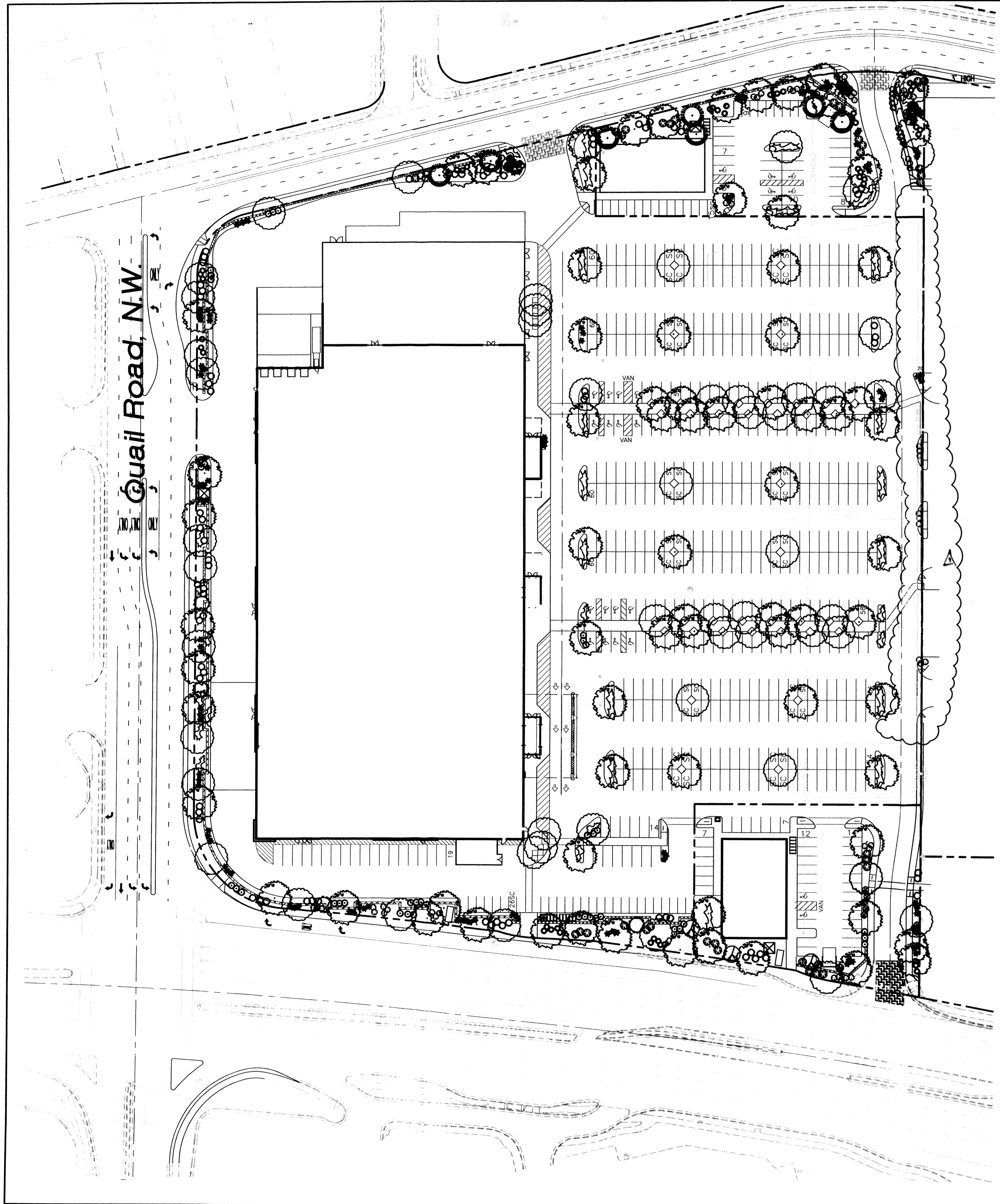
WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER

SITE PLAN FOR BUILDING PERMIT TRACT 1, 2, AND 3

TERRA WEST, LLC
8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100

DRAWN BY: BDG
DATE: 8-09-00
HOME-SPB.DWG
SHEET # 5
JOB # 980063

REVIEWED AND APPROVED FOR CONSTRUCTION BY HOME DEPOT
Date



PLANT LEGEND

- ARIZONA ASH (H) 78
Fraxinus velutina
2" cal
 - RAYWOOD ASH (H) 49
Fraxinus oxycarpa raywood
2" cal
 - BRADFORD PEAR (H) 3
Pyrus calleryana bradford
2" cal
 - AUSTRIAN PINE (H) 7
Pinus
6-8'
 - PALM YUCCA (L) 6
 - DESERT WILLOW (L) 4
Chilopsis linearis
15 gal
 - CHAMISA (L) 50
Chrysothamnus nauseosus
1 gal
 - THREE-LEAF SUMAC (L) 74
Rhus trilobata
5 gal
 - MAIDEN GRASS (M) 112
Miscanthus sinensis
5 gal
 - BLUE MIST (M) 38
Caryopteris spp.
5 gal
 - ROSEMARY (M) 56
Rosmarinus officinalis
5 gal
 - WILDFLOWER 42
(Coryopsis, Echinacea, Wallflower, Mexican Primrose)
1 gal
 - INDIAN HAWTHORN (M) 5
Raphiolepis indica
5 gal
 - TAM JUNIPER (H) 60
Juniperus sabina
5 gal
 - CORAL BEAUTY COTONEASTER (M) 42
Cotoneaster spp. 'Coral Beauty'
5 gal
 - OVERSIZED GRAVEL
& BOULDERS
- 3/4" CRUSHED GREY GRAVEL

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters
Shrubs to receive (2) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

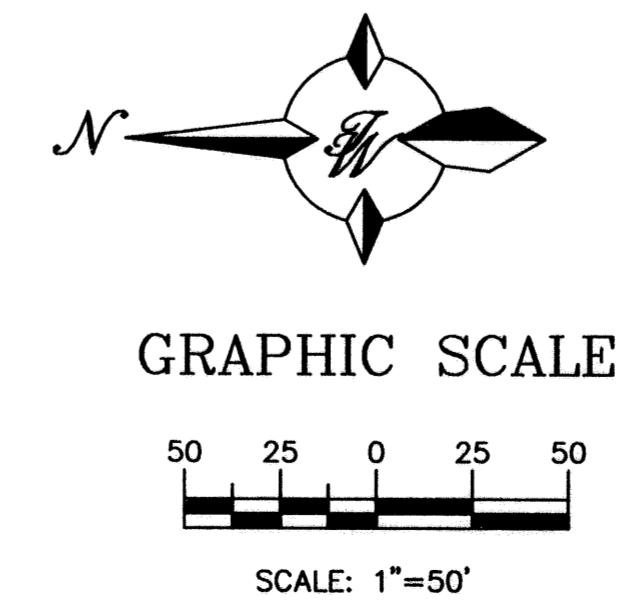
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

ALL PLANTING BEDS SHALL REACH 75% LIVE GROUND COVER AT MATURITY

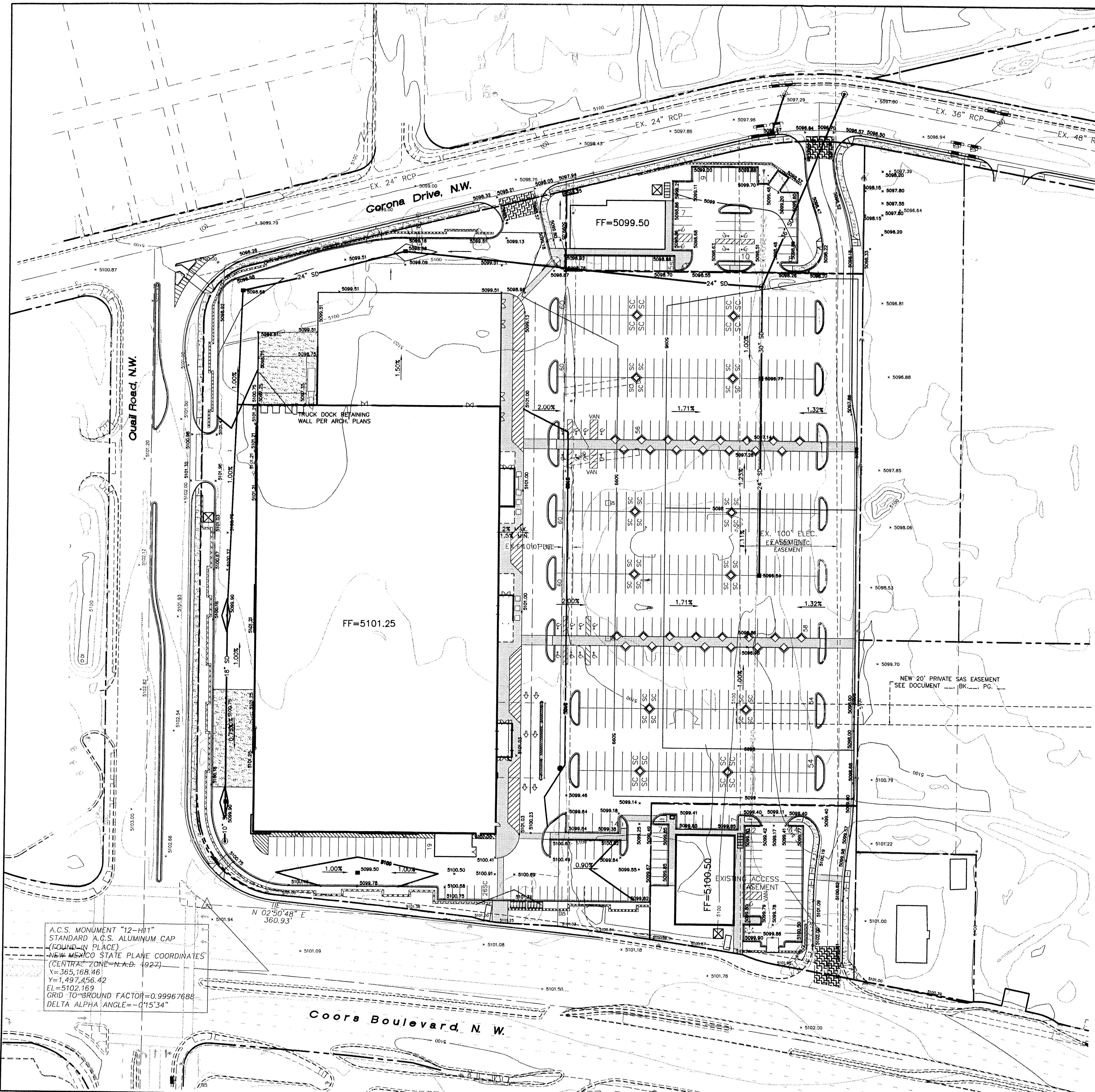
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	516,033	square feet
TOTAL LOT AREA	144,348	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	371,685	square feet
NET LOT AREA	.15	square feet
LANDSCAPE REQUIREMENT	55,753	square feet
TOTAL LANDSCAPE REQUIREMENT	56,675	square feet
TOTAL LANDSCAPE PROVIDED	56,675	square feet
TOTAL BED PROVIDED	56,675	square feet

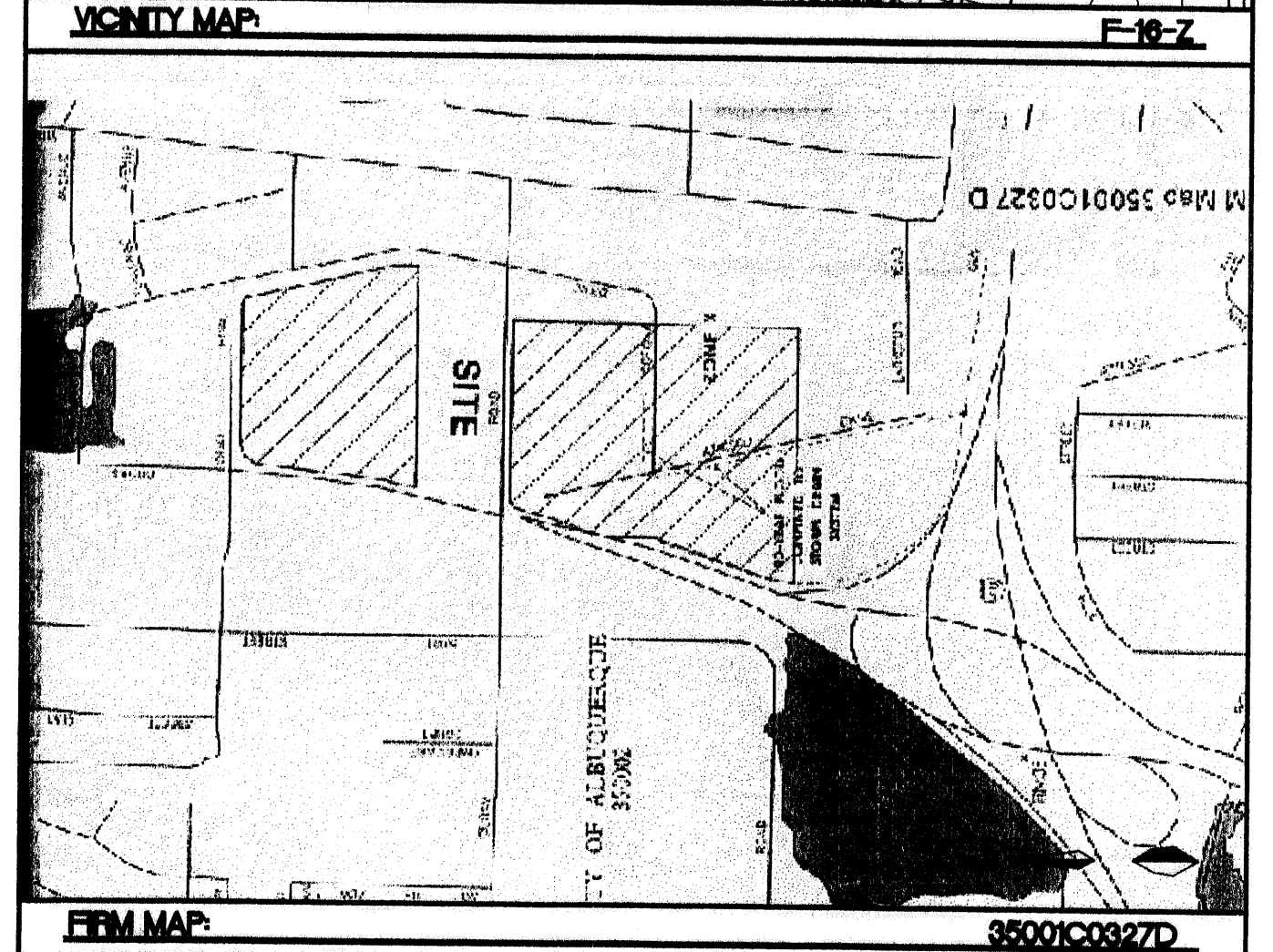
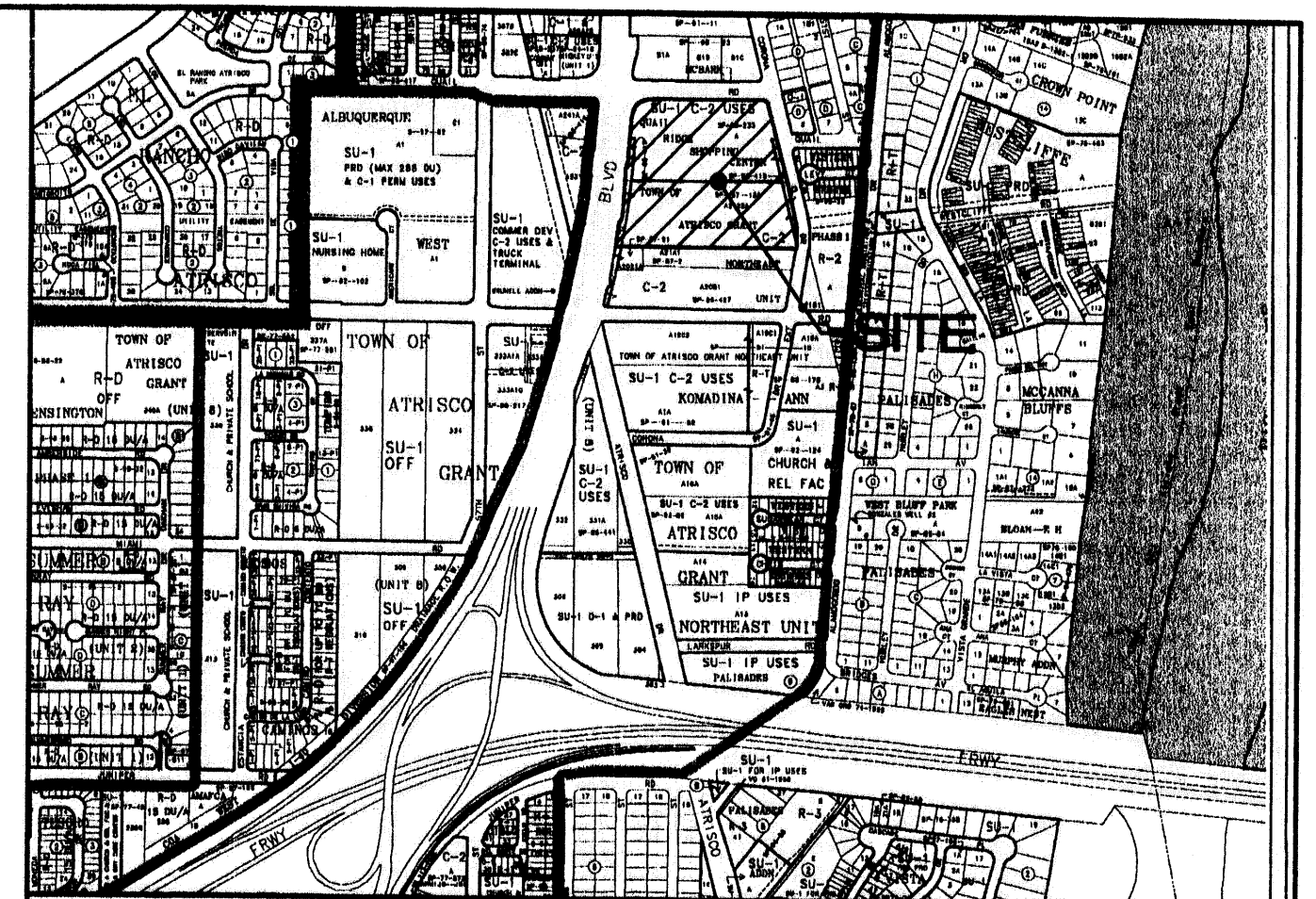
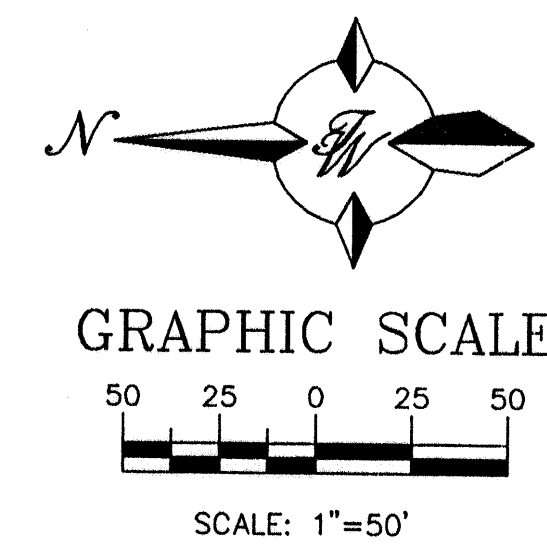


The Hilltop
THE HILLTOP
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NO.	DATE	REMARKS	BY
1	12/19/00	Added Access to Southern Parcel / Remove landscape	BDG
REVISIONS			
LANDSCAPE ARCHITECT SEA		WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER	DRAWN BY IRT
			DATE 12-19-00
			HOME-SPB.DWG
		LANDSCAPE PLAN FOR BUILDING PERMIT	SHEET #
			6
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 980063
JAMES DEFLOM #0007			



A.C.S. MONUMENT "12-H11"
 STANDARD A.C.S. ALUMINUM CAP
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 4922)
 X=365,168.46
 Y=1,497,456.42
 EL=5102.169
 GRID TO GROUND FACTOR=0.99967888
 DELTA ALPHA ANGLE=-0°15'34"



LEGAL DESCRIPTION:
 TRACT A QUAIL RIDGE SHOPPING CENTER AND TRACT A-2122-A TOWN OF ATRISCO GRANT

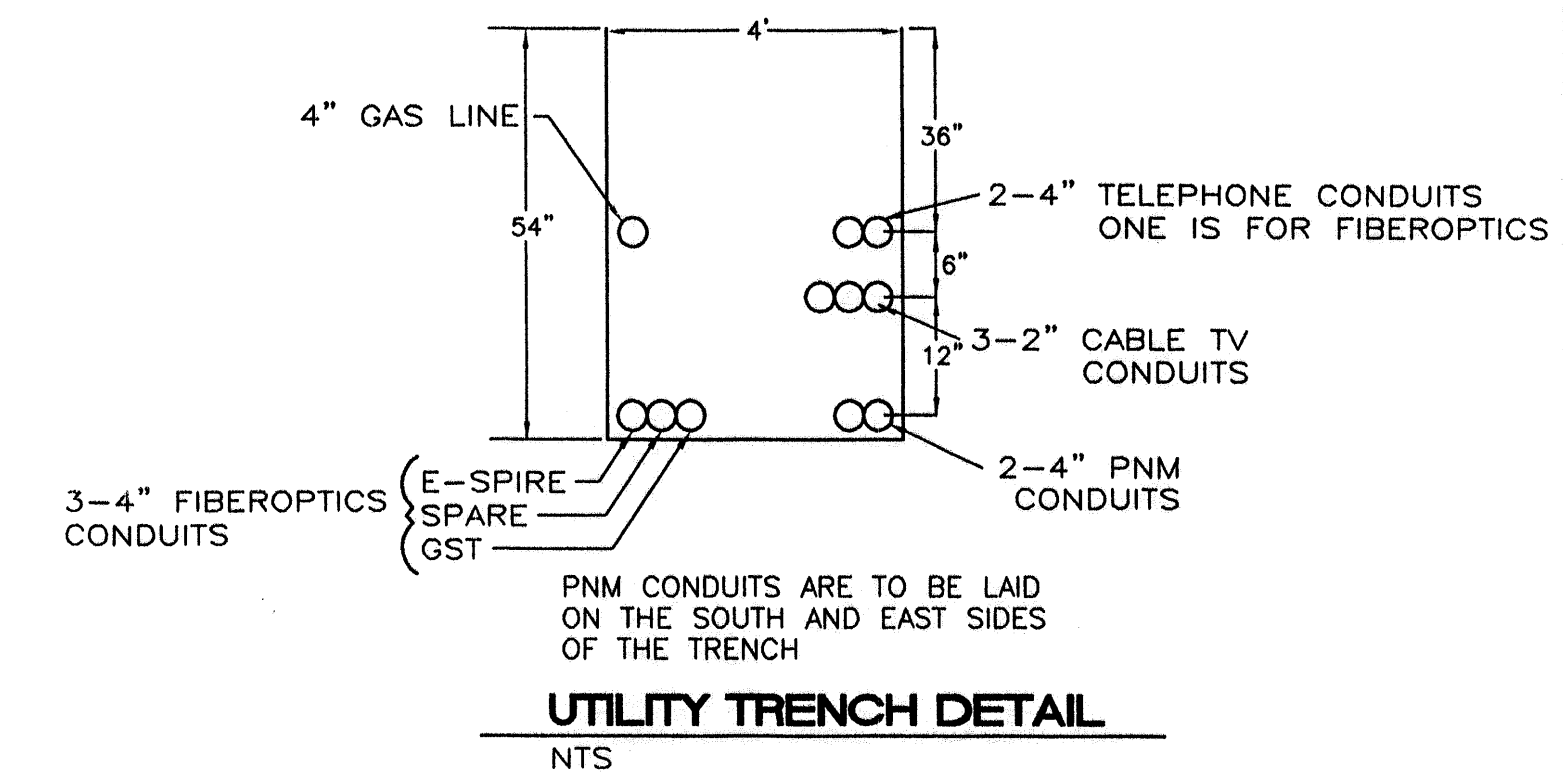
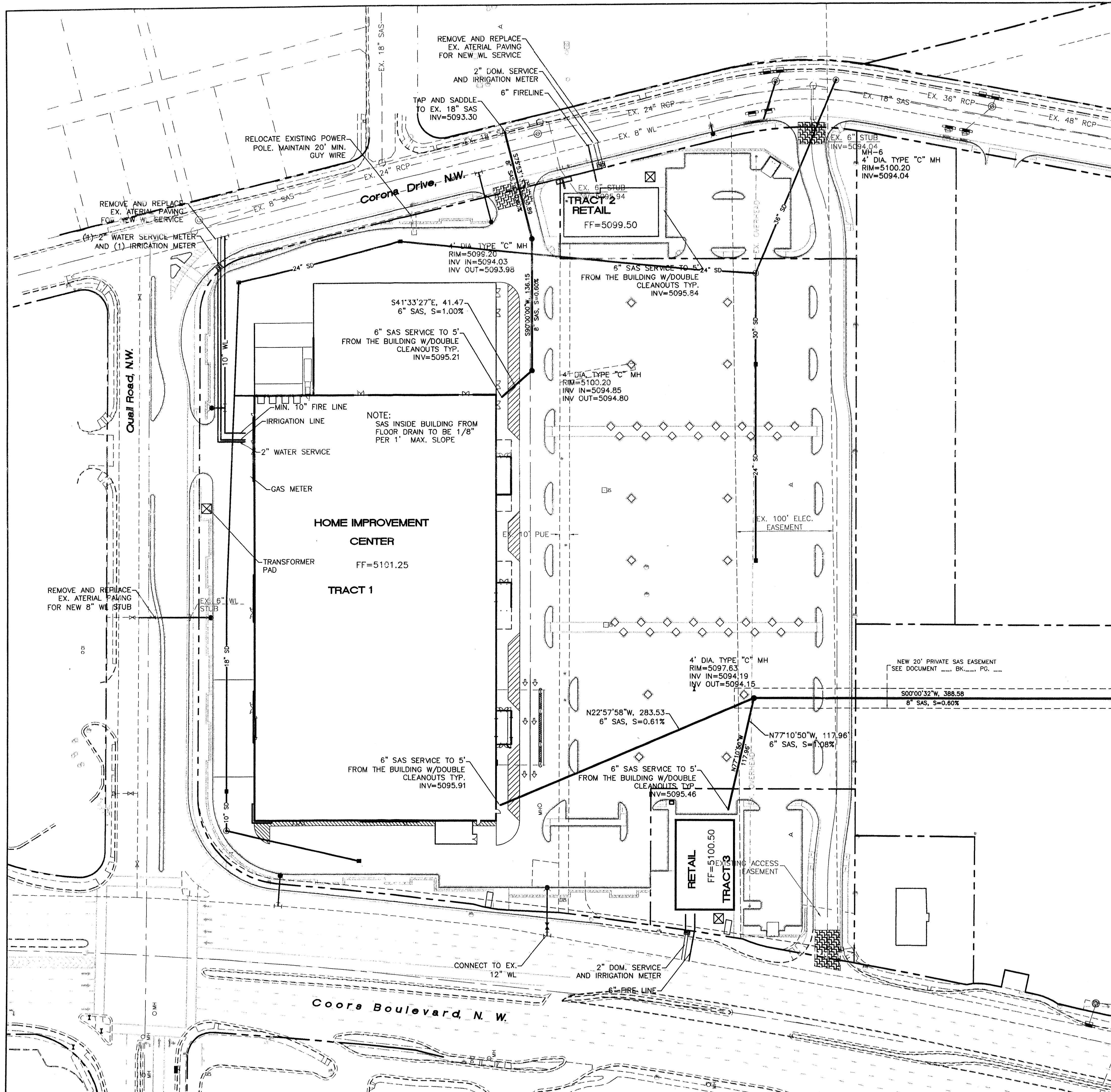
NOTES:
 1. ALL SPOT ELEVATION ARE FLOWLINE UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	HEAVY CONCRETE AREA
	PATTERN CONCRETE AREA

ROUGH GRADING APPROVAL _____ DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER GRADING AND DRAINAGE PLAN	DRAWN BY BDG
			DATE 6-13-00 HOME-GR.DWG
RONALD R. BOHANNAN P.E. #7888		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 7 JOB # 980063



MAIN UTILITY CONTACTS

PNM - ELECTRIC & GAS
 ARMOND ALIUSTROMI
 4201 EDITH BLVD NE
 ABQ NM 87107
 PHONE:
 FAX: (505) 241-3415

US WEST COMMUNICATIONS
 LARRY GURULE
 PO BOX 1355 STATION 700
 201 THIRD ST NW
 ABQ NM 87103-1355
 PHONE: (505) 245-6846
 FAX: (505) 245-6831

COMCAST CABLE
 VIOLET WATSON
 4611 MONTBEL LOOP NE
 ABQ NM 87107
 PHONE: (505) 761-6232
 FAX: (505) 761-6273

FIBER OPTIC CONTACTS

ESPIRE
 STEVE BENJAMIN
 505 MARQUETTE NE SUITE 1605
 ABQ NM 87103
 PHONE: (505) 998-2274
 FAX: (505) 998-2200

GST
 ROYAL HARRISON
 3830 SINGER BLVD NE STE 1000
 ABQ NM 87109
 PHONE: (505) 938-7339

MCI
 ANDY DARNELL
 3700 SINGER BLVD NE STE A
 ABQ NM 87109
 PHONE: (505) 346-4470

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

LEGEND

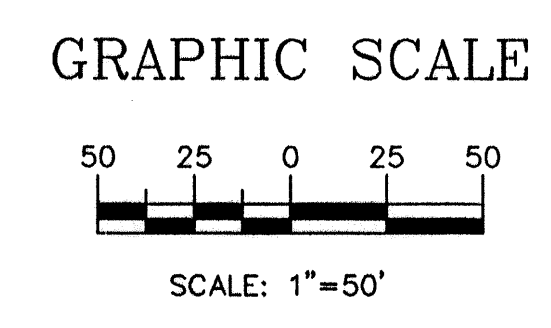
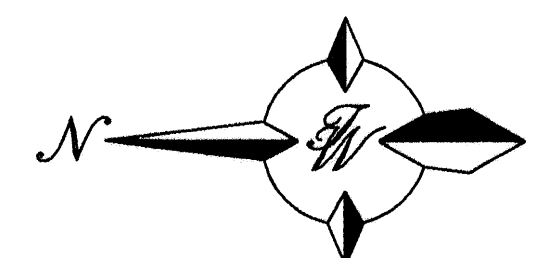
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EX. 6" SAS
- EX. 18" WL
- EX. 42" RCP
- EXISTING CURB & GUTTER
- 4" SAS
- 6" SAS
- 8" WL
- BOUNDARY LINE
- EASEMENT

GENERAL NOTES:

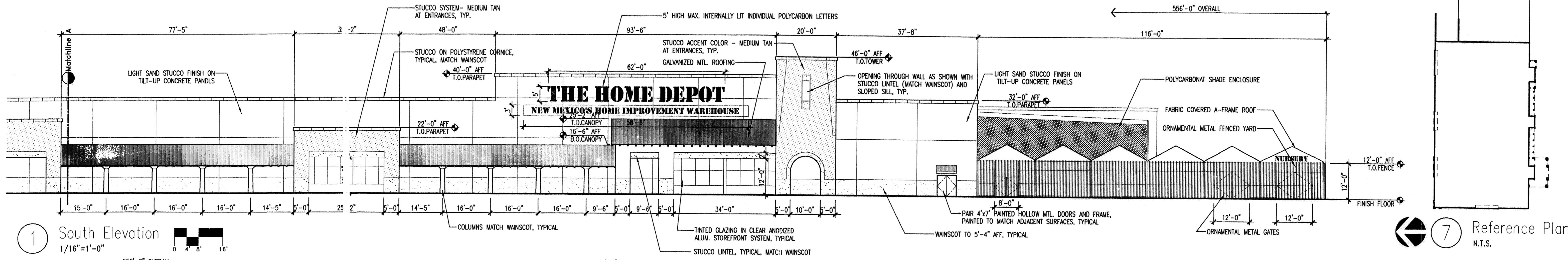
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

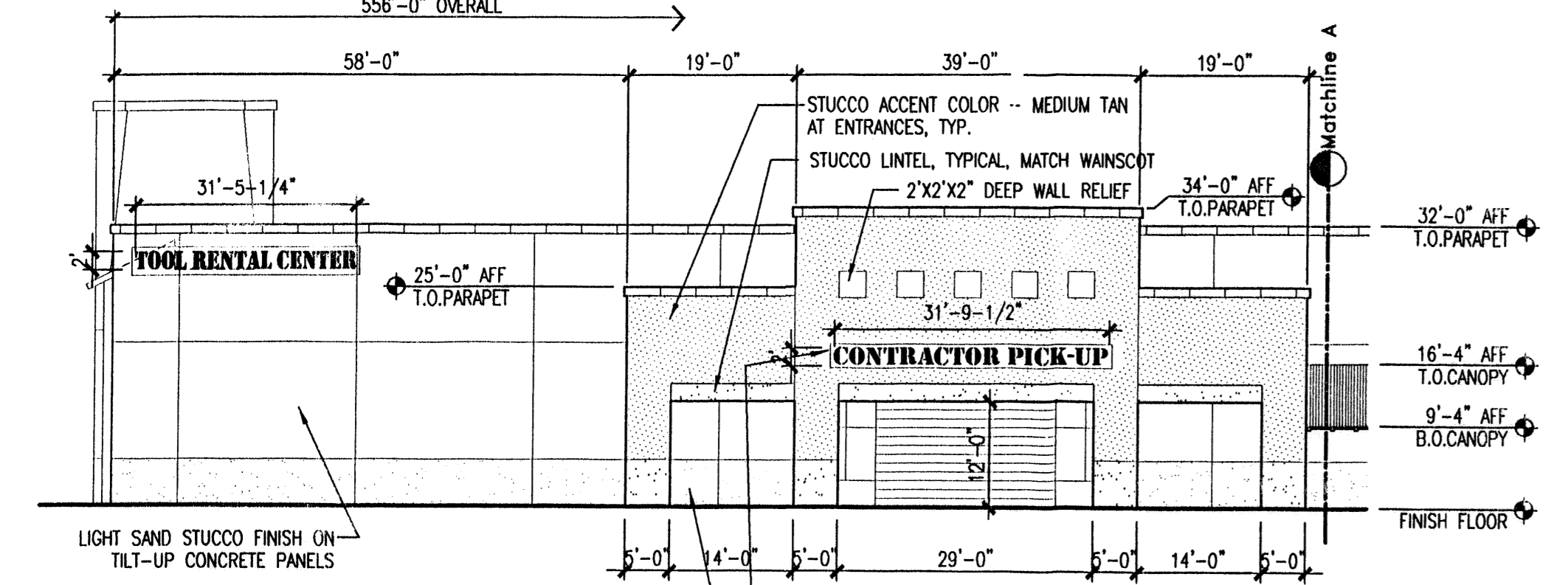


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7888	WEST BLUFF SHOPPING CENTER HOME IMPROVEMENT CENTER	DRAWN BY BDG
	MASTER UTILITY PLAN	DATE 6-13-00
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	HOME-MU.DWG	SHEET # 8
		JOB # 980063

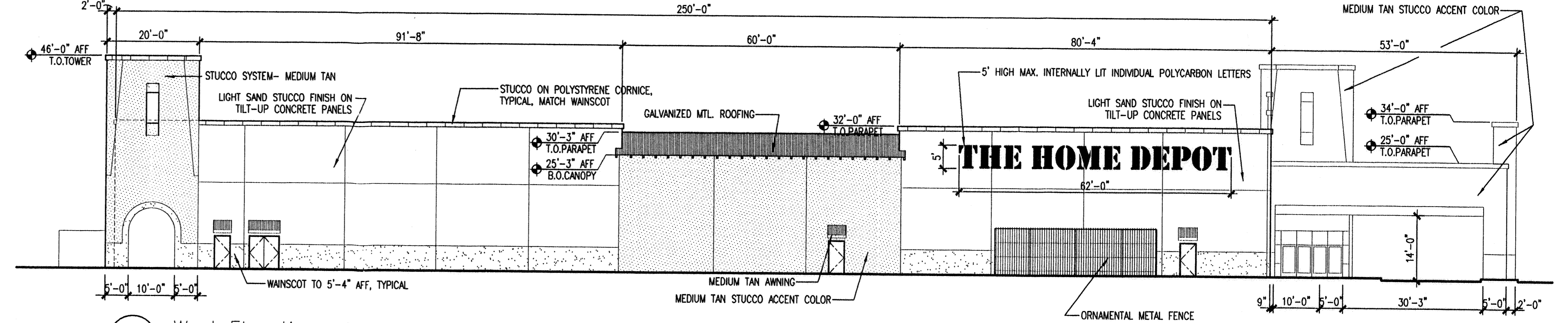


1 South Elevation
1/16"=1'-0"

7 Reference Plan
N.T.S.



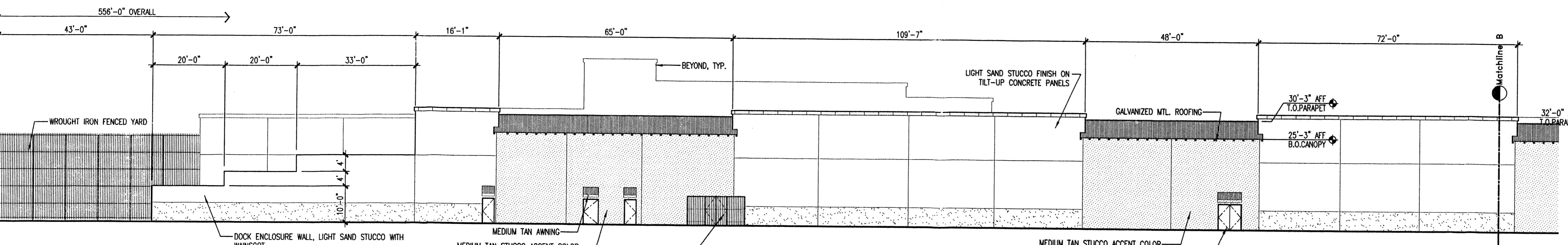
2 South Elevation
1/16"=1'-0"



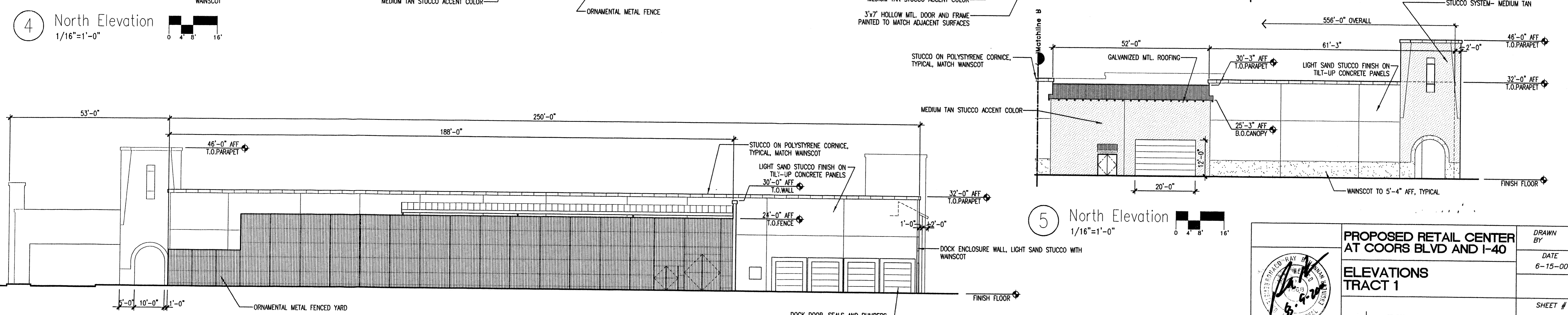
3 West Elevation
1/16"=1'-0"

- General Notes**
- ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX.
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING CORONA
 - 15% OF WALL AREA ON SIDES FACING OURAY
 - 10% OF WALL AREA ON SIDES FACING QUAIL
 - THE TERM "STUCCO" MEANS THE SURFACE TEXTURE SHALL BE SIMILAR TO A TYPICAL SAND FINISH STUCCO OVER THE BASE MATERIAL, BE IT STUDS AND SHEATHING OR TILT-UP CONCRETE PANELS.

- Exterior Finishes**
- Stucco Field Color (Light Sand): STO "Pueblo"
 - Stucco Accent Color (Medium Tan): STO "Adobe"
 - Parapets and Lintels: STO color to match Adoquin "Cafe 2" with textured finish
 - Columns and Wainscot: Match Adoquin "Cafe 2" with textured finish
 - Painted Trim (rotter tails, etc): Benjamin Moore "White"
 - Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
 - Metal Roofing: Berridge "R" Panel, "Galvalum" finish
 - Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red



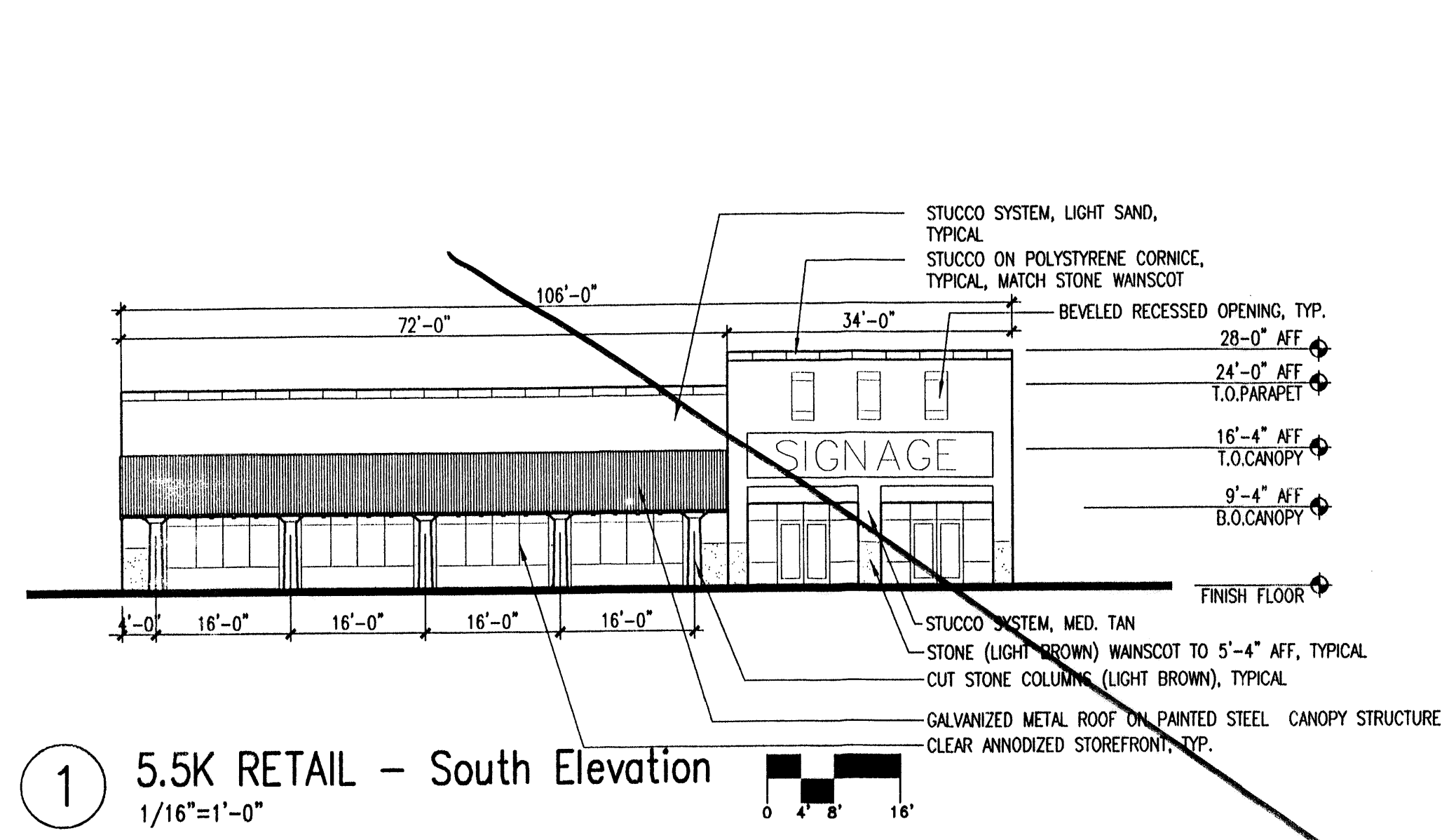
4 North Elevation
1/16"=1'-0"



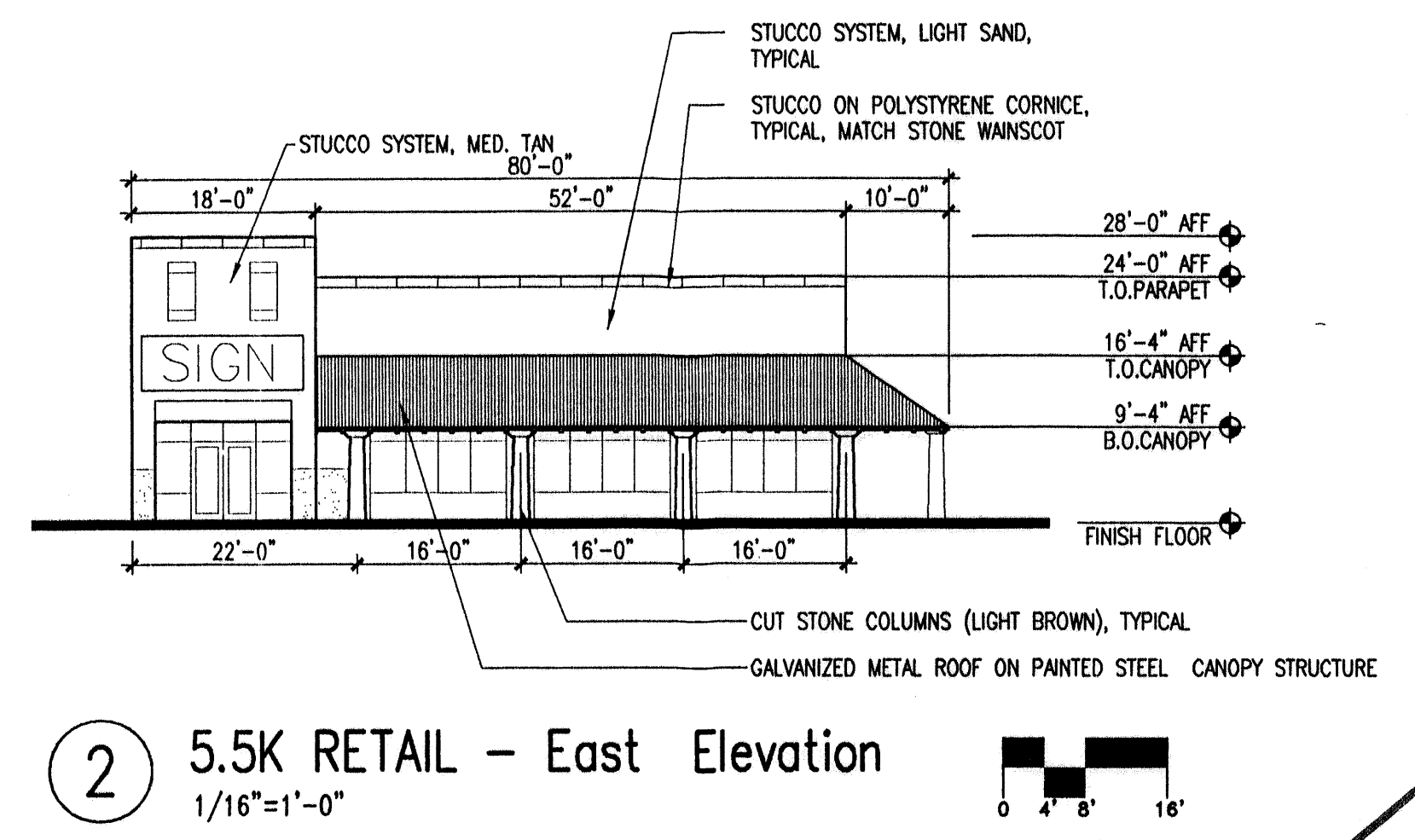
5 North Elevation
1/16"=1'-0"

6 East Elevation
1/16"=1'-0"

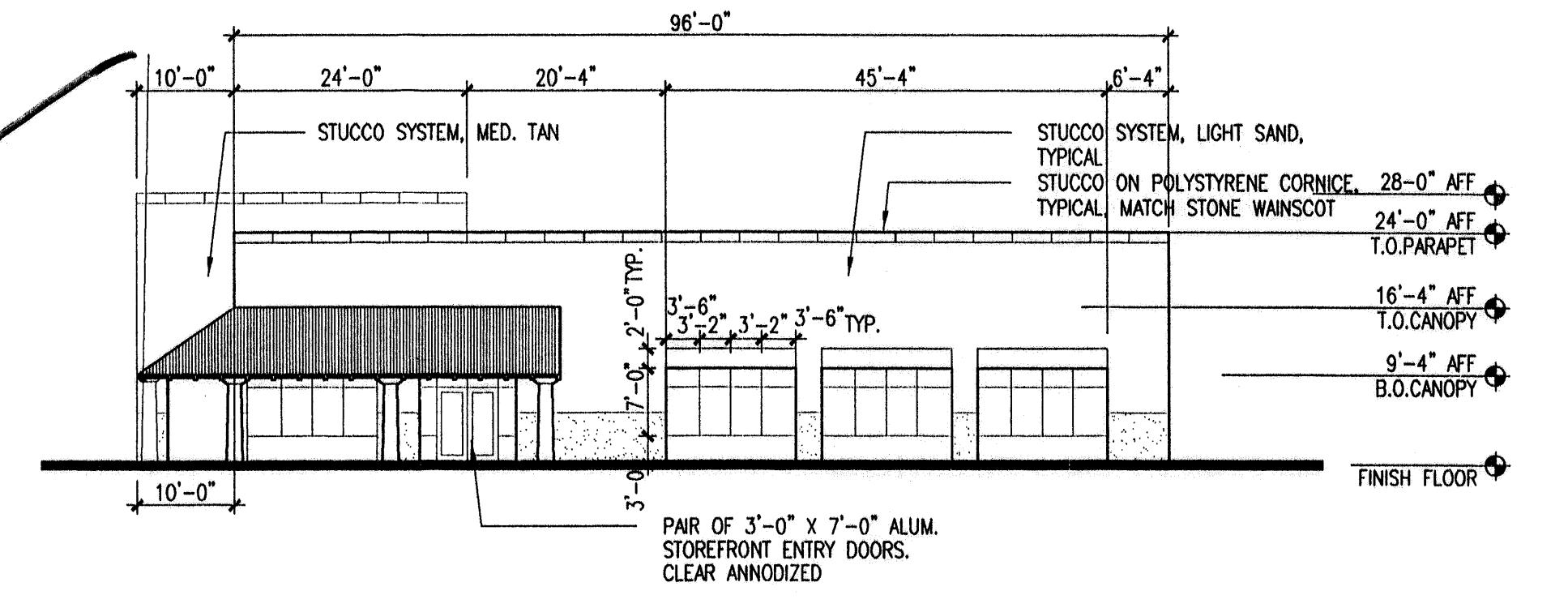
	PROPOSED RETAIL CENTER AT COORS BLVD AND I-40	DRAWN BY DATE 6-15-00
	ELEVATIONS TRACT 1	SHEET # 9
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB #



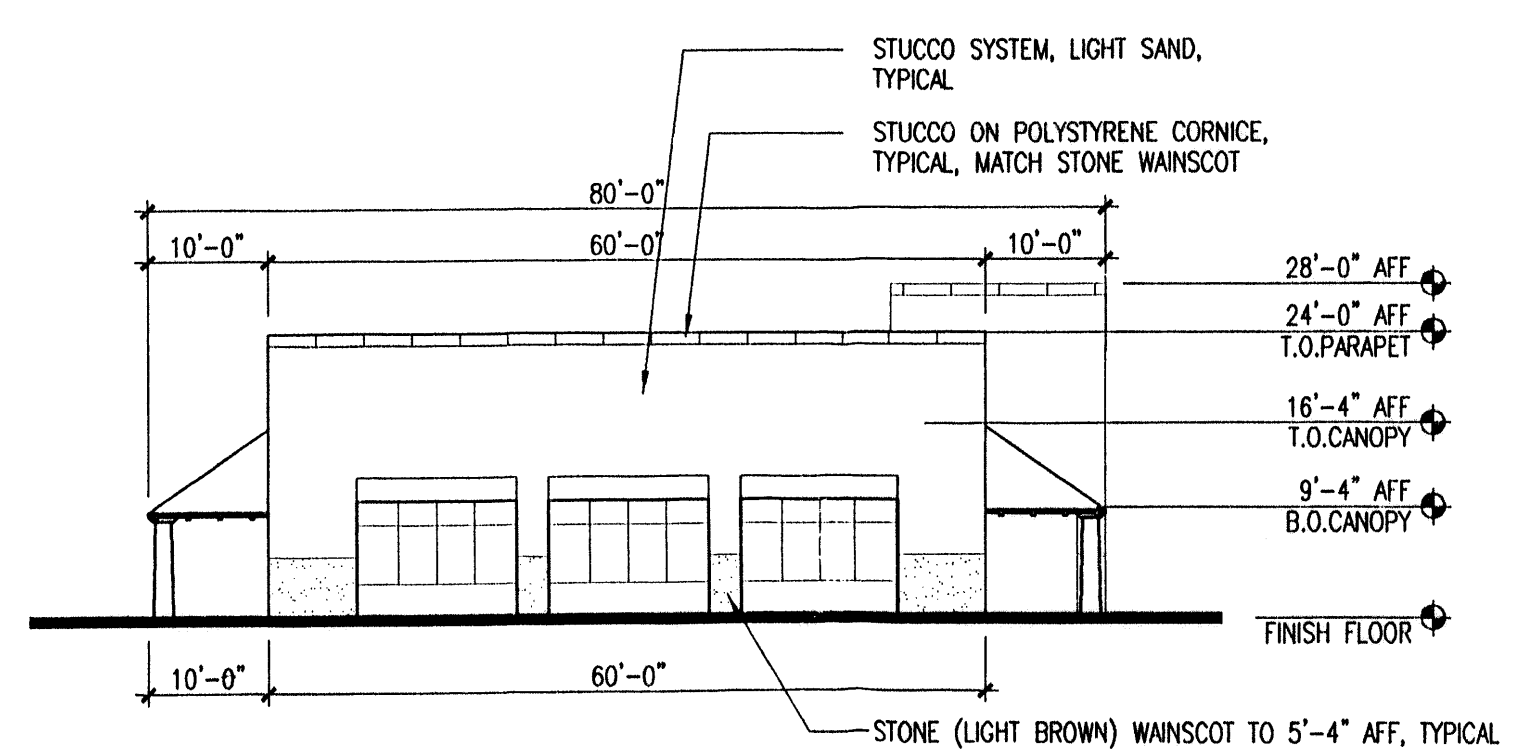
1 5.5K RETAIL - South Elevation
1/16"=1'-0"



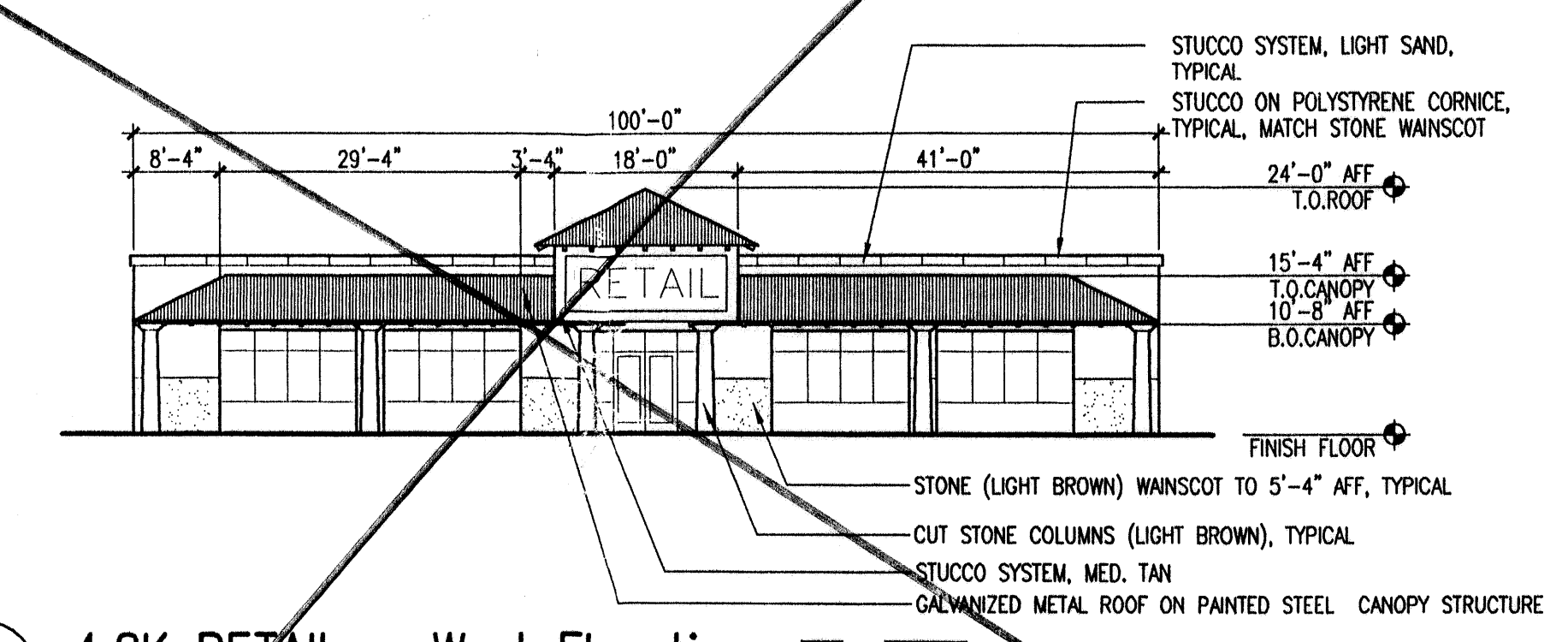
2 5.5K RETAIL - East Elevation
1/16"=1'-0"



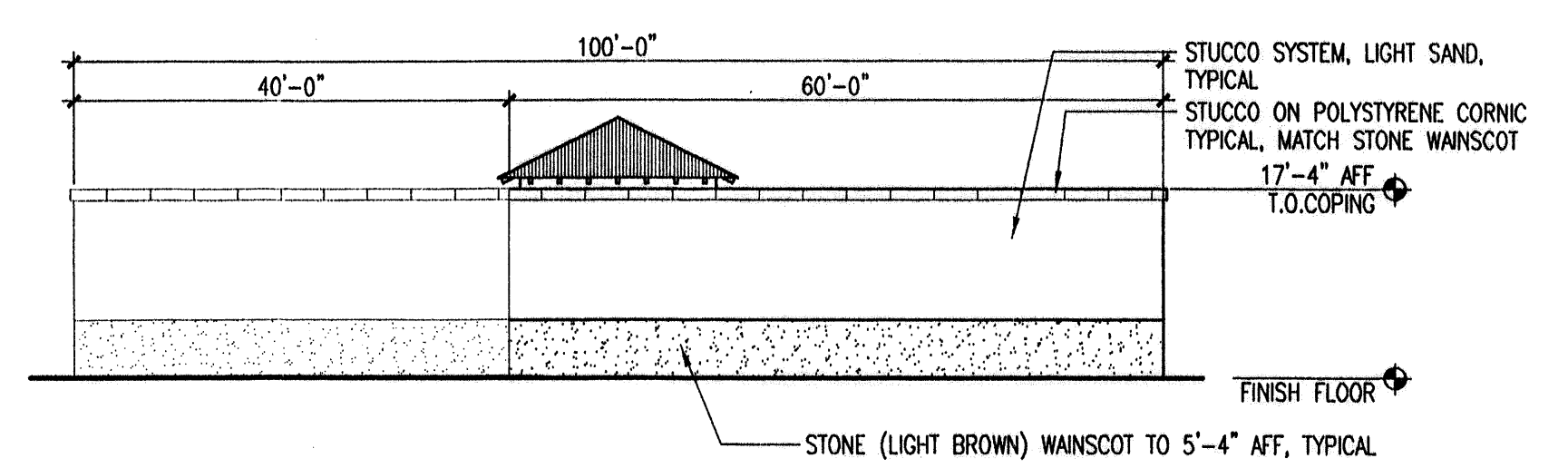
3 5.5K RETAIL - North Elevation
1/16"=1'-0"



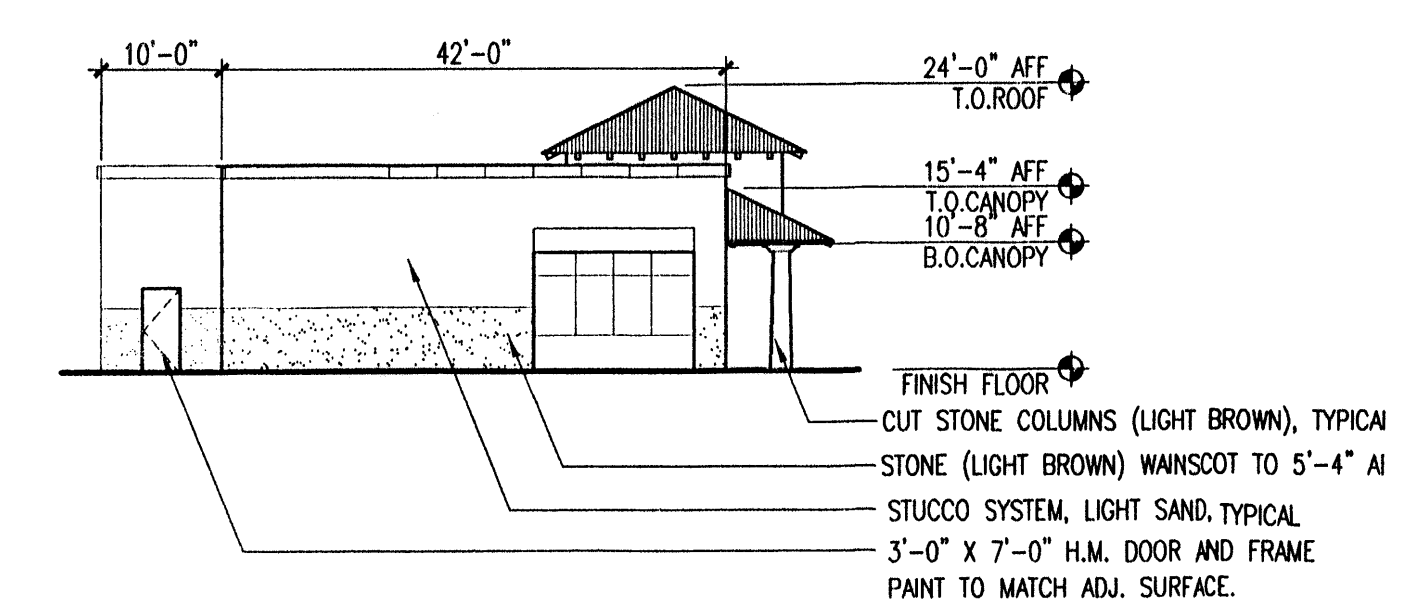
4 5.5K RETAIL - West Elevation
1/16"=1'-0"



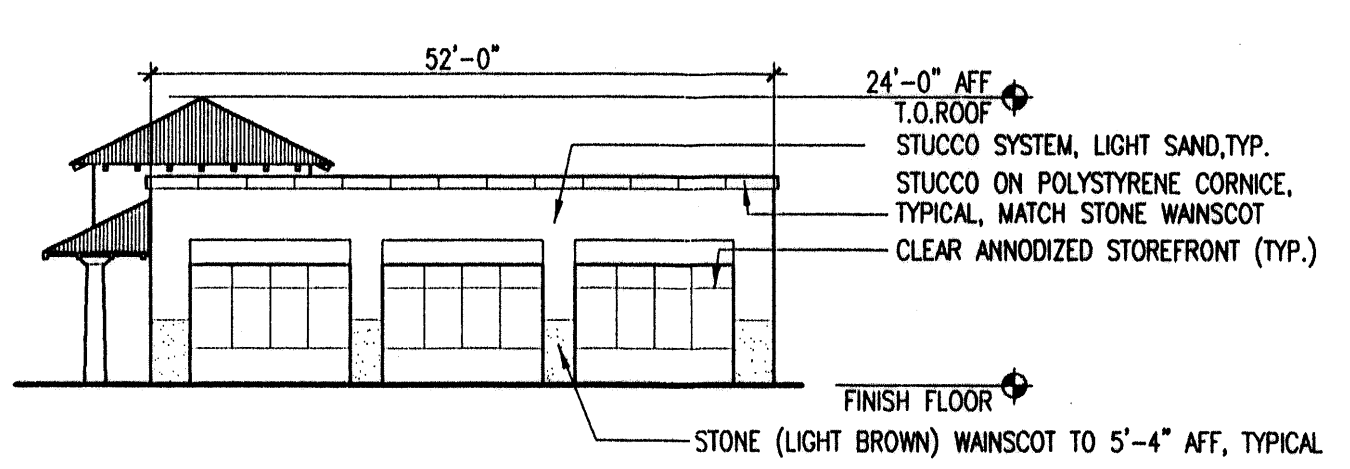
5 4.8K RETAIL - West Elevation
1/16"=1'-0"



6 4.8K RETAIL - South Elevation
1/16"=1'-0"



7 4.8 K RETAIL - North Elevation
1/16"=1'-0"



8 4.8K RETAIL - South Elevation
1/16"=1'-0"

General Notes

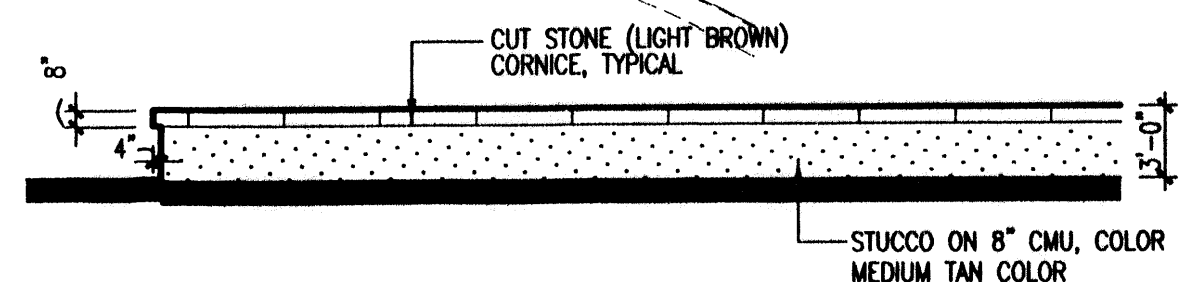
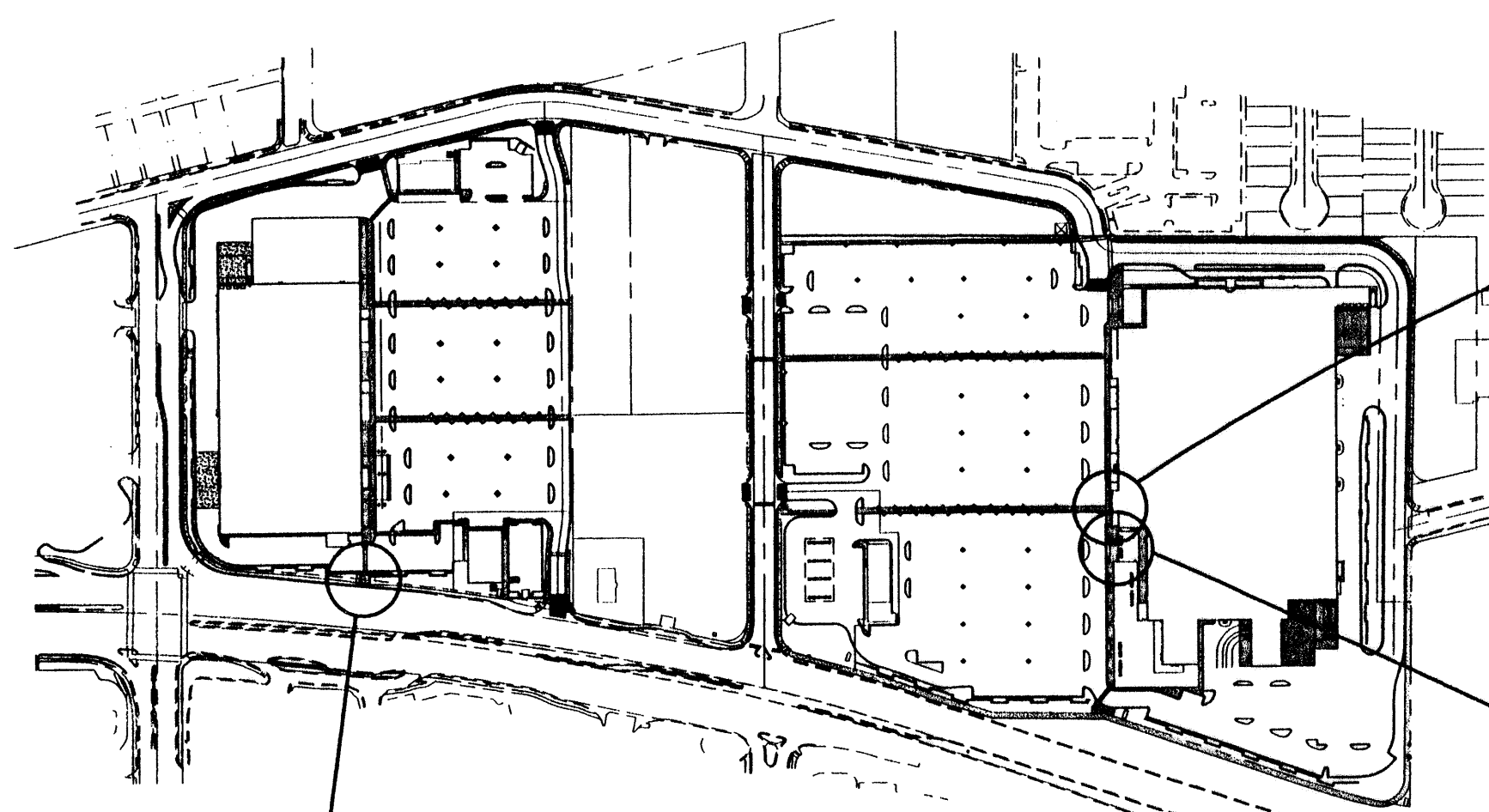
- ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX.
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING ALAMAGORDO
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 15% OF WALL AREA ON SIDES FACING FREEWAY

Exterior Finishes

- Stucco Field Color (Light Sand): STO "Pueblo"
- Stucco Accent Color (Medium Tan): STO "Adobe"
- Parapets and Lintels: STO color to match Adoquin "Cafe 2" with textured finish
- Columns and Wainscot: Match Adoquin "Cafe 2" with textured finish
- Painted Trim (rafter tails, etc): Benjamin Moore "White"
- Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
- Metal Roofing: Berridge "R" Panel, "Galvalum" finish
- Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

See Revised Sheet 10A and 10B

	PROPOSED RETAIL CENTER AT COORS BLVD AND I-40	DRAWN BY
	ELEVATIONS TRACT 2 AND 3	DATE 6-13-00
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	TR23-ELEV.DWG
		SHEET # 10 JOB #



ELEVATION

○ Low Site Screen Walls
1/8"=1'-0" << XWALL.DWG >>

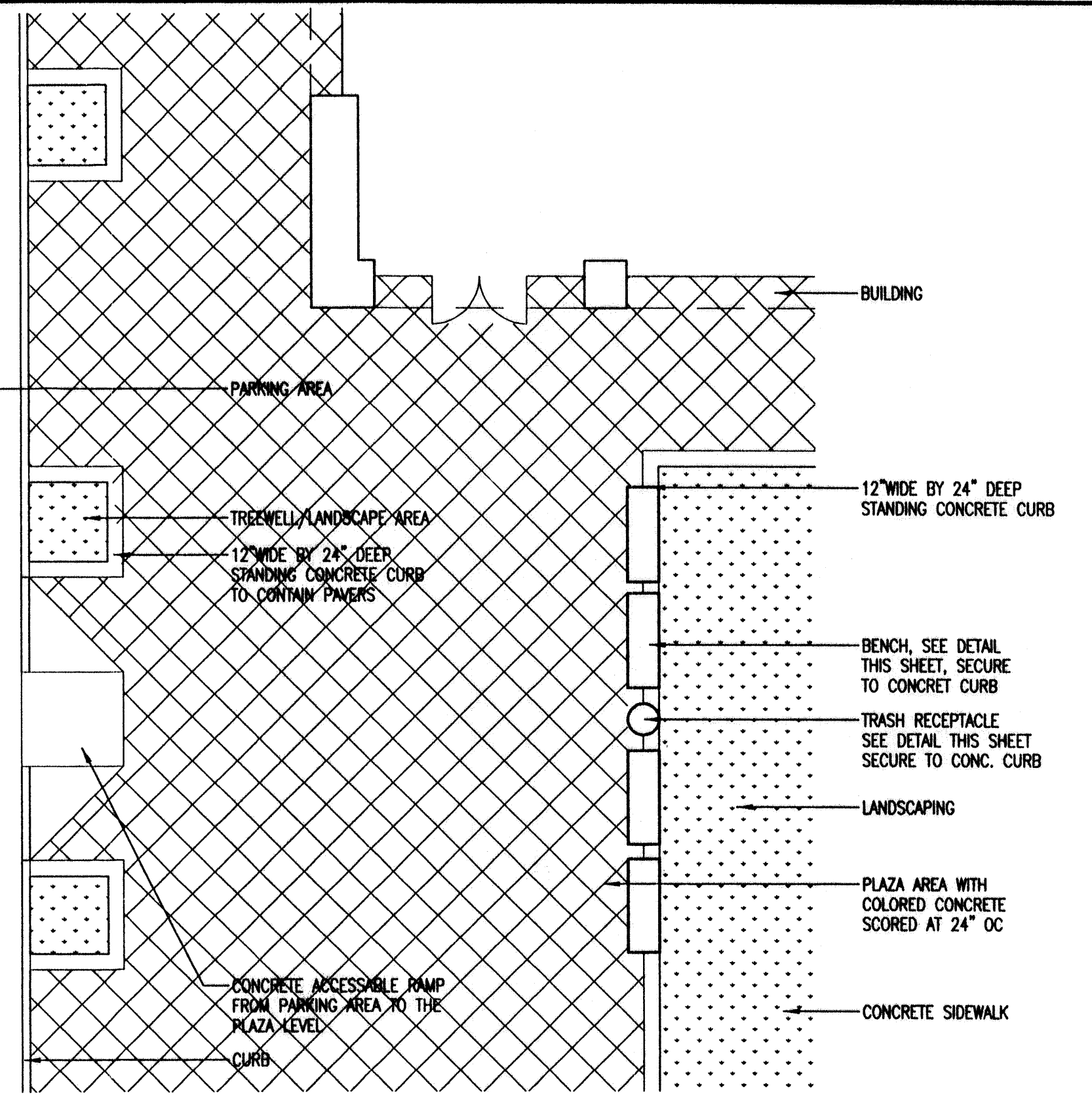
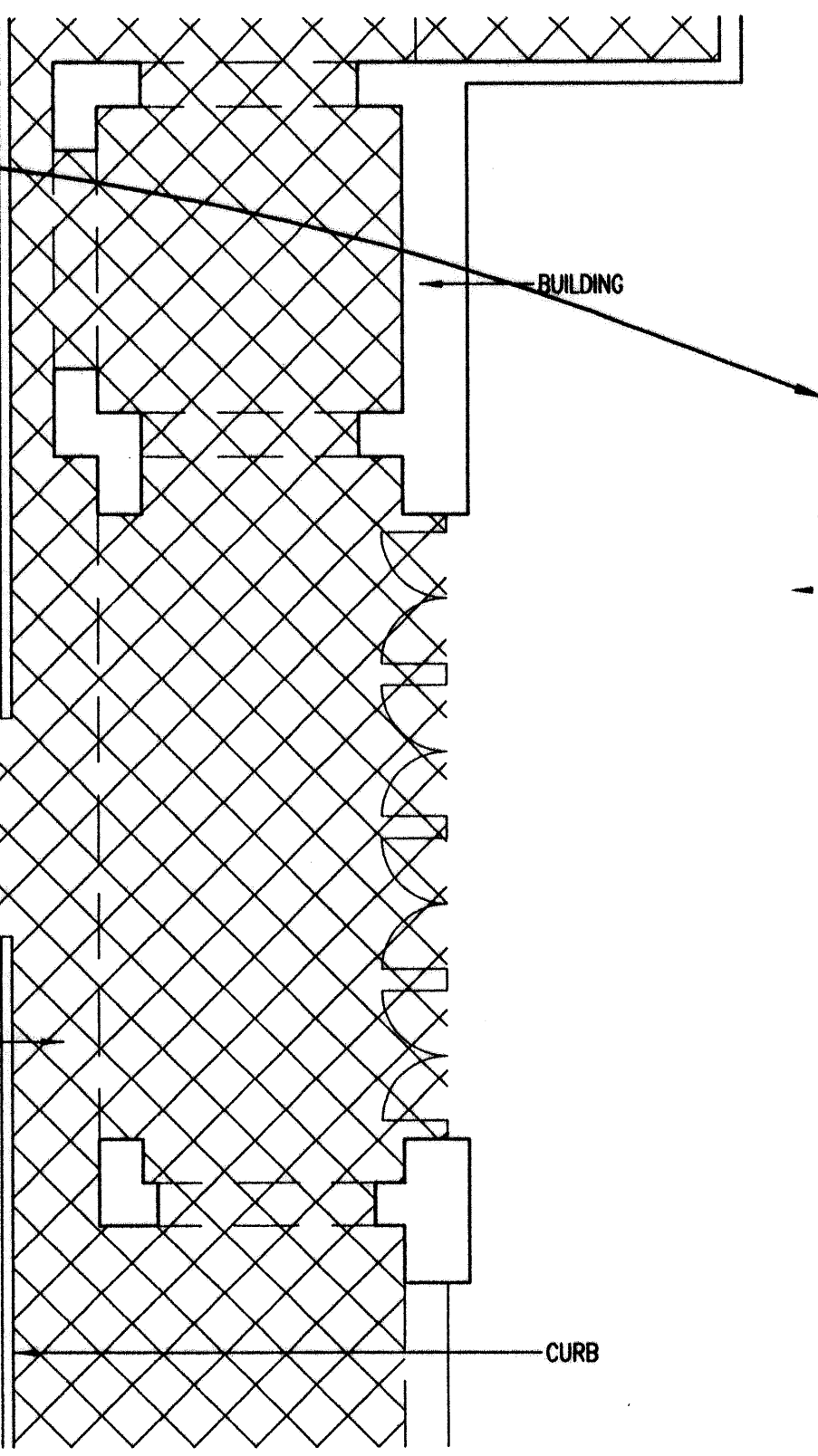
24" WIDE CURB AT LANDSCAPE ISLANDS ADJACENT TO PARKING SPACES

TREEWELL/LANDSCAPE AREA

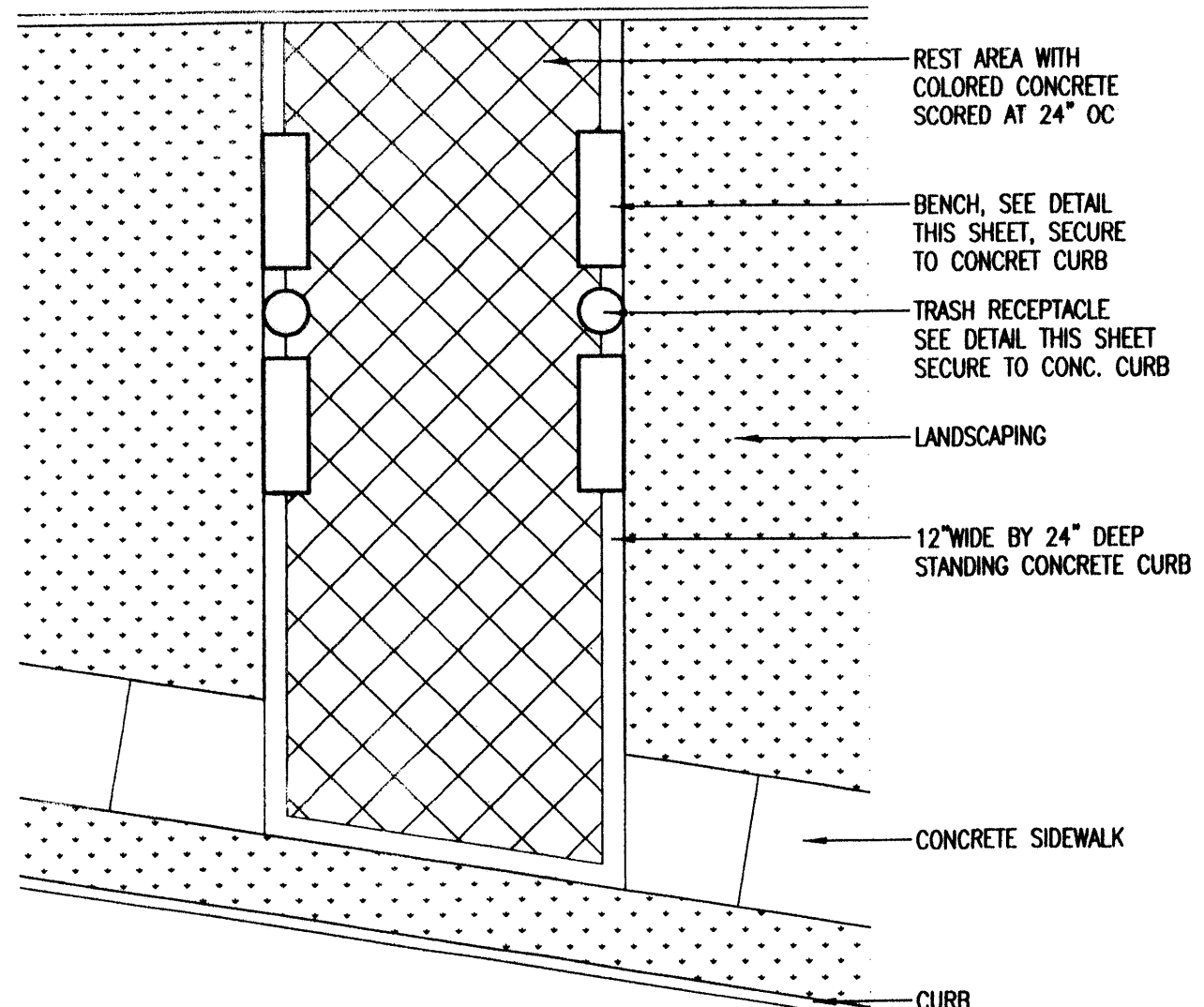
24" WIDE CONCRETE SLAB TO TRANSITION FROM DRIVING SURFACE UP TO RAISED CROSSWALK, TYPICAL AT ALL PEDESTRIAN CROSSINGS PAINT SAFETY YELLOW

10" WIDE PEDESTRIAN PATH WITH COLORED CONCRETE SCORED AT 24" OC WITH TURNED DOWN CURB EDGE AT PARKING SPACES

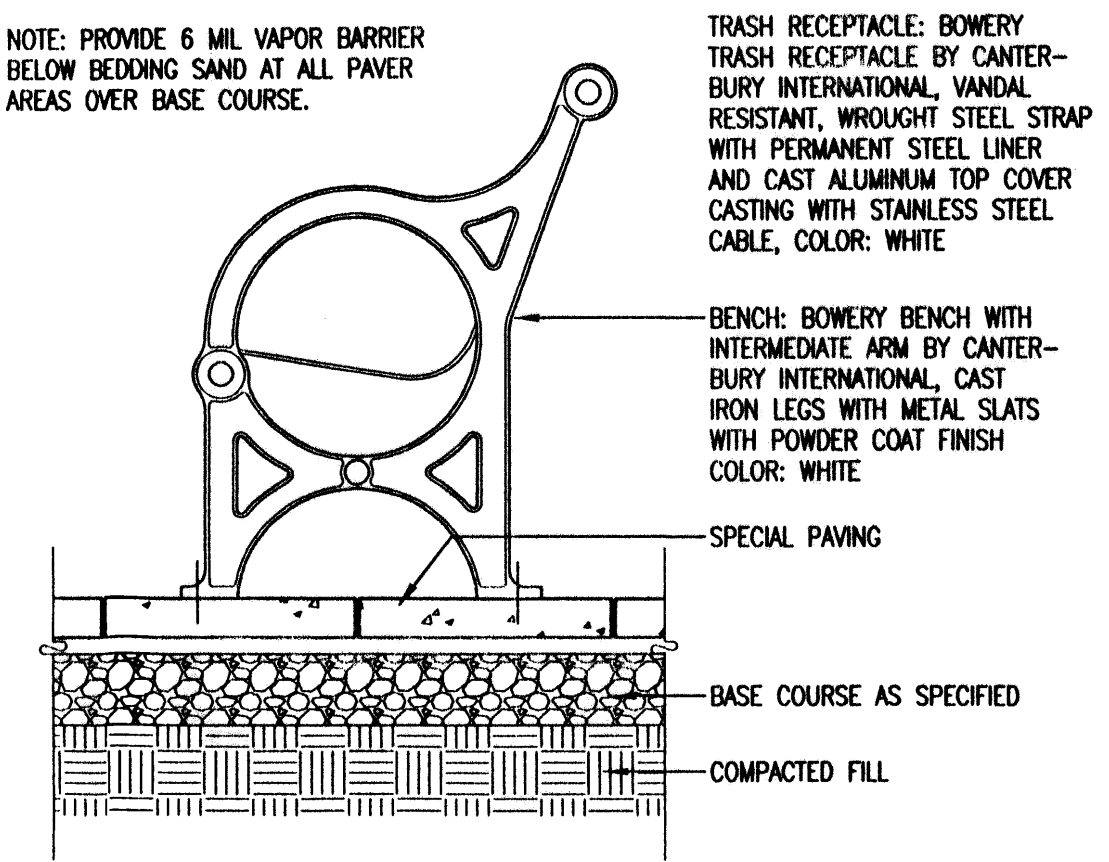
CONTINUATION OF PLAZA AREA WITH COLORED CONCRETE SCORED AT 24" OC



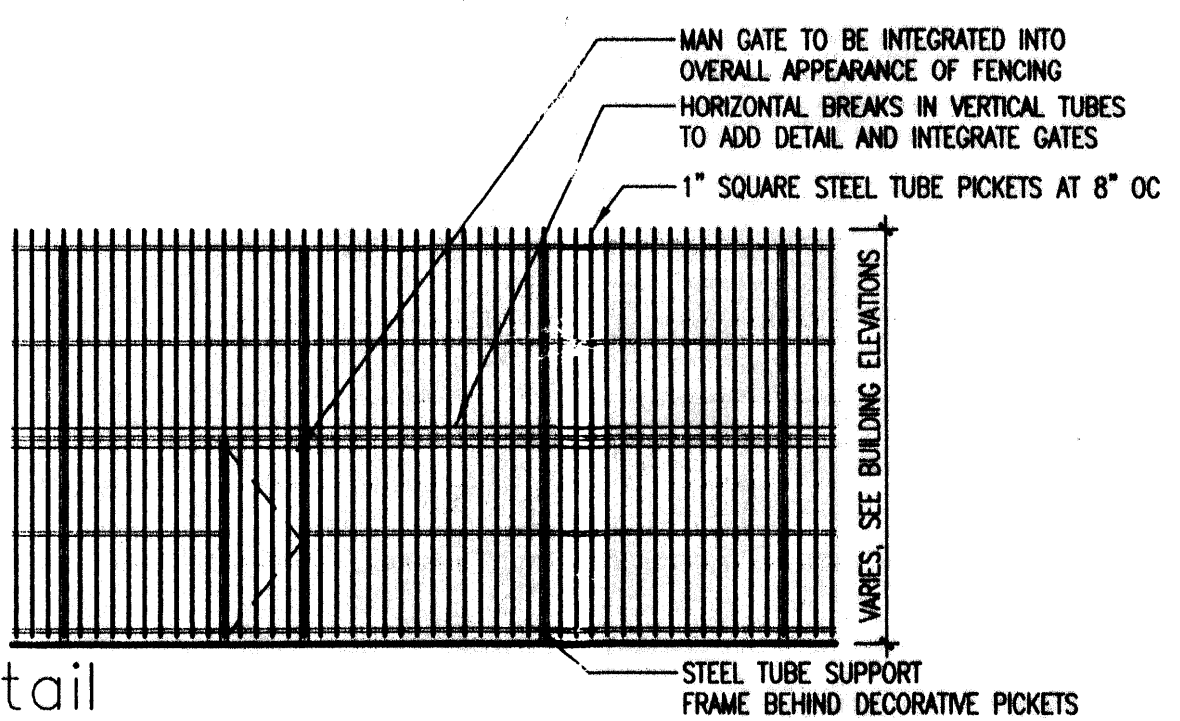
10 Plaza Area Site Detail
1/8"=1'-0"



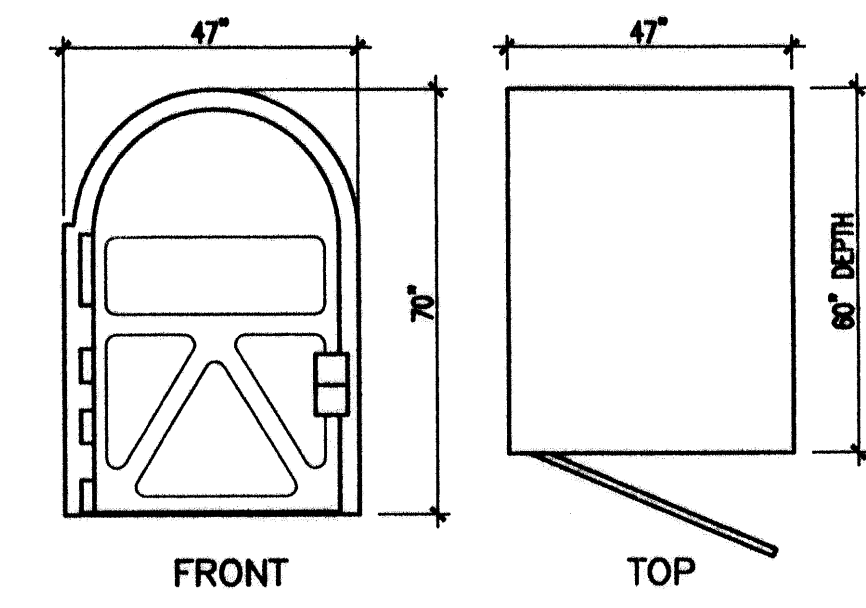
9 Rest Area Site Detail
1/8"=1'-0"



8 Bench & Trash Receptacle Detail
1"=1'-0" << 02BENCH1.DWG >>



7 Ornamental Metal Fencing Detail
1/8"=1'-0"

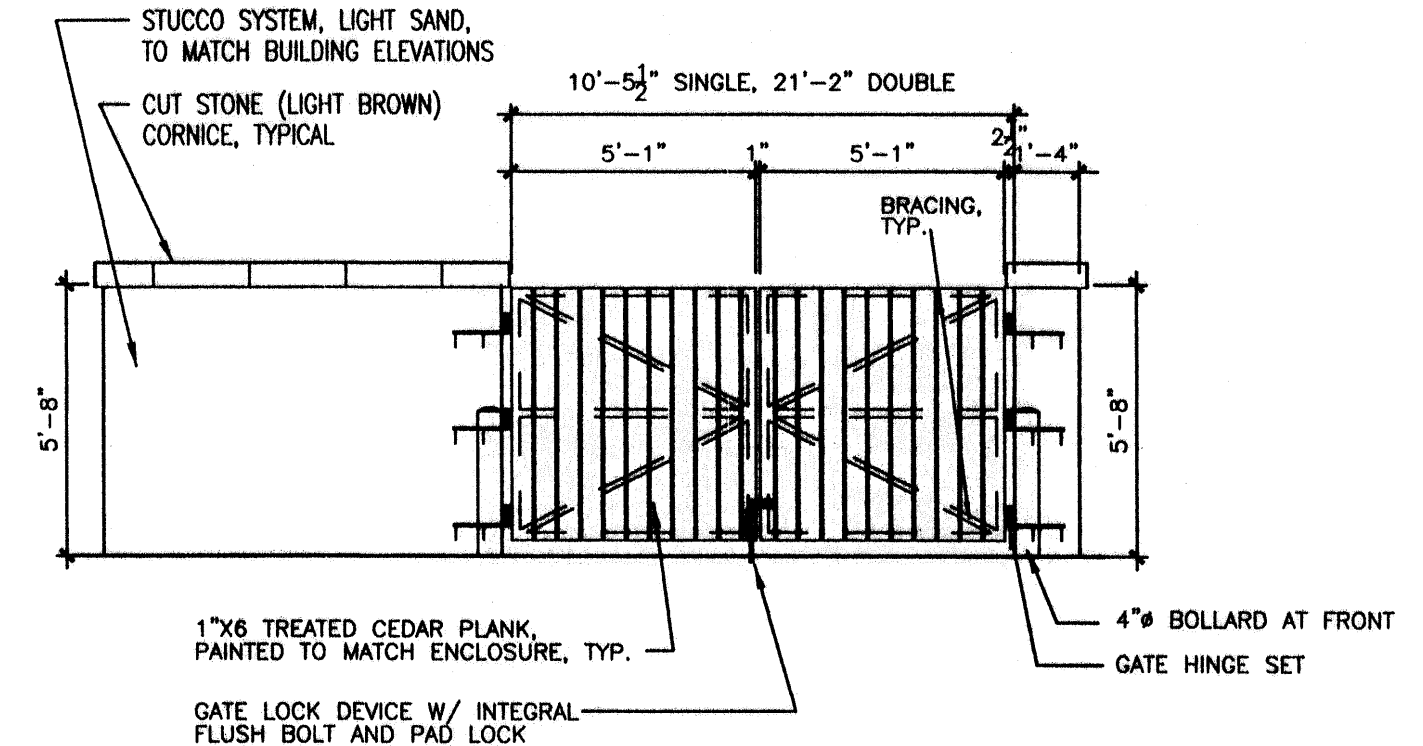


NOTE: 1 BICYCLE PER UNIT. UNITS CAN BE USED INDIVIDUALLY OR IN NUMEROUS LINEAR, CIRCULAR OR S-SHAPED CONFIGURATIONS

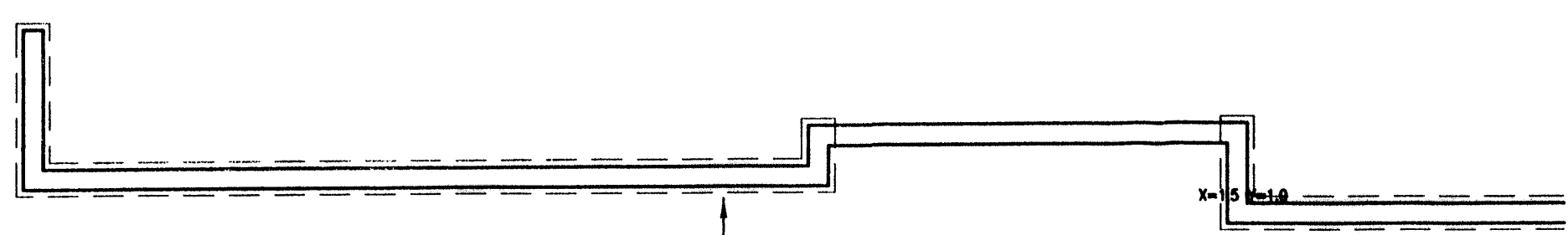
CREATIVE PIPE, INC. GUARDIAN MODEL

BIKE LOCKER DETAIL

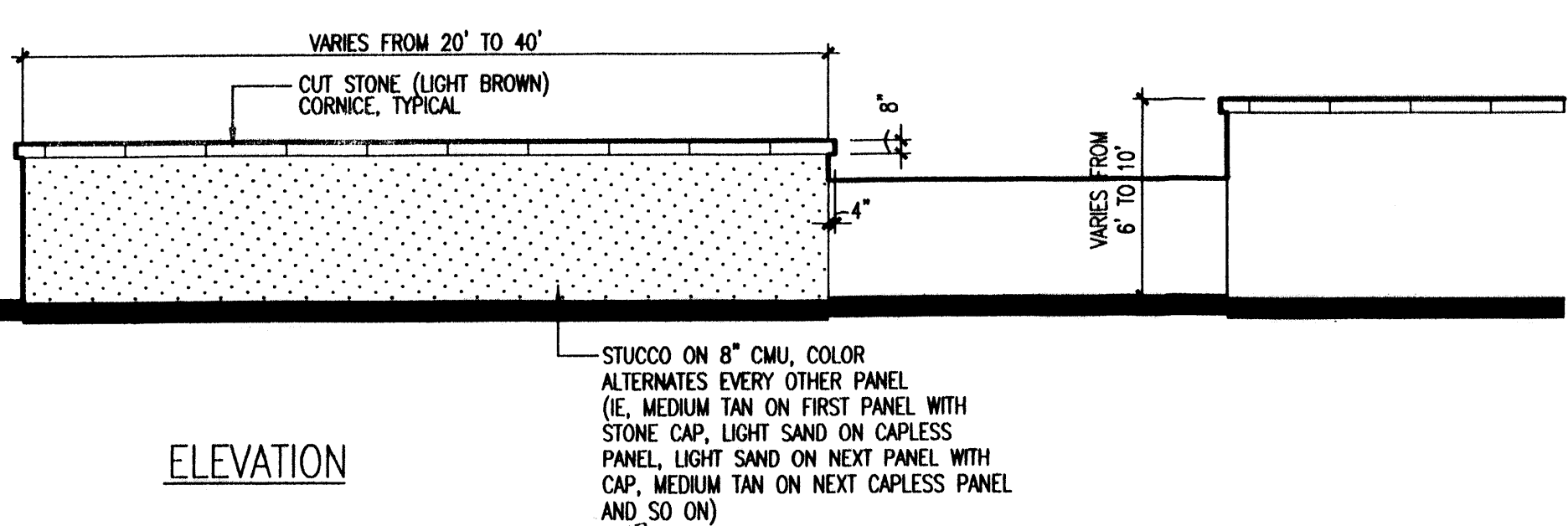
NTS



5 Refuse Enclosure Elevation
1/4"=1'-0" << X-DUMPEL.DWG >>

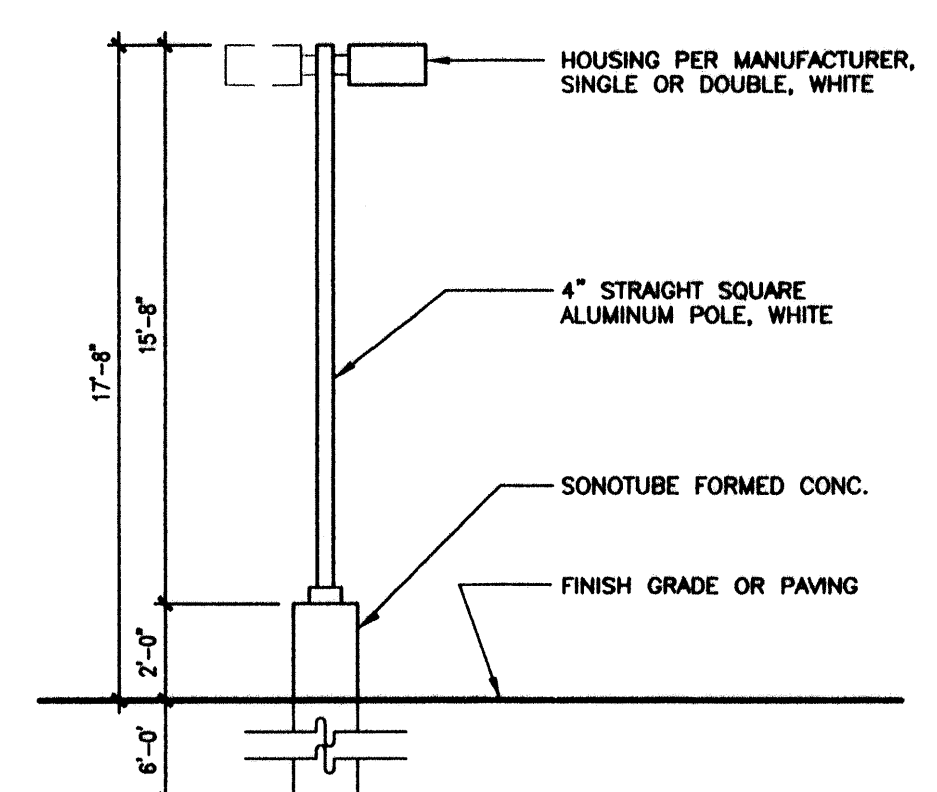


PLAN

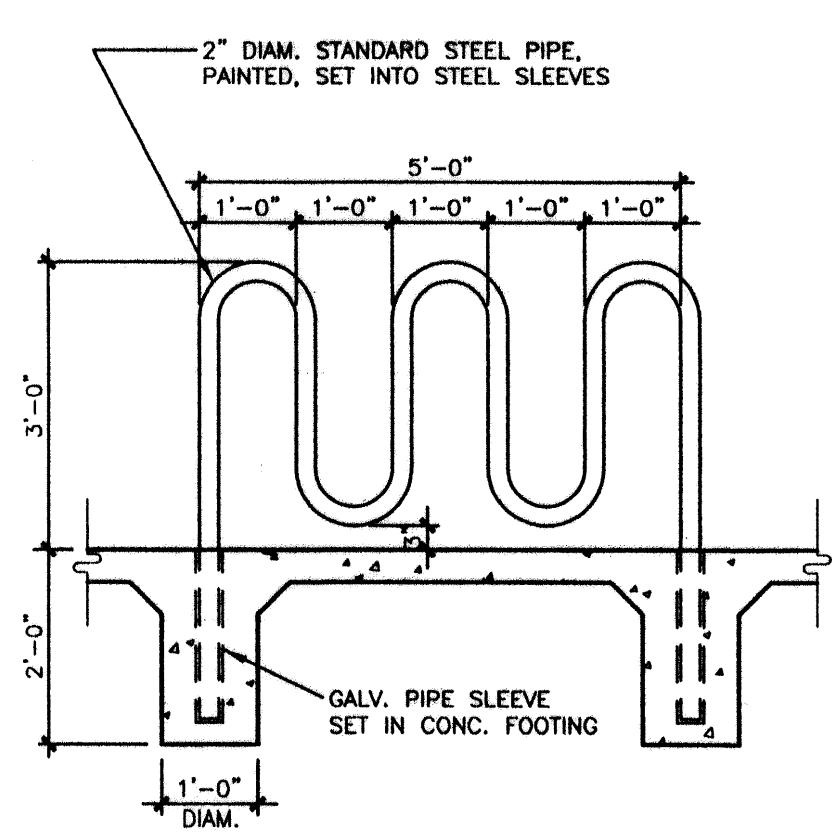


ELEVATION

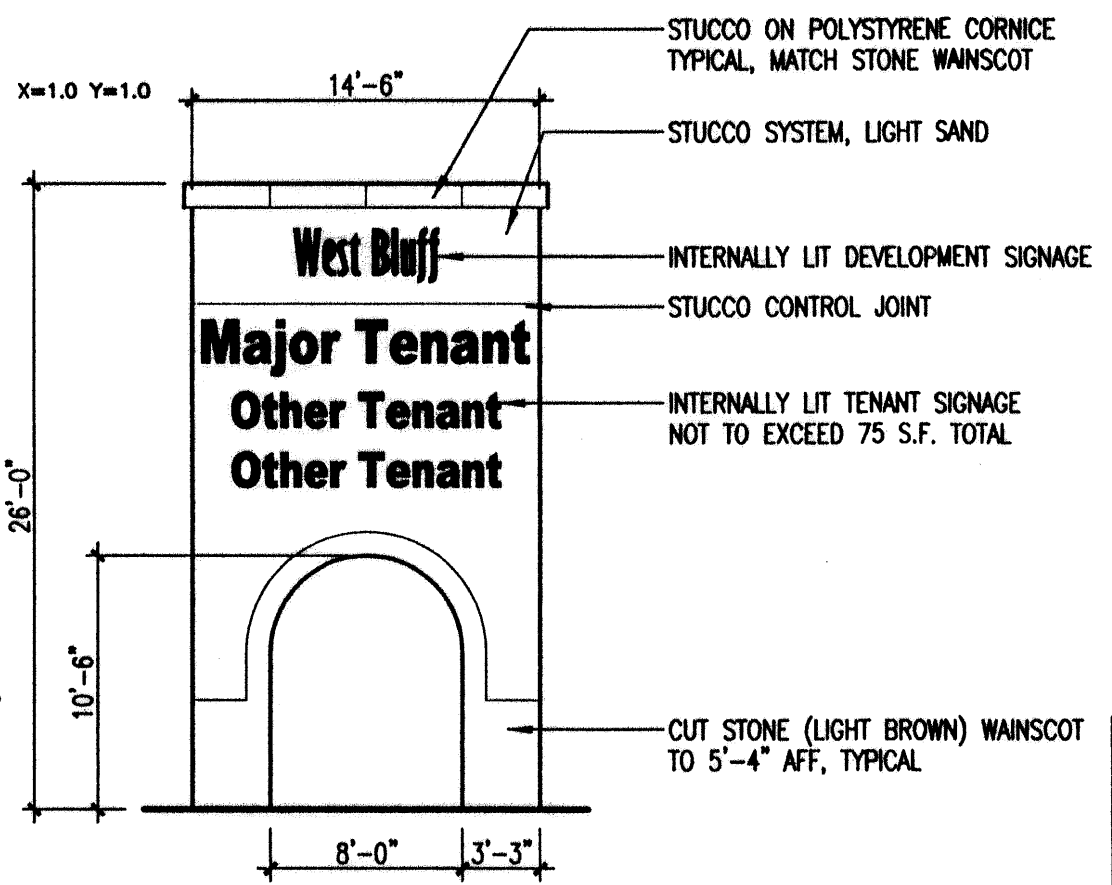
4 High Site Screen Walls
1/8"=1'-0" << XWALL.DWG >>



3 Parking Light Elevation
1/4"=1'-0" < X-LIGHT.DWG >



2 Bike Rack Detail
1/2"=1'-0" < 02BIKE1.DWG >



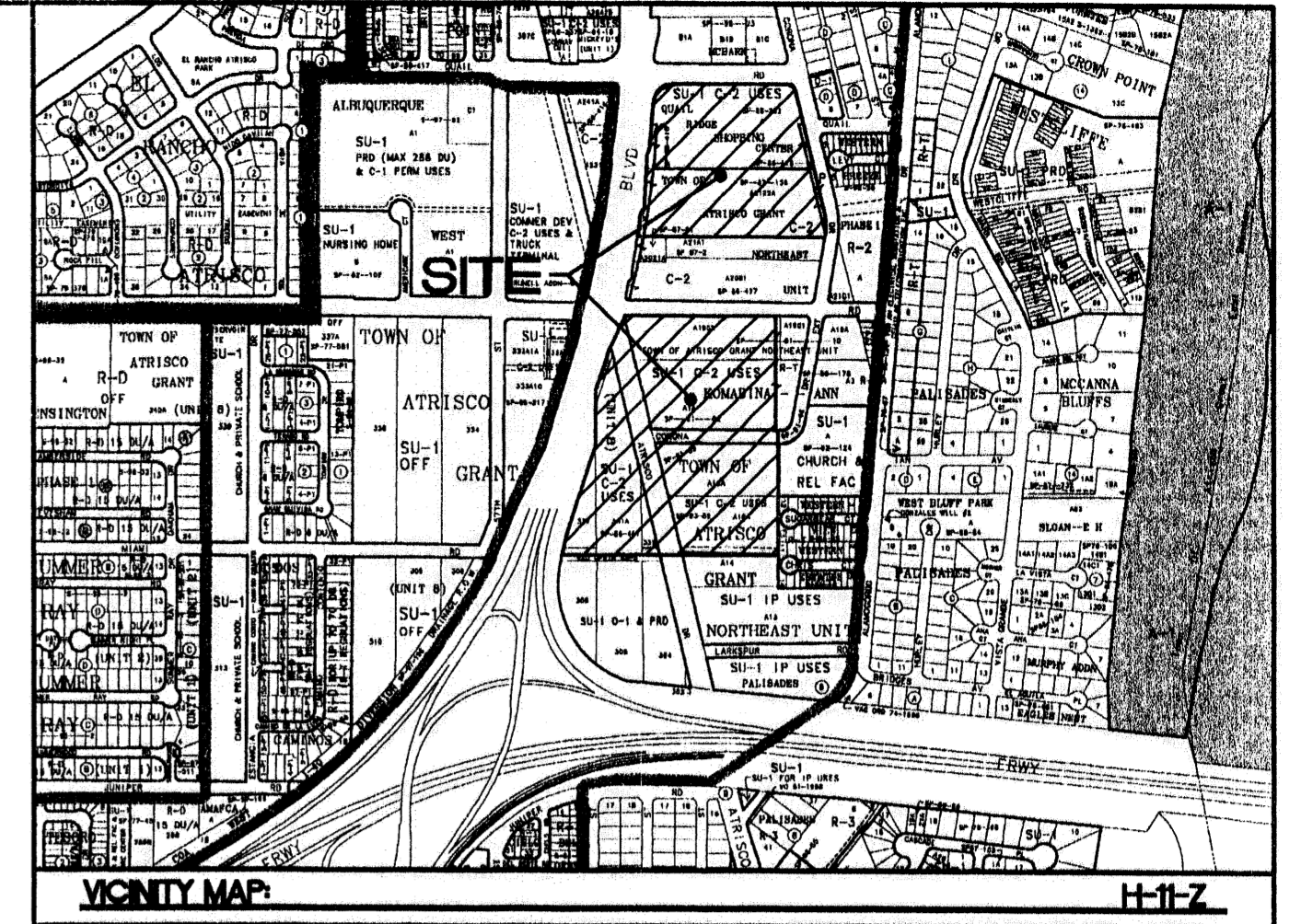
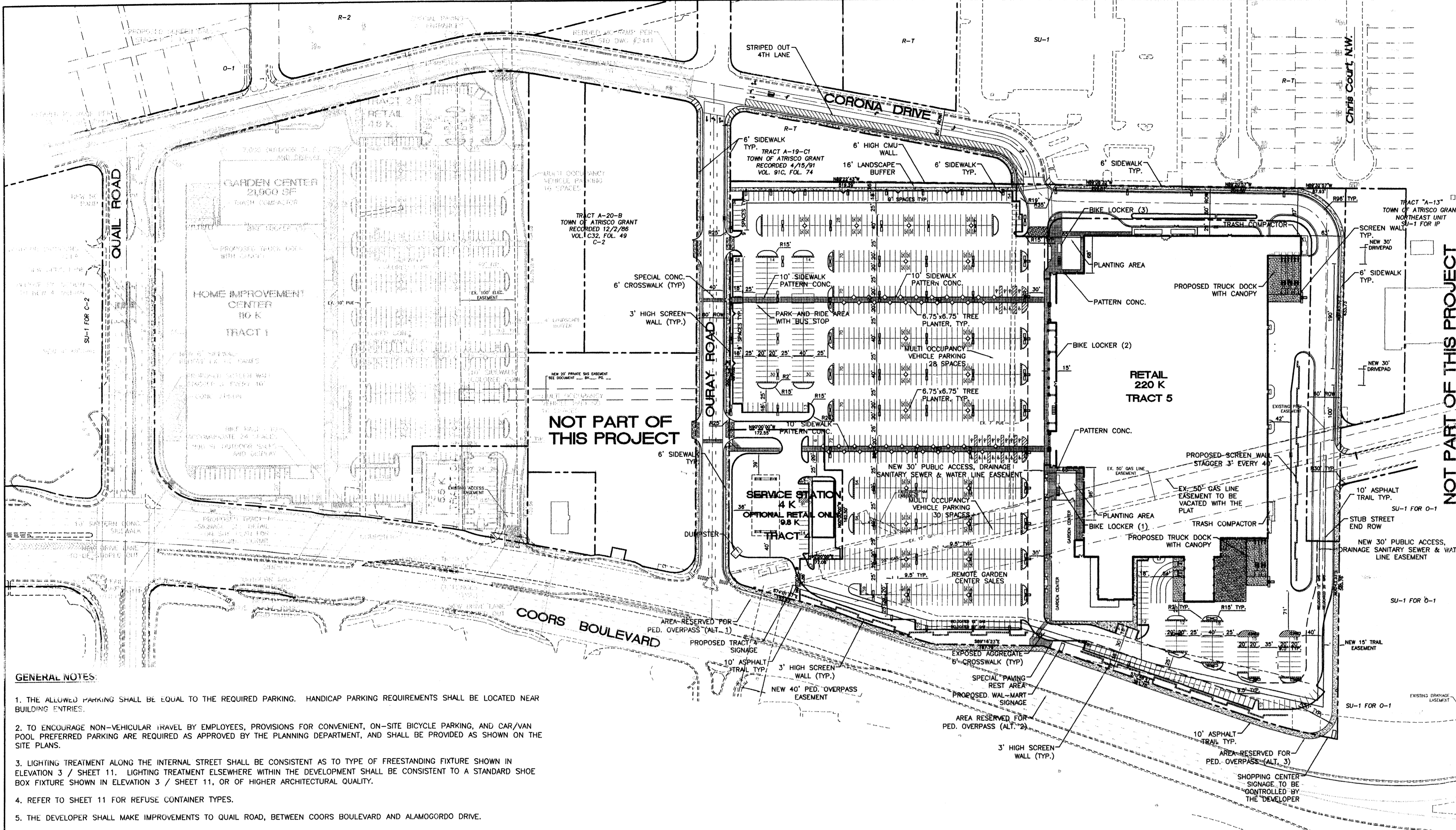
NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.

1 Sign Elevation
1/8"=1'-0"

Exterior Finishes

1. Stucco Field Color (Light Sand): STO "Pueblo"
2. Stucco Accent Color (Medium Tan): STO "Adobe"
3. Parapets and Lintels: STO color to match Adoquin "Cafe 2" with textured finish
4. Columns and Wainscot: Match Adoquin "Cafe 2" with textured finish
5. Painted Trim (rafter tails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Berridge "R" Panel, "Galvalum" finish
8. Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Beja Red

	PROPOSED RETAIL CENTER AT COORS BLVD AND I-40	DRAWN BY
	DETAILS	DATE 9-08-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DTL.DWG
		SHEET # 11
RONALD R. BOHANNAN P.E. #7868		JOB #



LEGAL DESCRIPTION:
 TRACT A QUAIL RIDGE SHOPPING CENTER, TRACT A-2122-A TOWN OF ATRISCO GRANT, TRACT A-19-C2 TOWN OF ATRISCO, NORTHEAST UNIT, TRACT A-1-A LANDS OF KOMADINA, TRACT A-15-A AND A-18-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT 8

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°36'56"	28.91
C2	33.69	306.62	06°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	136.00	14°27'18"	17.25
C5	33.18	25.00	76°02'51"	19.55
C6	47.37	250.00	10°51'24"	23.76
C7	36.31	150.00	13°52'08"	18.24
C8	34.73	136.00	14°38'00"	17.46

SITE DATA TABLE

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.2972	63,324	REAR	SU-1 FOR C-2	0.25	45' SOLAR SETBACK
3	0.8137	4,390	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7826	0,000	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
1	563	525	16	16	29
2	34	39	3	4	2
3	28	40	2	2	2
4	49	52	4	4	1
5	1100	1108	21	24	55

LANDSCAPE DATA
 TOTAL PARKING AREA FOR TRACTS 1, 2 & 3: 152,795 SF ±
 LANDSCAPE REQUIRED (20% OF PARKING AREA): 30,559 SF ±
 LANDSCAPE PROVIDED: 58,764 SF ±
 TOTAL PARKING AREA FOR TRACTS 4 & 5: 319,958 SF ±
 LANDSCAPE REQUIRED (20% OF PARKING AREA): 63,992 SF ±
 LANDSCAPE PROVIDED: 109,538 SF ±

- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED SIDEWALK (SPECIAL PAVING)
 - PROPOSED SIDEWALK (CONC.)
 - PROPOSED BIKE RACKS
 - PROPOSED BIKE LOCKERS
 - PROPOSED PARKING LOT LIGHT
 - ▨ DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
 - ▨ COLORED CONC. CROSSWALK

- GENERAL NOTES:**
- THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
 - TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
 - LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
 - REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
 - THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAIL ROAD, BETWEEN COORS BOULEVARD AND ALAMOGORDO DRIVE.
 - INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
 - CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
 - SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
 - CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
 - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
 - PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 - ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
 - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
 - UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
 - ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
 - BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQIA MAY REQUIRE A TIS AMENDMENT.
 - ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
 - EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
 - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
 - OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
 - SEE DETAILS SHEET EXTERIOR FINISH NOTE #B FOR ALL SPECIAL CONCRETE AREAS
 - CHAIN LINK FENCING SHALL NOT BE USED.
 - LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

CASE NUMBER: Z - 99 - 38

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

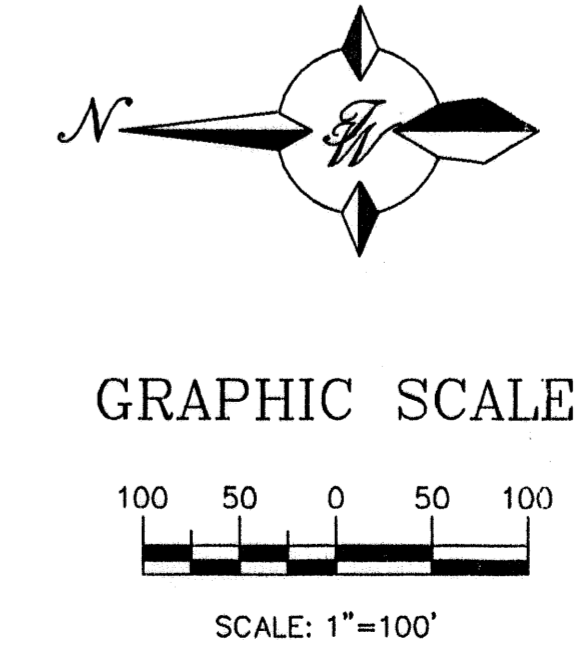
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

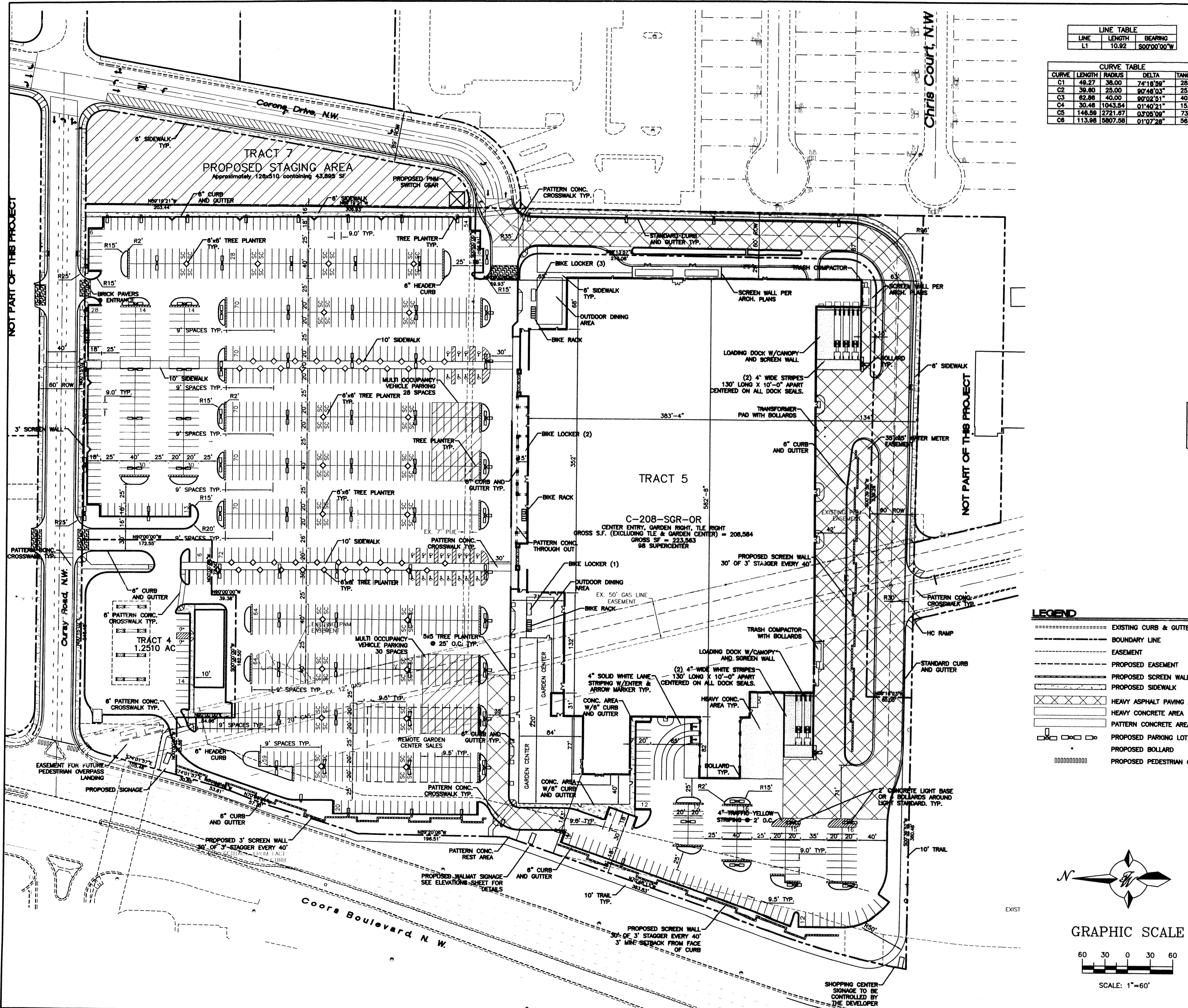
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
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Solid Waste
 PLNZ (10706) 4/96

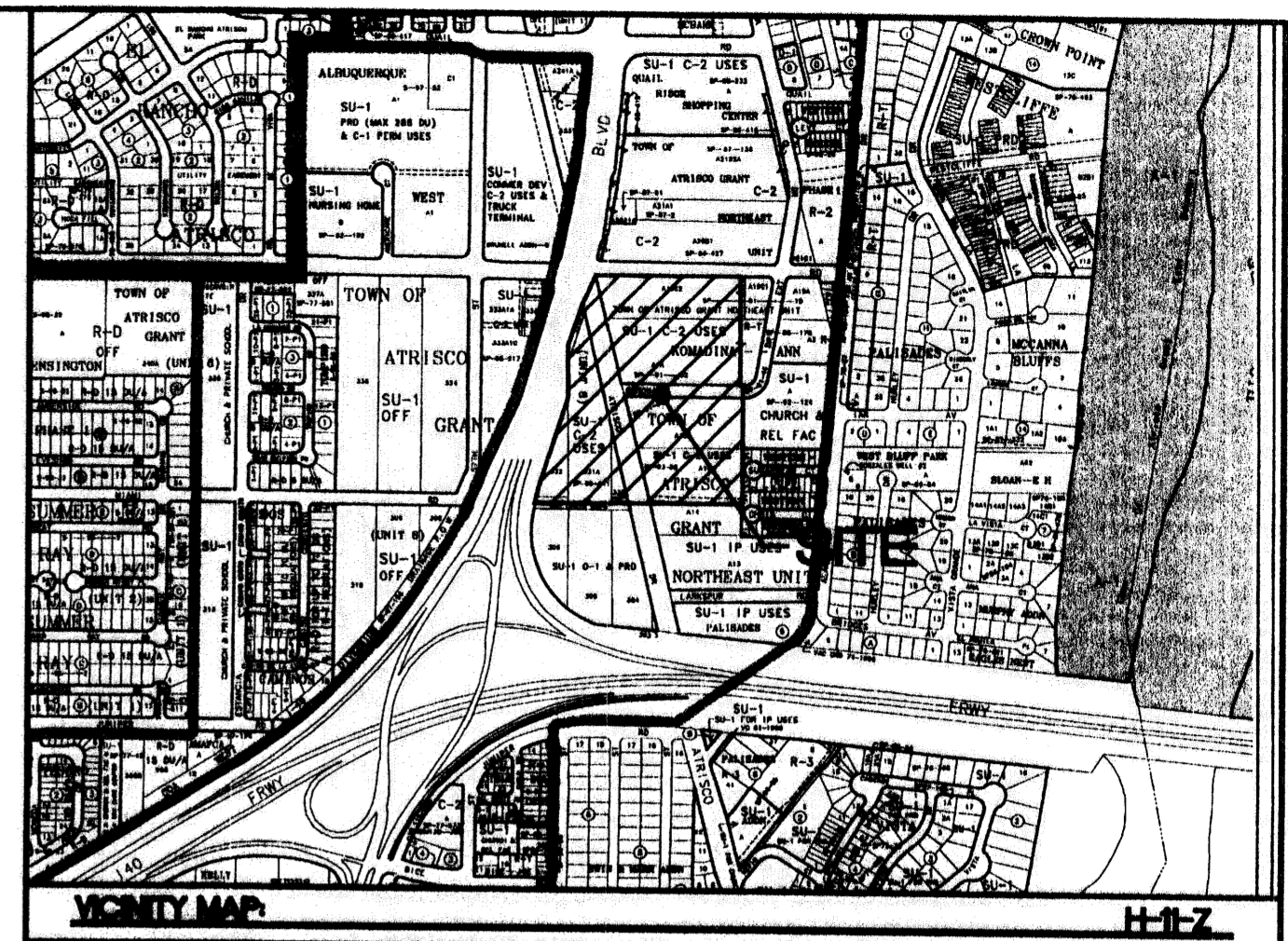


	WEST BLUFF RETAIL CENTER SITE PLAN FOR SUBDIVISION TRACTS 4 AND 5	DRAWN BY: BDG DATE: 6-15-00 T45.SP.DWG
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100



LINE	LENGTH	BEARING
L1	10.92	S00°00'00"W

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	49.27	38.00	74°18'39"	28.78
C2	39.80	25.00	90°48'03"	25.34
C3	62.88	40.00	90°02'31"	40.03
C4	30.46	1043.54	01°40'21"	15.23
C5	146.99	2721.67	03°08'09"	73.31
C6	113.96	5807.56	01°07'28"	56.99



LEGAL DESCRIPTION
 TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT B

NOTES

1. ALL PRIVATE CONSTRUCTION SHALL BE AS PER WAL-MART SPECIFICATIONS UNLESS OTHERWISE NOTED.
2. CART CORRALS WILL BE PROVIDED BY WAL-MART, TO BE ASSEMBLED AND INSTALLED BY THE CONTRACTOR.
3. REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
4. LIGHT STANDARDS MAY NOT MEET WAL-MART SPECIFICATIONS DUE TO CITY OF ALBUQUERQUE APPROVAL.
5. SEE SITE PLAN FOR SUBDIVISION FOR SITE CRITERIA NOTES.

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG.	HC PRKG. PROV.	BIKE RACKS REQ.
4	49	52	4	4	1
5	1100	1108	21	24	55

MULTI-VEHICLE PARKING 56 SPACES (5% TOTAL PARKING AREA)

00450-00000-00235
 # 00450-00000-00124 PROJECT # 1000188

CASE NUMBER Z-99-38 DRB91-030

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [date] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

[Signature] Traffic Engineer, Transportation Division 8-09-00 Date
[Signature] 8/9/00 Date
[Signature] Design and Development, City Parks & Rec. 8/9/00 Date
[Signature] Public Works, Water Utilities Division 9-27-00 Date
[Signature] City Engineer, Engineering Division / AMAFCA 9/27/00 Date

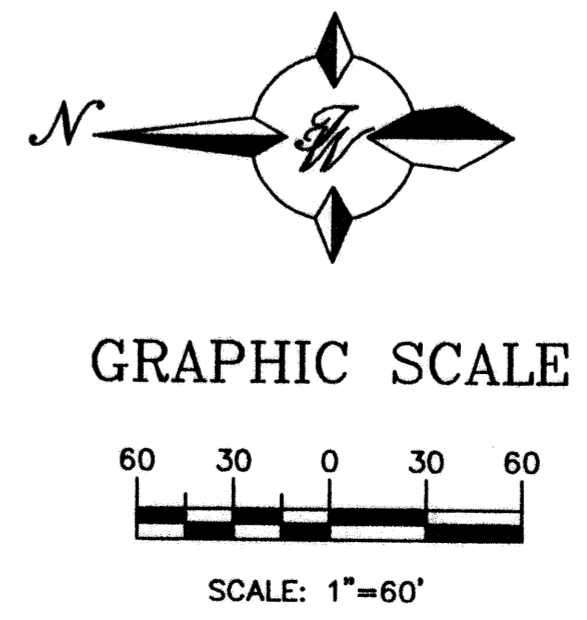
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

[Signature] City Planner, Albuquerque / Bernalillo 9/27/00 Date
 County Planning Division
 PLNZ (10706) 4/96

[Signature] Solid Waste 8-24-00 Date

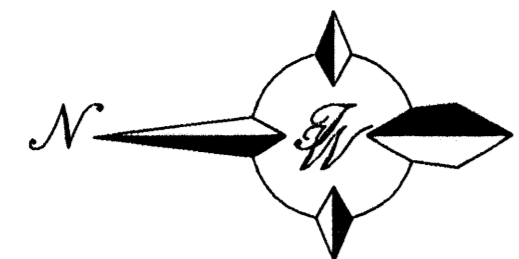
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK



NO.	DATE	REMARKS	BY
REVISIONS			

ENGINEER'S SEAL <i>[Seal]</i>	WEST BLUFF SHOPPING CENTER WALMART	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT TRACT 4 AND 5	DATE 8-09-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	WAL-SP1.DWG
		SHEET # 13
RONALD R. BOHANNAN P.E. #7868		JOB # 990045



PLANT LEGEND

- ARIZONA ASH (H) 113
Fraxinus velutina
2" cal
- RAYWOOD ASH (H) 67
Fraxinus oxycarpa raywood
2" cal
- BRADFORD PEAR (H) 10
Pyrus calleryana brodford
2" cal
- AUSTRIAN PINE (H) 25
Pinus
6-8'
- DESERT WILLOW (L) 25
Chilopsis linearis
15 gal
- MAIDEN GRASS (M) 64
Miscanthus sinensis
5 gal
- TAM JUNIPER (H) 90
Juniperus sabina
5 gal
- CORAL BEAUTY COTONEASTER (M) 66
Cotoneaster spp. 'Coral Beauty'
5 gal
- INDIAN HAWTHORN (M) 123
Raphiolepis indica
5 gal
- THREE-LEAF SUMAC (L) 61
Rhus trilobata
5 gal
- BLUE MIST (M) 38
Caryopteris spp.
5 gal
- ROSEMARY (M) 130
Rosmarinus officinalis
5 gal
- CHAMISA (L) 95
Chrysothamnus nauseosus
1 gal
- WILDFLOWER 161
1 gal
- COMMERCIAL GRADE STEEL EDGE
- SOD
- 3/4" CRUSHED GREY GRAVEL
- SANTA FE BROWN CRUSHER FINES

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	897,698	square feet
TOTAL BUILDINGS AREA	224,000	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	677,698	square feet
TOTAL PARKING AREA	319,958	square feet
LANDSCAPE REQUIREMENT	.20	square feet
TOTAL LANDSCAPE REQUIREMENT	63,992	square feet
TOTAL LANDSCAPE PROVIDED	109,538	square feet
TOTAL BED PROVIDED	6,341	square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property

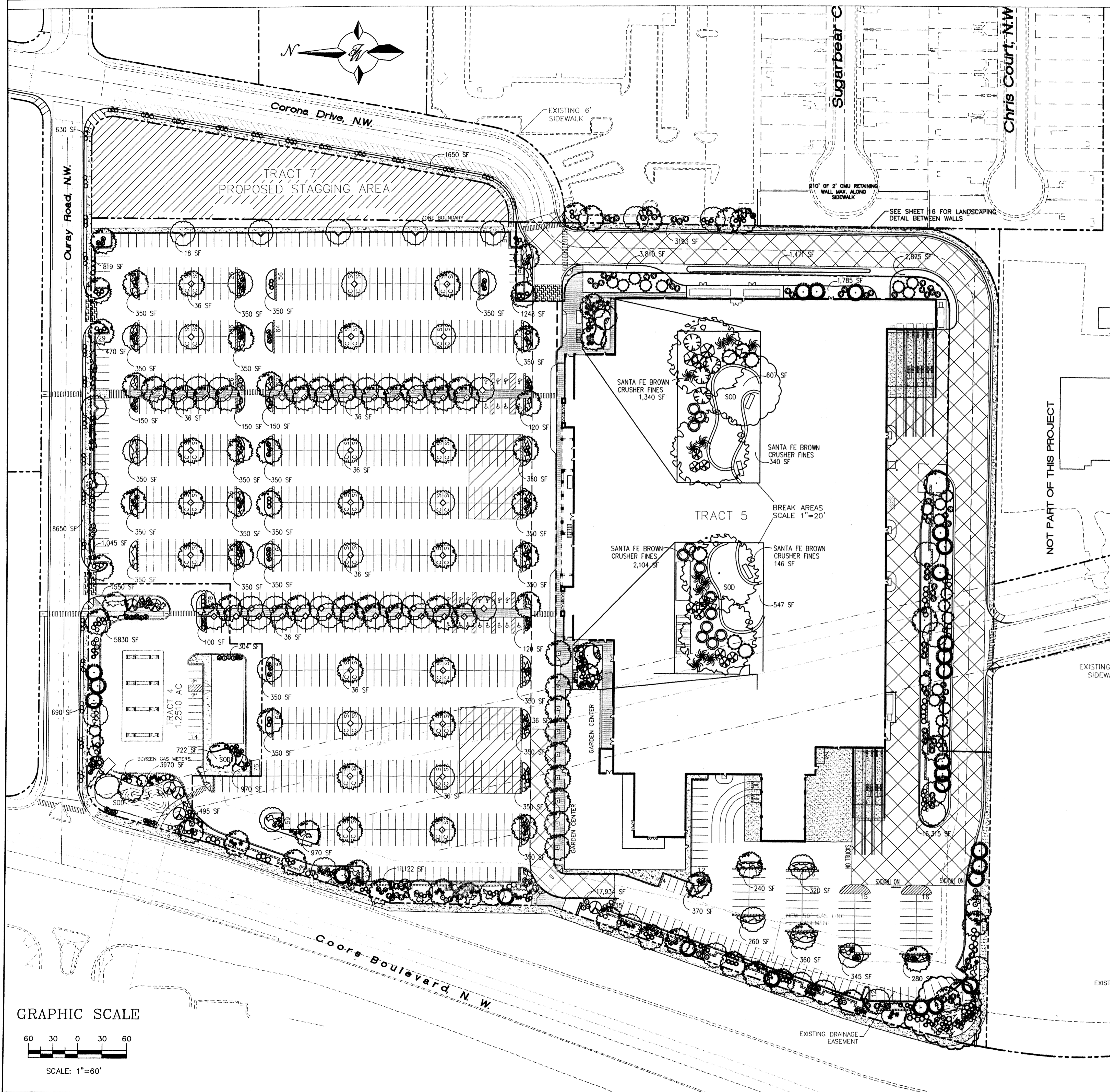
IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

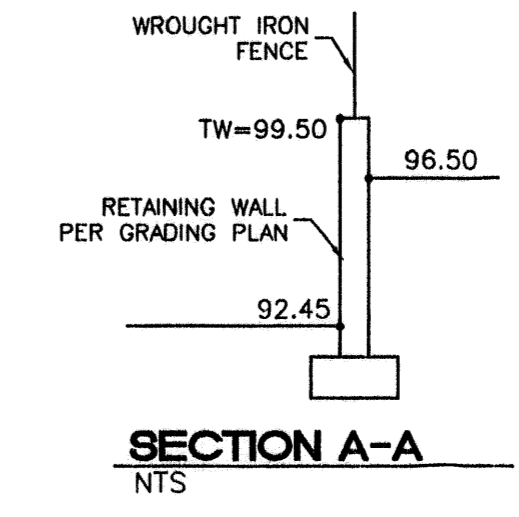
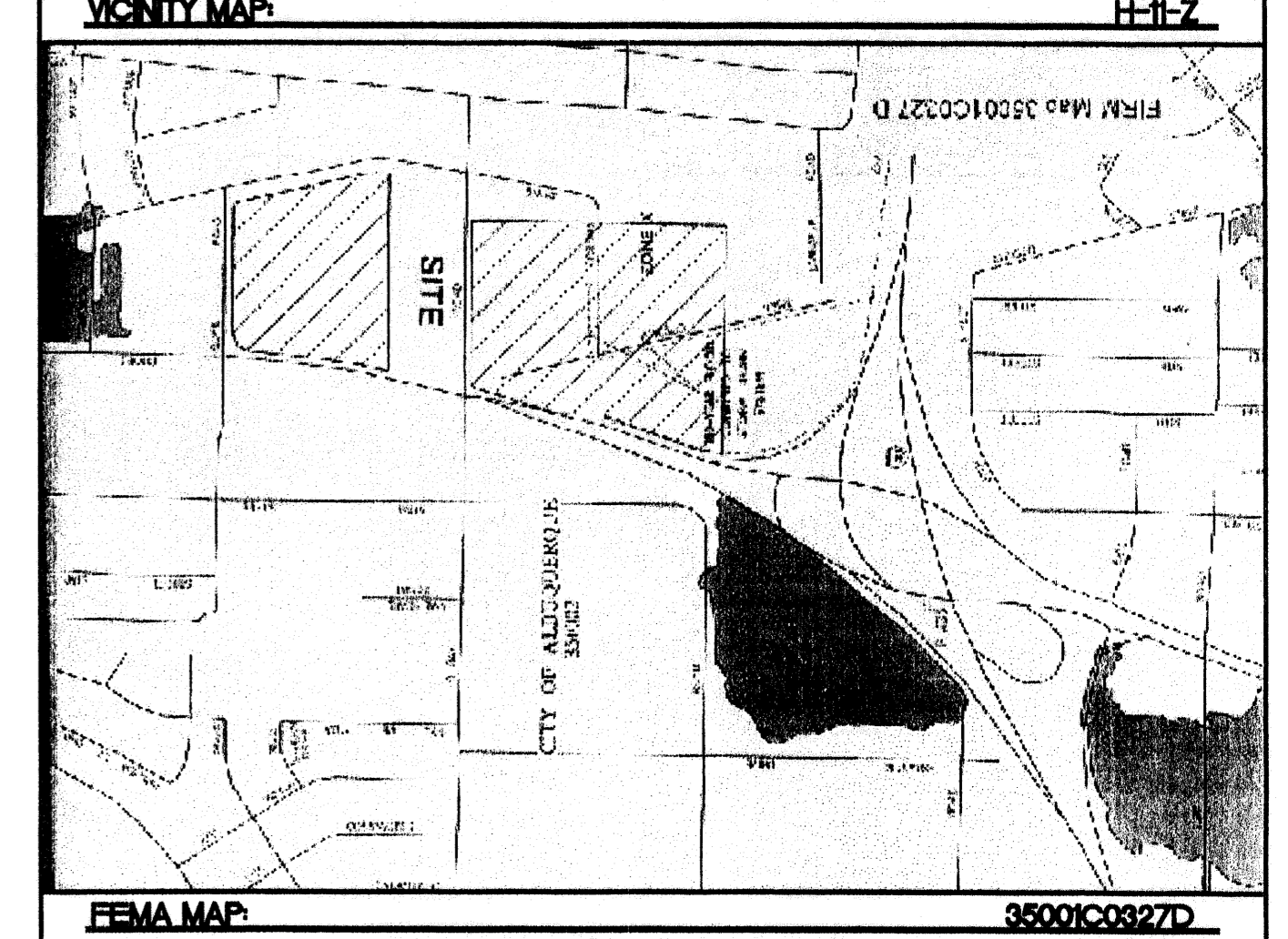
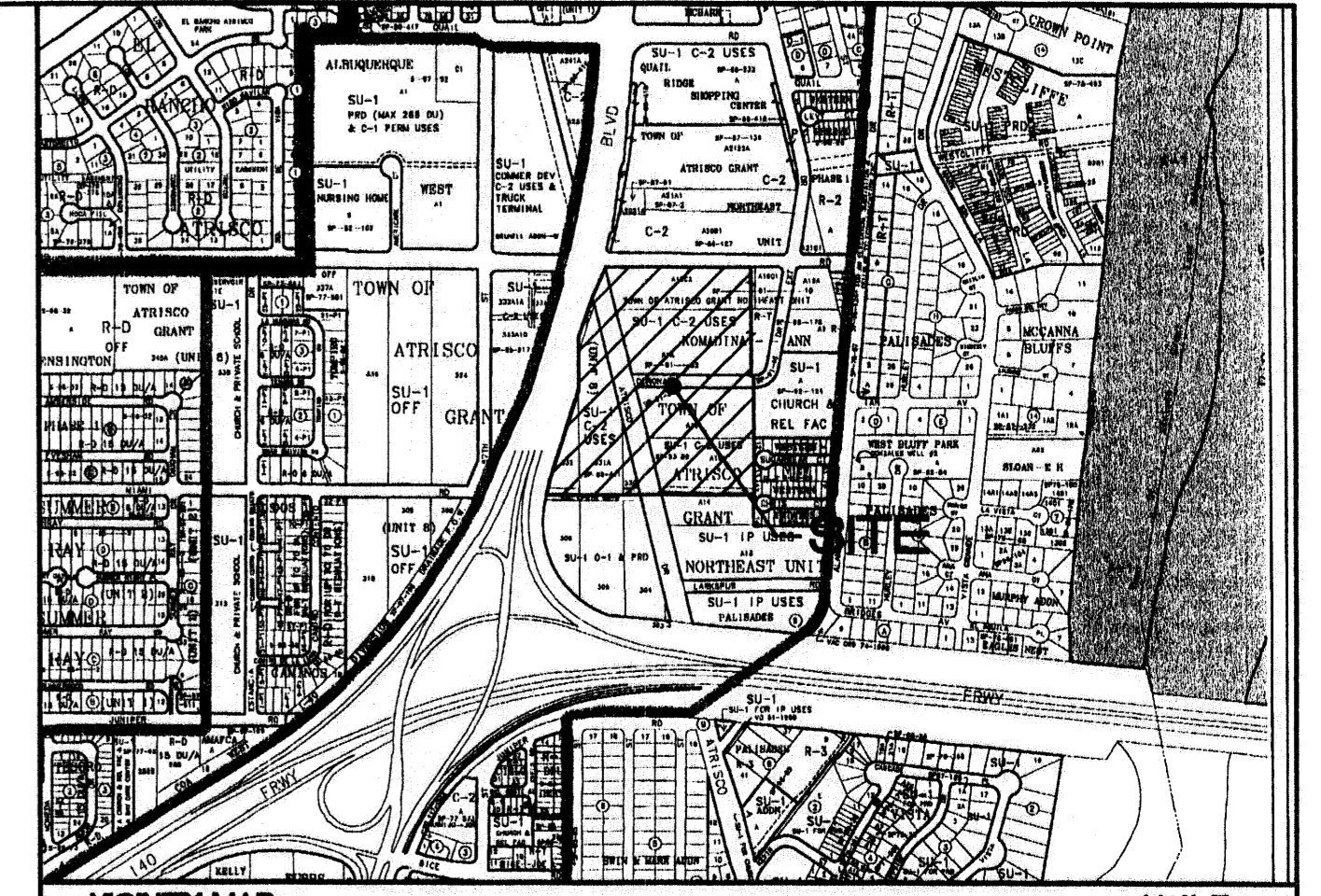
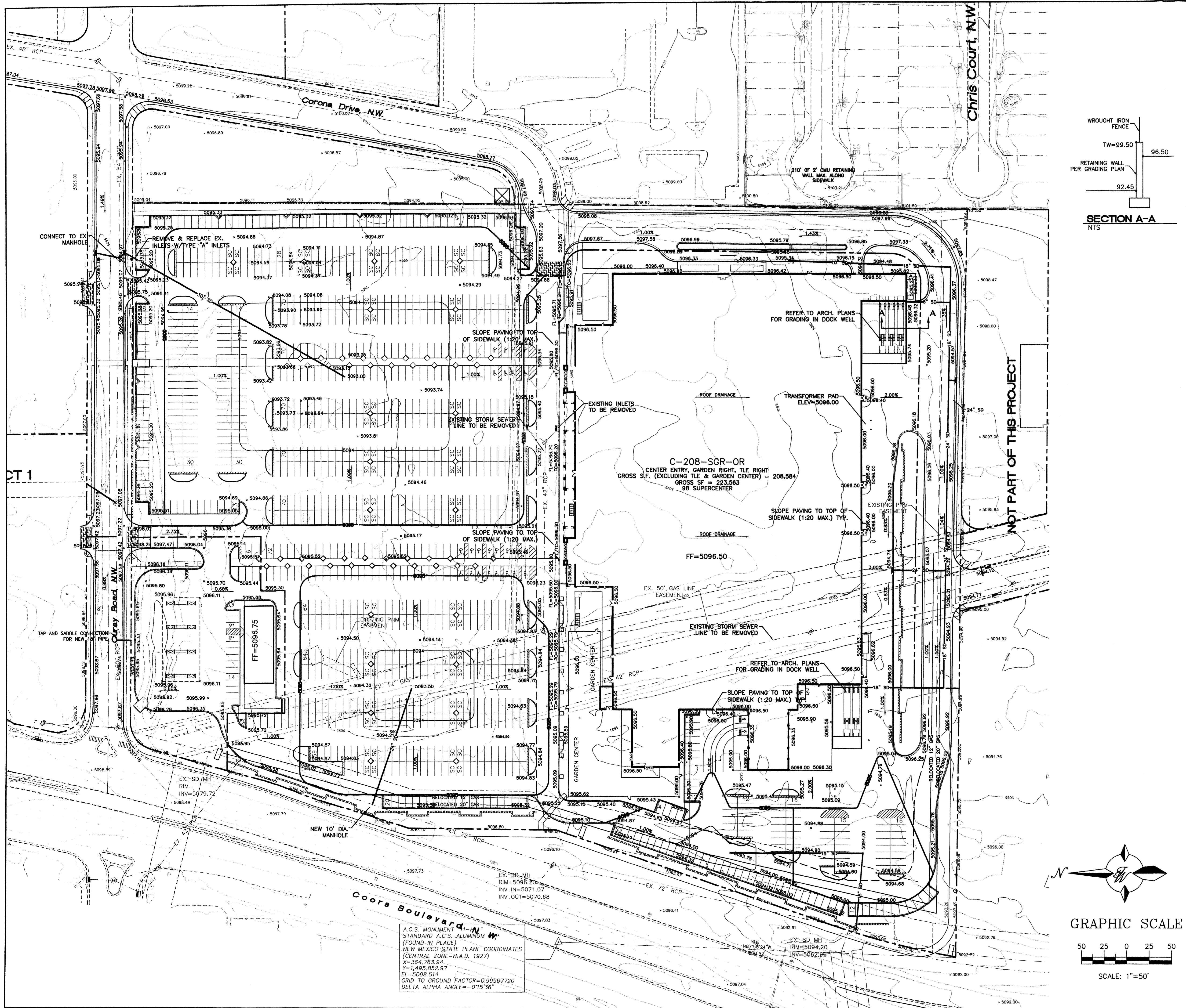
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be



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NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		WEST BLUFF CENTER	DRAWN BY BDG
		LANDSCAPE PLAN	DATE 6-14-00
RONALD R. BOHANNAN P.E. #7888		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	WAL-LP.DWG
			SHEET # 14
			JOB # 990045



LEGAL DESCRIPTION:
 TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT, TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT 8

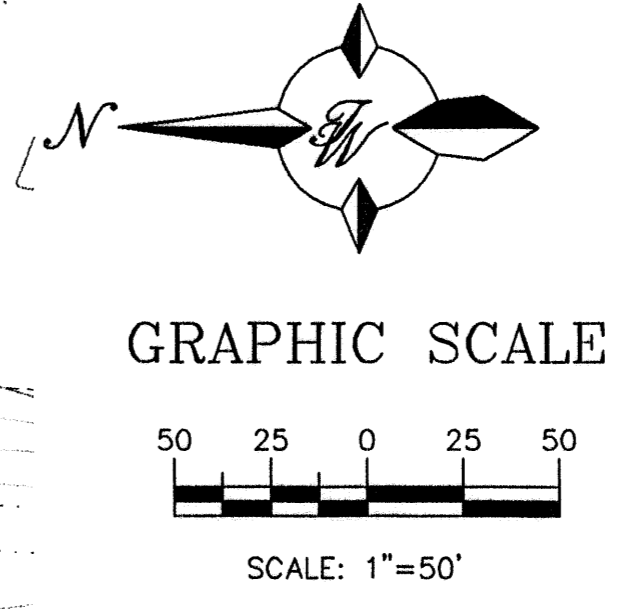
NOTES:
 1. ALL SPOT ELEVATION ARE FLOWLINE UNLESS OTHERWISE NOTED.
 2. SEE GRADING AND DRAINAGE DETAILS FOR ALL DETAILS AND NOTES.

LEGEND

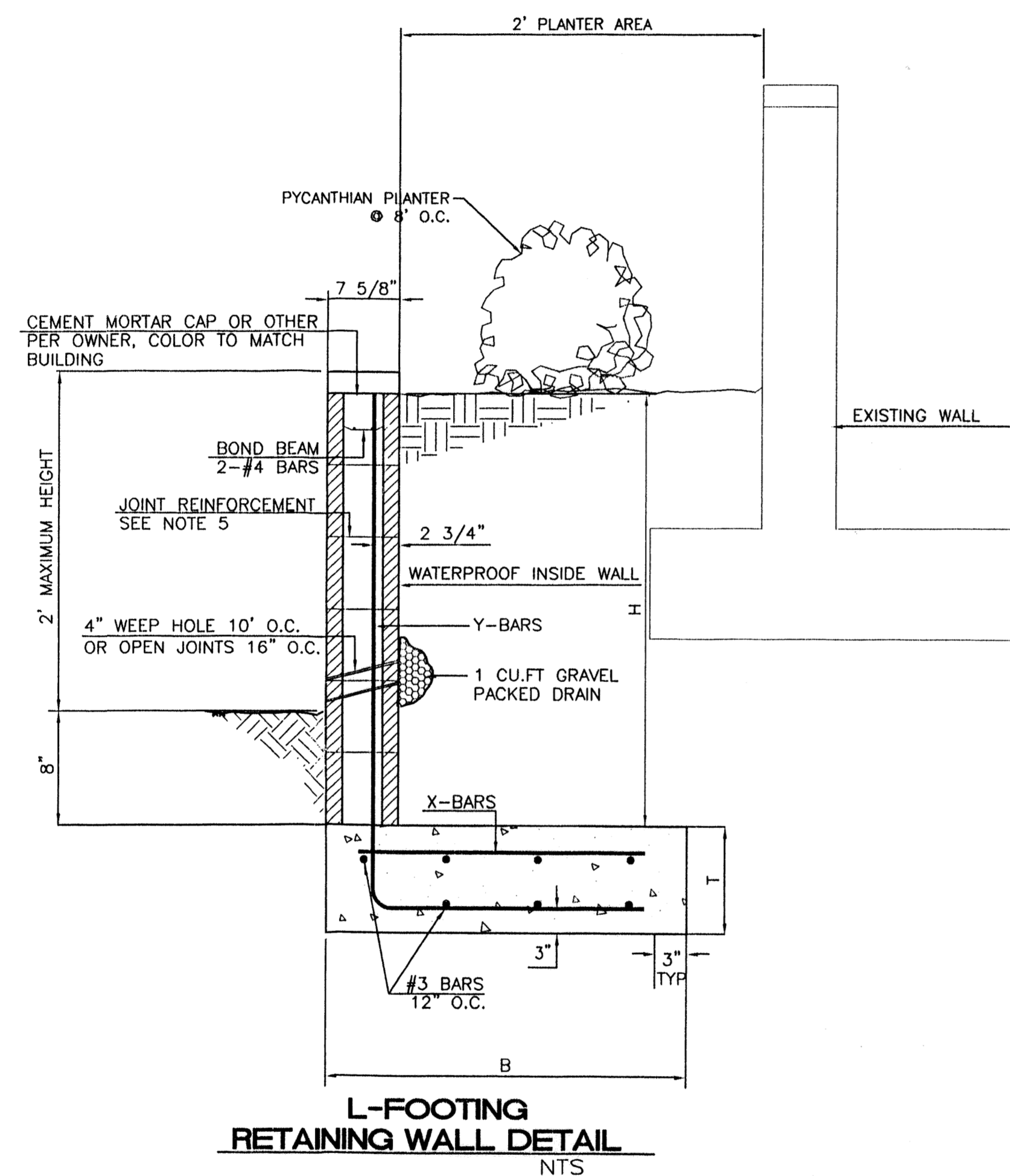
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	HEAVY CONCRETE AREA
	PATTERN CONCRETE AREA
	RETAINING WALL
	SCREEN WALL

ROUGH GRADING APPROVAL _____ DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		WEST BLUFF SHOPPING CENTER WALMART	DRAWN BY BDC
DATE		6-13-00	
WAL-CR.DWG			
SHEET #		15	
JOB #		990045	



A.C.S. MONUMENT
 STANDARD A.C.S. ALUMINUM W/ (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE - N.A.D. 1927)
 X=354,783.94
 Y=1,495,852.97
 EL=5098.514
 GRID TO GROUND FACTOR=0.99867720
 DELTA ALPHA ANGLE=-0°15'36"



GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WAL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.

ENGINEER'S STATEMENT

I, RONALD BOHANNAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 7868, DO HEREBY STATE THAT I HAVE PERSONALLY MADE AN ON-SITE FIELD INSPECTION OF THE SUBJECT PROPERTY, AND HAVE FOUND THAT NO RECENT GRADING, FILLING, OR CUTTING, HAD TAKEN PLACE ON SAID SITE PRIOR TO THE PREPARATION OF THE TOPOGRAPHY SURVEY SHOWN ON THE PLAN HEREON.

SIGNATURE _____

DATE _____

NOTES

1. SEE DRAINAGE REPORT FOR SUPPLEMENTARY CALCULATIONS.
2. IT IS THE RESPONSIBILITY OF FUTURE LOT OWNERS TO MAKE SURE THAT GRADES AROUND THE PADS WILL DRAIN THE RUN-OFFS TO THE POND.

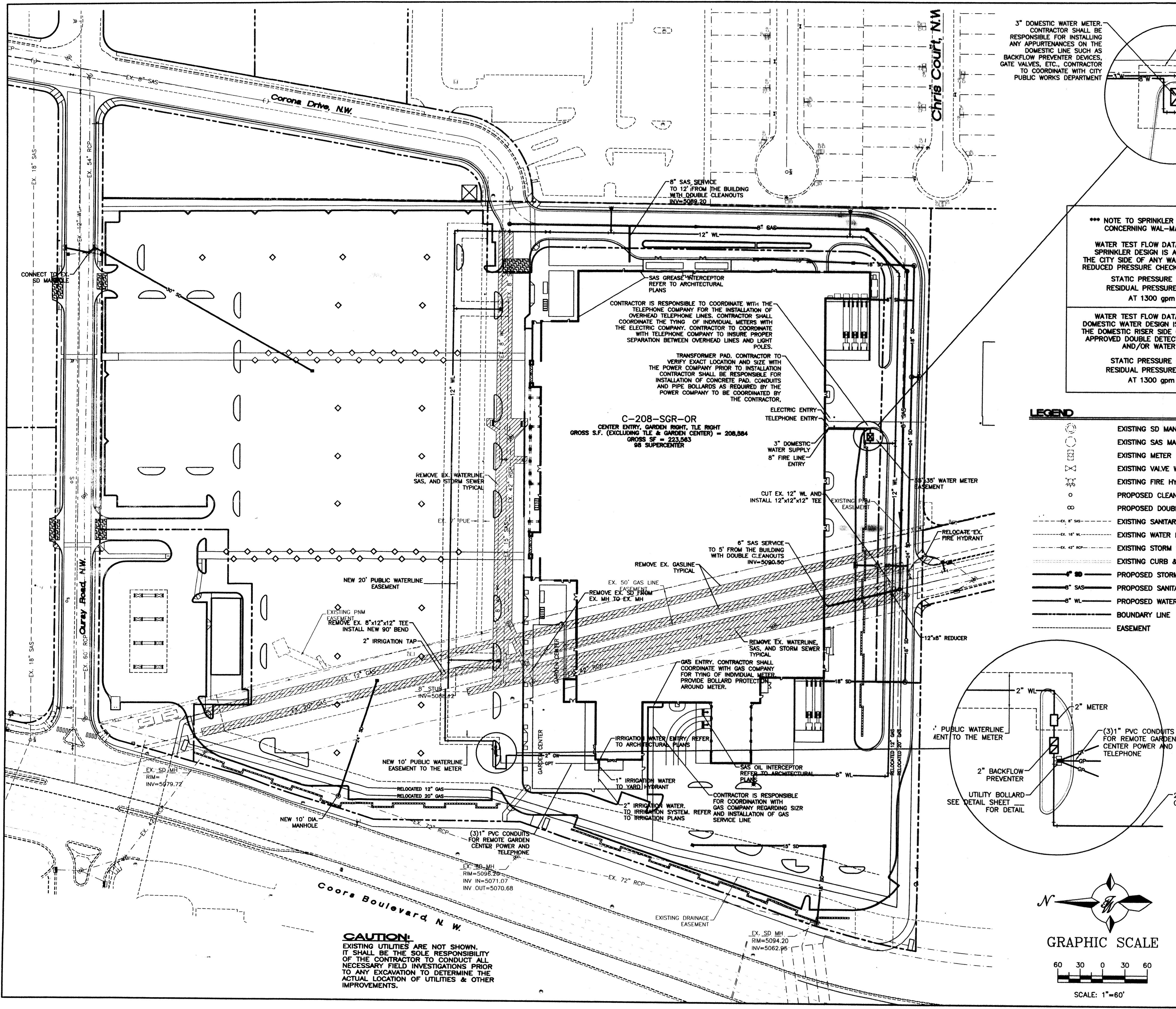
EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

DESERT WILLOW APARTMENTS JN: 970066

ROUGH GRADING APPROVAL _____ DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		WEST BLUFF SHOPPING CENTER WALMART	DRAWN BY BDG
		GRADING AND DRAINAGE PLAN DETAILS	DATE 6-13-00
		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	WAL-GR.DWG
RONALD R. BOHANNAN P.E. #7868			SHEET # 16
			JOB # 990045



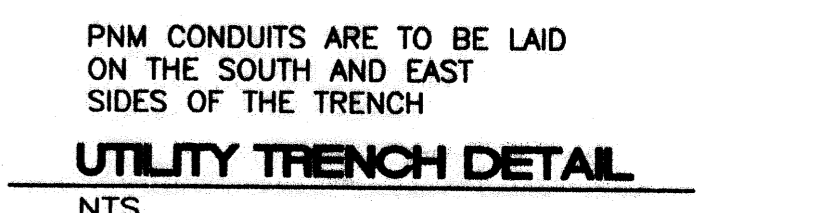
***** NOTE TO SPRINKLER CONTRACTOR *****
CONCERNING WAL-MART BUILDING

WATER TEST FLOW DATA FOR BUILDING SPRINKLER DESIGN IS AS FOLLOWS: AT THE CITY SIDE OF ANY WAL-MART APPROVED REDUCED PRESSURE CHECK VALVE ASSEMBLY;

STATIC PRESSURE = 77.8 psi
RESIDUAL PRESSURE = 67.9 psi
AT 1300 gpm FLOW

WATER TEST FLOW DATA FOR BUILDING DOMESTIC WATER DESIGN IS AS FOLLOWS: AT THE DOMESTIC RISER SIDE OF ANY WAL-MART APPROVED DOUBLE DETECTOR CHECK VALVE AND/OR WATER METER;

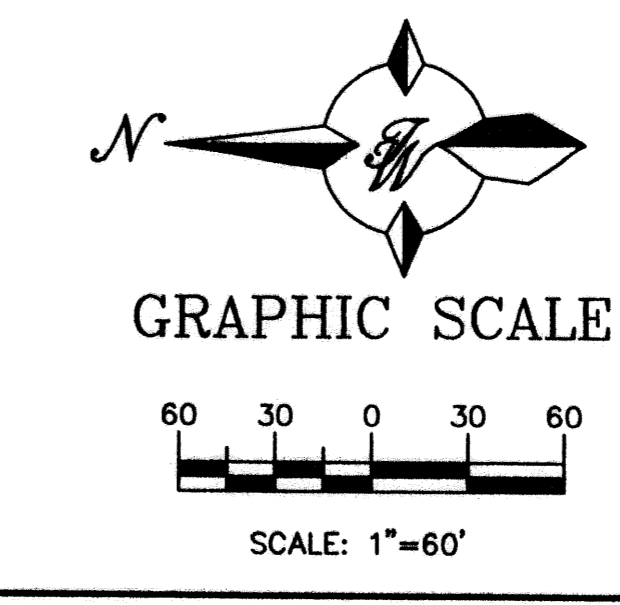
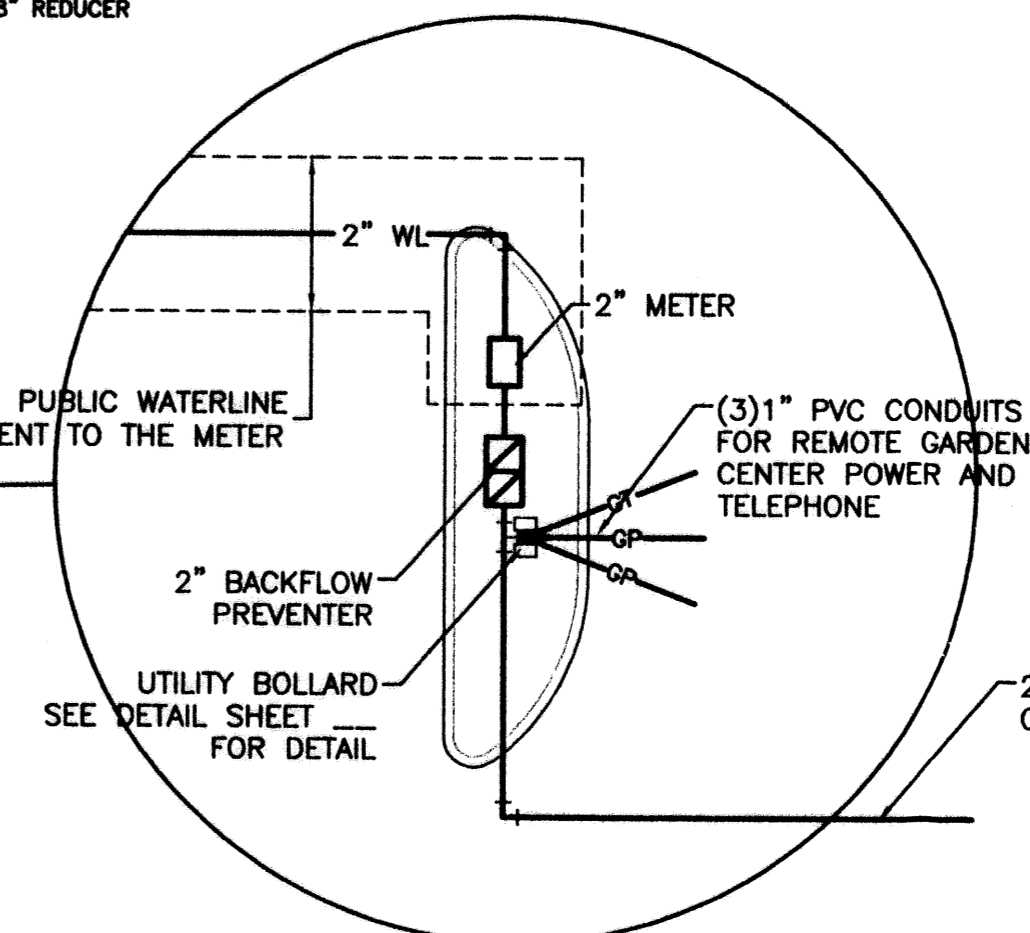
STATIC PRESSURE = 77.8 psi
RESIDUAL PRESSURE = 67.9 psi
AT 1300 gpm FLOW



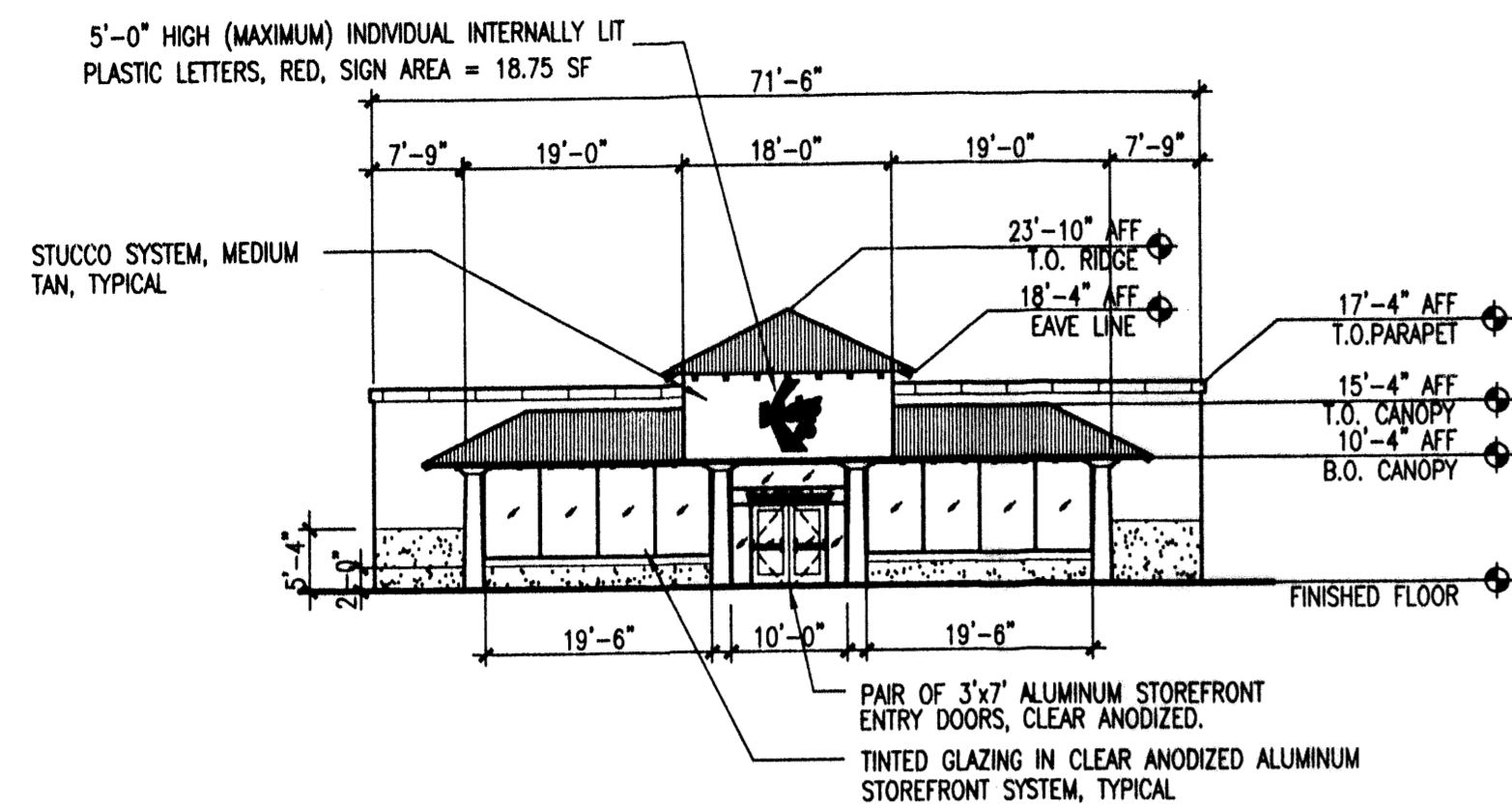
- SITE UTILITY NOTES**
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
6" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40 DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
8" AND LARGER PVC C-900 PER ASTM D 2241
CLASS 200 UNDER COUNTY ROAD, OTHERWISE CLASS 150
6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL), OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - PIPES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED FINISH ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
 - ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (ANY CITY) WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - UTILITIES SHOWN AS EXISTING IN PUBLIC R/W (WATER, SEWER, STORM) AND THE ROADWAYS THEMSELVES ARE NOT RESTRICTED AS OF THIS DATE. THIS INFRASTRUCTURE IS PROPOSED TO BE BUILT AS SHOWN (BY OTHERS) BUT MAY NOT ALL BE COMPLETED AT TIME OF WAL-MARTS CONSTRUCTION.
 - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

LEGEND

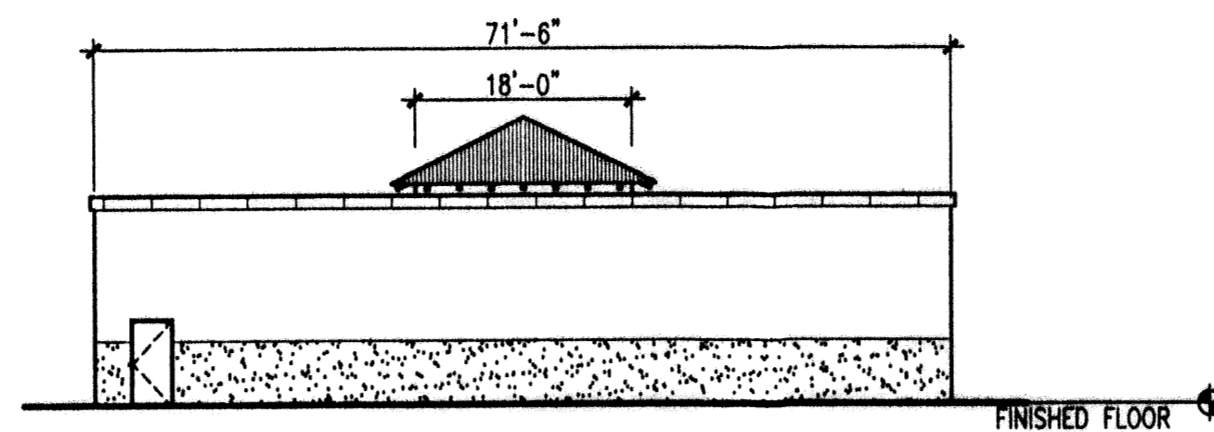
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT



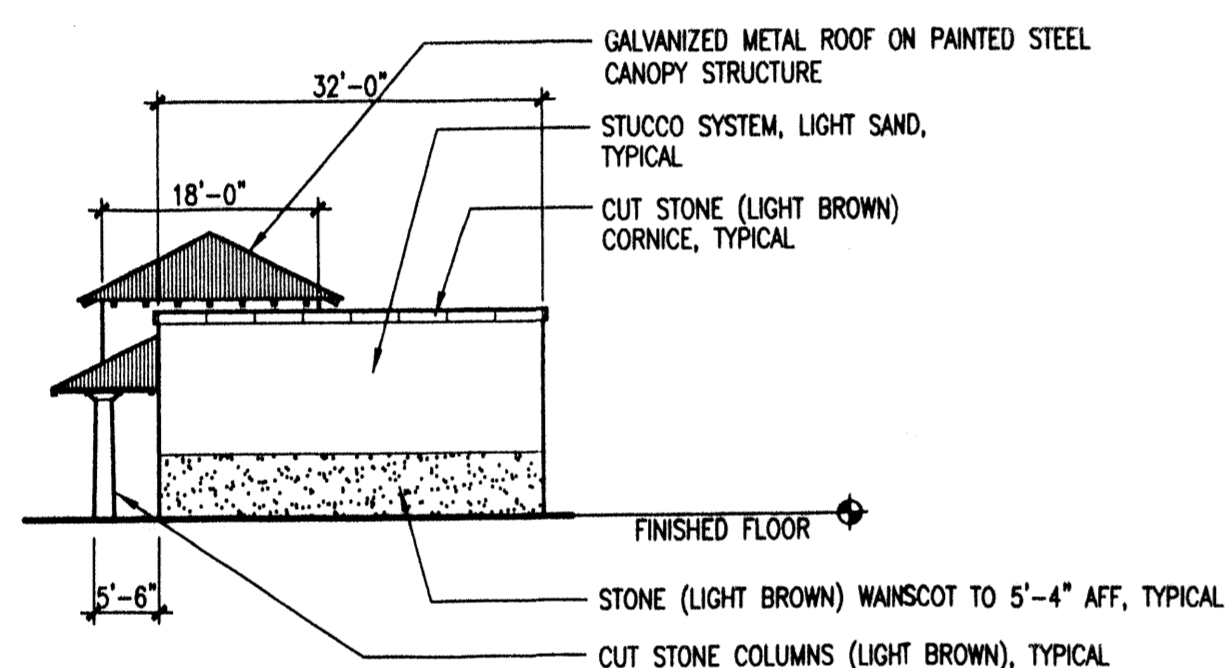
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		WEST BLUFF SHOPPING CENTER WALMART	DRAWN BY BDG
			DATE 7-21-00
		MASTER UTILITY PLAN	WAL-MJ.DWG
		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 17
RONALD R. BOHANNAN P.E. #7868			JOB # 990045



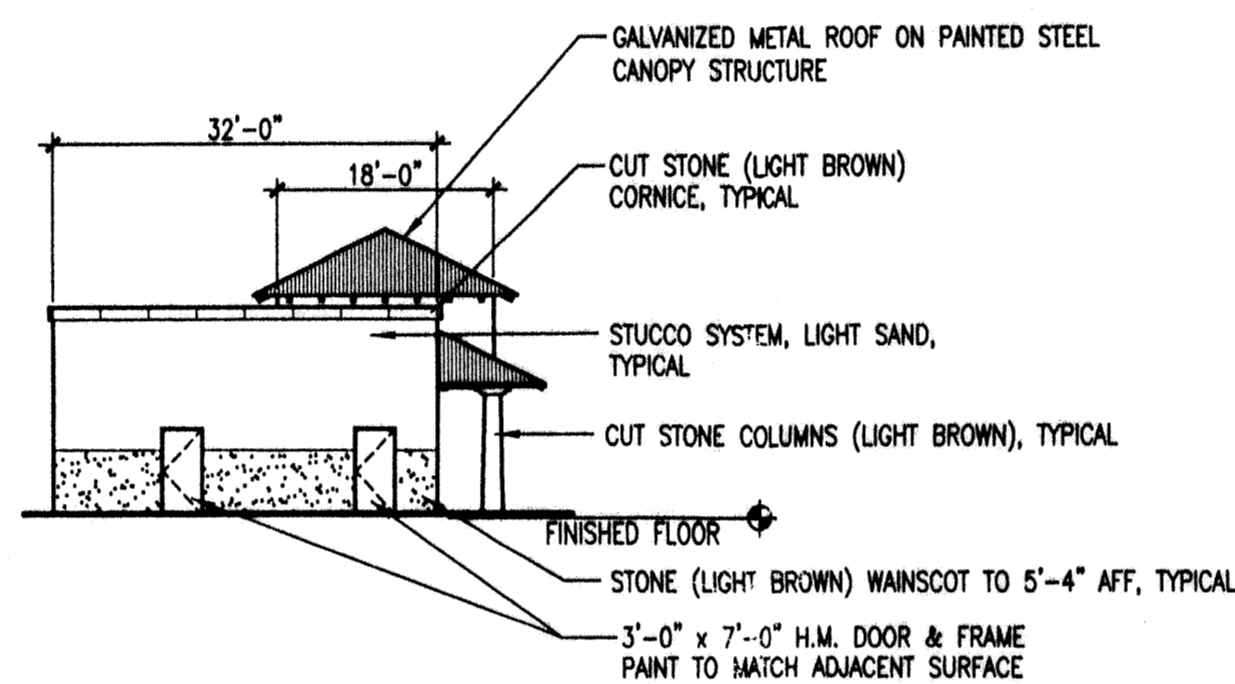
9 GAS STATION - North Elevation
1/16"=1'-0"



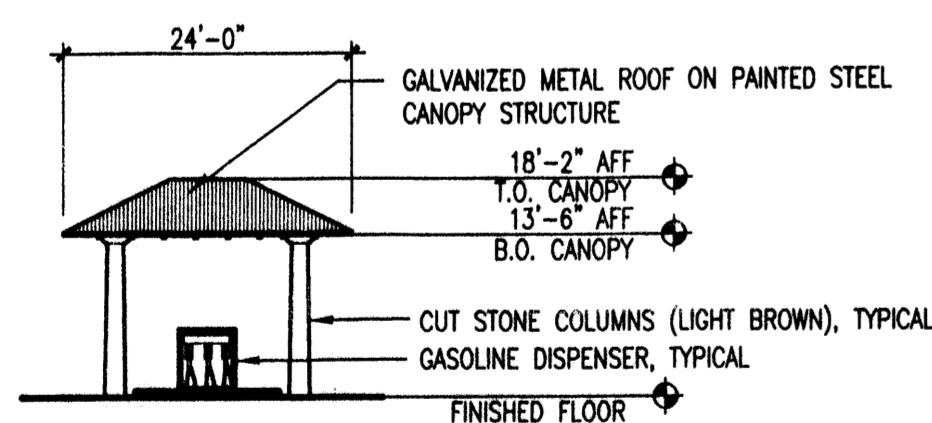
11 GAS STATION - South Elevation
1/16"=1'-0"



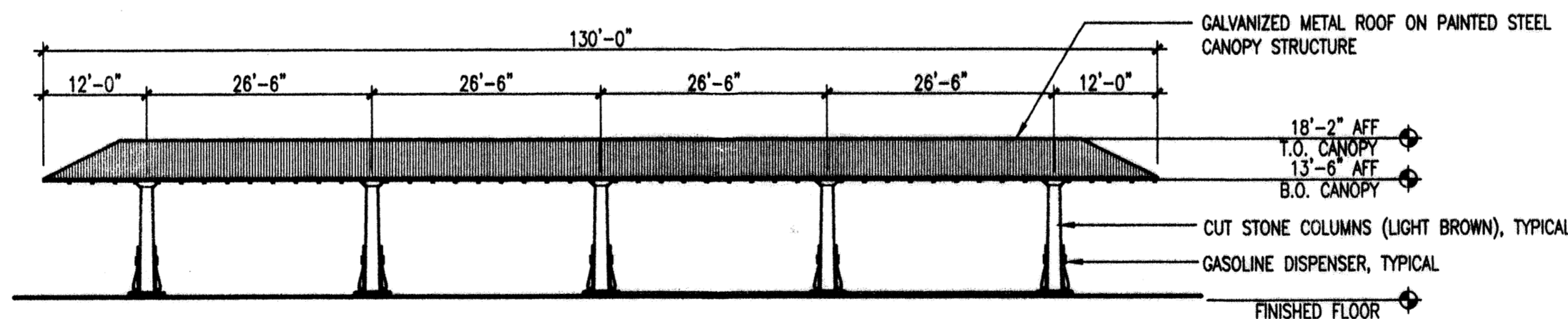
10 GAS STATION - West Elevation
1/16"=1'-0"



12 GAS STATION - East Elevation
1/16"=1'-0"



13 CANOPY - West Elevation
1/16"=1'-0"



14 CANOPY - North Elevation
1/16"=1'-0"

Exterior Finishes

1. Stucco Field Color (Light Sand): STO "Pueblo"
2. Stucco Accent Color (Medium Tan): STO "Adobe"
3. Parapets and Lintels: STO color to match Adoquin "Cafe 2" with textured finish
4. Columns and Wainscot: Match Adoquin "Cafe 2" with textured finish
5. Painted Trim (rafter tails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Berridge "R" Panel, "Galvalum" finish
8. Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Bajo Red

General Notes

1. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING ALAMAGORDO
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 15% OF WALL AREA ON SIDES FACING FREEWAY

PROPOSED RETAIL CENTER
AT COORS BLVD AND I-40

ELEVATIONS
TRACT 4

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN
BY

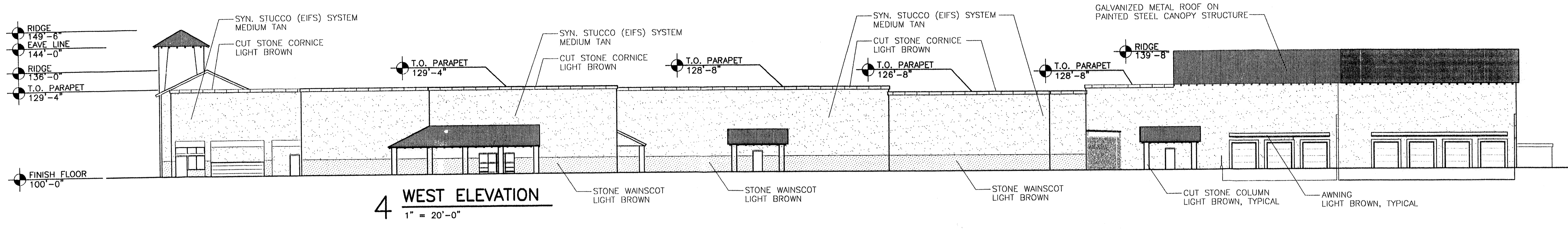
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8-09-00

GAS-ELEV.DWG

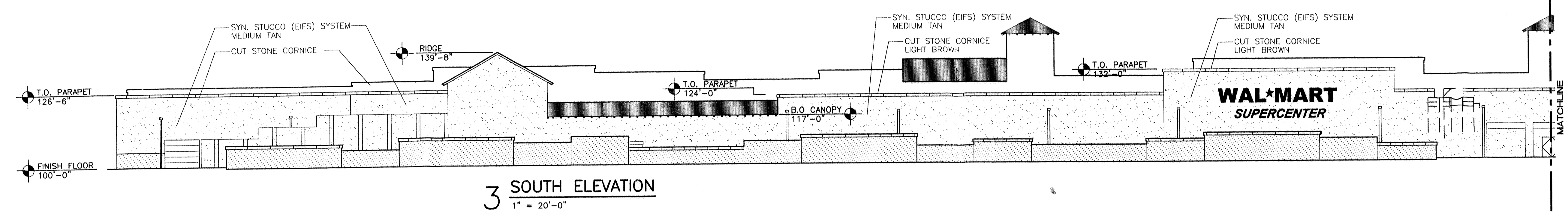
SHEET #

18

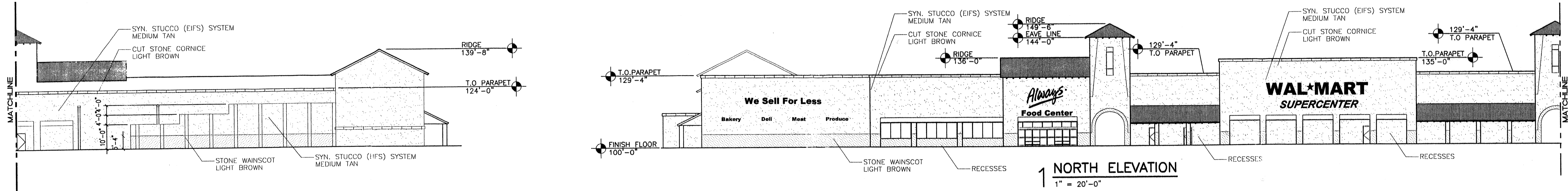
JOB #



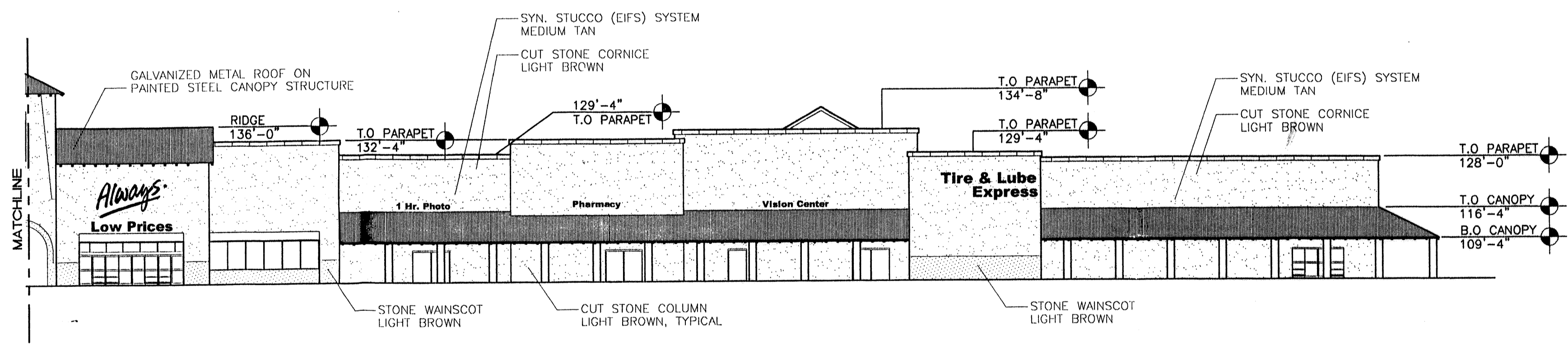
4 WEST ELEVATION
1" = 20'-0"



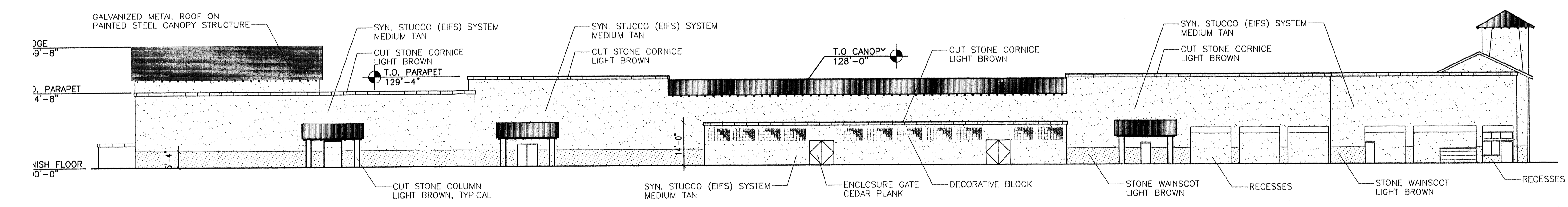
3 SOUTH ELEVATION
1" = 20'-0"



1 NORTH ELEVATION
1" = 20'-0"



2 EAST ELEVATION
1" = 20'-0"



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL			DRAWN BY
			BDG
			DATE
WEST BLUFF SHOPPING CENTER WALMART			6-13-00
ELEVATIONS TRACT 5			WAL-ELEV.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			SHEET #
			19
RONALD R. BOHANNAN P.E. #7868			JOB # 990045