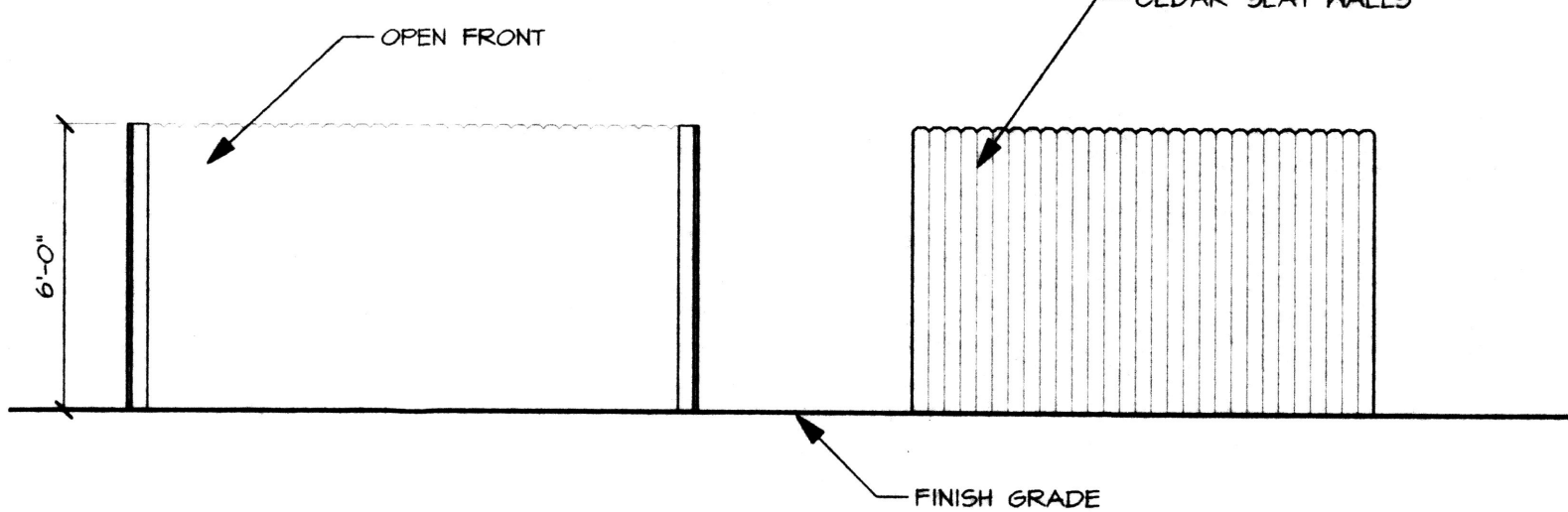


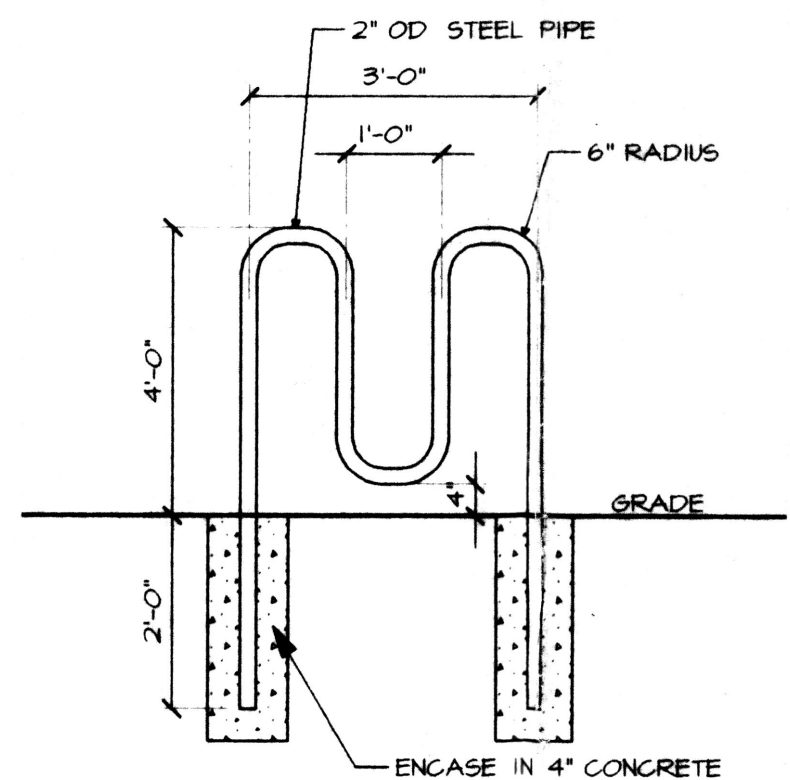
A DETAIL NOT USED



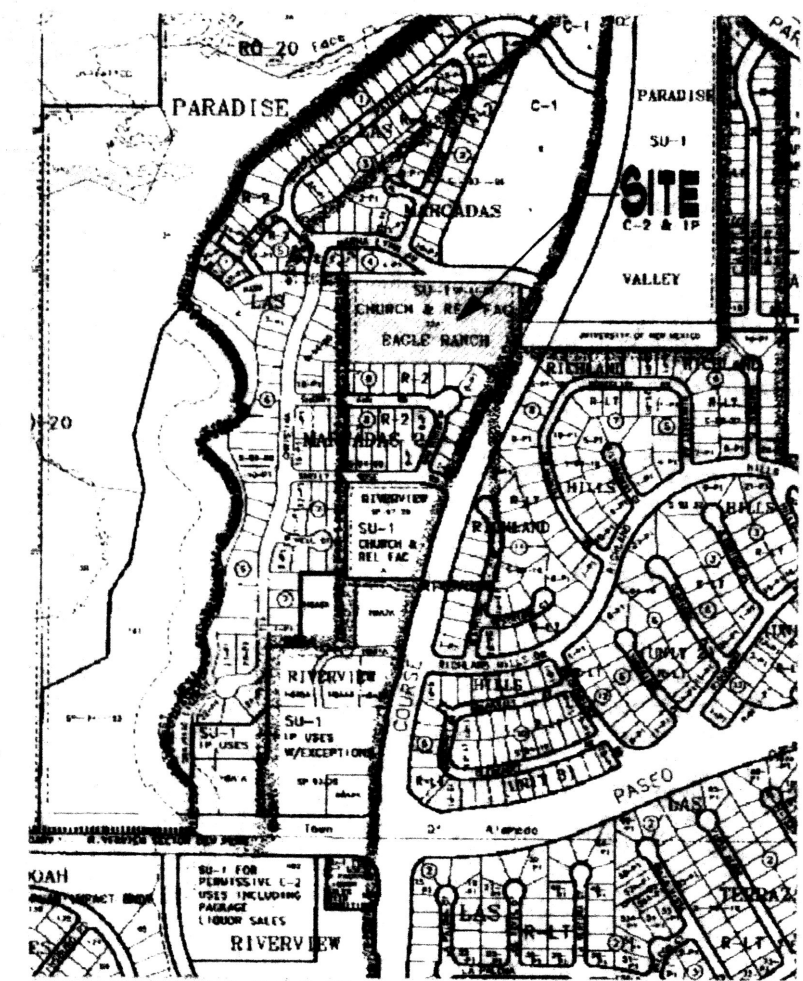
B DETAIL NOT USED

C POST AND CABLE DETAIL

D EXISTING REFUSE ENCLOSURE ELEVATION



E BIKE RACK



VICINITY MAP

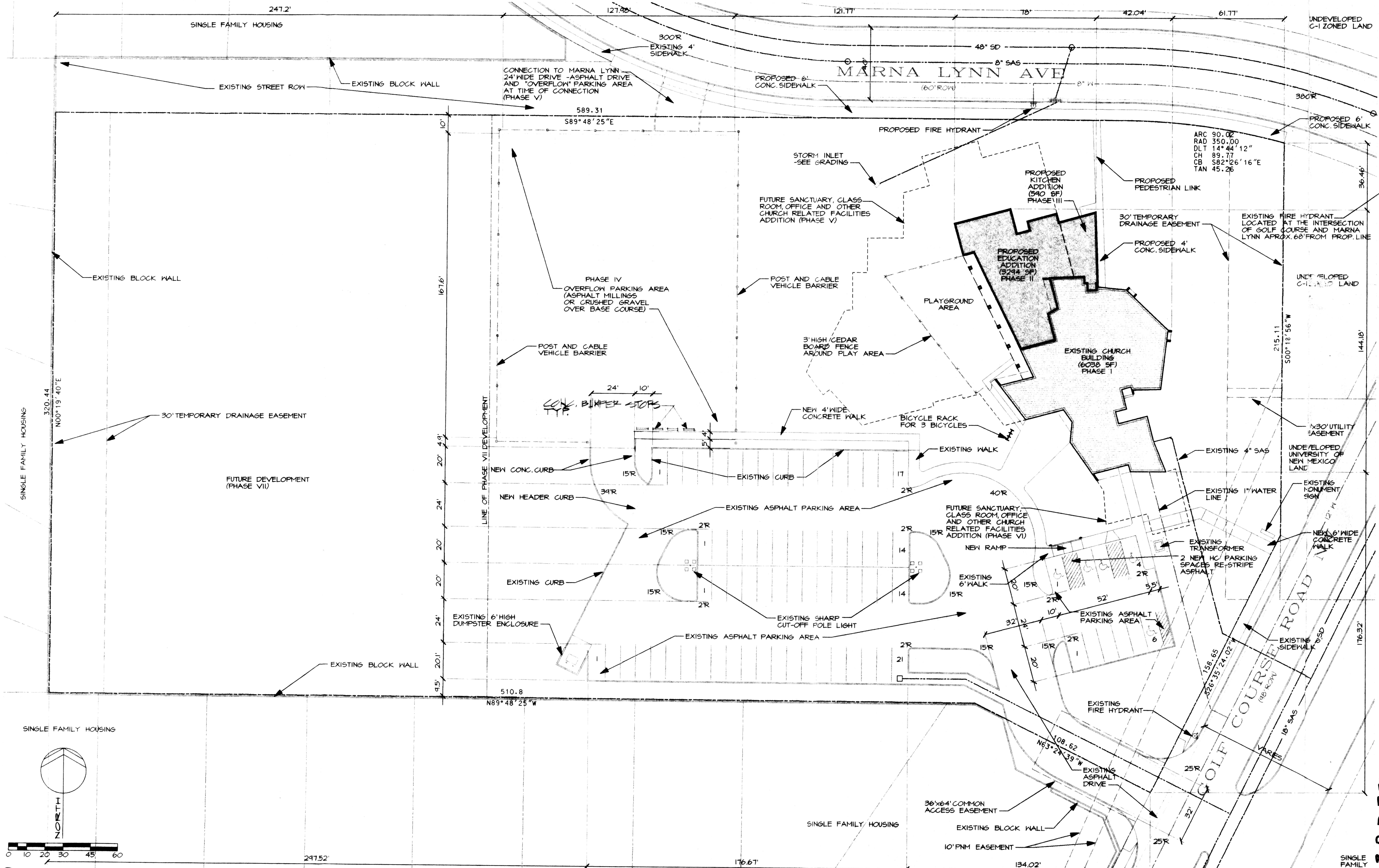


These drawings are an "Instrument of Service" and shall be reproduced, copied or published without the written permission of the Architect. © 1999

West Mesa Christian Church
Site Development Plan
Education Addition
Albuquerque, New Mexico

ISSUE DATE:
25 JAN 00
 REVISIONS:
22 MAY 00
31 MAY 00

SITE PLAN AND DETAILS
 SHEET
SDP1
 OF 4



ZONING:
 EXISTING: SU-1 FOR CHURCH AND RELATED FACILITIES
 PROPOSED USE: ADDITION TO EXISTING CHURCH TO INCLUDE ADDITIONAL CLASSROOMS, OVERFLOW PARKING AND KITCHEN FACILITIES FOR CHURCH FUNCTIONS
LEGAL DESCRIPTION:
 TRACT 22-A, EAGLE RANCH SUBDIVISION (5.0 ACRES)
ZONE ATLAS PAGE:
 C-12-Z
PARKING:
 REQUIRED: 52 TOTAL (210 SEATS @ 1:4 RATIO = 52)
 PROVIDED: 76 TOTAL (STANDARD: 71 HANDICAPPED: 5)
 OVERFLOW TOTAL: 62 (15 SPACES ARE SET ASIDE FOR FUTURE (TEMPORARY) PARK & RIDE)
 MINIMUM SPACE SIZE: FULL SIZE: 8.5' x 20' (8' ASPHALT + 2' OVERHANG)

GENERAL NOTES

A COMMUTER / EXPRESS BUS ROUTE RUNS ALONG GOLF COURSE ROAD.
 LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE PUBLIC RIGHT OF WAY (DIRECTLY ADJACENT TO THE SITE) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OF TRACT 22-A-1.
 OFF SITE LIGHTING LEVELS SHALL NOT EXCEED 1000 FOOTLAMBERTS
~~ANY OR ALL OF THE PROPOSED PHASING SHALL BE BUILT IN ANY ORDER~~
 THE OVERFLOW PARKING LOT SHALL BE UPGRADED TO CITY STANDARDS IF AND WHEN MORE SEATING IS EXPANDED OR THE SANCTUARY IS EXPANDED
 PHASES V AND VI REQUIRE EPC APPROVAL (PHASE IV MAY BE BUILT CONCURRENT WITH PHASES II AND III BUT NOT BEFORE)

INDEX
 SDP1 SITE & UTILITY PLAN
 SDP2 LANDSCAPE PLAN
 SDP3 GRADING PLAN
 SDP4 ELEVATIONS

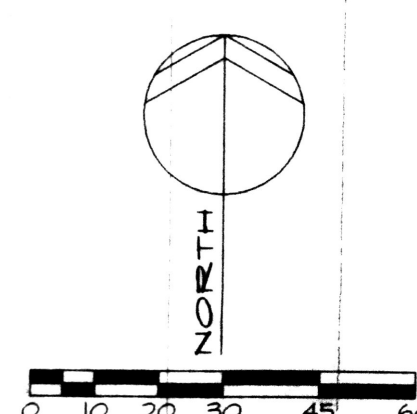
NOTES AND INDEX

CASE NUMBER: Z-90-109-1
 (Z-00128 00000 00125)
 Project: 1000194
 Approved: 44-00450-00000-00083
 NEW UTILITIES DATE
 SITE DEVELOPMENT PLAN
 Traffic Engineer, TRANSPORTATION DEPT Date **5/31/00**
 Parks & Recreation DEPT Date **5/31/00**
 UTILITY DEVELOPMENT DEPT Date **5/31/00**
 City Engineer, ENGINEERING DIV./AM/FCA Date **6/12/00**

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.
 Date **7/6/00**
 City Planner
 ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION

SIGNATURE BLOCK

T SITE PLAN



Scale: 1"=30'-0"

TREES	
	ASH (H) FRAXINUS PENNSYLVANICA 11 NEW 14 EXISTING
	LOCUST (H) GLEDTISIA TRIACANTHOS 2 NEW 5 EXISTING
	CHINESE PISTACHE (M) PISTACIA CHINENSIS 14 NEW -- EXISTING
	PINE (H) -- NEW 3 EXISTING
	FLOWERING APPLE (H) -- NEW 4 EXISTING
	PURPLELEAF PLUMB (H) -- NEW 5 EXISTING
	AUSTALIAN TEA (H) -- NEW 1 EXISTING
	BLUE SPRUCE (H) -- NEW 1 EXISTING
	COTTENWOOD (H) -- NEW 1 EXISTING
	AUSTRIAN PINE (H) PINUS NIGRA 1 NEW -- EXISTING

SHRUBS/ORNAMENTAL GRASSES/GROUNDCOVER	
	BUTTERFLY BUSH (M) -- NEW 5 EXISTING
	CHAMISA (L) CHRYSOTHAMNUS NAUSEOSUS 17 NEW 25 EXISTING
	CHARY SAHGE (M) -- NEW 18 EXISTING
	MAIDEN HAIR (M) -- NEW 20 EXISTING
	VITEX (M) -- NEW 6 EXISTING
NATIVE GRASSES AS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 1020 FOR SANDY SOILS MODIFIED AS FOLLOWS -- OMIT THE FOLLOWING SALT TOLERANT AND "PALOMA" INDIAN RICE GRASS -- INCREASE THE SEED RATE OF "NINE" SIDE OATS GRAMA AND "HATCHITA" BLUE GRAMA TO 6.0 LBS/PLS/ACRE EACH FOR A TOTAL OF 14.0 LBS/PLS/ACRE	

EXISTING LANDSCAPING	
EXISTING LANDSCAPING AS DEFINED IN THE ORIGINAL SITE DEVELOPMENT PLAN AND IMPROVEMENTS MADE BY THE CHURCH	
PROPOSED LANDSCAPING	
PROPOSED LANDSCAPING ALONG MARNA LYNN AV AS DEFINED BY THE FIRST SITE DEVELOPMENT PLAN AND TREES TO BUFFER THE OVERFLOW PARKING AREA.	
PLANT SIZES	
- DECIDUOUS TREES TO BE MIN. 2" CALIPER (STREET), 15 GALLON (PARKING LOT) - EVERGREEN TREES TO BE MIN. 15 GALLON CONTAINER OR 5'-6" HIGH - SHRUBS TO BE MIN. 1 AND 5 GALLON CONTAINERS	
LEGEND NOTES	
GL = GENERAL LANDSCAPE SIZE = MATURE PLANT SIZE H = HIGH WATER USE PLANT M = MEDIUM WATER USE PLANT L = LOW WATER USE PLANT * AS DEFINED BY THE CITY OF ALBUQUERQUE PLANT LIST	

GENERAL NOTES

A. PLANTS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS AND NOT ALL SHRUBS OR GROUND COVERS ARE SHOWN.

B. THE INTENT OF THIS PLAN IS TO CONFORM TO ALL CITY ORDINANCES AND CODES RELATING TO LANDSCAPE REQUIREMENTS.

C. NO PLANTING BED WILL BE LEFT UNCOVERED OR NOT TOP DRESSED. ALL NEW PLANTING BEDS WILL BE PLANTED WITH SHRUBS, GROUND COVERS, GRASS AND OR MULCH (ORGANIC AND INORGANIC).

D. FOR SITE BOUNDARY AND UTILITY INFORMATION SEE SHEET SDP1. MINIMUM CENTERLINE TO CENTERLINE SETBACK FOR TREE TRUNK FROM UTILITY LINES WITHIN EASEMENTS WILL BE THREE (3) FEET.

IRRIGATION NOTES

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE DESIGNED AND INSTALLED TO SERVE ALL PLANT MATERIALS ACCORDING TO CURRENT CITY OF ALBUQUERQUE ORDINANCES AND STANDARDS (INCLUDING THE NATIVE GRASSES LOCATED IN THE 10' WIDE LANDSCAPE BUFFER ALONG MARNA LYNN AVE).

MAINTENANCE

ALL LANDSCAPE AND IRRIGATION MAINTENANCE INCLUDING THE PUBLIC RIGHT OF WAY ADJACENT TO THIS SITE SHALL BE THE RESPONSIBILITIES OF THE OWNER'S GROUNDS MAINTENANCE PERSONNEL. WASTE WATER IS THE RESPONSIBILITY OF THE OWNER.

ZONING REQUIREMENTS

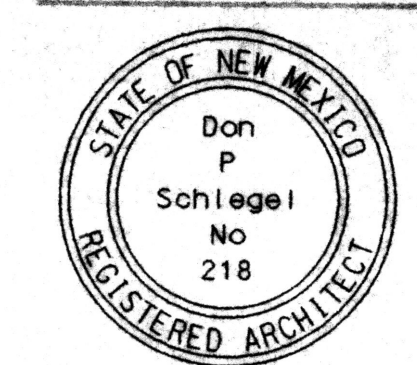
- LANDSCAPING AREA REQUIREMENTS - NOT LESS THAN 15% OF NET LOT AREA
- CLEAR SITE ANGLE: 35° x 35° FROM CURB
- PLANT SIZES
 - TREES MIN. 2" IN CALIPER (STREET TREES)
 - TREES 15 GALLON (PARKING LOT)
 - SHRUBS MIN. ONE GALLON
 - 15% LANDSCAPE COVERED (MATURE SPREAD OF PLANTS)

LANDSCAPE AREA REQUIRED

FOR PROPOSED BUILDING SITE NOT LESS THAN 15% OF NET LOT AREA.
NET LOT AREA = 180,561 SF
REQUIRED LANDSCAPE (15%) = 19,584 SF
PROVIDED LANDSCAPE = 15,040 SF
(TURF = 2,427 SF (0.98%))

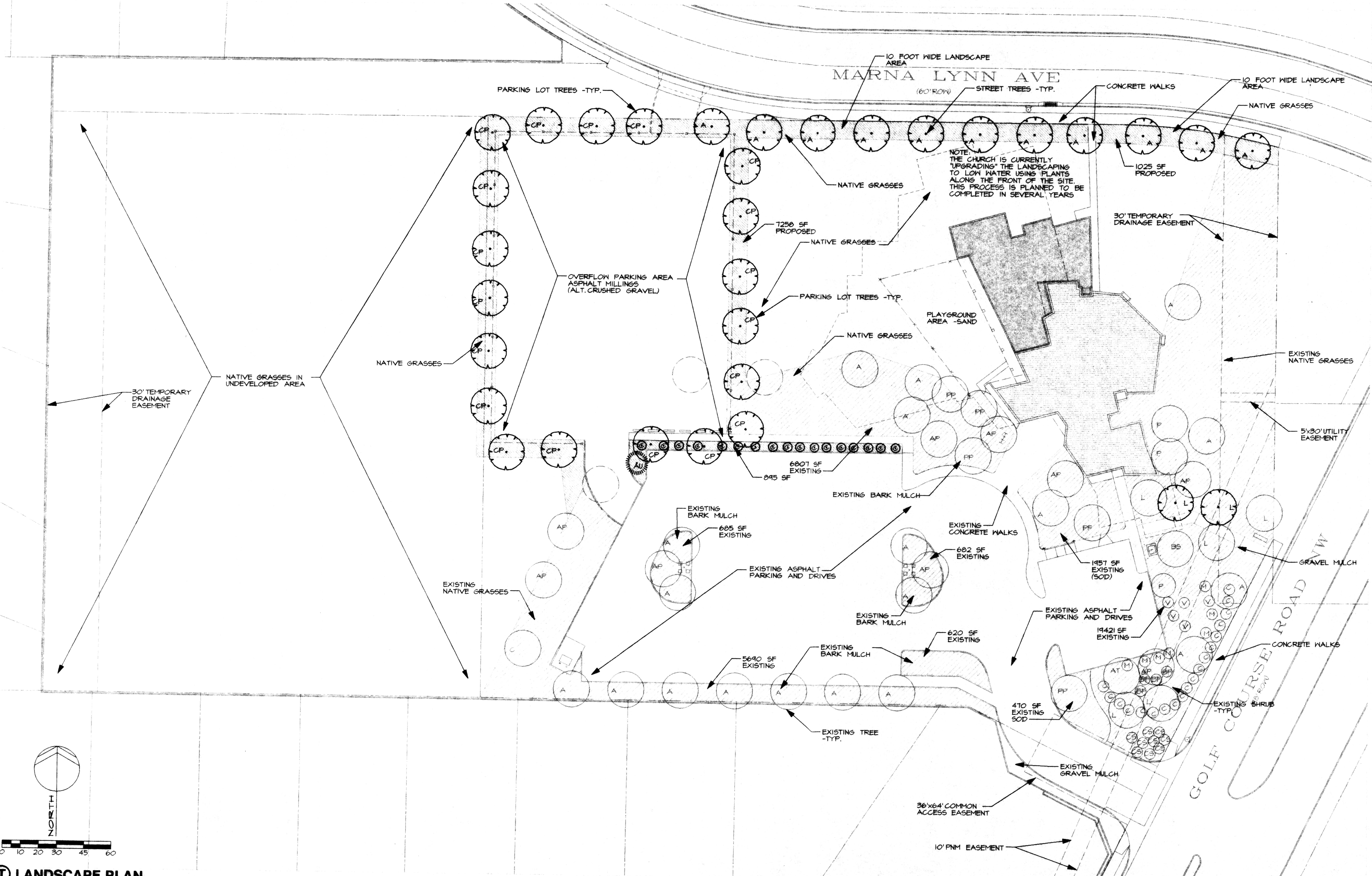
PLANTING NOTES

EXISTING PLANTS ON NEW SITE CONSIST OF NATIVE GRASSES AND LOW GROWING FORBS. ALL WILL BE REMOVED TO ACCOMMODATE SITE GRADING.



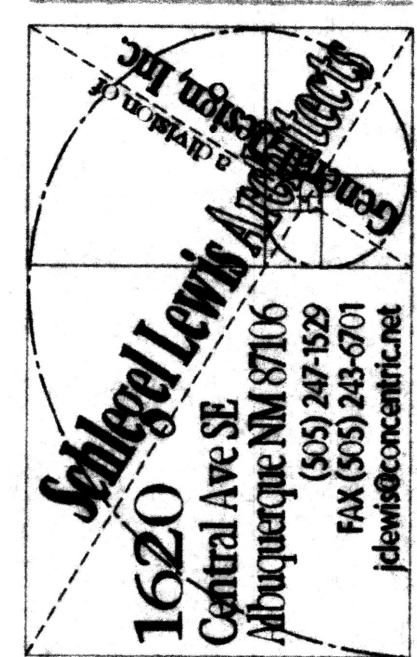
CONSULTANT

A PLANT LEGEND



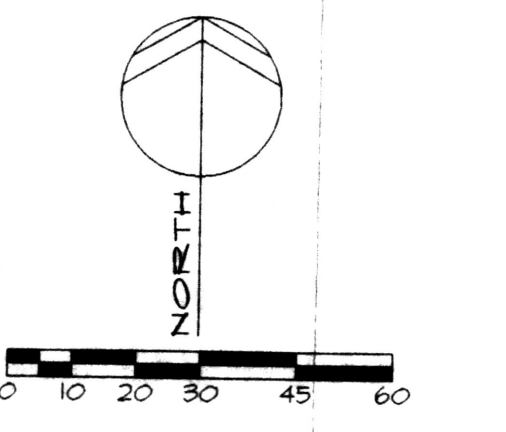
LANDSCAPE NOTES

EXISTING PLANTS ON NEW SITE CONSIST OF NATIVE GRASSES AND LOW GROWING FORBS. ALL WILL BE REMOVED TO ACCOMMODATE SITE GRADING.



CONTRACTOR

M LANDSCAPE NOTES



T LANDSCAPE PLAN

West Mesa Christian Church
Site Development Plan
Education Addition
Albuquerque, New Mexico

ISSUE DATE:
25 JAN 00

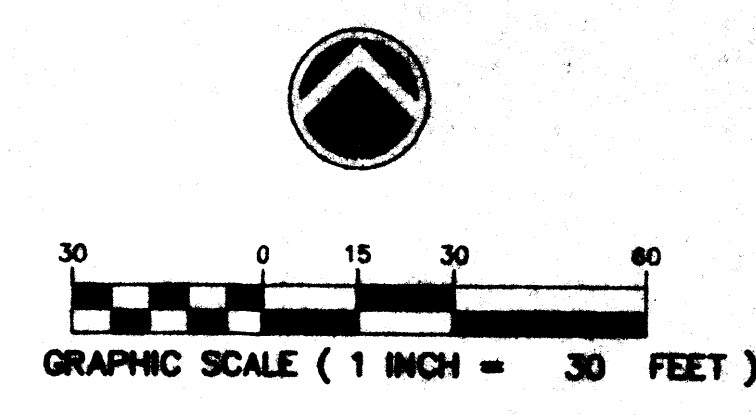
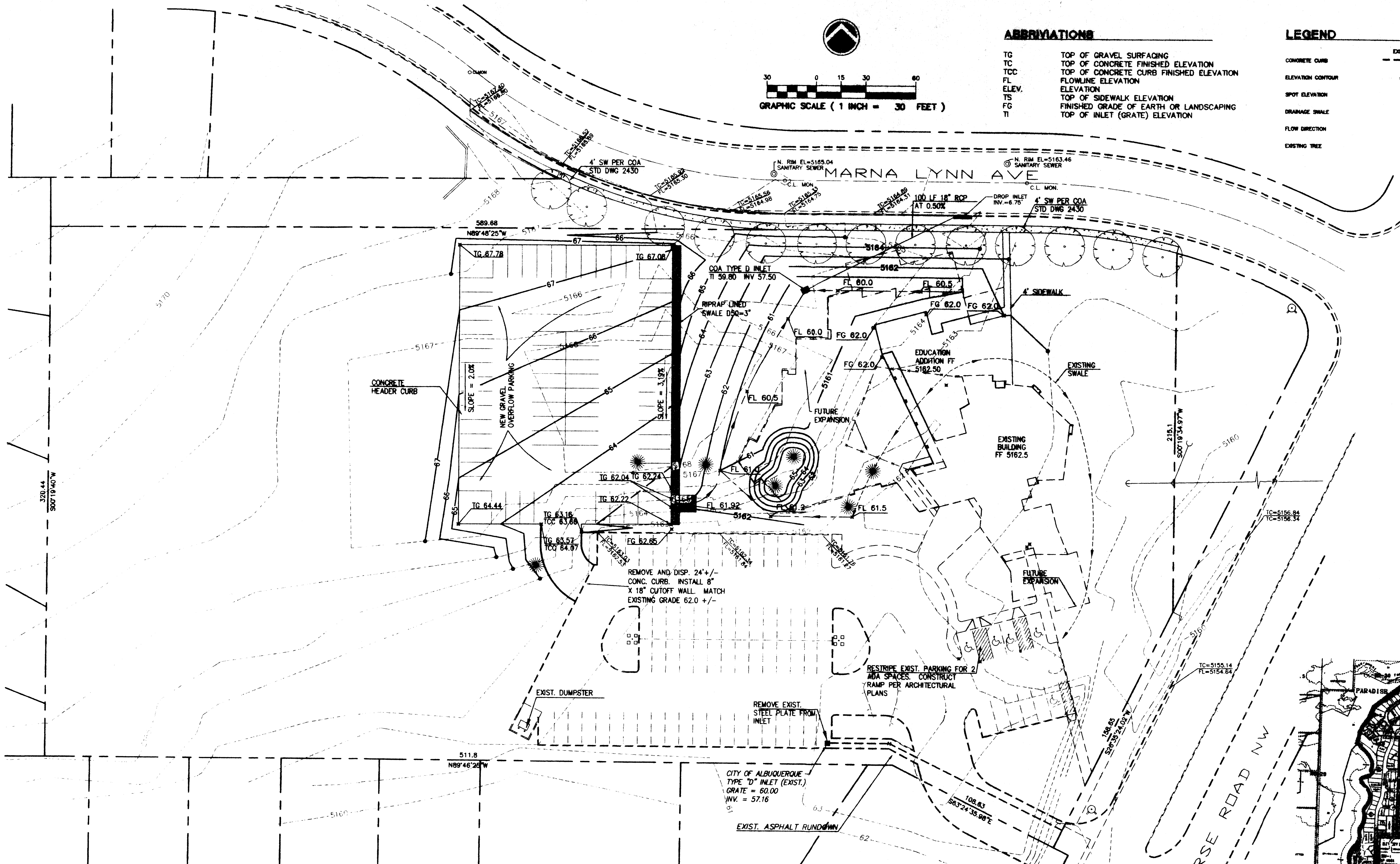
REVISIONS:
22 MAY 00
31 MAY 00

LANDSCAPING PLAN AND SCHEDULES

PROJECT 9-02-1 SHEET **SDP2** OF 4

NOTES

Scale: 1"=30'-0"

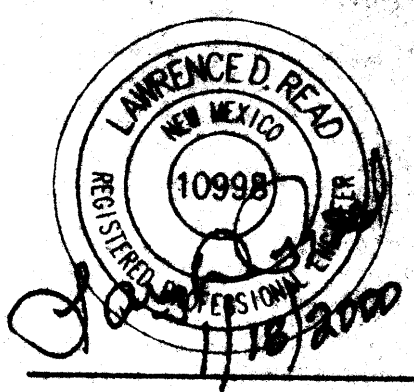


ABBREVIATIONS

TG	TOP OF GRAVEL SURFACING
TC	TOP OF CONCRETE FINISHED ELEVATION
TCC	TOP OF CONCRETE CURB FINISHED ELEVATION
FL	FLOWLINE ELEVATION
ELEV.	ELEVATION
TS	TOP OF SIDEWALK ELEVATION
FG	FINISHED GRADE OF EARTH OR LANDSCAPING
TI	TOP OF INLET (GRATE) ELEVATION

LEGEND

CONCRETE CURB	---	EXISTING	---	PROPOSED
ELEVATION CONTOUR	---	---	---	---
SPOT ELEVATION	---	---	---	---
DRAINAGE SWALE	---	---	---	---
FLOW DIRECTION	---	---	---	---
EXISTING TREE	---	---	---	---

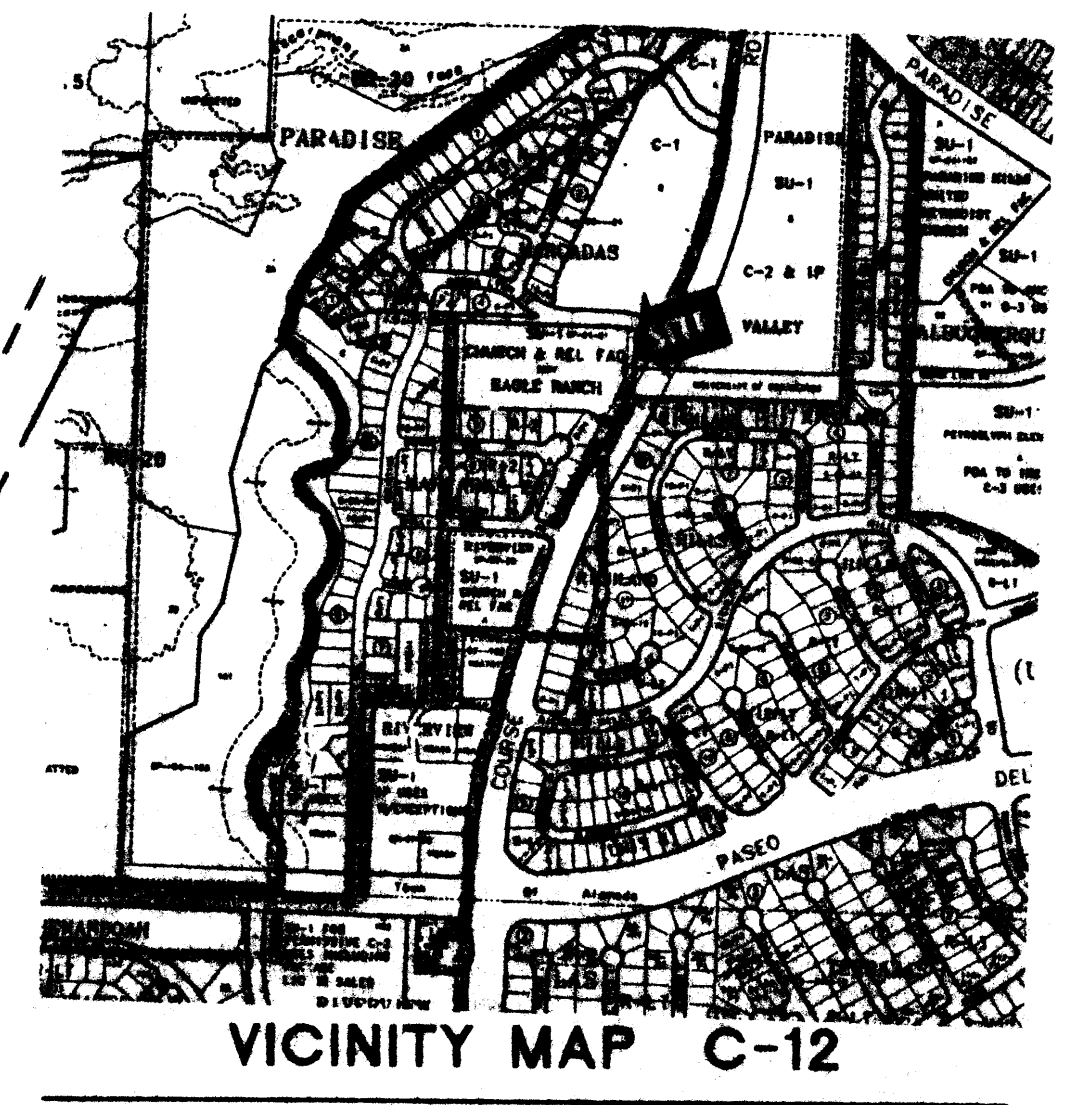


LARRY READ & ASSOCIATES
Civil Engineers
12500 1st Avenue NE
Albuquerque, NM 87112
(505) 271-2621

Subgrade
1620
Central Ave SE
Albuquerque, NM 87106
(505) 247-1089
(505) 242-6101 FAX
james@subgrade.com

These drawings are an "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the Architect. © 1999

CONTRACTOR



- GENERAL**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 6.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING MONUMENTATION CONTROLS. IN THE EVENT OF INADVERTENT DESTRUCTION OR ALTERATION THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE CITY CHIEF SURVEYOR.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

6. NOTICE - THE ENGINEER HAS UNDERTAKEN NO VERIFICATION OF THE EXISTENCE, LOCATION, SIZE, DEPTH, OR TYPE OF UNDERGROUND UTILITY WITHIN THE CONSTRUCTION AREA AND MAKES NO REPRESENTATION PERTAINING TO THESE UTILITIES. THE UTILITIES THAT HAVE BEEN SHOWN ARE BASED ON AVAILABLE INFORMATION FROM THE OWNER, UTILITY COMPANIES, GOVERNING AGENCY, OR OTHERS. THIS INFORMATION MAY BE INCOMPLETE, INACCURATE, OR OBSOLETE. THE CONTRACTOR SHALL CONTACT THE LINE LOCATION SERVICE AT 260-1990 AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION TO HAVE THE UTILITIES SPOTTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE EXISTING UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION TO THE SATISFACTION OF THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE UTILITY THAT HAS BEEN DAMAGED.

SURVEY

FIELD SURVEY BY:
HARRIS SURVEYING, INC.
2412-D MONROE STREET NE
ALBUQUERQUE, NM 87110

SURVEY DATE: OCT. 12, 1999
PHONE: (505) 889-8056
FAX: (505) 889-8645

CONTOUR INTERVALS ARE ONE (1) FOOT.

ELEVATIONS SHOWN HEREON ARE BASED ON THE EXISTING FINISHED FLOOR OF THE CHURCH HAVING AN ELEVATION OF 126.5 ABOVE MEAN SEA LEVEL.

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. SURVEYOR DOES NOT GUARANTEE THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0116 D; EFFECTIVE DATE SEPT 20, 1996.

LEGAL DESCRIPTION

TRACT 22A-1, EAGLE RANCH

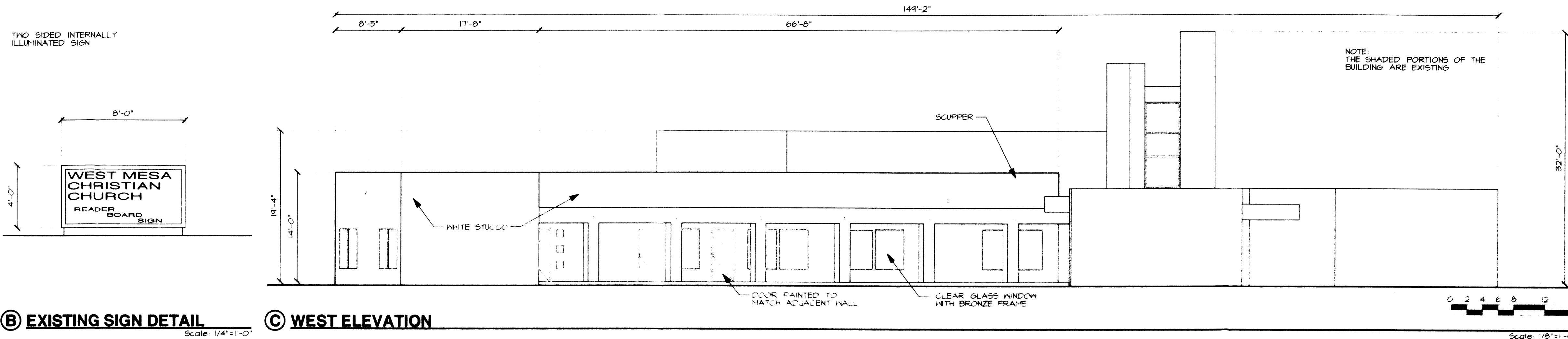
ACS BENCHMARK

THE STATION IS A 3 1/4" ALUMINUM CAP AND IS STAMPED "ACS 3-812, 1986", SET FLUSH WITH THE LAVA ROCK.
X=369,484.87, Y=1,524,345.87, Z= 5277.263

West Mesa Christian Church
Site Development Plan
Education Addition
Albuquerque, New Mexico

ISSUE DATE:
15 DEC 99
REVISIONS:

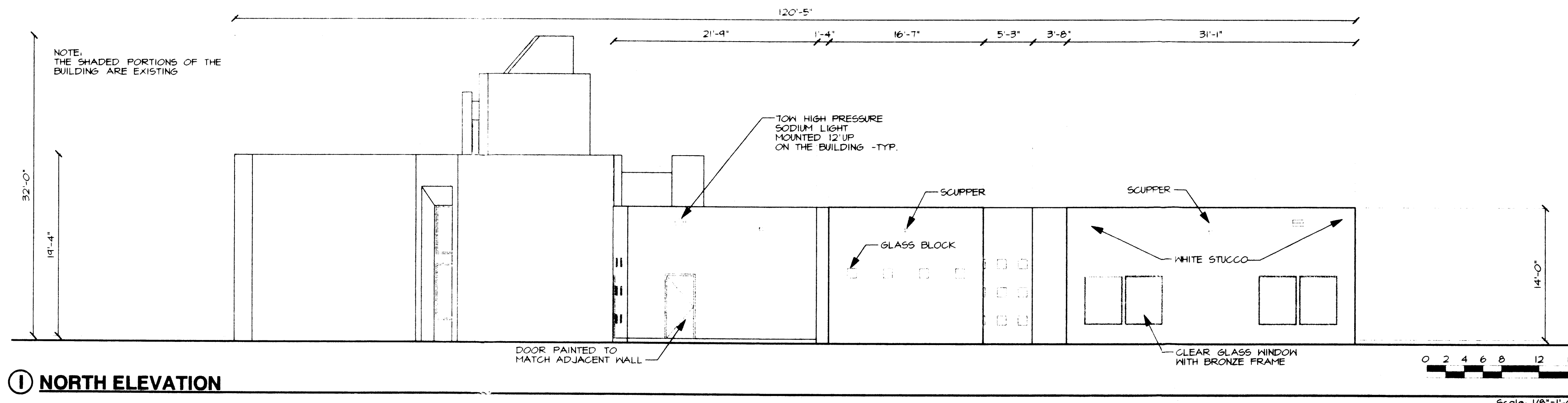
PROJECT 9824 SHEET SDP3 OF 4



(A) DETAIL NOT USED

(B) EXISTING SIGN DETAIL
Scale: 1/4"=1'-0"

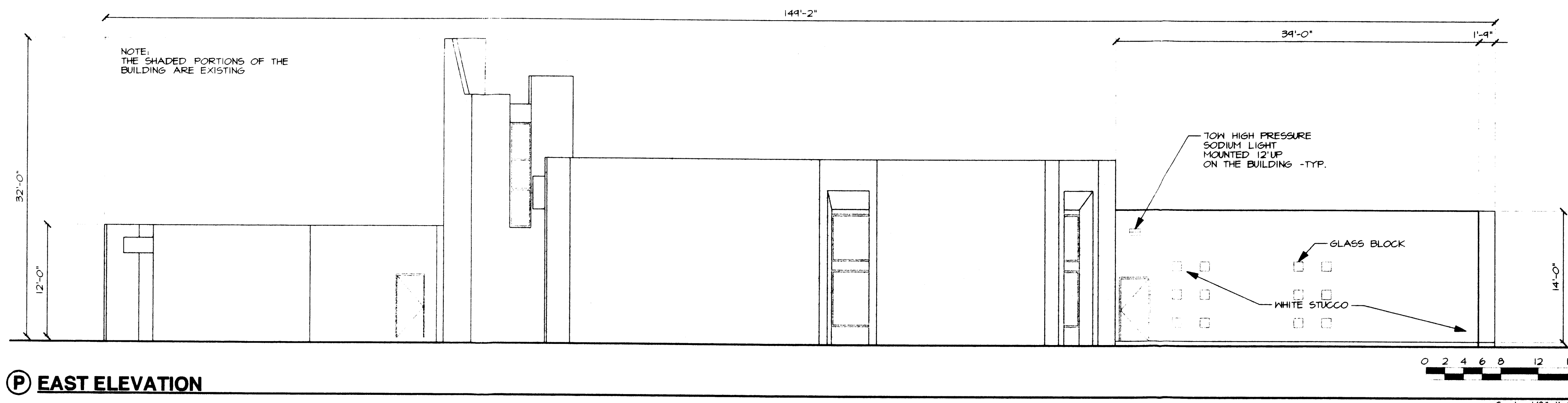
(C) WEST ELEVATION
Scale: 1/8"=1'-0"



(G) DETAIL NOT USED

(H) DETAIL NOT USED

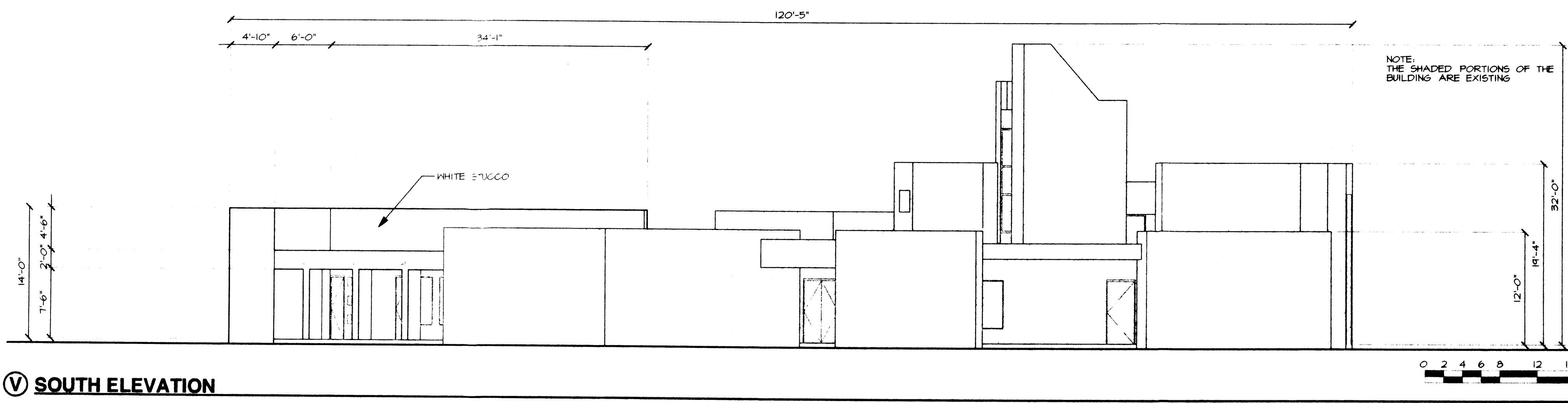
(I) NORTH ELEVATION
Scale: 1/8"=1'-0"



(N) DETAIL NOT USED

(O) DETAIL NOT USED

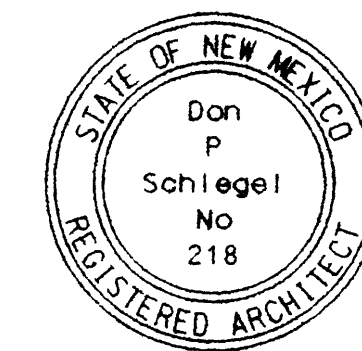
(P) EAST ELEVATION
Scale: 1/8"=1'-0"



(T) DETAIL NOT USED

(U) DETAIL NOT USED

(V) SOUTH ELEVATION
Scale: 1/8"=1'-0"



CONSULTANT



These drawings are an "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the Architect. © 1999

CONTRACTOR

West Mesa Christian Church
Site Development Plan
Education Addition
Albuquerque, New Mexico

ISSUE DATE:
25 JAN 00
REVISIONS:
22 MAY 00

BUILDING ELEVATIONS

PROJECT: 9824 SHEET: SDP4 OF 4