

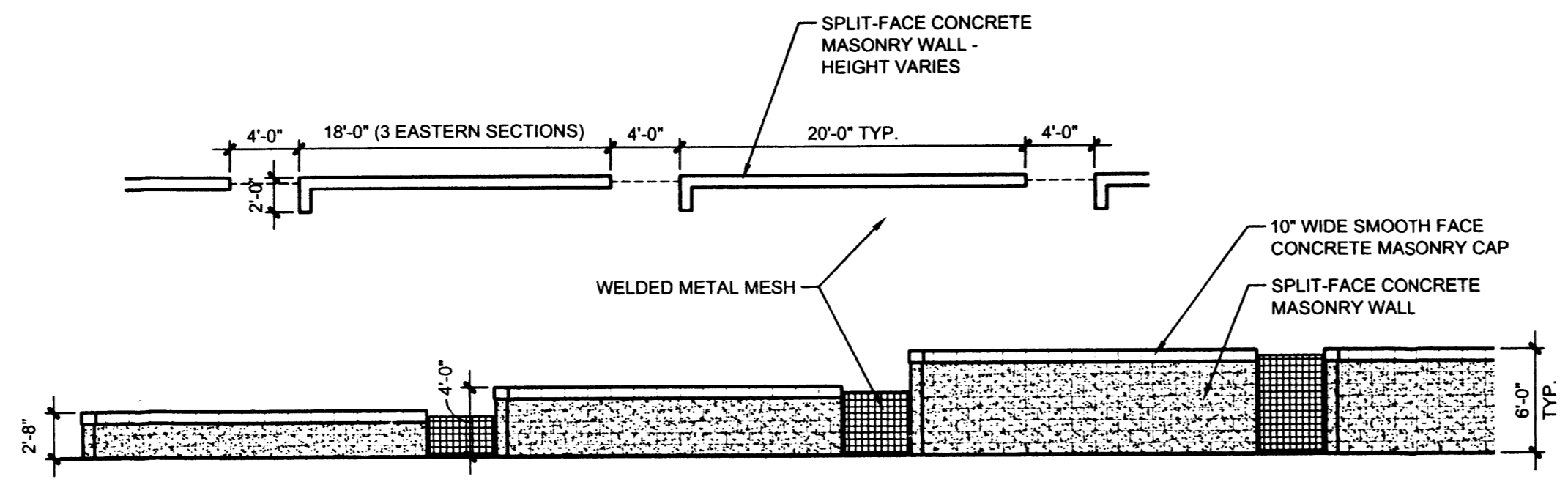
1.000195
 06DRB-00304
 (X) YES () NO
 THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON 2/16/2006 PROJECT # 1000195

TO GLARE ON TO ADJACENT SITES AND THE BUILDING.
 PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN 80 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT LIGHT POLLUTION. NO LIGHT SOURCE SHALL BE UNSHIELDED. ALL LIGHT FIXTURES ARE SHOE BOX TYPE FIXTURES.
 MATCH THE SITE LIGHTING PROVIDED BY THE ADJACENT DEVELOPMENT.
 UNSHIELDED LIGHT FIXTURES ARE SHOE BOX TYPE FIXTURES.
 LIGHTING PROTECTION ACT.

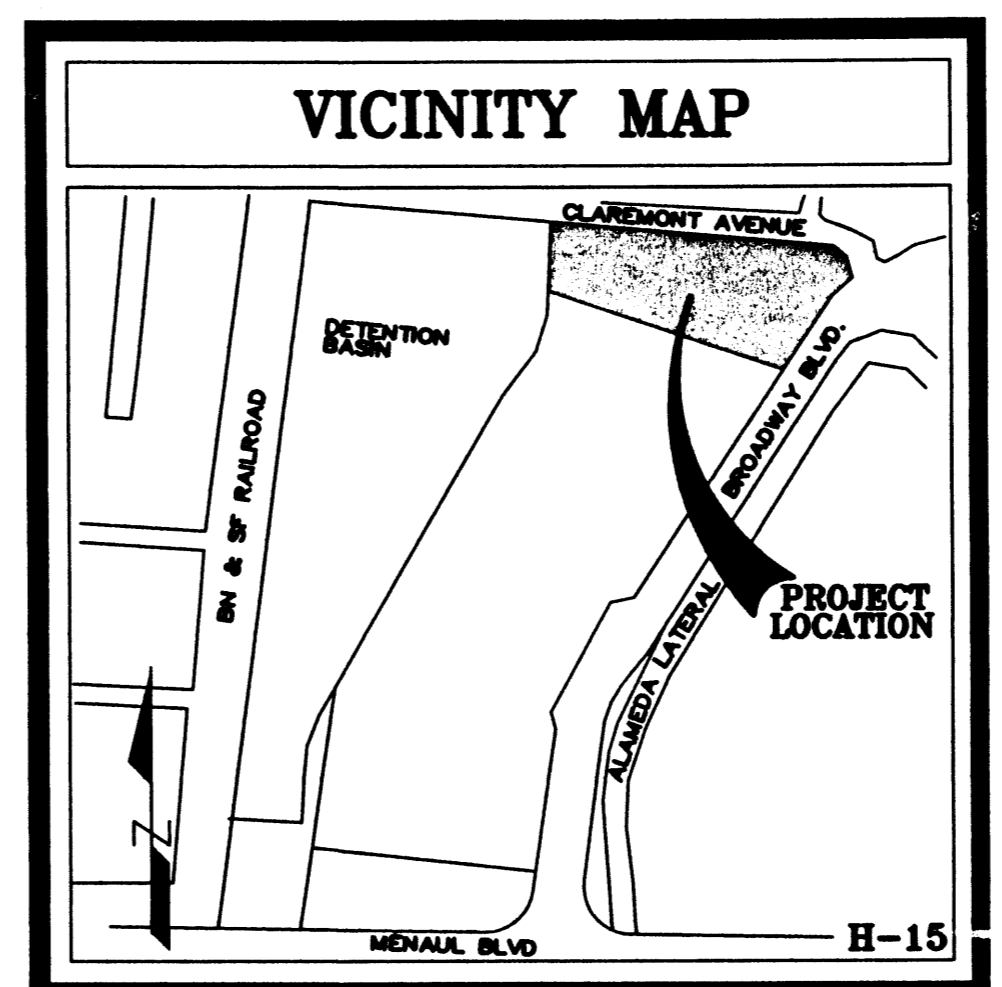
LIGHTING DETAIL

D-2

SCALE: 1/8" = 1'-0"



CONCRETE MASONRY WALL



SIGNATURE BLOCK

PROJECT NUMBER: 1000195
 APPLICATION NUMBER: 06DRB-00304
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO
 THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON 2/16/2006 PROJECT # 1000195

TRAFFIC ENGINEERING TRANSPORTATION DIVISION 5-22-06 DATE
 CHRISTINA SANDORAL 3/22/06 DATE
 PARKS & RECREATION DEPARTMENT
 ROSE A. SHAN 3-22-06 DATE
 UTILITIES DEVELOPMENT
 BRADLEY A. BINGHAM 3/22/06 DATE
 CITY ENGINEER, ENGINEERING DIVISION / AMAPCA
 N/A ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE
 MICHAEL H. HARRIS DATE
 SOLID WASTE MANAGEMENT
 ANDREW SPRETTI 3-24-06 DATE
 DRB CHAIRPERSON, PLANNING DEPARTMENT
 PLM(10766) 12/16/08

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.E.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

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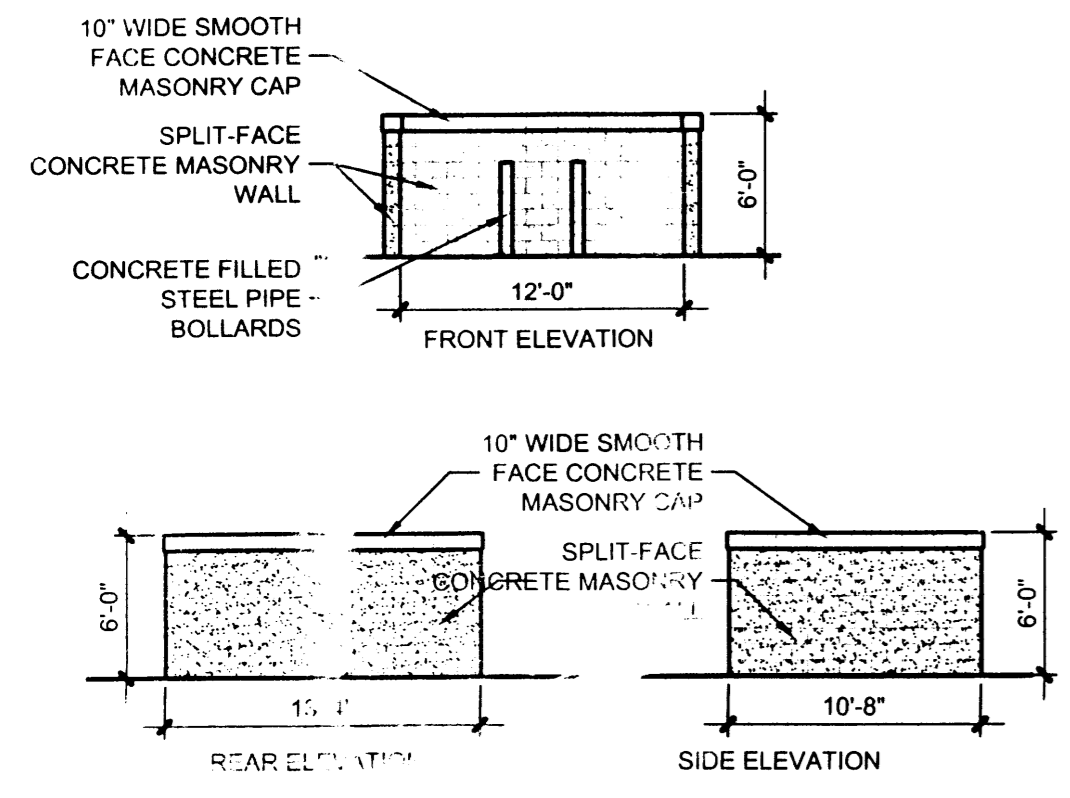
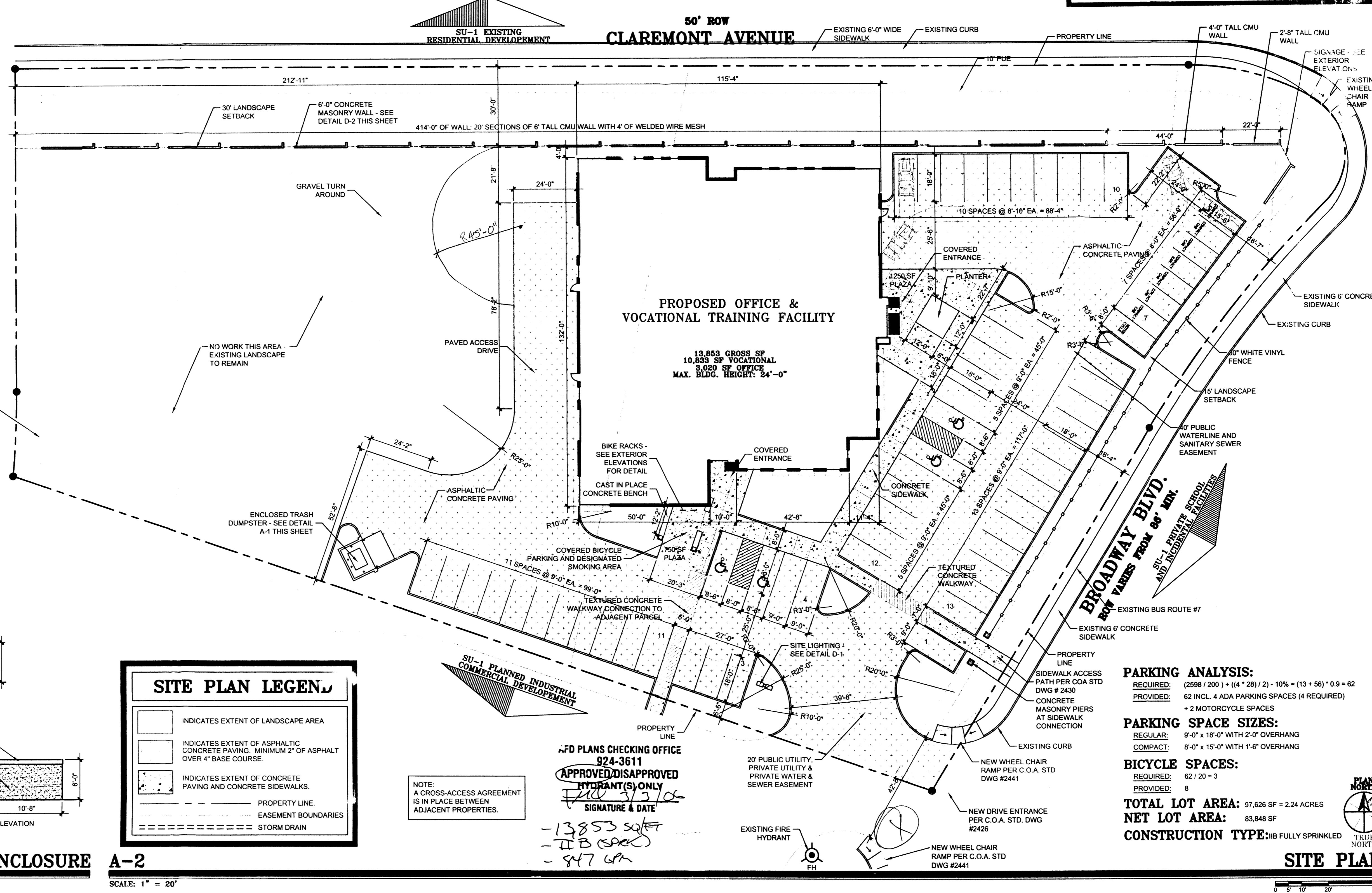
ASSOCIATED BUILDERS & CONTRACTORS RIO GRANDE CHAPTER
 2851 BROADWAY BLVD. NE
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 03005
 DRAWING FILE: 03005-ABC-C-101-SP
 DRAWN BY: LH
 CHECK BY:
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
 DATE: JANUARY 4, 2006

SHEET TITLE
 SITE PLAN FOR BUILDING PERMIT

SHEET NUMBER
 DRB-1



TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"

SITE PLAN LEGEND

- INDICATES EXTENT OF LANDSCAPE AREA
- INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING. MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.
- INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.
- PROPERTY LINE
- EASEMENT BOUNDARIES
- STORM DRAIN

A-2

SCALE: 1" = 20'

APD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED HYDRANT(S) ONLY
 FILE 3/3/06
 SIGNATURE & DATE

- 13853 SQ FT
 - 113 (SPR)
 - 847 GR

NOTE:
 A CROSS-ACCESS AGREEMENT IS IN PLACE BETWEEN ADJACENT PROPERTIES.

PARKING ANALYSIS:
 REQUIRED: (2598 / 200) + ((4 * 28) / 2) - 10% = (13 + 56) * 0.9 = 62
 PROVIDED: 62 INCL. 4 ADA PARKING SPACES (4 REQUIRED)
 + 2 MOTORCYCLE SPACES

PARKING SPACE SIZES:
 REGULAR: 9'-0" x 18'-0" WITH 2'-0" OVERHANG
 COMPACT: 8'-0" x 15'-0" WITH 1'-6" OVERHANG

BICYCLE SPACES:
 REQUIRED: 62 / 20 = 3
 PROVIDED: 8

TOTAL LOT AREA: 97,626 SF = 2.24 ACRES
NET LOT AREA: 83,848 SF

CONSTRUCTION TYPE: IIB FULLY SPRINKLED

SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT# 1000195

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Landscape Coverage
Trees					
6		Chitalpa tashkentensis Chitalpa	2" B&B	Medium	N/A
26		Fraxinus oxycarpa 'Raywood' Raywood Ash	2" B&B	Medium+	N/A
6		Pinus nigra Austrian Pine	5'-6"	Medium	N/A
8		Vitex agnus-castus Chaste Tree	2" B&B	Low+	N/A
Shrubs/Groundcovers					
45		Cotoneaster parneyi Clusterberry Cotoneaster	5-Gal	Medium	50sf x 45 = 2250sf
50		Hesperaloe parviflora Red Yucca	1-Gal	Low+	15sf x 50 = 750sf
59		Nepeta mussini Giant Catmint	1-Gal	Medium	8sf x 59 = 472sf

30		Perovskia atriplicifolia Russian Sage	5-Gal	Medium	25sf x 30 = 750sf
33		Rhus trilobata 'Gro-low' Gro-low Sumac	5-Gal	Low+	50sf x 33 = 1650sf
46		Rosmarinus officinalis 'Prostratus' Creeping Rosemary	5-Gal	Low +	30sf x 46 = 1380sf
Ornamental Grasses					
38		Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium	20sf x 38 = 760sf
74		Muhlenbergia cap. 'Regal Mist' Regal Mist	5-Gal	Medium	25sf x 74 = 1850sf
Total: 9862sf					
		Landscape Boulder- approx. 2'x3'x3'			

SITE DATA

GROSS LOT AREA	97,626	SF
LESS BUILDING(S)	13,853	SF
NET LOT AREA	83,773	SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	12,566	SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	25.174	SF
	30	%
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	5088	SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	0	SF
	0	%
REQUIRED STREET TREES PROVIDED AT 25' O.C. SPACING ALONG STREET	32	
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (62 SPACES/10)	7	
REQUIRED LANDSCAPE AREA COVERAGE MIN. 75% OF REQ. LANDSCAPE AREA	9425	SF
PROPOSED LANDSCAPE AREA COVERAGE PERCENT OF REQ. LANDSCAPE AREA	9862	SF
	78.5	%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SUNSET ROSE CRUSHER FINES AT A 3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

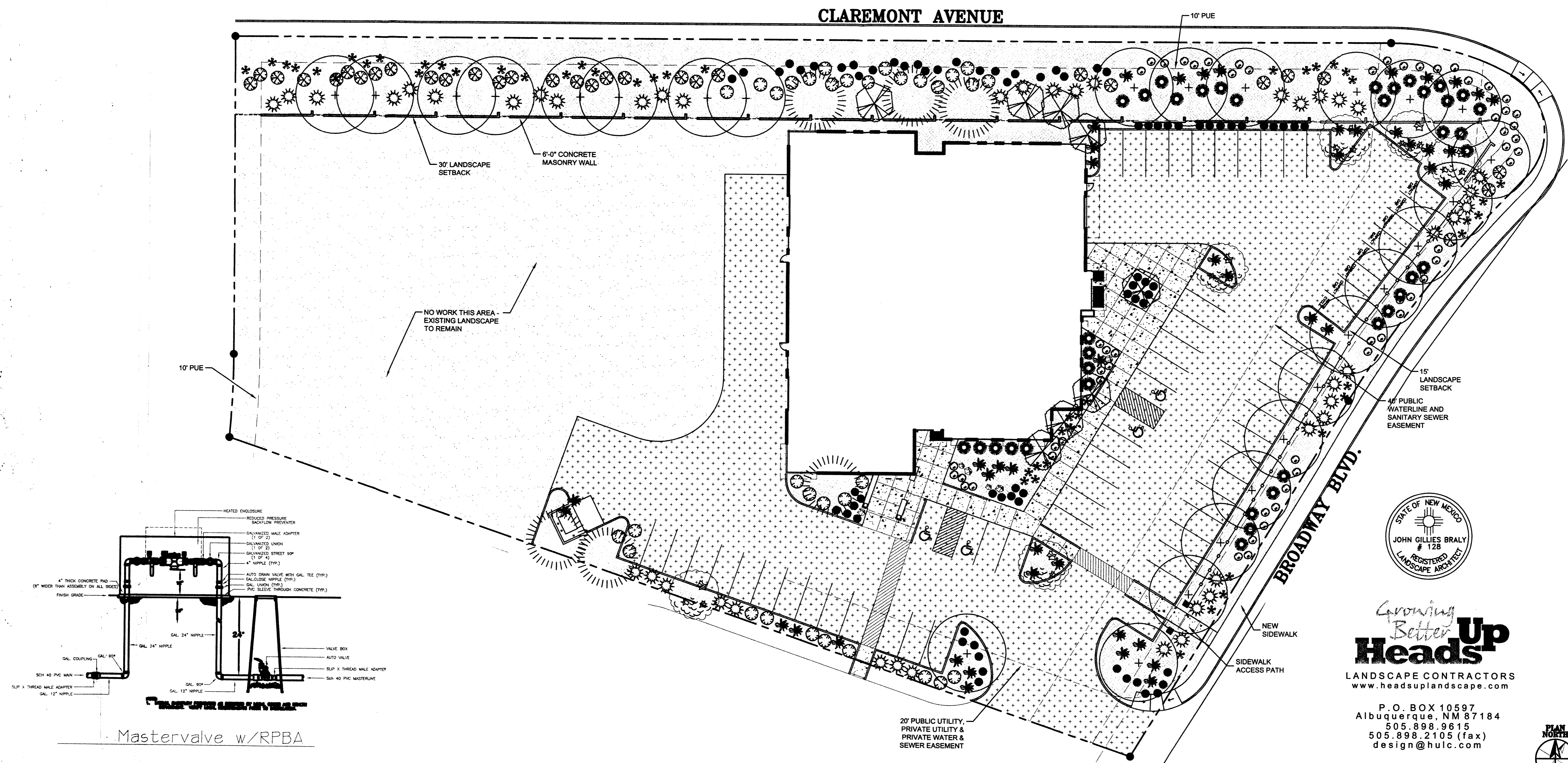
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF



CLAREMONT AVENUE

BROADWAY BLVD.

STATE OF NEW MEXICO
JOHN GILLIES BRALY
128
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LANDSCAPE ARCHITECT

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www.headsuplandscape.com

P.O. BOX 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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NOT FOR CONSTRUCTION

ASSOCIATED BUILDERS & CONTRACTORS
RIO GRANDE CHAPTER
2851 BROADWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO

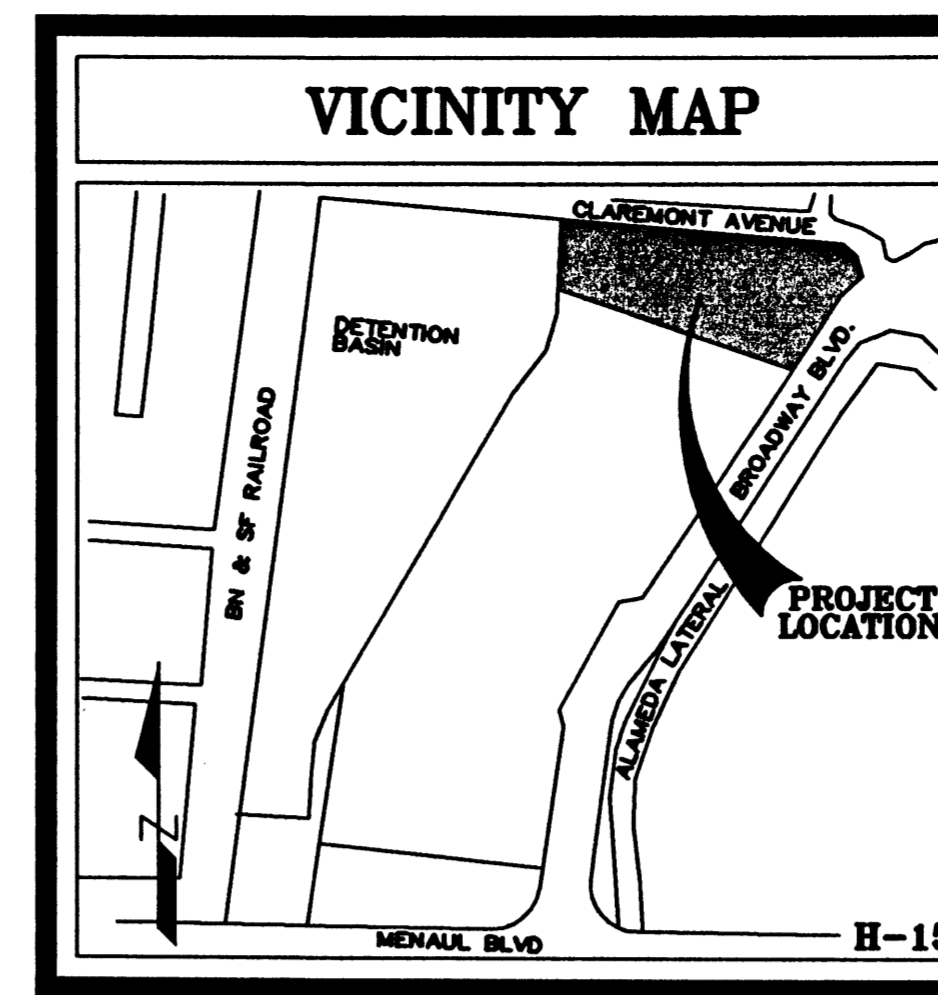
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DATE: FEBRUARY 16, 2006

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
DRB-2

- LEGEND:
- 51.00 EXISTING SPOT ELEVATION
 - 51.00 NEW SPOT ELEVATION
 - 51- EXISTING CONTOUR
 - 51- NEW CONTOUR
 - ↔ SWALE
 - ✓ VERIFIED ELEVATION
 - 51.0- AS BUILT ELEVATION
 - - - BASIN BOUNDARY
 - - - PROPERTY LINE
 - FL FLOW LINE
 - GND GROUND
 - INV INVERT
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TS TOP OF CONCRETE SLAB
 - TW TOP OF WALL
 - TBM TEMPORARY BENCH MARK
 - GRAVEL
 - ASPHALT PAVING
 - CONCRETE



DRAINAGE PLAN

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF BROADWAY BOULEVARD SOUTH OF CLAREMONT AVENUE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 1.5%. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE LANDS TO THE NORTH AND SOUTH SLOPE FROM EAST TO WEST. THE STREET TO THE EAST BLOCK FLOWS FROM THAT DIRECTION; THEREFORE OFFSITE FLOWS ARE CONSIDERED NEGLIGIBLE.

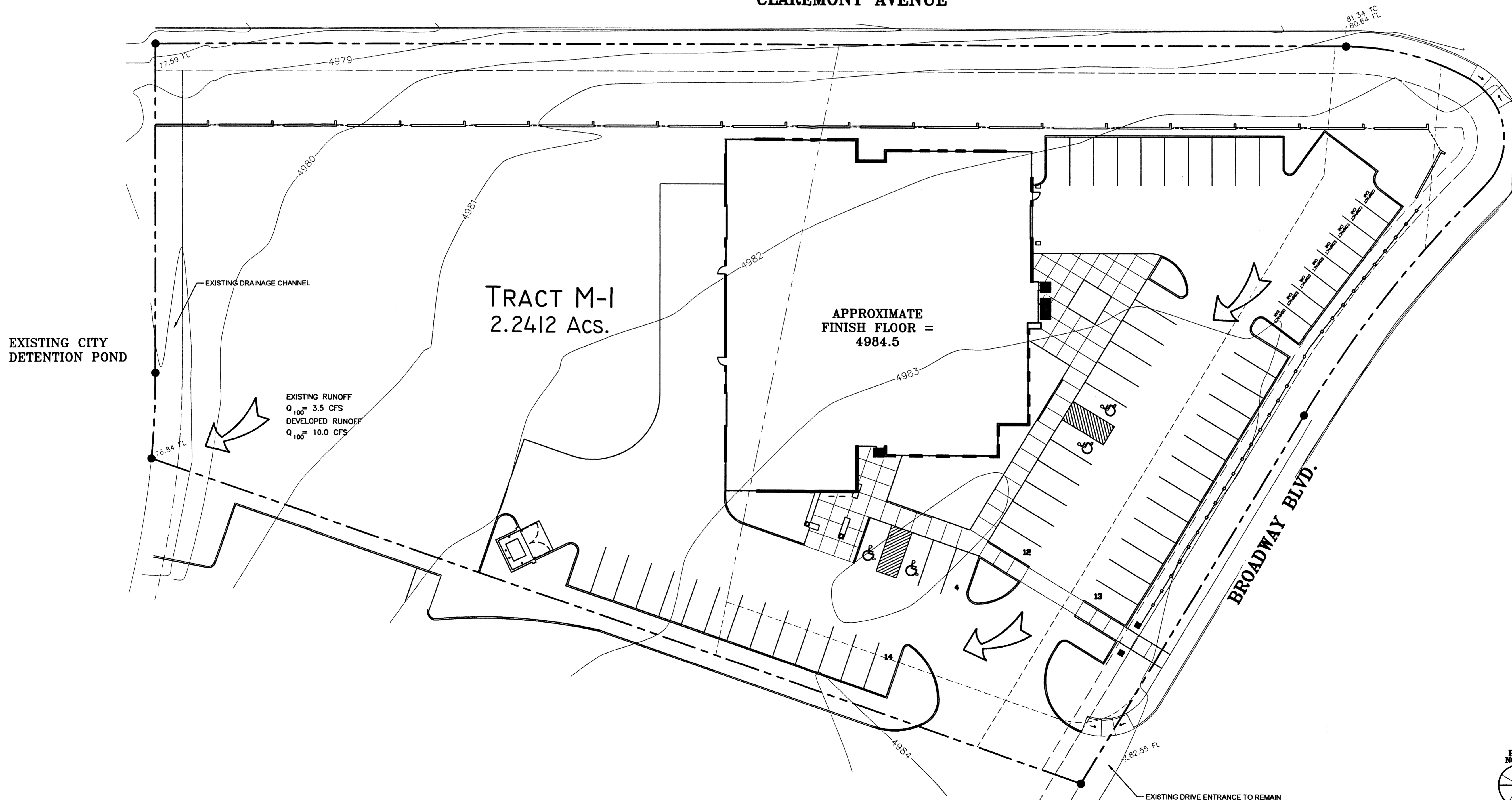
THE PROPOSED DEVELOPMENT LIE WITHIN GATEWAY INDUSTRIAL PARK. A CONCEPTUAL MASTER DRAINAGE PLAN FOR THIS SITE WAS PREPARED BY MARK GOODWIN & ASSOCIATES. THE MASTER DRAINAGE PLAN ESTABLISHED UNRESTRICTED DISCHARGE OF DEVELOPED FLOWS INTO THE ADJACENT CITY DETENTION POND TO THE WEST.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW VOCATIONAL AND OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING, AS SHOWN BY THE CALCULATION. THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 10.0 CFS (4.5 CFS/ACRE).

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
 PRECIPITATION ZONE = 2
 TOTAL SITE AREA = 2.24 ACRES
EXISTING CONDITIONS
 LAND TREATMENT A=100%
 E = 0.53(1.00) = 0.53 INCHES
 V = 0.53(2.24) / 12 = 0.099 ACRE FEET
 Q = 1.56(1.00) (2.24) = 3.5 CFS
DEVELOPED CONDITIONS
 LAND TREATMENT B=10% D=90%
 E = 0.78(0.10)+2.12(0.90) = 1.99 INCHES
 V = 1.99 (2.24) / 12 = 0.370 ACRE FEET
 Q = [2.28 (0.10)+4.7(0.90)](2.24)=10.0 CFS
 Q = 10.0/2.24=4.5 CFS/ACRE
 INCREASE IN VOLUME OF RUNOFF = 0.271 ACRE FT
 INCREASE IN RATE OF RUNOFF = 6.5 CFS

CLAREMONT AVENUE



EXISTING RUNOFF
 $Q_{100} = 3.5$ CFS
 DEVELOPED RUNOFF
 $Q_{100} = 10.0$ CFS

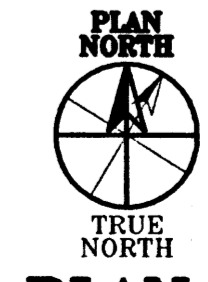
EXISTING CITY
 DETENTION POND

TRACT M-1
 2.2412 Acs.

APPROXIMATE
 FINISH FLOOR =
 4984.5

BROADWAY BLVD.

EXISTING DRIVE ENTRANCE TO REMAIN



CONCEPTUAL GRADING PLAN



CLAUDIO VIGIL ARCHITECTS

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 Albuquerque, New Mexico
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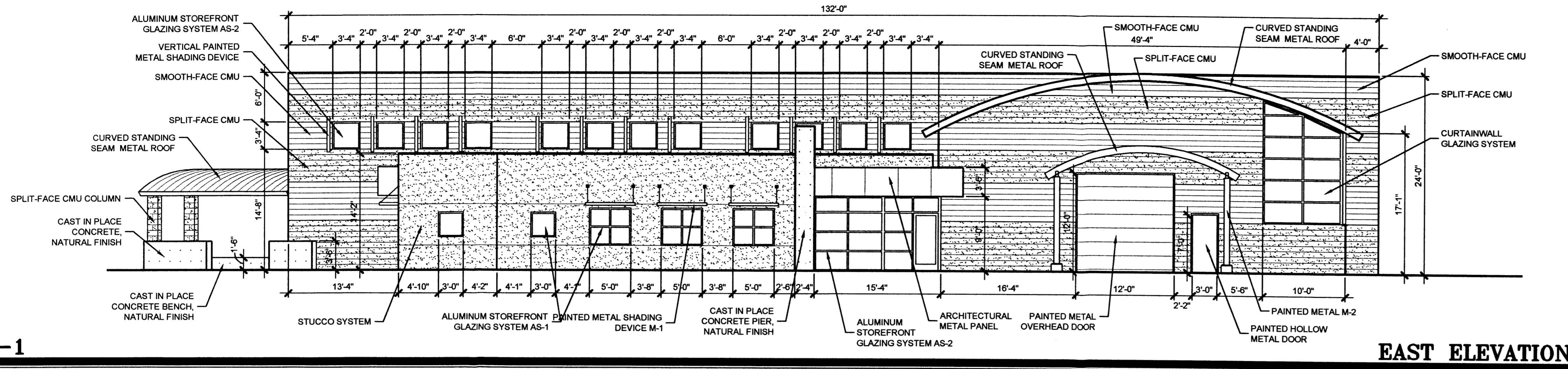
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 DATE: FEBRUARY 16, 2006

SHEET TITLE
CONCEPTUAL GRADING PLAN

SHEET NUMBER
DRB-3



EAST ELEVATION

D-1

SCALE: 1/8" = 1'-0"

MATERIAL	COLOR
ARCHITECTURAL METAL PANEL:	TERRACOTTA
STUCCO:	EARTH-TONE
ALUMINUM STOREFRONT:	AS-1: WHITE AS-2: TERRACOTTA
CURTAINWALL:	TERRACOTTA
CONCRETE MASONRY:	TAN
PAINTED METAL DOORS:	TAN
GLAZING:	SEMI-REFLECTIVE GREEN
METAL ROOF:	SILVER
PAINTED METAL:	M-1: TERRACOTTA M-2: WHITE

D-5

MATERIALS LEGEND



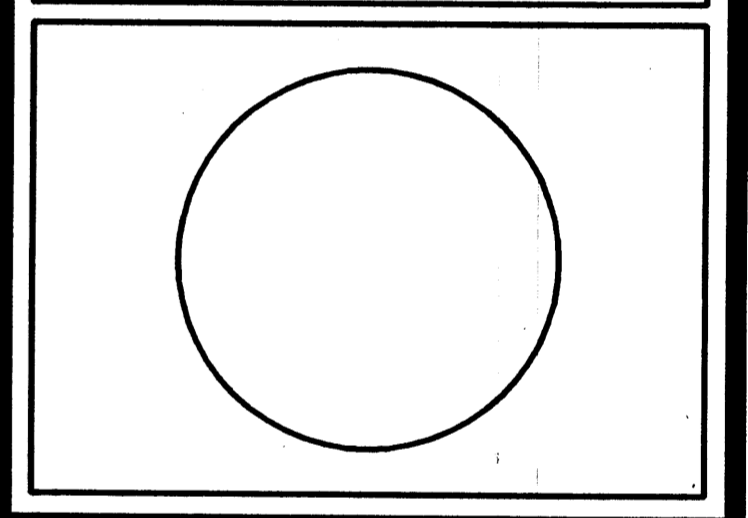
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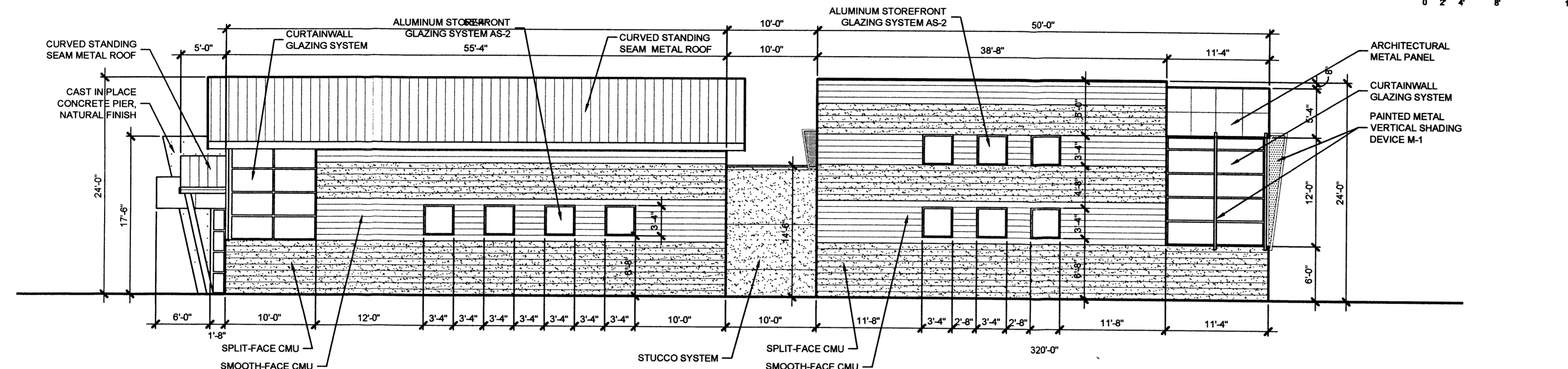
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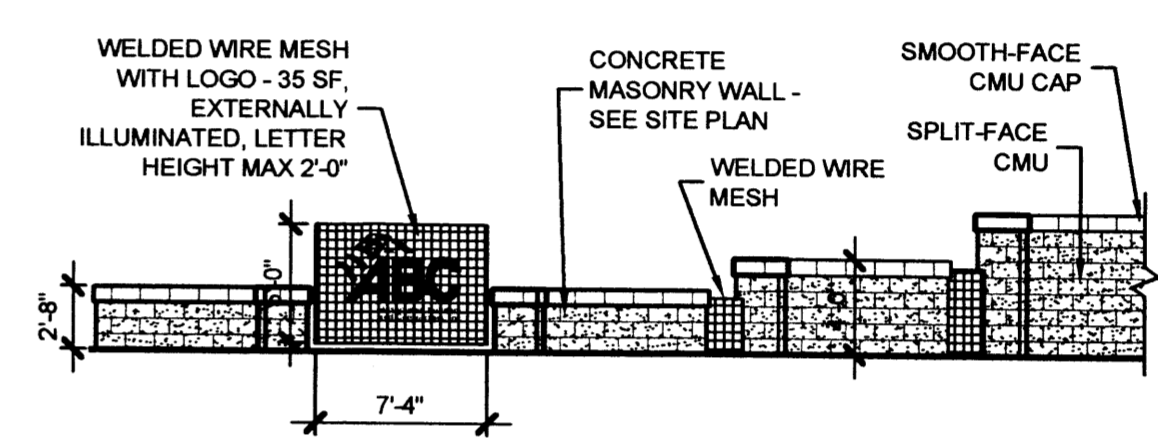
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ALBUQUERQUE, NEW MEXICO



NORTH ELEVATION

C-1

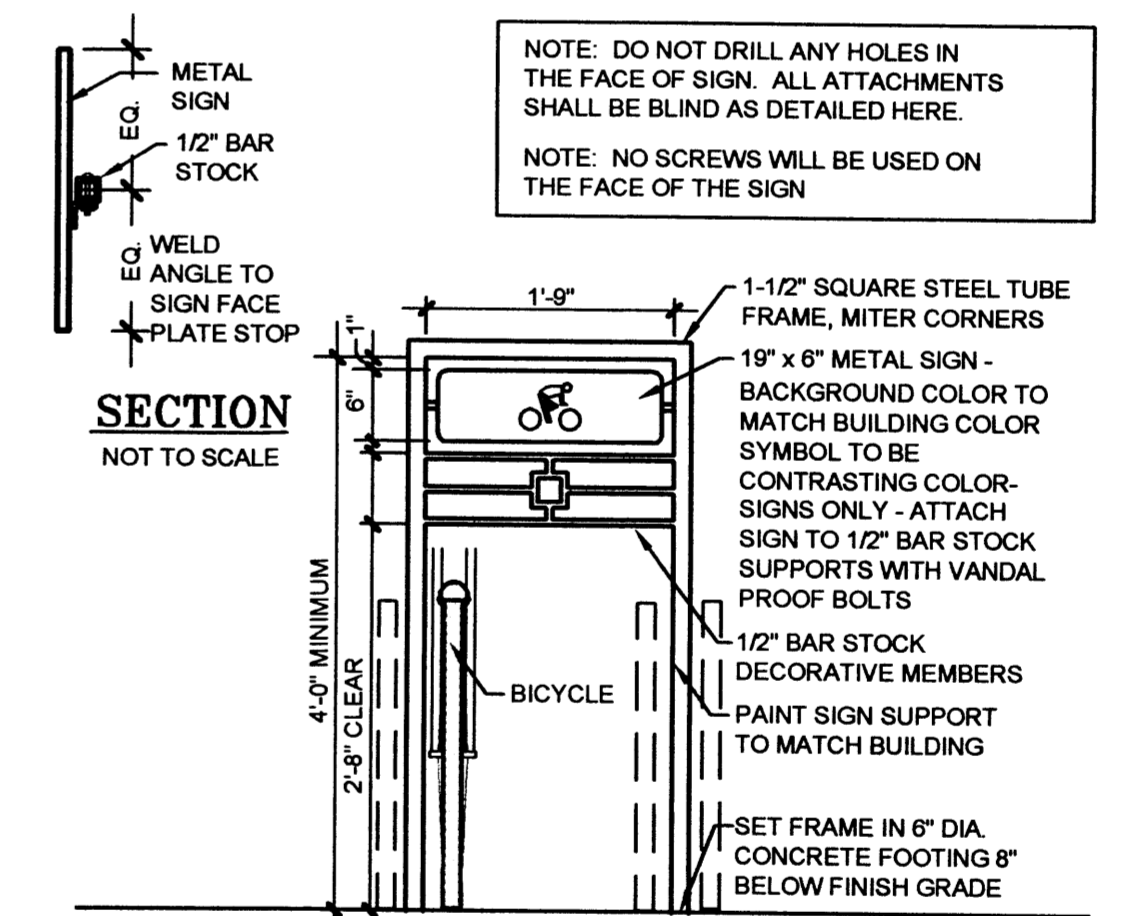
SCALE: 1/8" = 1'-0"



C-5

SIGNAGE

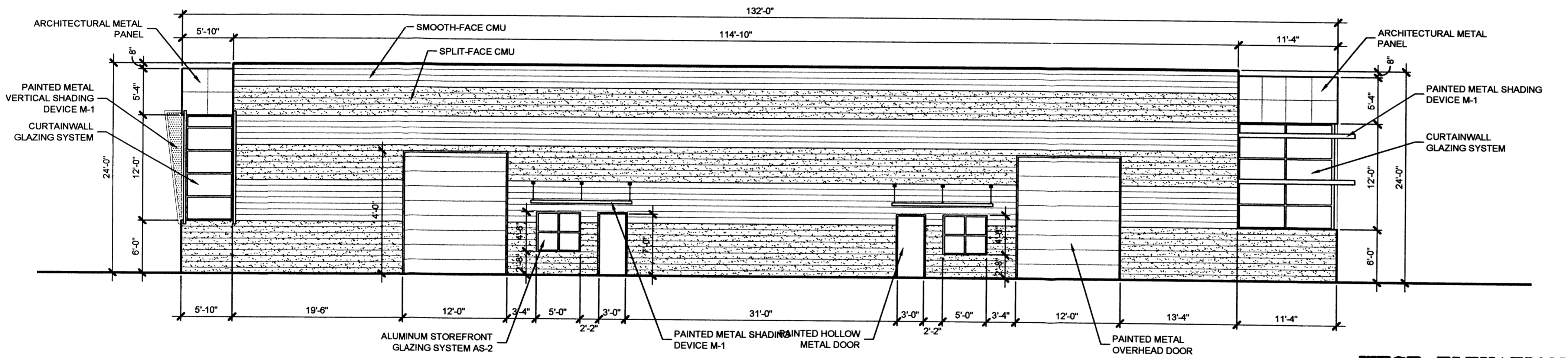
SCALE: 1/8" = 1'-0"



B-5

BIKE RACK DETAIL

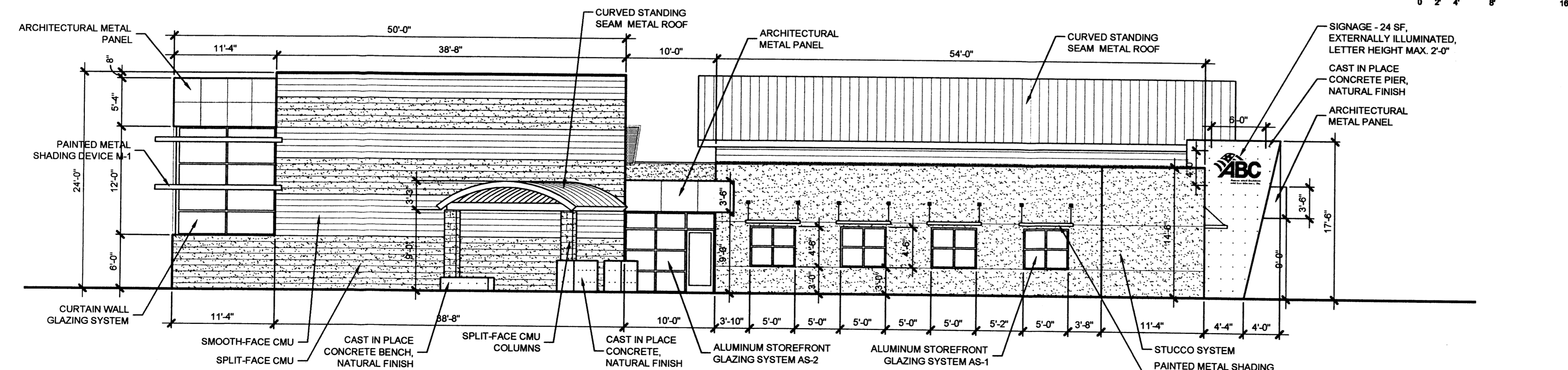
SCALE: 3/4" = 1'-0"



WEST ELEVATION

B-1

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

A-1

SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION

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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
DRB-4



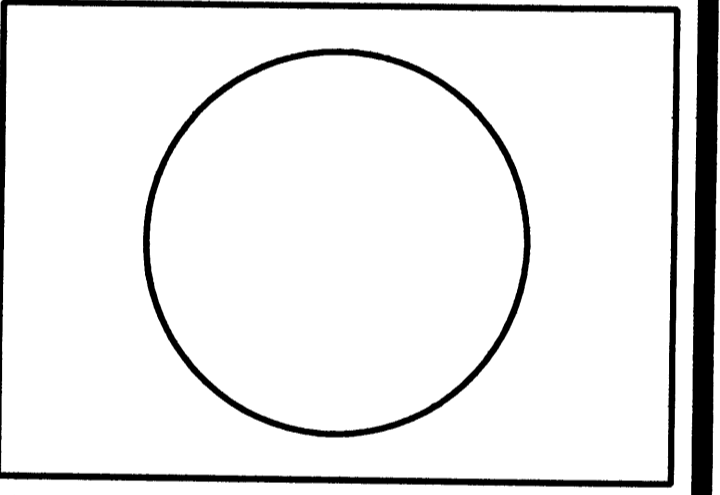
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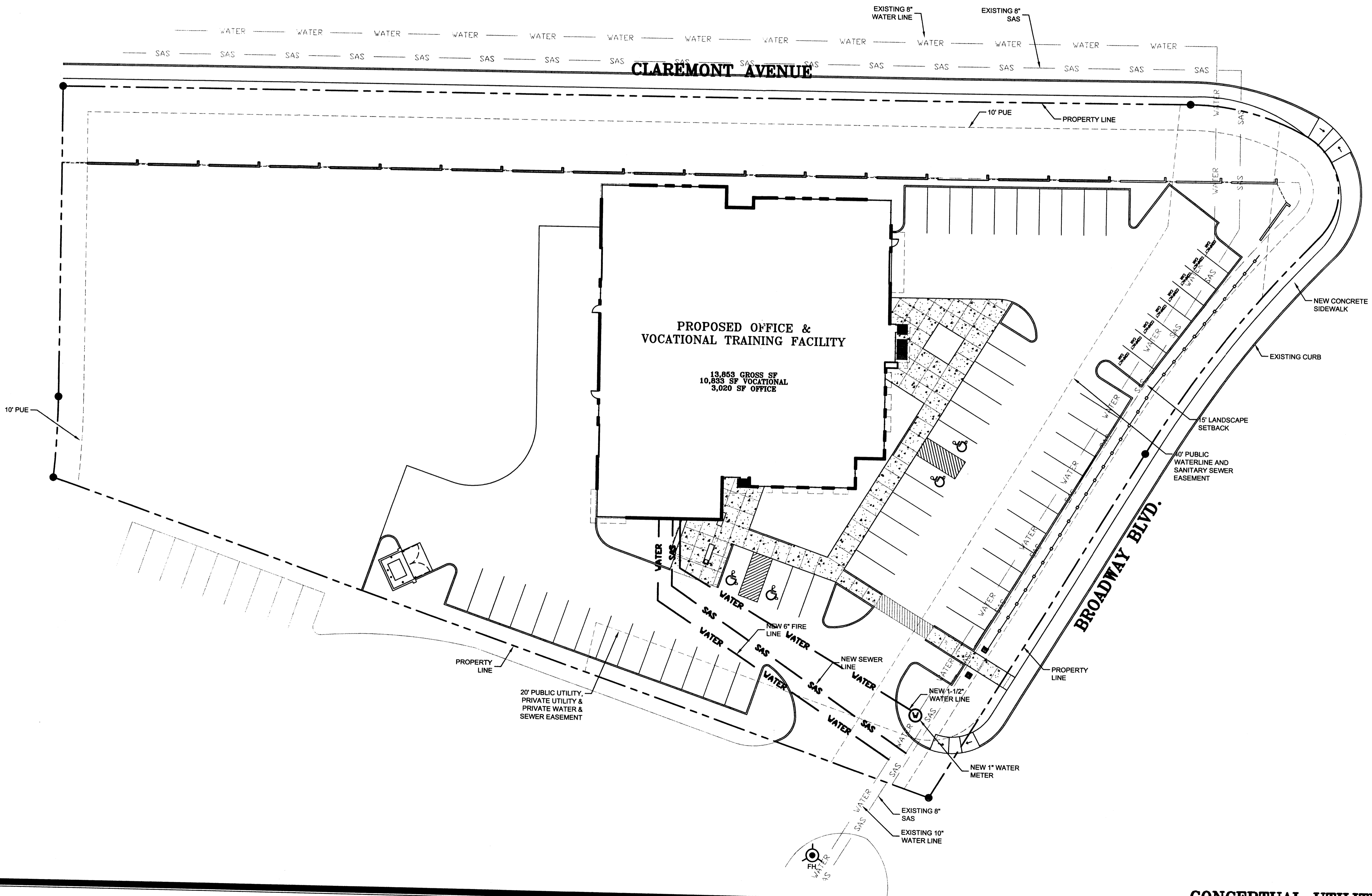
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SHEET TITLE
CONCEPTUAL UTILITY PLAN

SHEET NUMBER
DRB-5



A-1
SCALE: 1" = 20'

CONCEPTUAL UTILITY PLAN

