

| SIGNATURE BLOCK | |
|--|--------------|
| PROJECT NUMBER: | #1000195 |
| APPLICATION NUMBER: | 05.DRB-01303 |
| THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. | |
| IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS | |
| DRB SITE DEVELOPMENT PLAN APPROVAL: | |
| <i>[Signature]</i> | 9-7-05 DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | |
| <i>[Signature]</i> | 9-7-05 DATE |
| UTILITIES DEVELOPMENT | |
| <i>[Signature]</i> | 9/7/05 DATE |
| PLANNING & RECREATION DEPARTMENT | |
| <i>[Signature]</i> | 9/7/05 DATE |
| CITY ENGINEER | |
| N/A | |
| ENVIRONMENTAL HEALTH DEPARTMENT (conditional) | |
| | |
| SOLID WASTE MANAGEMENT | |
| <i>[Signature]</i> | 9/12/05 DATE |
| ISS. CLERK/PERSON, PLANNING DEPARTMENT | |
| * ENVIRONMENTAL HEALTH, IF NECESSARY | 12/16/05 |

| CRITERIA FOR EACH LOT | |
|---|--|
| DESIGN CRITERIA FOR ALL LOTS DESCRIBED ON THIS SITE DEVELOPMENT PLAN SHALL FOLLOW THE SAME DESIGN CRITERIA OUTLINED IN THE CURRENT EPC APPROVED SITE PLAN FOR GATEWAY INDUSTRIAL PARK PROJECT #000195 AND AS FOLLOWS: | |
| CROSS ACCESS IS PROVIDED FOR ALL LOTS | |
| MAXIMUM BUILDING HEIGHT: 32'-0" | |
| MINIMUM BUILDING SETBACK: AS DESCRIBED O-1 SECTION 14-16-2-15 ABQ. ZONING CODE | |
| MAXIMUM DWELLING UNITS: NA | |
| MAXIMUM FLOOR AREA RATIO: 35% | |

DESIGN GUIDELINES (IMPROVEMENTS ON EACH TRACT SHALL BE REQUIRED TO FOLLOW THESE GUIDELINES):

A MINIMUM OF 30' WIDTH CROSS ACCESS IS PROVIDED BETWEEN LOTS

PEDESTRIAN AND BICYCLE: EACH PREMISES SHALL INCORPORATE ADEQUATE PEDESTRIAN AND BICYCLE ACCESS PROVISIONS INTO ITS DESIGN IN ACCORDANCE WITH THE SIDEWALK ORDINANCE AND THE ZONING CODE.

A DIRECT PEDESTRIAN CONNECTION FROM EACH PREMISES TO THE STREET AND ADJACENT BUILDING SHALL BE PROVIDED.

PEDESTRIAN CROSSINGS AT DRIVES SHALL BE 6'-0" WIDE AND SHALL BE CONCRETE OR ANOTHER TEXTURED MATERIAL IN CONTRAST WITH ASPHALT.

ACCESS AND PARKING: EACH PREMISES SHALL PROVIDE ADEQUATE VEHICULAR ACCESS AND PARKING MEASURES IN ACCORDANCE WITH SECTION 14-16-3-1 OF THE ZONING ORDINANCE. A RECIPROCAL CROSS-LOT ACCESS AND PARKING EASEMENT OUTSIDE OF PROPOSED STRUCTURES SHALL BE GRANTED TO ALL LOTS SHOWN. PARKING SHALL NOT EXCEED THE MINIMUM REQUIRED BY THE ZONING CODE PLUS 10%.

LANDSCAPING STANDARDS: ALL SITE PLAN FOR BUILDING PERMIT SUBMITTALS SHALL BE ACCOMPANIED BY A LANDSCAPE PLAN IN COMPLIANCE WITH CITY ORDINANCES. SHADE TREES SHALL BE PROVIDED AT WALKWAYS AND PARKING AREAS. TREES SHALL PROVIDE SHADE FOR WALKWAYS AND BUILDINGS WHERE FEASIBLE. PLANT SELECTION SHALL BE APPROPRIATE TO THE VALLEY.

GENERAL: UNIFORMITY OF DESIGN, MATERIALS, AND COLORS SHALL BE MAINTAINED THROUGHOUT THE SITE. THE SUBDIVISION ARCHITECTURE IS TO BE DEVELOPED AS HIGH QUALITY, ARTICULATED AND HARMONIOUS WITH FINISHED ELEVATIONS ON FOUR (4) SIDES OF EACH BUILDING DISPLAYING CONSISTENT MATERIALS AND SIGNAGE. IN GENERAL, ARCHITECTURE OF THE CENTER SHOULD RELATE TO ADJACENT BUILDINGS IN SCALE, COMPOSITION AND LANDSCAPE CONTINUITY. NO GENERIC FRANCHISE DESIGN ELEVATIONS ARE PERMITTED. ALL OUT BUILDINGS, CANOPIES AND STRUCTURES SHALL BE ARCHITECTURALLY INTEGRATED.

BUILDING MATERIALS:

ROOFS: ROOFS SHALL BE FLAT OR PITCHED OF STANDING SEAM METAL; MAXIMUM PITCH PERCENTAGE: 50%. ROOF COLOR IF PITCHED IS TO BE SILVER/GREY, OR GREEN IN COLOR.

WALLS: WALLS ARE TO BE SPLIT FACE CONCRETE BLOCK, STUCCO, WROUGHT IRON, AND/OR TILT UP PANELS. NO METAL SIDING ON BUILDINGS AND NO CHAINLINK FENCING OR BARBED WIRE/CONCERTINA WIRE SHALL BE ALLOWED. NO PLASTIC OR BACK LIT FASCIA PANELS SHALL BE PERMITTED. A MAXIMUM 100' OF UNBROKEN LENGTH ON ANY FACADE OF A BUILDING SHALL BE OFFSET EVERY 100' WITH A 6" OFFSET. A 1' SETBACK FOR SIDEWALK AND LANDSCAPING SHALL BE PROVIDED AT THE ENTIRE FACADE OF EVERY BUILDING WITH PORTALS, CANOPIES, OR TREES 25' ON CENTER IN 3' X 5' PLANTERS FOR THE ENTIRE LENGTH OF THE FACADE.

GLASS: GLASS IS TO BE NON-REFLECTIVE OR SEMI-REFLECTIVE BLUE/GREEN, BLUE OR GREEN IN COLOR. GLASS FRAMES MAY BE WHITE OR COLORED ACCENT COLORS AS APPROVED BY ARCHITECT.

TRIM: BUILDING TRIM SHALL BE WOOD OR METAL.

AWNINGS: AWNINGS, IF USED MUST BE OF DARK (10% OR MORE) SOLID COLOR WITH A MAXIMUM OF 20% SIGNAGE AREA. FULLY ILLUMINATED AWNINGS ARE NOT ALLOWED, ONLY SIGNAGE MAY BE BACKLIT. NO VINYL OR PLASTIC COLORED AWNINGS SHALL BE ALLOWED. AWNING COLORS SHALL COORDINATE WITH BUILDING COLORS.

SCREENING: ROOFTOP MECHANICAL UNITS MUST BE BELOW PARAPET HEIGHT OR CONCEALED WITH A SCREEN OF SOUND MATERIALS AS DEFINED IN "WALLS" OF THIS GUIDELINE.

HEIGHT: BUILDING HEIGHT IS LIMITED TO 32 FEET; BUT NO BUILDING MAY EXCEED OVER 60% OF 2ND FLOOR TO 1ST FLOOR RATIO. TELECOMMUNICATIONS ANTENNA SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE BUILDING DESIGN OR LIGHT STANDARD. ANTENNA SHALL NOT EXCEED 32 FEET IN HEIGHT. POLE MOUNTED LIGHTING IS NOT TO EXCEED 16' WITH CUT OFF SHIELDING INSTALLED TO PREVENT FUGITIVE LIGHT.

SETBACKS: ALL BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE AS PROVIDED IN THE O-1 ZONE.

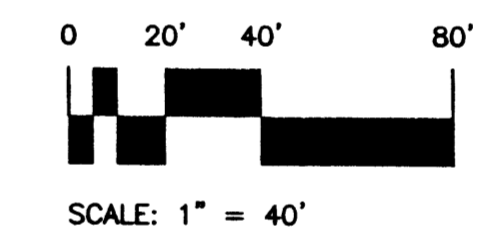
WALLS: ALL SOLID WALLS SHALL BE INTEGRATED WITH GENERAL BUILDING APPEARANCE. WALL DESIGN SHALL FOLLOW THE ADOPTED CITY OF ALBUQUERQUE WALL DESIGN GUIDELINES.

SIGNAGE: BUILDING SIGNAGE MAY BE OF AWNING, INTERNALLY LIT CHANNEL LETTERS, NEON, OR FIXED METAL LETTERS. FASCIA SIGNAGE MAY NOT EXCEED 10% OF BACKGROUND FASCIA ELEMENTS. MONUMENT SIGNS MAY BE USED WITH A MAXIMUM 12' HEIGHT. FREE STANDING POLE SIGNS ARE NOT PERMITTED. BUILDING SIGNAGE SHALL NOT EXCEED 6% OF THE FACADE IT IS LOCATED ON. NO OFF PREMISES SIGNS SHALL BE PERMITTED. BACK LIT LOGO SIGNAGE IS PERMITTED. THE MAXIMUM LETTER SIZE OF SIGNAGE SHALL BE TWO FEET AND THE MAXIMUM LOGO SIZE SHALL BE 2'X2'.

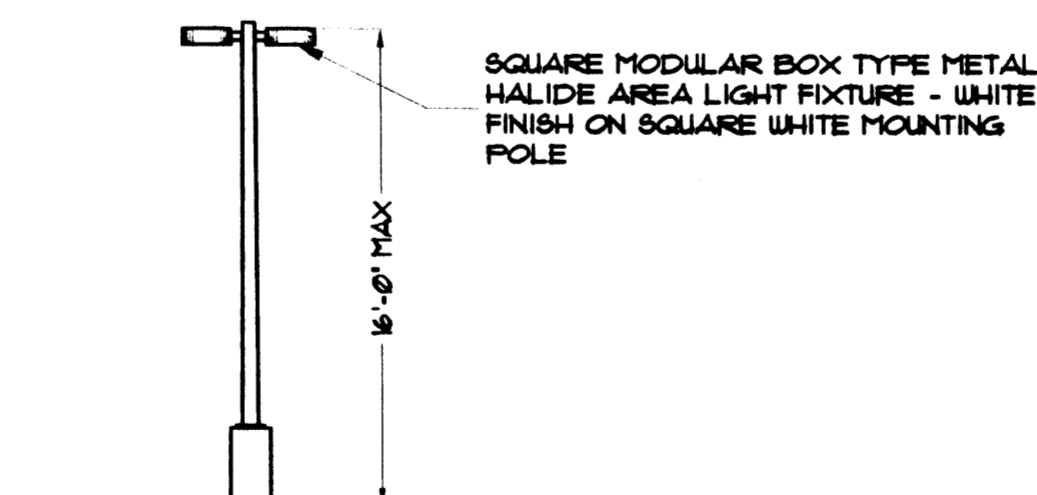
LIGHTING: GENERAL LIGHTING SHALL BE POLE MOUNTED NOT TO EXCEED 16' IN HEIGHT WITH CUTOFF SHIELDING TO PREVENT FUGITIVE LIGHT. CANOPY LIGHTING SHALL HAVE SHIELDING TO PREVENT FUGITIVE LIGHT.

CANOPIES: ALL OUT BUILDINGS SHALL BE ARCHITECTURALLY INTEGRATED WITH MAIN BUILDINGS. LOADING DOCKS SHALL HAVE CANOPIES AND SCREEN WALLS THAT ARE COMPATIBLE IN MATERIAL, COLOR, AND DESIGN WITH THE RELATED BUILDING.

LOADING DOCKS: SHALL HAVE CANOPIES TO MATCH ROOF AND SCREEN WALLS.



| SITE PLAN LEGEND | |
|------------------|---|
| | INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA |
| | INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING. MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE. |
| | INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. |
| | PROPERTY LINE. |
| | EASEMENT BOUNDARIES. |
| | STORM DRAIN |



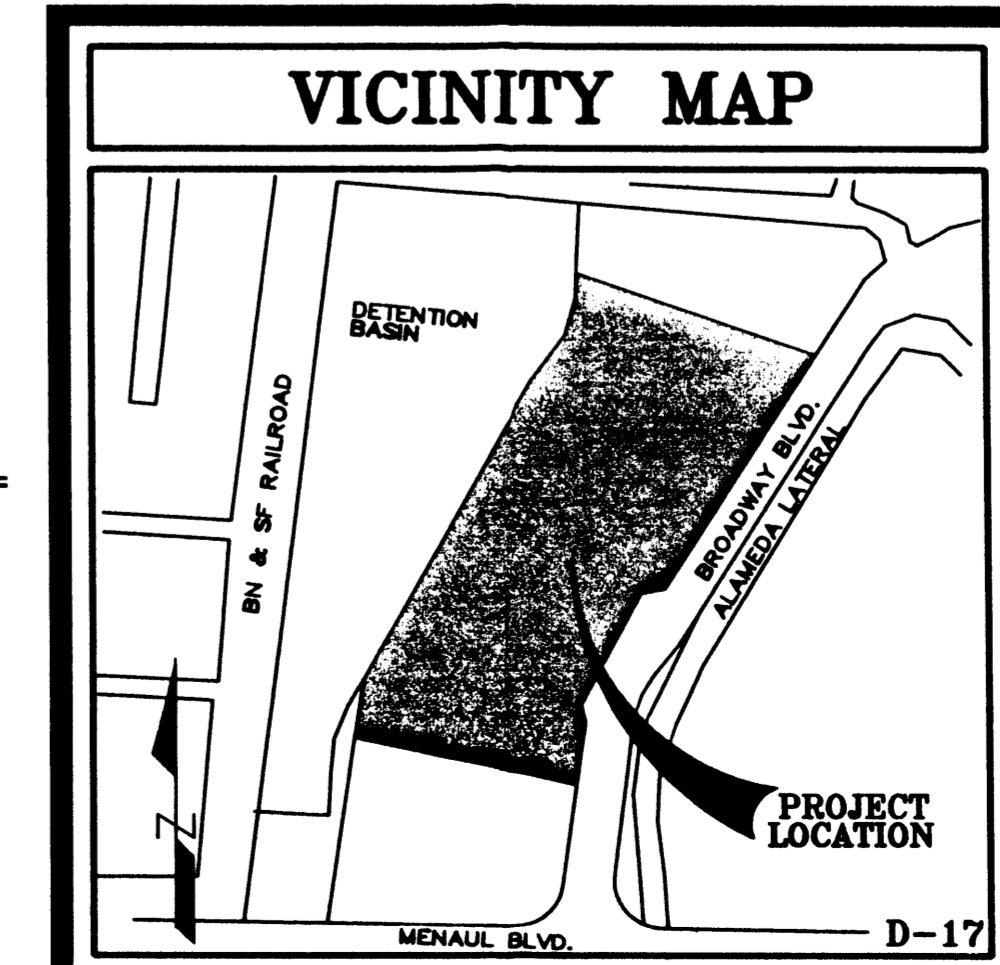
SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

LIGHTING DETAIL



SITE DEVELOPMENT PLAN FOR SUBDIVISION

AUGUST 23, 2005 SCALE: 1" = 40'-0" (U.N.O.)

CLAUDIO VIGIL ARCHITECTS

GATEWAY INDUSTRIAL PARK

2701 BROADWAY BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET SP-1

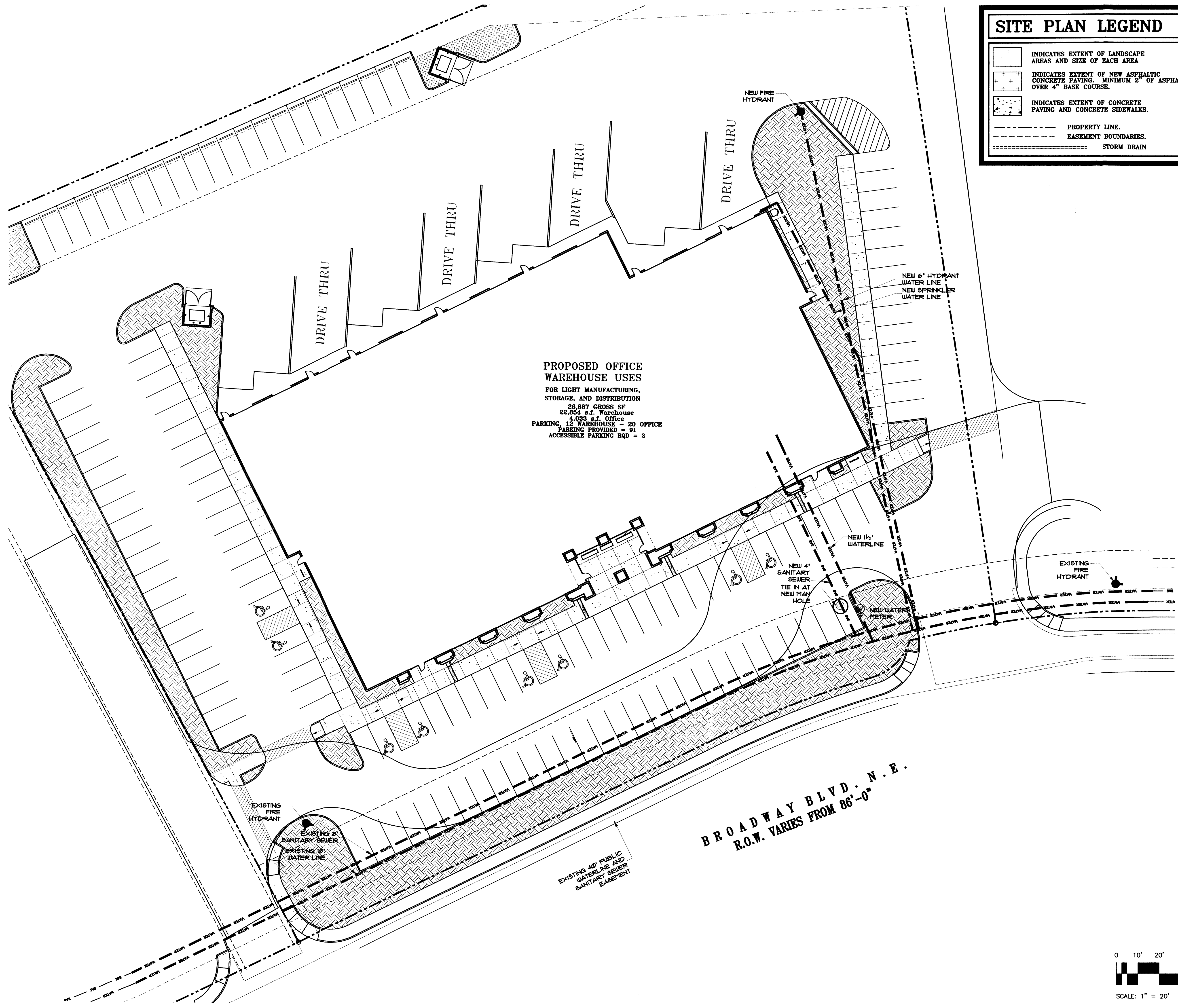
PROJECT NUMBER 04005

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1000195

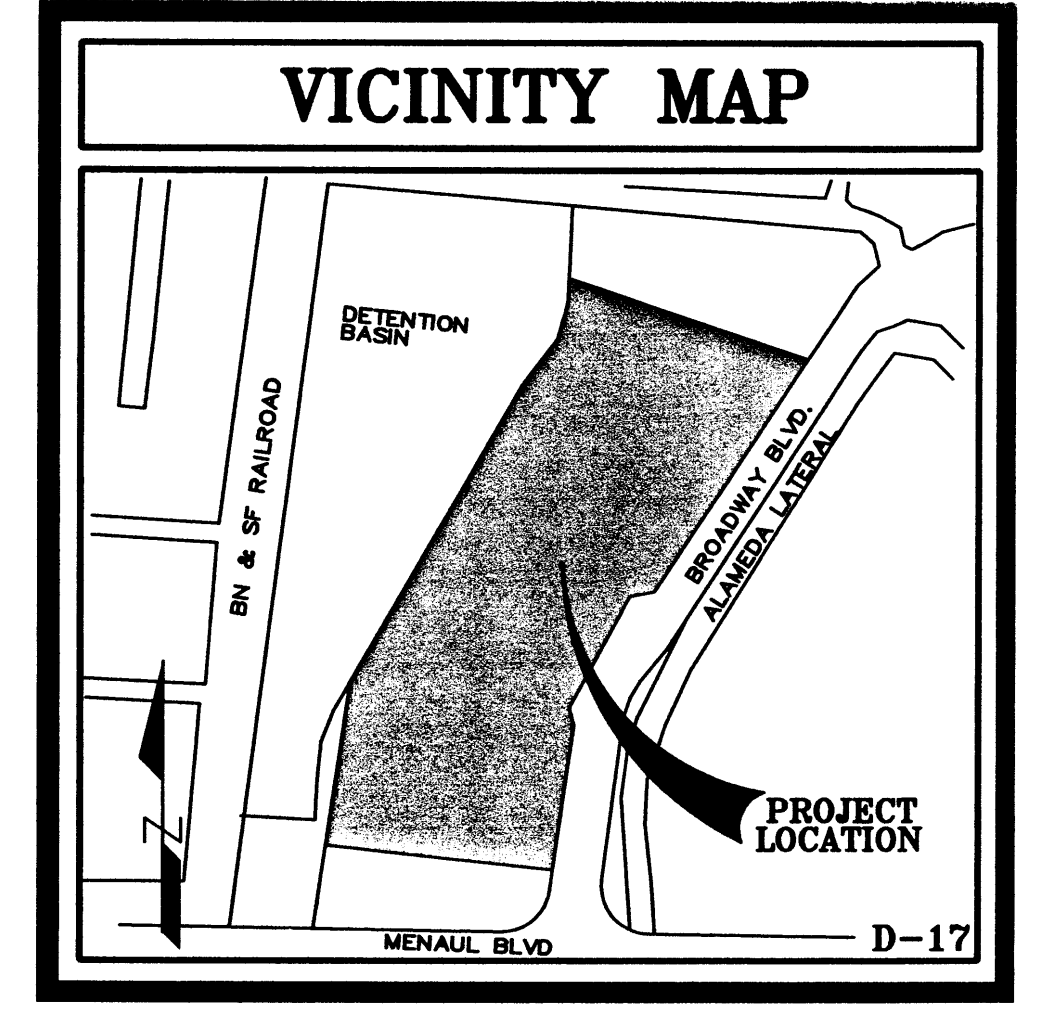
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PROPOSED OFFICE WAREHOUSE USES
 FOR LIGHT MANUFACTURING, STORAGE, AND DISTRIBUTION
 26,887 GROSS SF
 22,854 s.f. Warehouse
 4,033 s.f. Office
 PARKING: 12 WAREHOUSE - 20 OFFICE
 PARKING PROVIDED = 91
 ACCESSIBLE PARKING RQD = 2

SITE PLAN LEGEND

- INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA
- INDICATES EXTENT OF NEW ASPHALTIC CONCRETE PAVING, MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.
- INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.
- PROPERTY LINE.
- EASEMENT BOUNDARIES.
- STORM DRAIN



BUILDING CRITERIA
 PROJECT: GATEWAY INDUSTRIAL PARK
 LEGAL DESCRIPTION: TRACT A - LAND AT BROADWAY AND MENAUL
 ZONING CLASSIFICATION: EXISTING: IP PROPOSED: NO CHANGE
 ZONING ATLAS MAP: 4-14
 CASE HISTORY: PROJECT #000195, EPC-00450-00000-00231 2-98-116
 BUILDING TYPE: OFFICE WAREHOUSE WHOLESALE AND DISTRIBUTION
 CONSTRUCTION TYPE: TYPE I IN FULLY SPRINKLED
 GROSS SQUARE FOOTAGE: 26,900 SF
 NET LEASABLE SQUARE FOOTAGE: 25,500 SF.
 OCCUPANCY GROUP: GROUP B, B-3, AND M
 REQUIRED PARKING: 32 SPACES REQUIRED ACCESSIBLE = 2
 PROVIDED PARKING: 91 STALLS INCLUDING 2 ACCESSIBLE
 PARKING SPACE SIZES:
 REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG
 VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STR
 TOTAL LOT AREA: 103,261 SQUARE FEET, 2.37 ACRES
 NET LOT AREA: 76,361 SQUARE FEET
 TOTAL PARKING/PAVED AREA: 66,000 SQUARE FEET
 TOTAL LANDSCAPE AREA REQUIRED: 11,454 S.F.
 TOTAL LANDSCAPE AREA PROVIDED: 11,948 S.F.
 LANDSCAPE TO PARKING AREA RATIO: 18%

CONCEPTUAL UTILITY PLAN
 AUGUST 23, 2005 SCALE: 1" = 20'-0" (U.N.O)

CLAUDIO VIGIL ARCHITECTS

GATEWAY INDUSTRIAL PARK
 2701 BROADWAY BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO

SHEET U-1
 PROJECT NUMBER 04005

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 Phone: 505/842-1113 Fax: 505/842-1330

BROADWAY BLVD. N.E.
 R.O.W. VARIES FROM 86'-0"



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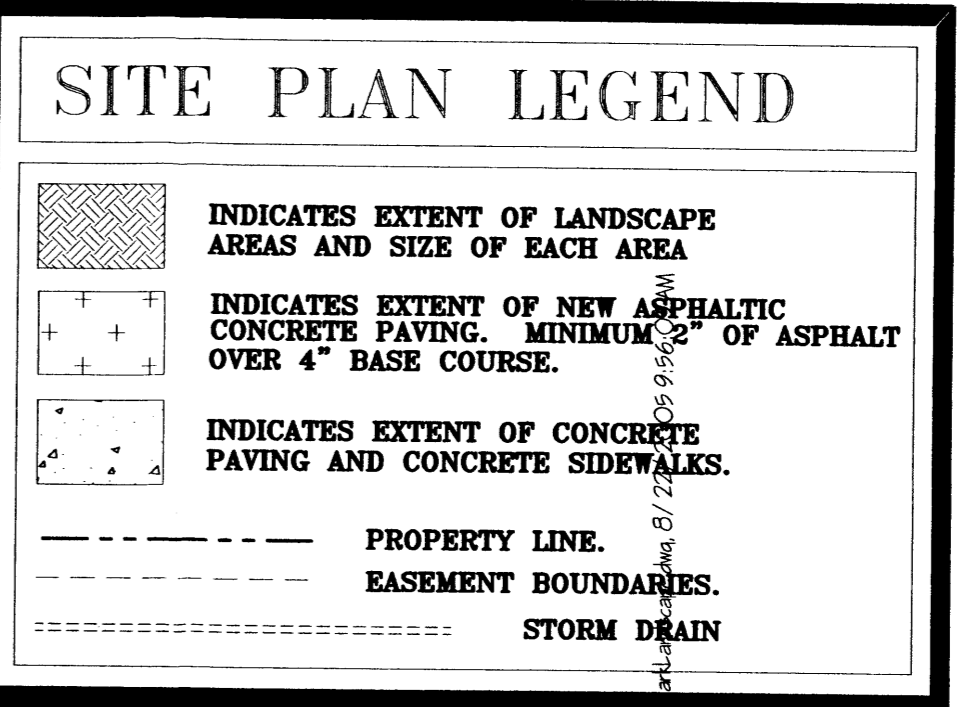


PLANT LEGEND

| Qty. | Symbol | Scientific Name Common Name | Size | Water Use | Coverage |
|----------------------------|--------|---|------|-----------|---------------------------------------|
| Trees | | | | | |
| 9 | FO | Fraxinus oxycarpa 'Raywood' Raywood Ash | 2" | Medium+ | |
| 11 | PC | Pyrus calleryana 'Autumn Blaze' Autumn Blaze Pear | 2" | Medium+ | |
| 7 | Symbol | Pinus nigra Austrian Pine | 6' | Medium | |
| Shrubs/Groundcovers | | | | | |
| 24 | Symbol | Vitex agnus-castus Chaste Tree | 5G | Medium | 50SF X24 = 1200SF |
| 21 | Symbol | Achillea filipendulina Moonshine Yarrow | 1G | Medium | 8SF X 21= 168SF |
| 41 | Symbol | Caryopteris clandonensis Blue Mist | 5G | Medium | 32SF X 41= 1312SF |
| 57 | Symbol | Ericameria nauseosus Chamisa | 1G | Low+ | 32SF X 57= 1824SF |
| 64 | Symbol | Juniperus horizontalis 'Youngstown' Youngstown Andorra Juniper | 5G | Low + | 60SF X 64= 3840SF |
| 44 | Symbol | Lavandula angustifolia English Lavender | 1G | Low | 12SF X 44= 528SF |
| 40 | Symbol | Perovskia atriplicifolia Russian Sage | 1G | Medium | 25SF X 40 = 1000SF |
| 48 | Symbol | Rosmarinus officinalis 'Arp' Arp Rosemary | 5G | Low + | 30SF X 48 = 1440SF |
| 66 | Symbol | Oenothera berlandieri Mexican Evening Primrose | 1G | Medium | 25SF X 66= 1650SF |
| Ornamental Grasses | | | | | |
| 11 | Symbol | Panicum virgatum 'Shenandoah' Shenandoah Switchgrass | 5G | Medium | 20SF X 11= 220SF |
| 35 | Symbol | Miscanthus sinensis 'Gracillimus' Maiden Grass | 5G | Medium | 20SF X 35= 700SF |
| | | | | | TOTAL LANDSCAPE REQUIRED 16188SF |
| | | | | | TOTAL GROUNDCOVER REQ. 75% 12141SF |
| | | | | | TOTAL GROUNDCOVER SF PROVIDED 13882SF |

SITE DATA

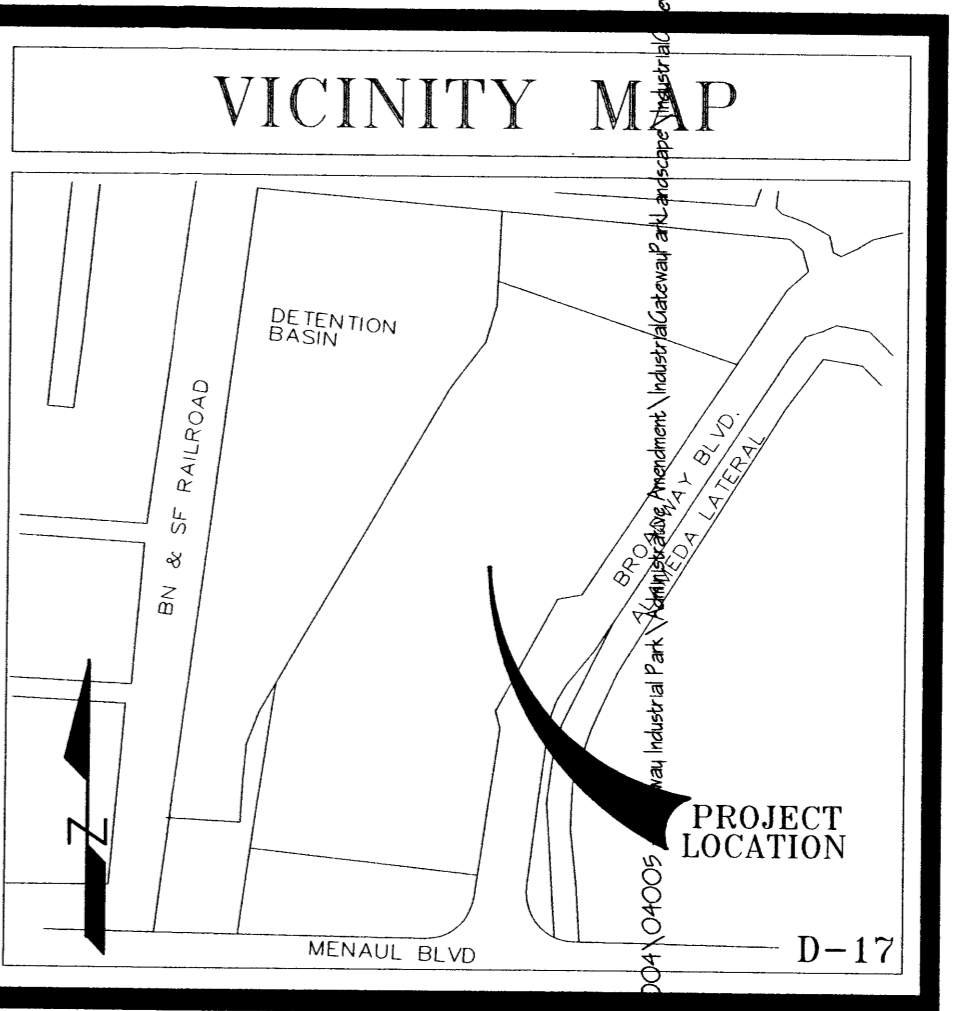
| | | |
|------------------------------|--------|----|
| GROSS LOT AREA | 144787 | SF |
| LESS BUILDING(S) | 36867 | SF |
| NET LOT AREA | 107920 | SF |
| REQUIRED LANDSCAPE | 16188 | SF |
| 15% OF NET LOT AREA | 16188 | SF |
| PROPOSED LANDSCAPE | 17288 | SF |
| PERCENT OF NET LOT AREA | 16 | % |
| HIGH WATER USE TURF | 0 | SF |
| MAX. 20% OF LANDSCAPE AREA | 0 | SF |
| PROPOSED HIGH WATER USE TURF | 0 | SF |
| PERCENT OF LANDSCAPE AREA | 0 | % |



PLANTING RESTRICTIONS APPROACH

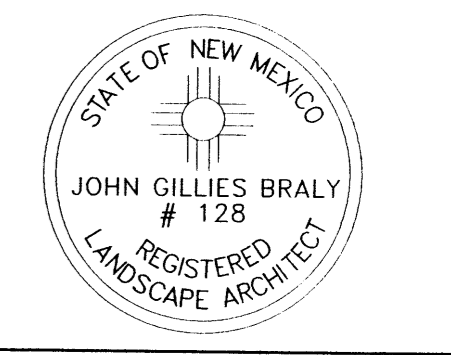
A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTION PER COA STANDARDS
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH CRUSHER FINES AT 2"-3" DEPTH OVER FILTER FABRIC
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
 NO LIVE VEGETATIVE LANDSCAPING WILL BE PROVIDED TWO FEET FROM THE FRONT OF EACH PARKING SPACE.



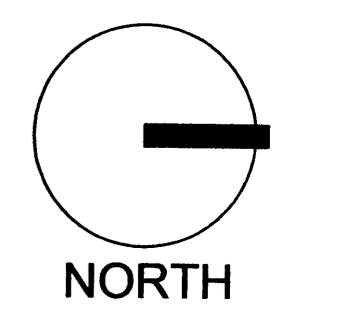
BROADWAY BLVD. N.E.
 R.O.W. VARIES FROM 86'-0"

Growing Better Up Heads
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com
 P.O. Box 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulc.com



Date: 6/9/2005
 Revisions:
 ▲
 ▲
 ▲
 ▲
 Drawn by: RIL
 Reviewed by: JGB

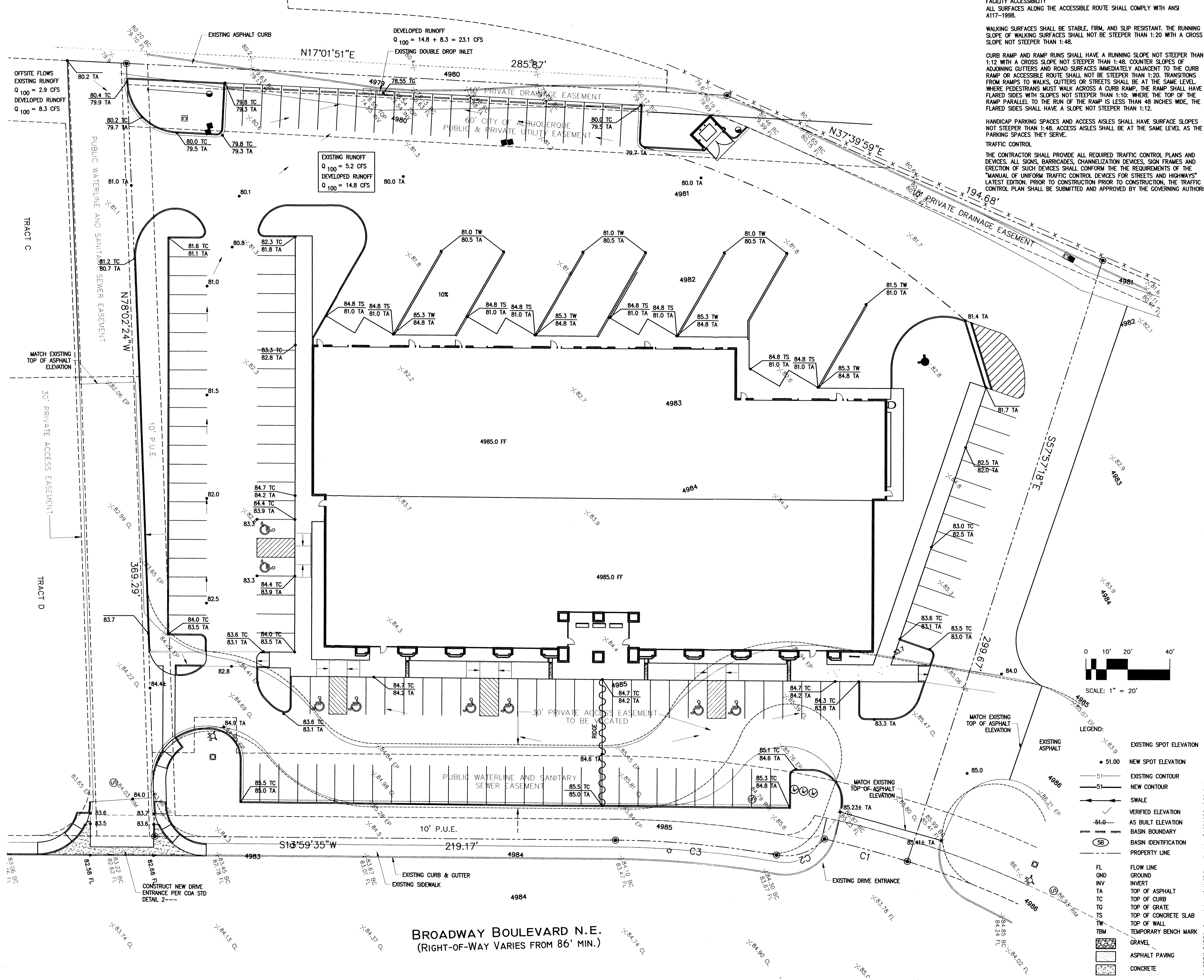
Gateway Industrial Park
 2701 Broadway Blvd.
 Albuquerque, New Mexico



Scale: 1" = 20'
 10 0 20 40

Sheet Title:
Landscape Plan

Sheet Number:
LS-01



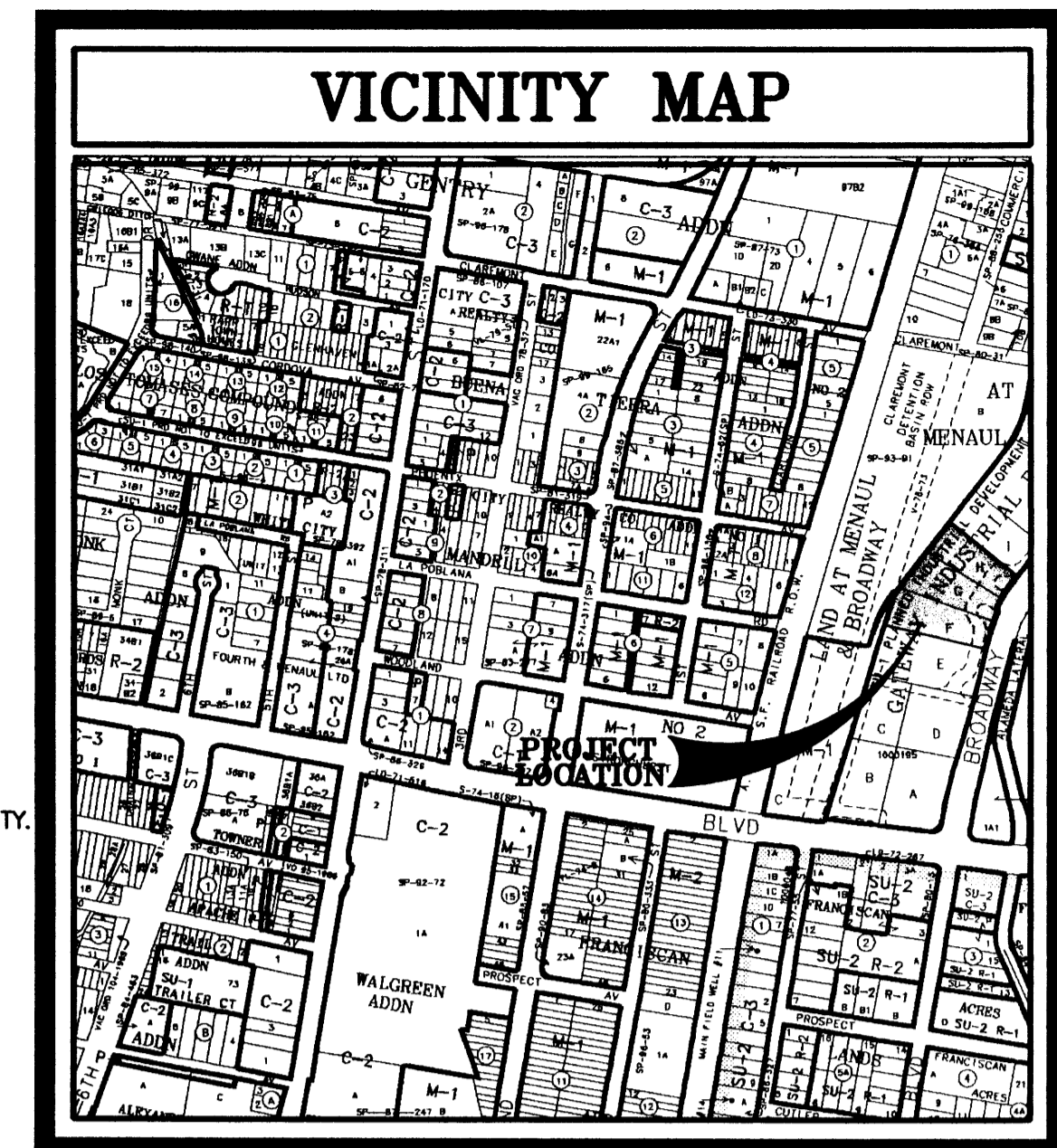
FACILITY ACCESSIBILITY
 ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10; WHERE THE TOP OF THE RAMP IS PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

TRAFFIC CONTROL
 THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.



ADDRESS:
 4601 PARADISE BLVD., N.W.

BENCH MARK:
 THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 18-H15, LOCATED IN THE SOUTH EAST QUADRANT OF MENAUL BOULEVARD NE AND EDITH BOULEVARD N.E. ELEVATION = 5001.031 FT.

LEGAL DESCRIPTION:
 TRACT E-1 GATEWAY INDUSTRIAL PARK

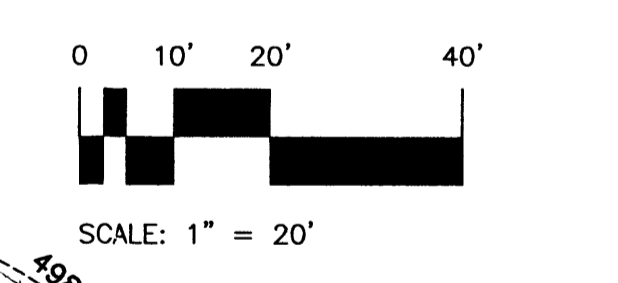
- CONSTRUCTION NOTES**
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
 - ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
 - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
 - THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
 - THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
 - CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
 - ALL POND BOTTOMS SHALL RECEIVE GRAVEL AND FILTER FABRIC SEE LANDSCAPE PLAN.

NORTH

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT ACTION - DRB

GRADING PLAN

AUGUST 16, 2005 SCALE: 1" = 20'-0" (U.N.O.)



LEGEND:

| | |
|----------|-------------------------|
| ● 51.00 | EXISTING SPOT ELEVATION |
| ● 51.00 | NEW SPOT ELEVATION |
| — 51 — | EXISTING CONTOUR |
| — 51 — | NEW CONTOUR |
| — | SWALE |
| ✓ | VERIFIED ELEVATION |
| — 51.0 — | AS BUILT ELEVATION |
| ○ | BASIN BOUNDARY |
| ○ SB | BASIN IDENTIFICATION |
| — | PROPERTY LINE |
| FL | FLOW LINE |
| GND | GROUND |
| INV | INVERT |
| TA | TOP OF ASPHALT |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TS | TOP OF CONCRETE SLAB |
| TW | TOP OF WALL |
| TBM | TEMPORARY BENCH MARK |
| ▨ | GRAVEL |
| ▨ | ASPHALT PAVING |
| ▨ | CONCRETE |

CLAUDIO VIGIL ARCHITECTS

GATEWAY INDUSTRIAL PARK

2701 BROADWAY BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO

JOHN ARTHUR BLESSEN
 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
 13481
 6-16-05

SHEET C-3

PROJECT NUMBER 04005

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 Phone: 505/842-1113 Fax: 505/842-1330

BROADWAY BOULEVARD N.E.
 (RIGHT-OF-WAY VARIES FROM 86' MIN.)

