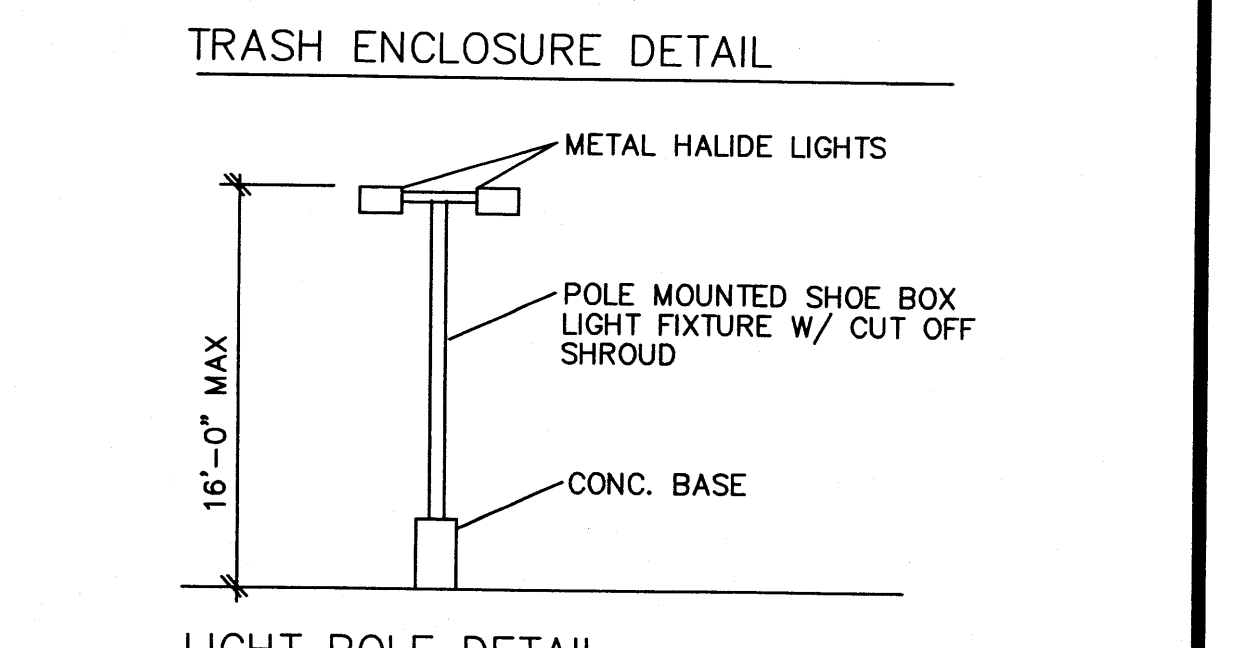
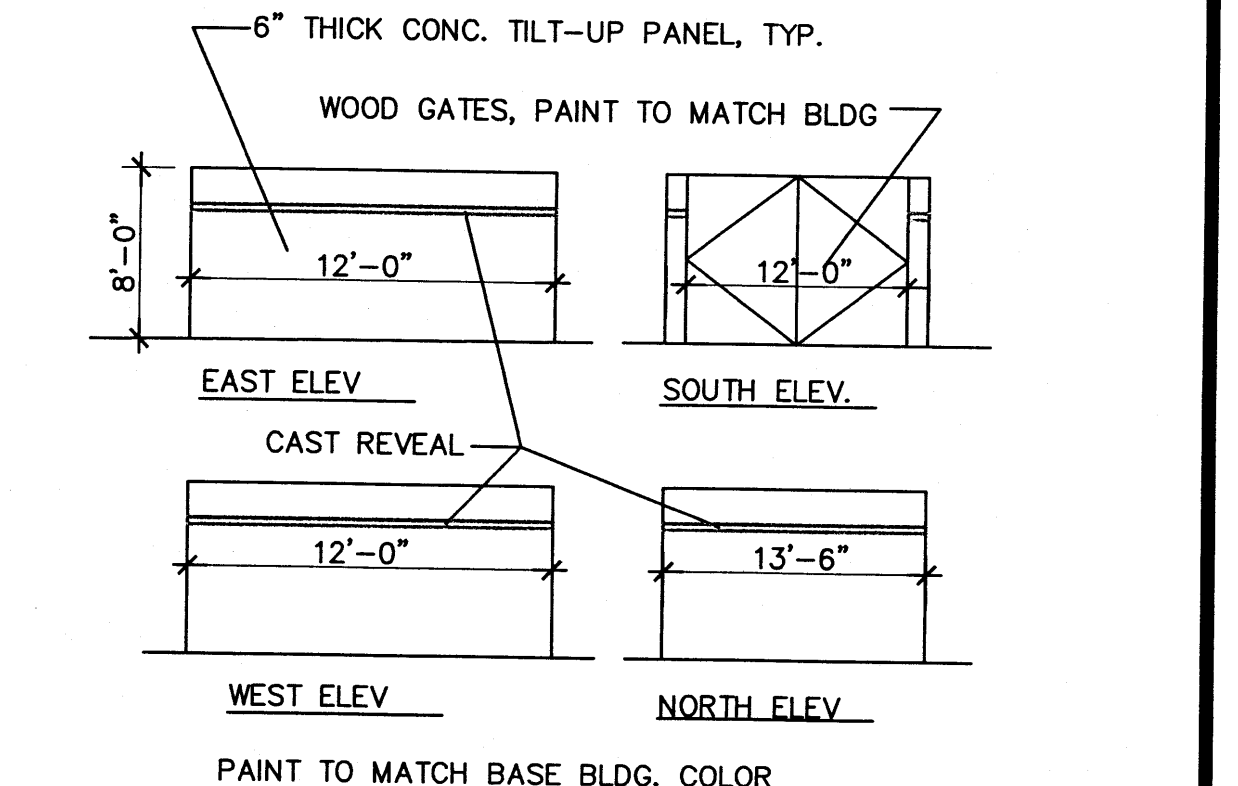


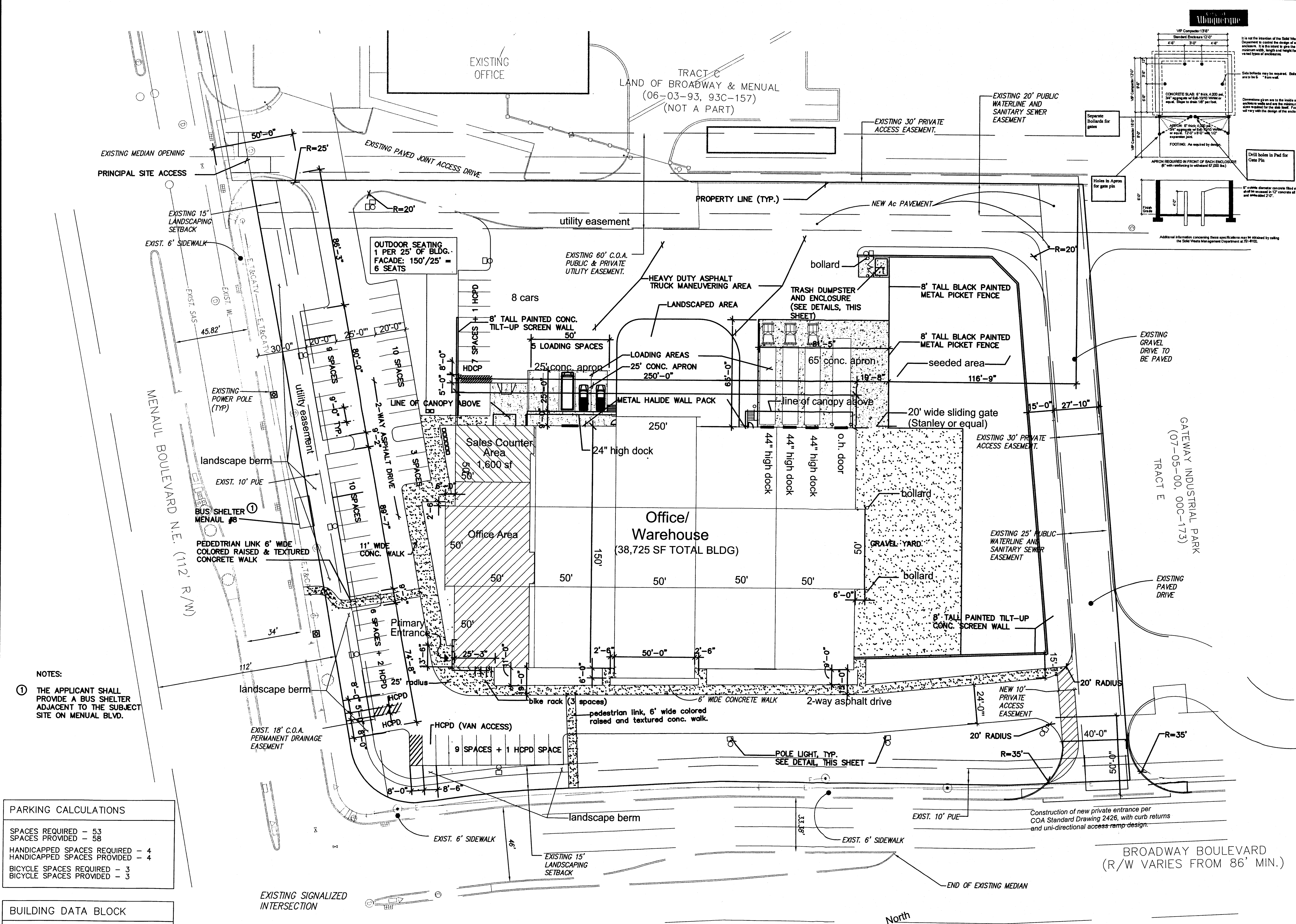
VICINITY MAP  
 ZONE ATLAS MAP: H-14  
 SCALE: 1" = 750'



PROJECT NUMBER: 1000145  
 Application Number: 05-01018  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6-30-05
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	6/22/05
Water Utility Department	Date
<i>[Signature]</i>	6/23/05
Parks and Recreation Department	Date
<i>[Signature]</i>	6/22/05
City Engineer	Date
<i>[Signature]</i>	6/23/05
Solid Waste Management	Date
<i>[Signature]</i>	7/1/05
DRB Chair Person, Planning Department	Date



**PARKING CALCULATIONS**

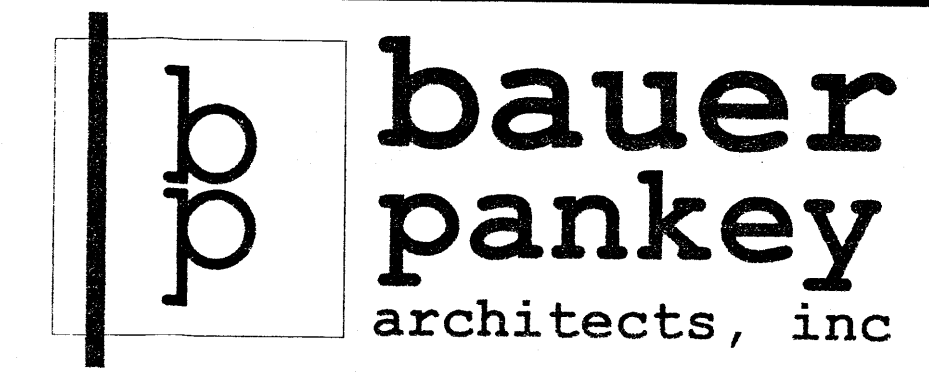
SPACES REQUIRED - 53	SPACES PROVIDED - 58
HANDICAPPED SPACES REQUIRED - 4	HANDICAPPED SPACES PROVIDED - 4
BICYCLE SPACES REQUIRED - 3	BICYCLE SPACES PROVIDED - 3

**BUILDING DATA BLOCK**

OFFICE	5,780	Sq. Ft.
SALES COUNTER	1,600	Sq. Ft.
WAREHOUSE	31,345	Sq. Ft.
TOTAL	38,725	Sq. Ft.

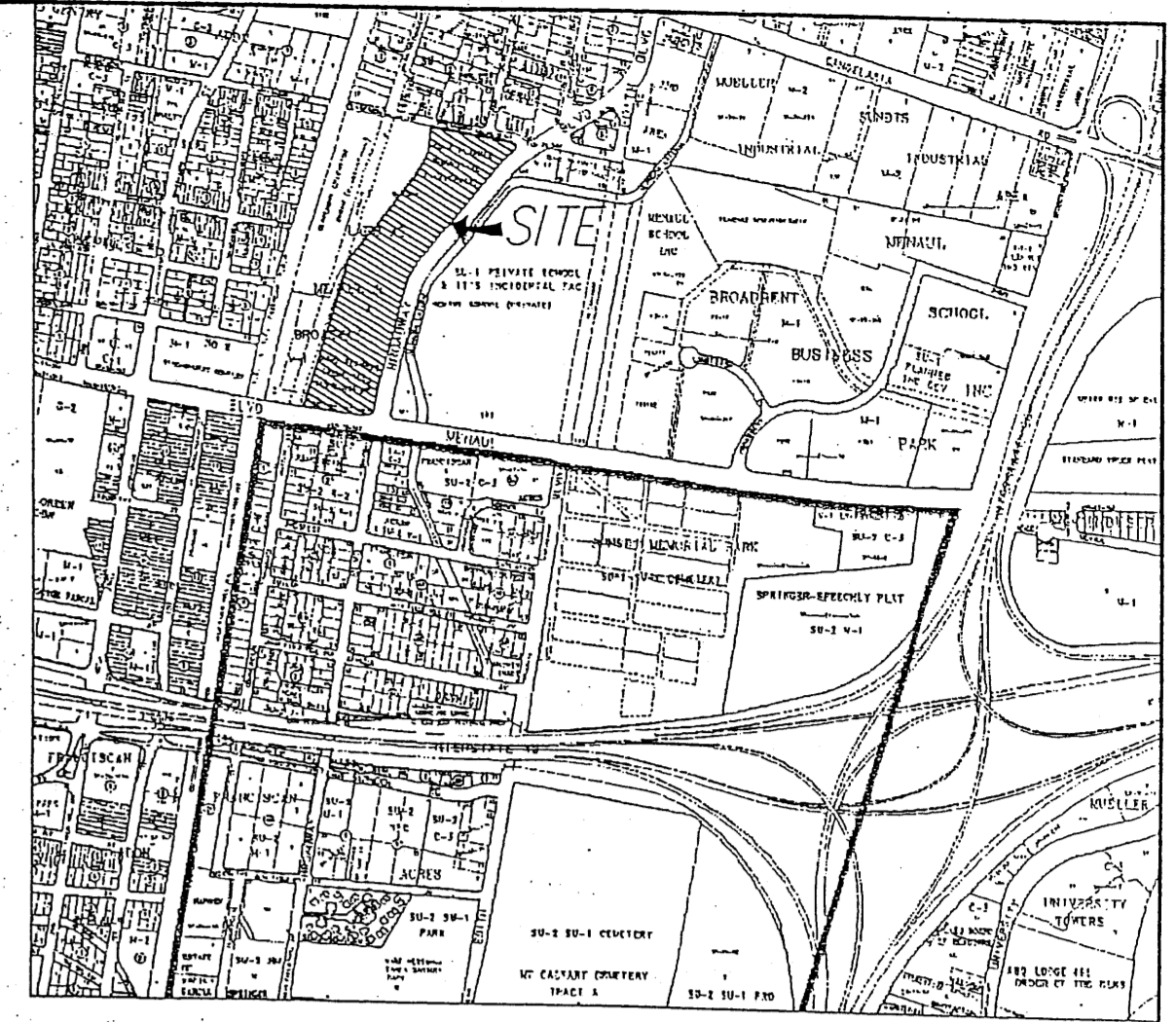


Proposed New Office/Warehouse for  
**GraybaR**  
 Albuquerque, New Mexico



2 of 6  
 Date: 6.11.05

Proposed Site Plan For Building Permit  
 scale: 1" = 30'-0"



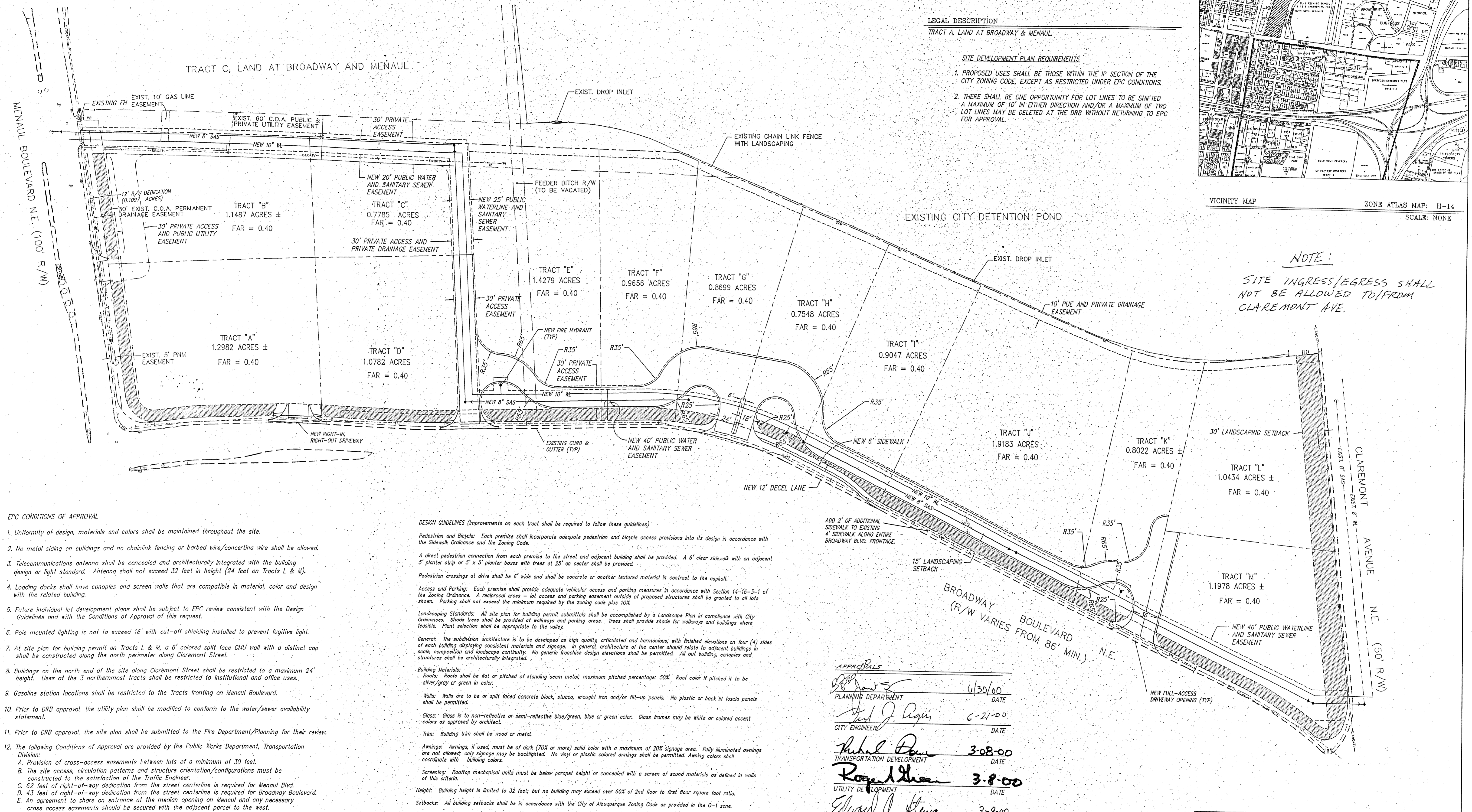
VICINITY MAP  
ZONE ATLAS MAP: H-14  
SCALE: NONE

**LEGAL DESCRIPTION**

TRACT A, LAND AT BROADWAY & MENAUL

**SITE DEVELOPMENT PLAN REQUIREMENTS**

1. PROPOSED USES SHALL BE THOSE WITHIN THE IP SECTION OF THE CITY ZONING CODE, EXCEPT AS RESTRICTED UNDER EPC CONDITIONS.
2. THERE SHALL BE ONE OPPORTUNITY FOR LOT LINES TO BE SHIFTED A MAXIMUM OF 10' IN EITHER DIRECTION AND/OR A MAXIMUM OF TWO LOT LINES MAY BE DELETED AT THE DRB WITHOUT RETURNING TO EPC FOR APPROVAL.



**NOTE:**  
SITE INGRESS/EGRESS SHALL NOT BE ALLOWED TO/FROM CLAREMONT AVE.

**EPC CONDITIONS OF APPROVAL**

1. Uniformity of design, materials and colors shall be maintained throughout the site.
2. No metal siding on buildings and no chainlink fencing or barbed wire/concertina wire shall be allowed.
3. Telecommunications antenna shall be concealed and architecturally integrated with the building design or light standard. Antenna shall not exceed 32 feet in height (24 feet on Tracts L & M).
4. Loading docks shall have canopies and screen walls that are compatible in material, color and design with the related building.
5. Future individual lot development plans shall be subject to EPC review consistent with the Design Guidelines and with the Conditions of Approval of this request.
6. Pole mounted lighting is not to exceed 16' with cut-off shielding installed to prevent fugitive light.
7. At site plan for building permit on Tracts L & M, a 6' colored split face CMU wall with a distinct cap shall be constructed along the north perimeter along Claremont Street.
8. Buildings on the north end of the site along Claremont Street shall be restricted to a maximum 24' height. Uses at the 3 northernmost tracts shall be restricted to institutional and office uses.
9. Gasoline station locations shall be restricted to the Tracts fronting on Menaul Boulevard.
10. Prior to DRB approval, the utility plan shall be modified to conform to the water/sewer availability statement.
11. Prior to DRB approval, the site plan shall be submitted to the Fire Department/Planning for their review.
12. The following Conditions of Approval are provided by the Public Works Department, Transportation Division:
  - A. Provision of cross-access easements between lots of a minimum of 30 feet.
  - B. The site access, circulation patterns and structure orientation/configurations must be constructed to the satisfaction of the Traffic Engineer.
  - C. 62 feet of right-of-way dedication from the street centerline is required for Menaul Blvd.
  - D. 43 feet of right-of-way dedication from the street centerline is required for Broadway Boulevard.
  - E. An agreement to share an entrance at the median opening on Menaul and any necessary cross access easements should be secured with the adjacent parcel to the west.
  - F. No access from the subject site is permitted to/from Claremont Street.
13. Additions to the design guidelines are as follows:
  - A. A maximum 100 foot of unbroken length on any facade of a building shall be offset every 100 feet with a 6 foot offset.
  - B. A 15 foot setback for sidewalk and landscaping shall be provided at the entry facade of every building with porches, canopies, or trees of 25 feet on center in 5' x 5' planters for the entire length of the facade.
  - C. The wall design shall follow the adopted City of Albuquerque Wall Design Guidelines.
  - D. The maximum letter size of signage shall be 2 feet and the maximum logo size shall 2' x 2'.
  - E. No pole mounted signage shall be allowed.

**DESIGN GUIDELINES** (Improvements on each tract shall be required to follow these guidelines)

**Pedestrian and Bicycle:** Each premise shall incorporate adequate pedestrian and bicycle access provisions into its design in accordance with the Sidewalk Ordinance and the Zoning Code.

A direct pedestrian connection from each premise to the street and adjacent building shall be provided. A 6' clear sidewalk with an adjacent 5' planter strip or 5' x 5' planter boxes with trees at 25' on center shall be provided.

**Pedestrian crossings of drive shall be 6' wide and shall be concrete or another textured material in contrast to the asphalt.**

**Access and Parking:** Each premise shall provide adequate vehicular access and parking measures in accordance with Section 14-16-3-1 of the Zoning Ordinance. A reciprocal cross - lot access and parking easement outside of proposed structures shall be granted to all lots shown. Parking shall not exceed the minimum required by the zoning code plus 10%.

**Landscaping Standards:** All site plan for building permit submittals shall be accompanied by a Landscape Plan in compliance with City Ordinances. Shade trees shall be provided at walkways and parking areas. Trees shall provide shade for walkways and buildings where feasible. Plant selection shall be appropriate to the valley.

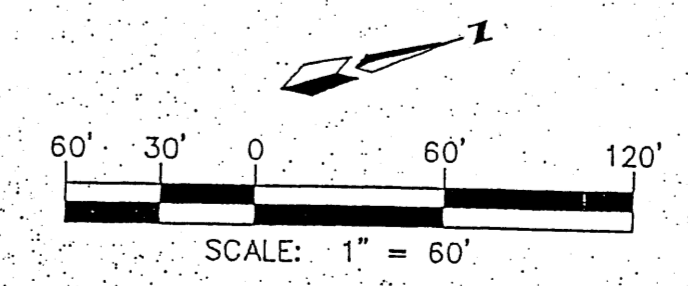
**General:** The subdivision architecture is to be developed as high quality, articulated and harmonious, with finished elevations on four (4) sides of each building displaying consistent materials and signage. In general, architecture of the center should relate to adjacent buildings in scale, composition and landscape continuity. No generic franchise design elevations shall be permitted. All off building, canopies and structures shall be architecturally integrated.

**Building Materials:**

- Roofs:** Roofs shall be flat or pitched of standing seam metal; maximum pitched percentage: 50%. Roof color if pitched it to be silver/gray or green in color.
- Walls:** Walls are to be or split faced concrete block, stucco, wrought iron and/or lilt-up panels. No plastic or back lit fascia panels shall be permitted.
- Glass:** Glass is to non-reflective or semi-reflective blue/green, blue or green color. Glass frames may be white or colored accent colors as approved by architect.
- Trim:** Building trim shall be wood or metal.
- Awnings:** Awnings, if used, must be of dark (70% or more) solid color with a maximum of 20% signage area. Fully illuminated awnings are not allowed; only signage may be backlit. No vinyl or plastic colored awnings shall be permitted. Awning colors shall coordinate with building colors.
- Screening:** Rooftop mechanical units must be below parapet height or concealed with a screen of sound materials as defined in walls of this criteria.
- Height:** Building height is limited to 32 feet; but no building may exceed over 60% of 2nd floor to first floor square foot ratio.
- Setbacks:** All building setbacks shall be in accordance with the City of Albuquerque Zoning Code as provided in the O-1 zone.
- Walls:** A solid walls shall be integrated with general building appearance.
- Signage:** Building signage may be of awning, internally lit channel letters, neon, or fixed metal letters. Fascia signage may not exceed 10% of background fascia elements. Monument signs may be used with a maximum 12' height. Free standing pole signs are not permitted. Building signage shall not exceed 6% of the facade it is located on. No off premise signs shall be permitted. Back lit logo signage is permitted.
- Lighting:** General lighting shall be pole mounted, not to exceed 16' with cut-off shielding to prevent fugitive light. Canopy lighting shall have shielding to prevent fugitive light.
- Canopies:** Out buildings shall be architecturally integrated with main buildings.
- Loading Docks:** Shall have canopies to match roof and screen walls.

APPROVALS	
<i>[Signature]</i> PLANNING DEPARTMENT	6/30/00 DATE
<i>[Signature]</i> CITY ENGINEER	6-21-00 DATE
<i>[Signature]</i> TRANSPORTATION DEVELOPMENT	3-08-00 DATE
<i>[Signature]</i> UTILITY DEVELOPMENT	3-8-00 DATE
<i>[Signature]</i> PARK & RECREATION	3-8-00 DATE

Project # 1000195  
Application # 00450-00000-00231  
Z-98-116



**GATEWAY INDUSTRIAL PARK  
SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: SPS	Checked: DMG	Sheet 3 of 6
Scale: 1" = 60'	Date: 00/12/00	Job: 99072	

**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HT./SPR.	WATER USE	COVERAGE AREA
FN	12	FRAXINUS	PATMORE ASH	2" CAL	30'/30'	H	
GT	13	GLEDITSIA	HONEY LOCUST	2" CAL	30'/30'	H	
PY	10	PYRUS	FLOWERING PEAR	15 GAL	25'/20'	H	
CR	11	CRATAEGUS	HAWTHORN	15 GAL	25'/20'	H	
PN	7	PINUS NIGRA	AUSTRIAN PINE	10"-12' HT.	25'/20'	M	
+	58	COTONEASTER PARNEYI	CLUSTERBERRY	5 GAL	8'/8'	M	50 SF X 58=2900 SF
*	128	JUNIPERUS SABINA	BUFFALO JUNIPER	5 GAL	2'/5'	M	50 SF X 128=6450 SF
⊗	153	RAPIHOLEPIS INDICA	INDIA HAWTHORN	5 GAL	3'/4'	M	30 SF X 153=4590 SF
⊗	50	BUDDLEIA DAVIDII	BUTTERFLY BUSH	5 GAL	8'/8'	M	20 SF X 50=1000 SF
⊗	30	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	5'/5'	M	30 SF X 30=900 SF
⊗	30	MISCANTHUS SINENSIS	MAIDEN GRASS	5 GAL	5'/4'	M	20 SF X 30=600 SF
⊗	66	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	5'/4'	M	15 SF X 66=990 SF
⊗	0	CARYOPTERIS	BLUE MIST	1 GAL	5'/5'	M	
⊗	30	LAVANDULA	LAVENDER	1 GAL	3'/3'	M	30 SF X 12=360 SF
							TOTAL COVERAGE=17,790 SF

**SITE DATA**

GROSS LOT AREA	188,600 SF
LESS BUILDING(S)	38,725 SF
NET LOT AREA	149,875 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	22,481 SF
PROPOSED LANDSCAPE	46,950 SF
PERCENT OF NET LOT AREA	31%
PROPOSED LANDSCAPE AREA COVERAGE	
MIN. 75% OF REQUIRED LANDSCAPE AREA	22,481 SF X .75=16,860 SF MIN.
PROPOSED LANDSCAPE AREA COVERAGE	17,790 SF (79%)

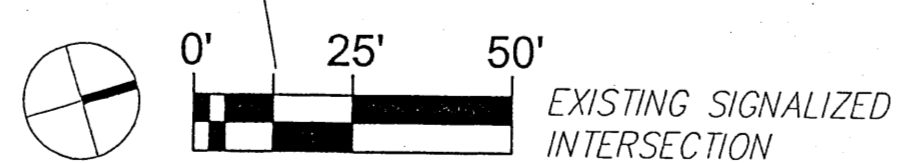
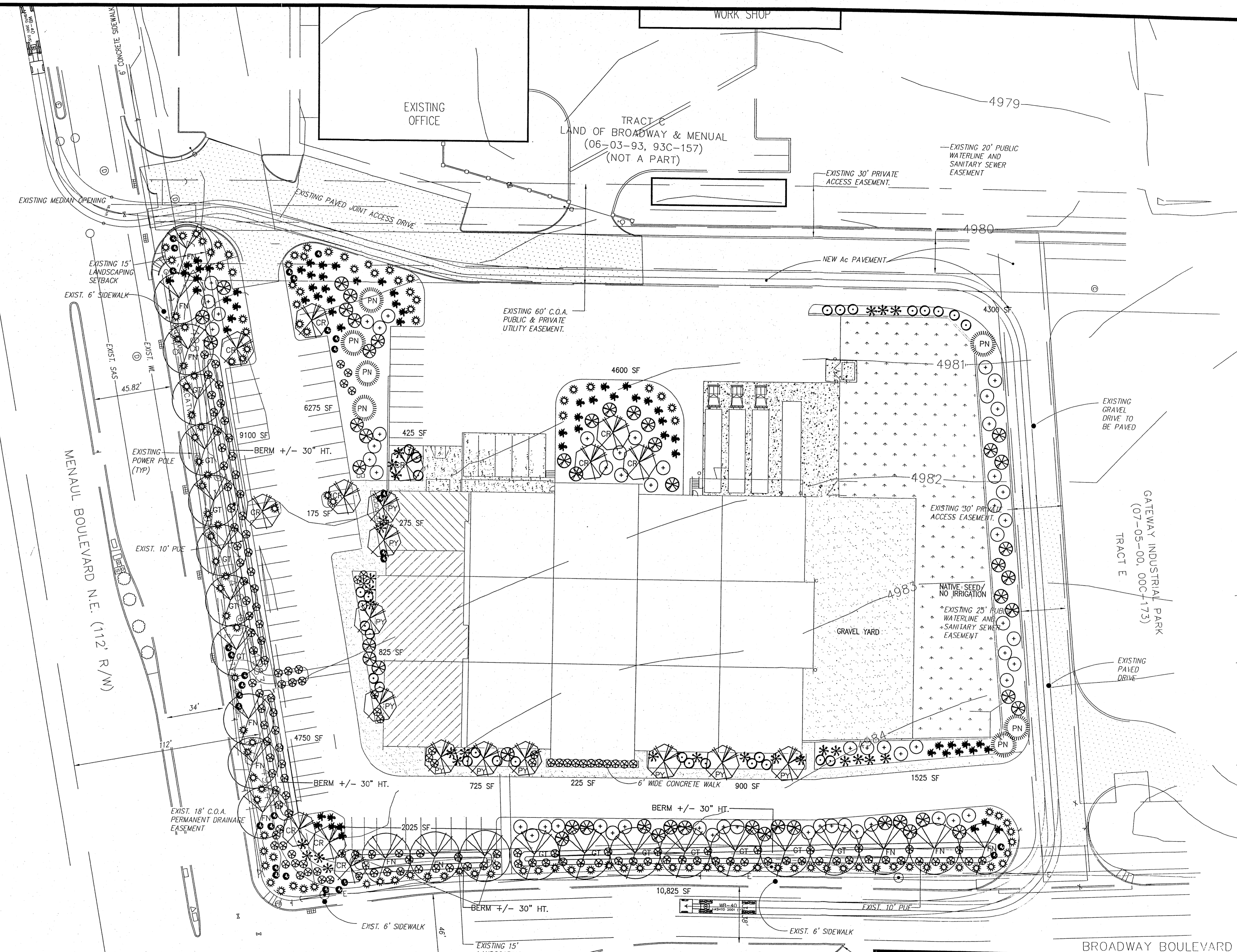
**STREET TREES REQUIRED**  
 PROVIDED AT 30' O.C. SPACING ALONG STREET  
**PARKING LOT TREES REQUIRED**  
 1 TREE PER 10 SPACES  
 62 SPACES/10=6 TREES PROVIDED MIN.

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE  
 LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE  
 HIGH WATER USE TURF

**NOTE**

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALB. REQUIREMENTS
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA GRAVEL MULCH AT 2"-3" DEPTH OVER FABRIC
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

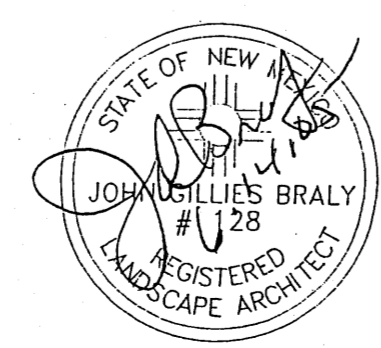


Proposed Landscape Plan For Building Permit

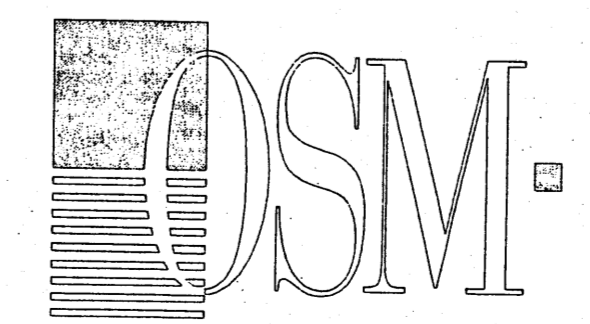
GRAYBAR ELECTRIC  
 PROPOSED LANDSCAPE PLAN FOR BUILDING PERMIT



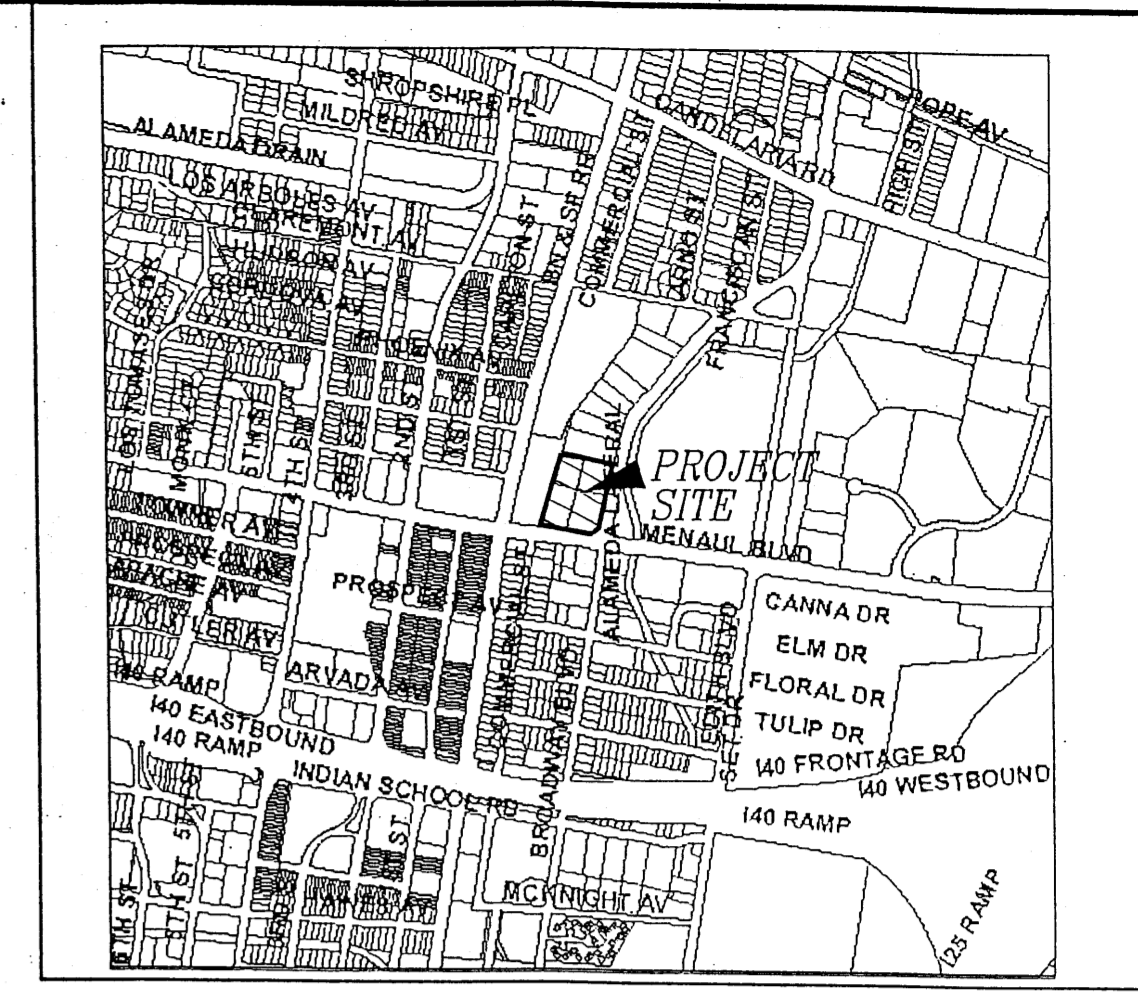
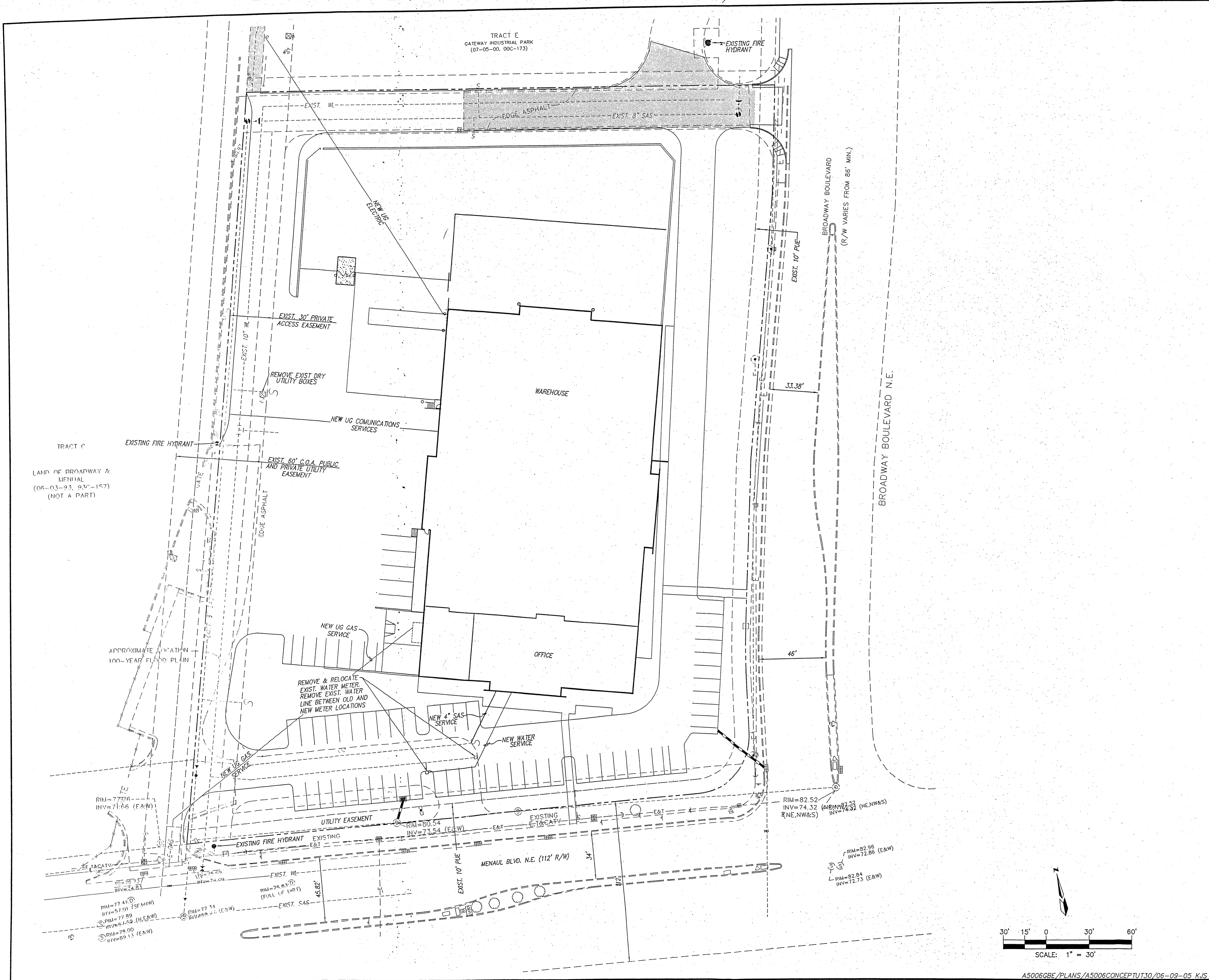
*Crowning Better Up*  
**Heads**  
 LANDSCAPE CONTRACTORS  
 www.headsuplandscape.com  
 P.O. BOX 10597  
 Albuquerque, NM 87114  
 505.898.9815  
 505.898.2105 (fax)  
 design@hulc.com



Proposed New Office/Warehouse for  
**GraybaR**  
 Albuquerque, New Mexico



**bauer pankey**  
 architects, inc



VICINITY MAP ZONE MAP: H-14-Z

LEGAL DESCRIPTION

GATEWAY INDUSTRIAL PARK, TRACT 1, WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 8, T 10 N, R 3 E, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

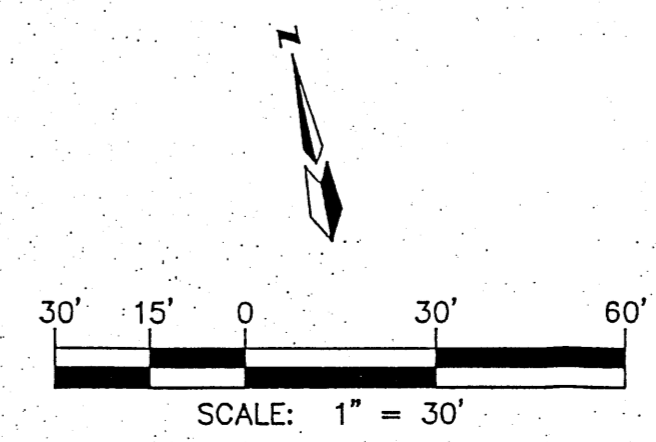
LEGEND

- X---X---X--- EXISTING FENCE
- EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING LIGHT POLE
- ▬▬▬▬▬▬ PROPOSED RETAINING WALL
- ▬▬▬▬▬▬ PROPOSED GARDEN WALL
- ▬▬▬▬▬▬ PROPOSED CONCRETE CURB
- ⊥ PROPOSED GATE VALVE
- ⊥ PROPOSED WATER METER
- ⊥ PROPOSED TEE
- PROPOSED FIRE HYDRANT
- 8" WL — PROPOSED WATERLINE
- 8" SAS — PROPOSED SAS LINE

*John M. [Signature]*  
6-14-05

GRAYBAR ELECTRIC  
CONCEPTUAL UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539





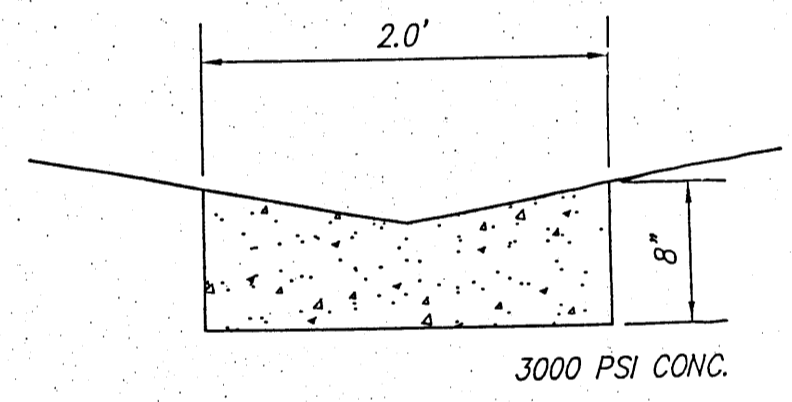
VICINITY MAP ZONE MAP: H-14-Z

LEGAL DESCRIPTION

GATEWAY INDUSTRIAL PARK, TRACTS A, B, C & D, WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 8, T 10 N, R 3 E, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

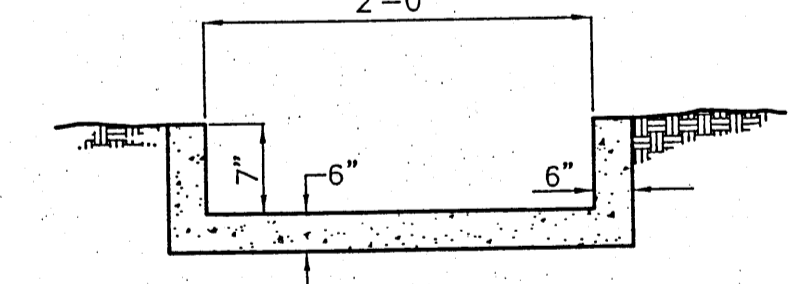
LEGEND

- 4984 — EXISTING CONTOUR MAJOR
- 4985 — EXISTING CONTOUR MINOR
- x 03.78 EXISTING SPOT ELEVATION
- TC= EXISTING TOP CURB ELEVATION
- FL= EXISTING FLOWLINE ELEVATION
- ===== EXISTING CONCRETE CURB
- x x x EXISTING FENCE
- EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING LIGHT POLE
- 02.65 PROPOSED SPOT ELEVATION
- 03.00 PROPOSED TOP OF CURB ELEVATION
- 02.50 PROPOSED FLOWLINE ELEVATION
- — — — — PROPOSED ROOF DRAIN
- FLOW ARROW
- FF= 02.50 PROPOSED FINISHED FLOOR ELEVATION
- ===== PROPOSED CONCRETE CURB
- ▨ EXISTING ASPHALT
- x x x METAL FENCE
- ▲ SIGN
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- CLEANOUT
- ⊕ WATER VALVE
- ⊕ WATER METER
- E & T - OVERHEAD ELECTRIC LINE



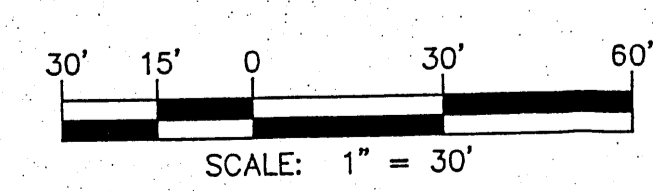
ALLEY GUTTER CROSS SECTION

NTS  
Adjacent surfaces to be graded such that runoff flows into alley gutter



CONCRETE CHANNEL DETAIL  
N.T.S.

6-14-05

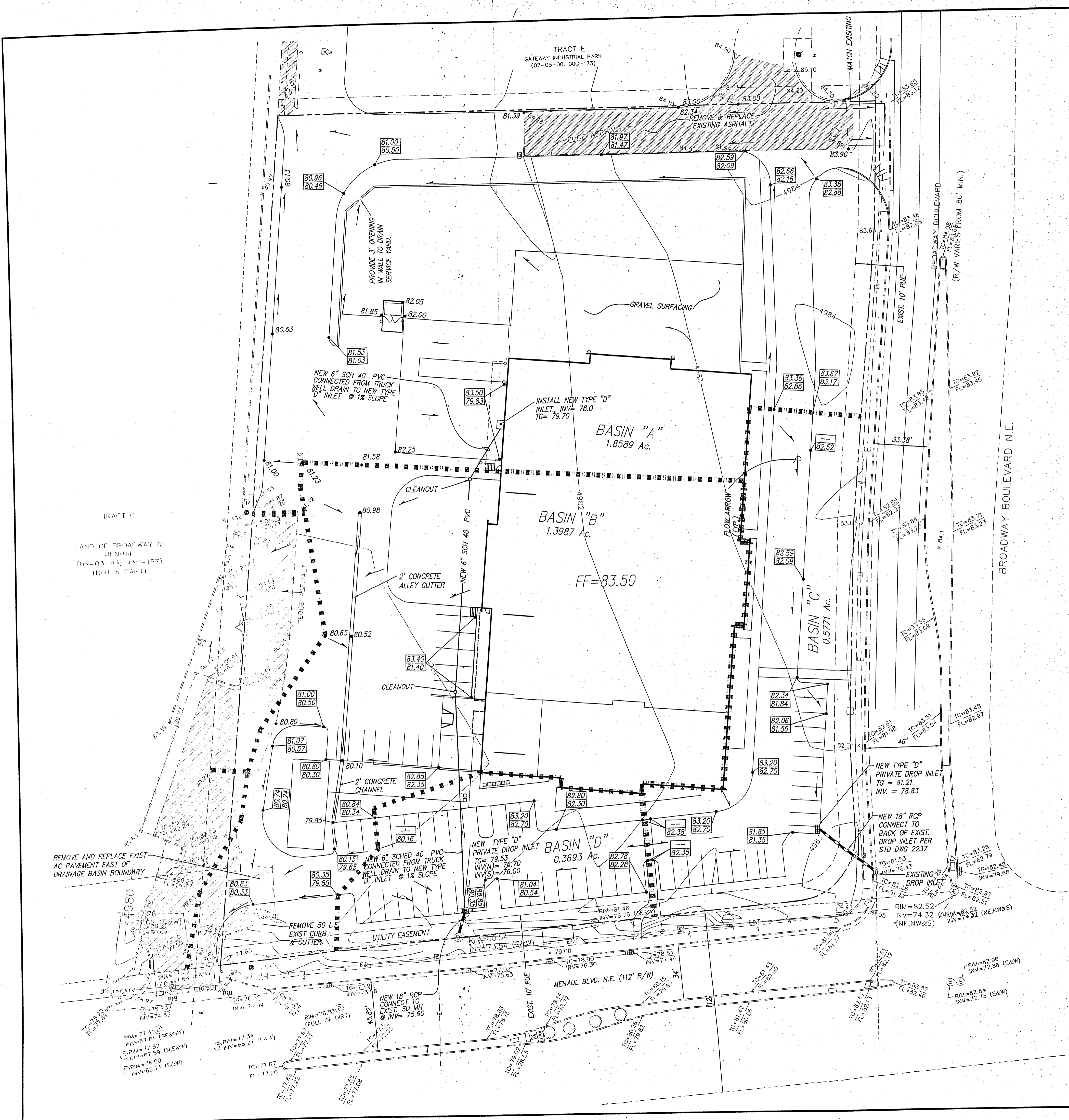


A5006GBE/PLANS/A5006GD30A/06-13-05 KJS

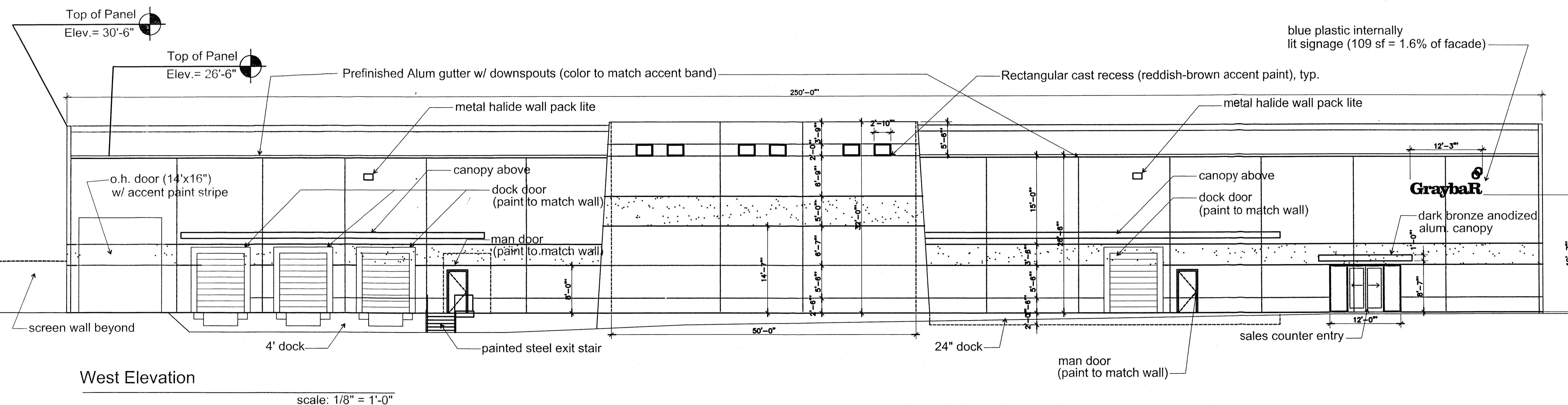
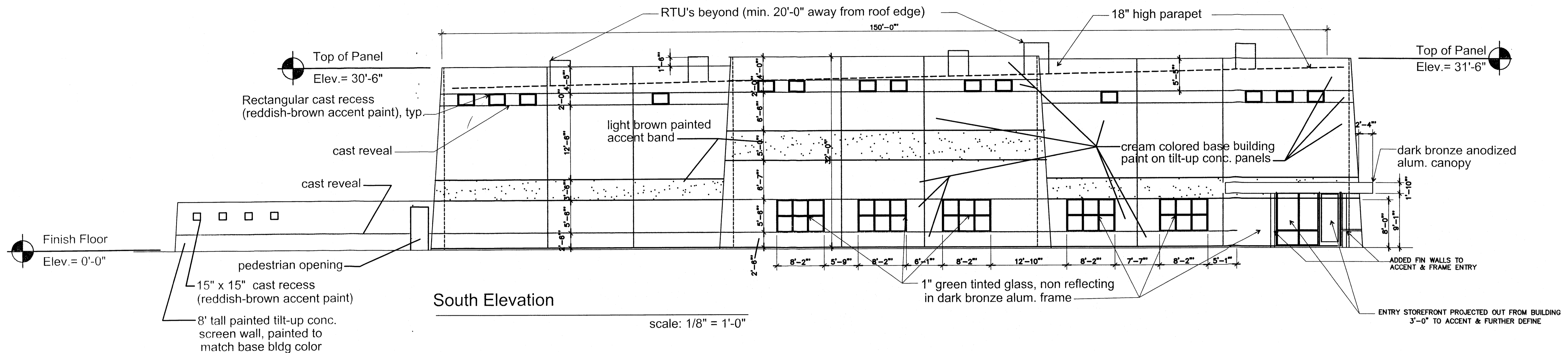
GRAYBAR ELECTRIC  
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

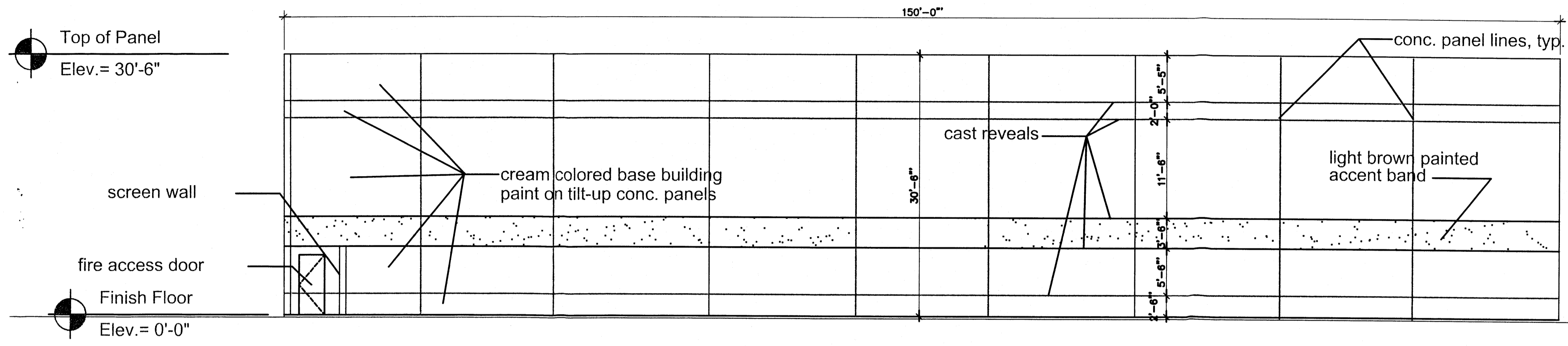
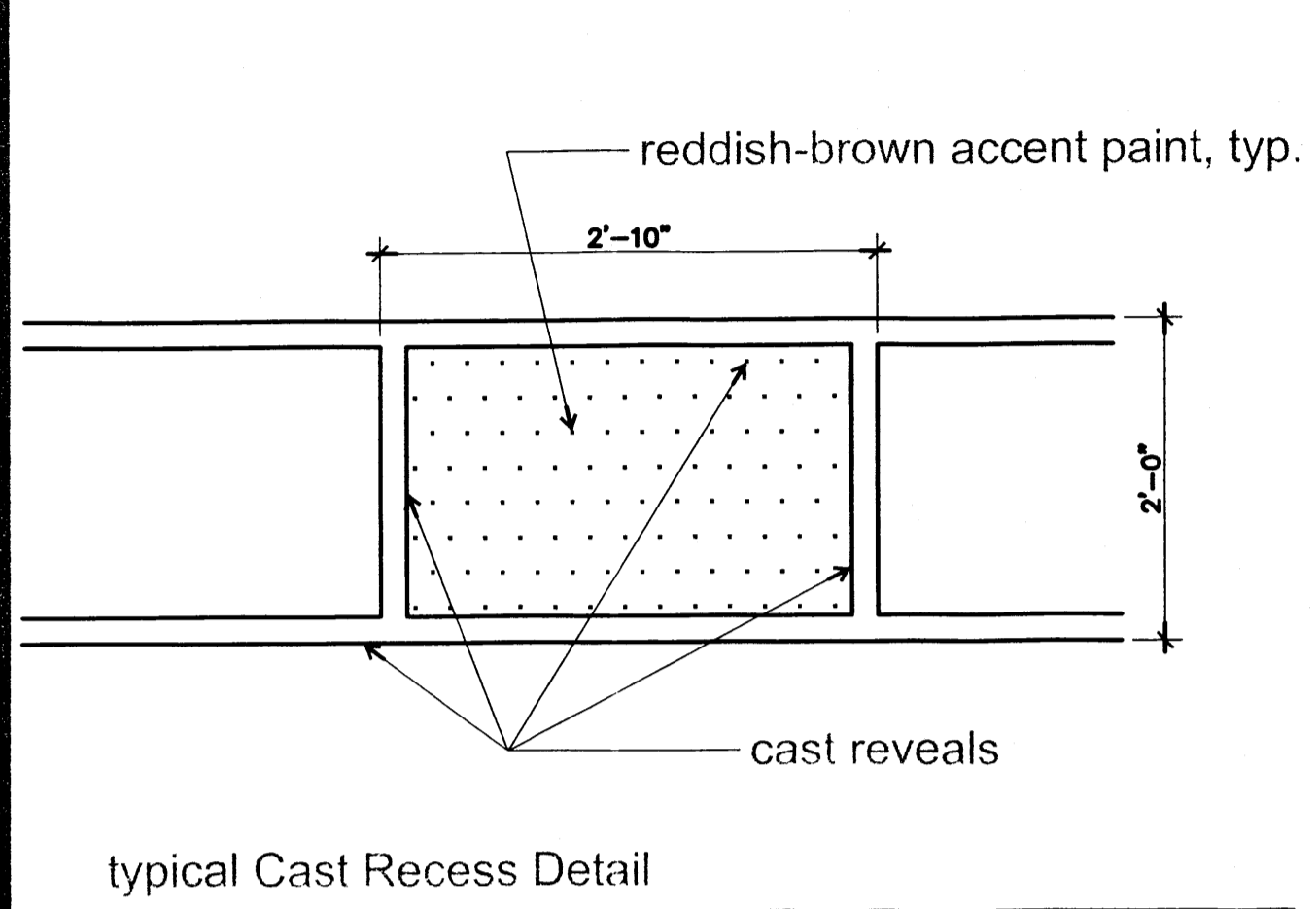
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1. 10/20/05 2. 10/20/05 3. 10/20/05 4. 10/20/05 5. 10/20/05 6. 10/20/05 7. 10/20/05 8. 10/20/05 9. 10/20/05 10. 10/20/05 11. 10/20/05 12. 10/20/05 13. 10/20/05 14. 10/20/05 15. 10/20/05 16. 10/20/05 17. 10/20/05 18. 10/20/05 19. 10/20/05 20. 10/20/05 21. 10/20/05 22. 10/20/05 23. 10/20/05 24. 10/20/05 25. 10/20/05 26. 10/20/05 27. 10/20/05 28. 10/20/05 29. 10/20/05 30. 10/20/05 31. 10/20/05 32. 10/20/05 33. 10/20/05 34. 10/20/05 35. 10/20/05 36. 10/20/05 37. 10/20/05 38. 10/20/05 39. 10/20/05 40. 10/20/05 41. 10/20/05 42. 10/20/05 43. 10/20/05 44. 10/20/05 45. 10/20/05 46. 10/20/05 47. 10/20/05 48. 10/20/05 49. 10/20/05 50. 10/20/05 51. 10/20/05 52. 10/20/05 53. 10/20/05 54. 10/20/05 55. 10/20/05 56. 10/20/05 57. 10/20/05 58. 10/20/05 59. 10/20/05 60. 10/20/05 61. 10/20/05 62. 10/20/05 63. 10/20/05 64. 10/20/05 65. 10/20/05 66. 10/20/05 67. 10/20/05 68. 10/20/05 69. 10/20/05 70. 10/20/05 71. 10/20/05 72. 10/20/05 73. 10/20/05 74. 10/20/05 75. 10/20/05 76. 10/20/05 77. 10/20/05 78. 10/20/05 79. 10/20/05 80. 10/20/05 81. 10/20/05 82. 10/20/05 83. 10/20/05 84. 10/20/05 85. 10/20/05 86. 10/20/05 87. 10/20/05 88. 10/20/05 89. 10/20/05 90. 10/20/05 91. 10/20/05 92. 10/20/05 93. 10/20/05 94. 10/20/05 95. 10/20/05 96. 10/20/05 97. 10/20/05 98. 10/20/05 99. 10/20/05 100. 10/20/05

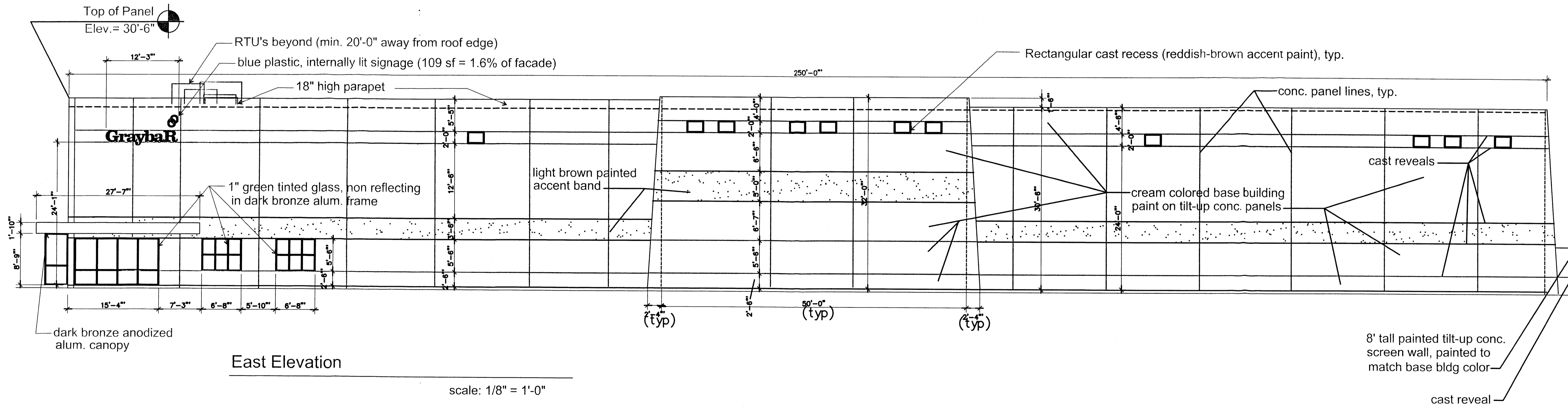


sheet  
**6A of 6**  
 Date: 6.10.05



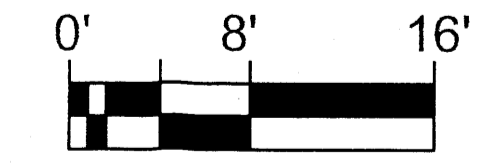
North Elevation

scale: 1/8" = 1'-0"



East Elevation

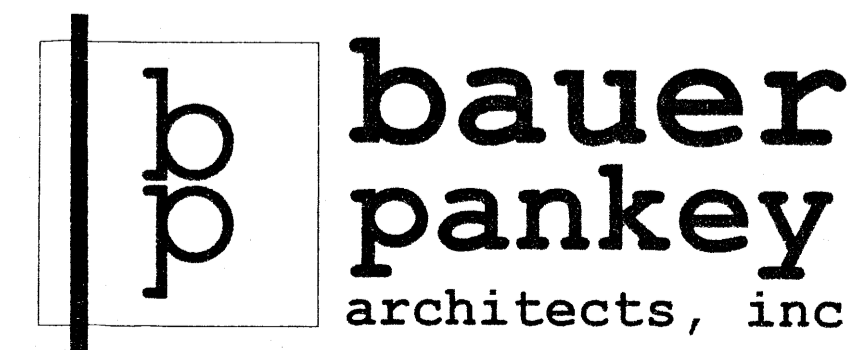
scale: 1/8" = 1'-0"



Building Elevations Plan



Proposed New Office/Warehouse for  
**GraybaR**  
Albuquerque, New Mexico



sheet  
**6B of 6**  
Date: 6.10.05