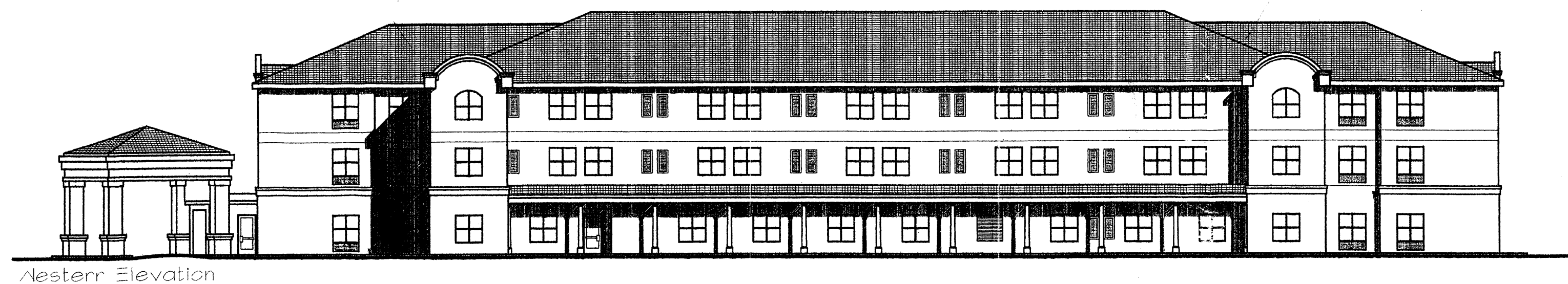


1999 UAC "Uniform Administrative Code" - 302.3 last paragraph
Any specifications or general expressions such as "work shall be done in accordance with the Albuquerque Codes" or "to the satisfaction of the City Building Official" shall be deemed inadequate and incomplete.



Hawthorn Suites Limited Albuquerque New Mexico

HAWTHORN SUITES LIMITED
5400 SAN ANTONIO AVENUE
ALBUQUERQUE, NEW MEXICO 87109

ADDRESS

TRACT A-3-A
J GROUP ADDITION
TO THE CITY OF ALBUQUERQUE
COUNTY OF BERNALILLO
STATE OF NEW MEXICO

PROPERTY

ALL REGULATIONS AND GUIDELINES
OF THE AMERICANS WITH
DISABILITIES ACT AND ADDITIONAL
STATE AND LOCAL ACCESSIBILITY
CODES SHALL BE MET

ADA NOTE:

ADD:
(AS REQUIRED BY THE MOST CURRENT VERSION
OF THE "INTERIM GUIDELINES FOR DEVELOPMENT
WITHIN 1000 FEET OF LANDFILLS")

LEON LAUVER + ASSOCIATES
ARCHITECTS + CONSULTANTS
P.O. BOX 1201
NORFOLK, NEBRASKA 68701
1.402.371.3333

ARCHITECT

YEENA INVESTMENTS
SAMIR PATEL
P.O. BOX 9210
ALBUQUERQUE, NEW MEXICO 87109
1.505.191.9341

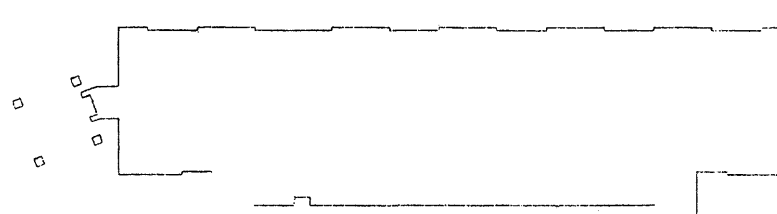
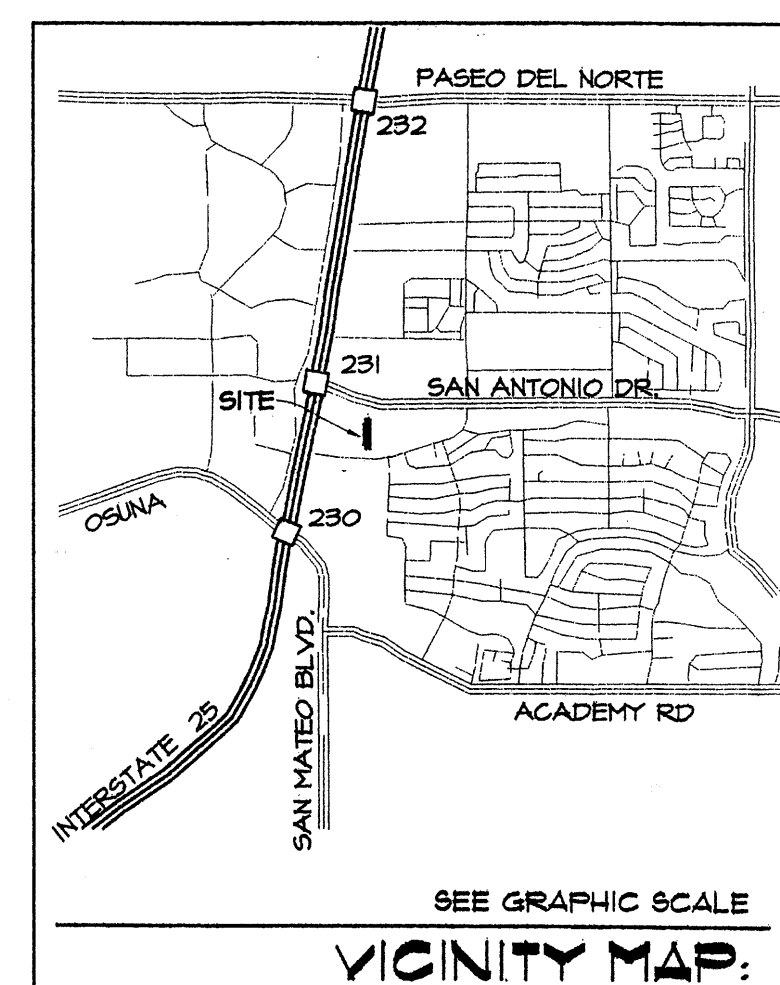
OWNER

HAWTHORN SUITES, US96
RANDY REDMAN
13 CORPORATE SQUARE
ATLANTA, GEORGIA 30603
1.404.325.1481

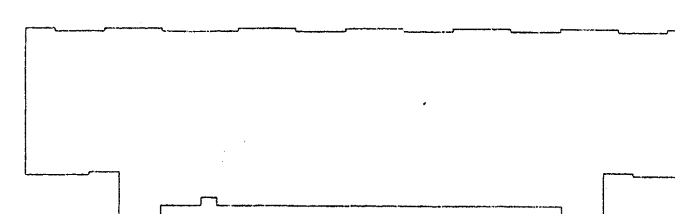
FRANCHISE

EXISTING AND PROPOSED
ZONE: SU-1 WITH C-1 USAGE

ZONING:



LEVEL ONE AREA
12,621 SQ. FT.



LEVEL TWO AREA
12,524 SQ. FT.



LEVEL THREE AREA
12,524 SQ. FT.

EPC #01128 00675
DRB #02DRB-00948

CASE NUMBER: Z-

Proj. # 1000216

This plan is consistent with the specific site development plan
approval by the Environmental Planning Commission (EPC)
on JULY 18, 2001
and that the findings and conditions in the Official Notice, Notification of
Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Richard Dault</i> Traffic Engineer, Transportation Division	<u>10-02-02</u> Date
<i>Christina Sandora</i> Public General Services Department	<u>10/2/02</u> Date
<i>Roger A. Green</i> Public Works/Water Utilities Division	<u>11/19/02</u> Date
<i>Brad Bil</i> City Engineer, Engineering Division / AMAFCA	<u>12/13/02</u> Date
<i>Michael Holten</i> Solid Waste, will comply with CWA, agrees	<u>11-21-02</u> Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the
Development Process Manual.

Paul J. Quinn
City Planner, Albuquerque / Bernalillo
County Planning Division

12-13-02
Date

PLNZ (10706) 4/96

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C3.1 *	DRAINAGE PLAN	

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ENV2	LFG VENTING SYSTEM SECT B-C
ENV3	LFG VENTING SYSTEM SECT F + ELEV
ENV 4	LFG DETAILS

LI.1 LANDSCAPING PLAN

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A5.3	BUILDING SECTION
A5.4	STAIR AND CANOPY SECTIONS
A5.5	BUILDING SECTION

ALBUQUERQUE
BLDG & SAFETY
OCT 17 2002
U.S.C.
PLAN CHECK
SECTION

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S0.2 *	STRUCTURAL DETAILS
S2.0 *	FOUNDATION PLAN AND DETAILS
S2.1 *	ROOF FRAMING PLAN
S2.2 *	ROOF LEVEL SHEAR WALL LOCATIONS
S3.1 *	LEVEL THREE FRAMING PLAN
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E2.4 *	ELECTRICAL PLANS
E3.1	LEVEL ONE REFLECTED CEILING PLAN
E3.2	LEVEL TWO AND THREE REFLECTED CEILING PLANS

* DRAWN BY OTHER COMPANIES, ENGINEERS OR FIRMS.

Hawthorn Suites LTD
general conditions
Albuquerque, NM

drawn: ams

checked: L.K.Lauver

start date: 9.17.2001

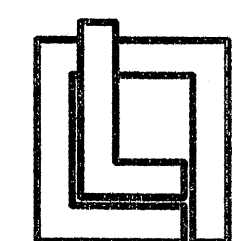
plot date: 8.13.2002

approved:

8.13.2002
10.14.2001
L.K. Lauver
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anita sarre

revisions:

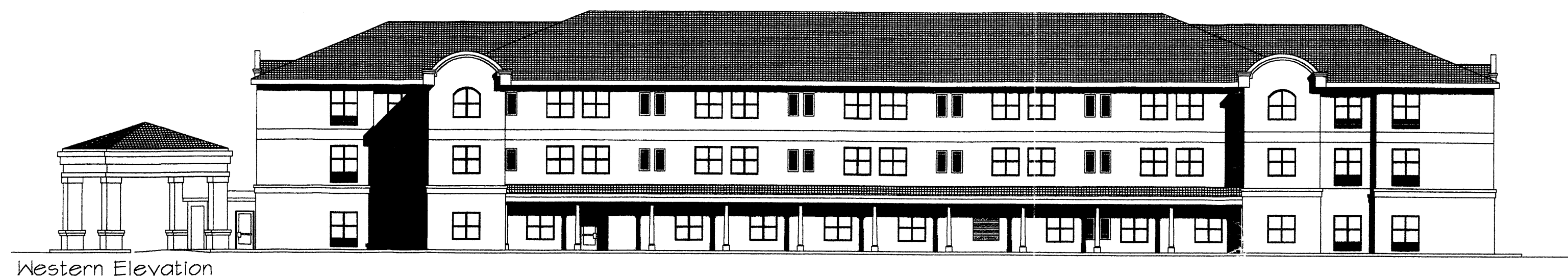
STATE OF NEW MEXICO
LEON K. LAUVER
REGISTERED ARCHITECT
NO. 3865



leon lauver
+ associates
architects
+ consultants
P.O. BOX NUMBER 1207
NORFOLK, NEBRASKA 68701
voice: 1.402.371.3333
fax: 1.402.371.1164

job no: 417

sheet:



Hawthorn Suites Limited Albuquerque New Mexico

DISCLOSURE:

THE PLANS PREPARED BY HEAVER, BOOS AND GORDON MUST BE INCORPORATED INTO THE PLANS MADE BY LEON LAUVER AND ASSOCIATES

THE SUBJECT PROPERTY IS ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING ON A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL AND GAS ISSUES SHALL BE CONSULTED PRIOR TO THE DEVELOPMENT OF THE SITE

ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) GUIDELINES SHALL BE MET. ALL MATERIAL SAFETY DATA SHEETS SHALL BE MAINTAINED ON SITE BY THE GENERAL CONTRACTOR OR PROJECT SUPERINTENDENT.

ENVIRONMENTAL APPROVAL

THESE PLANS ARE HEREBY APPROVED AS NOTED:

Marcia Pincus August 20, 2002
MARCIA PINCUS, P.E.
ENVIRONMENTAL ENGINEER
CITY OF ALBUQUERQUE

HAUTHORN SUITES LIMITED
5400 SAN ANTONIO AVENUE
ALBUQUERQUE, NEW MEXICO 87109

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See R.O. 8/11/02

LEON LAUVER + ASSOCIATES
ARCHITECTS + CONSULTANTS
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ARCHITECT

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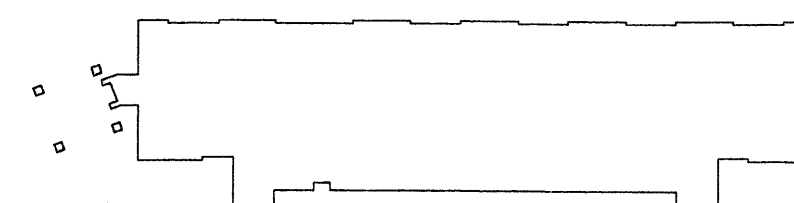
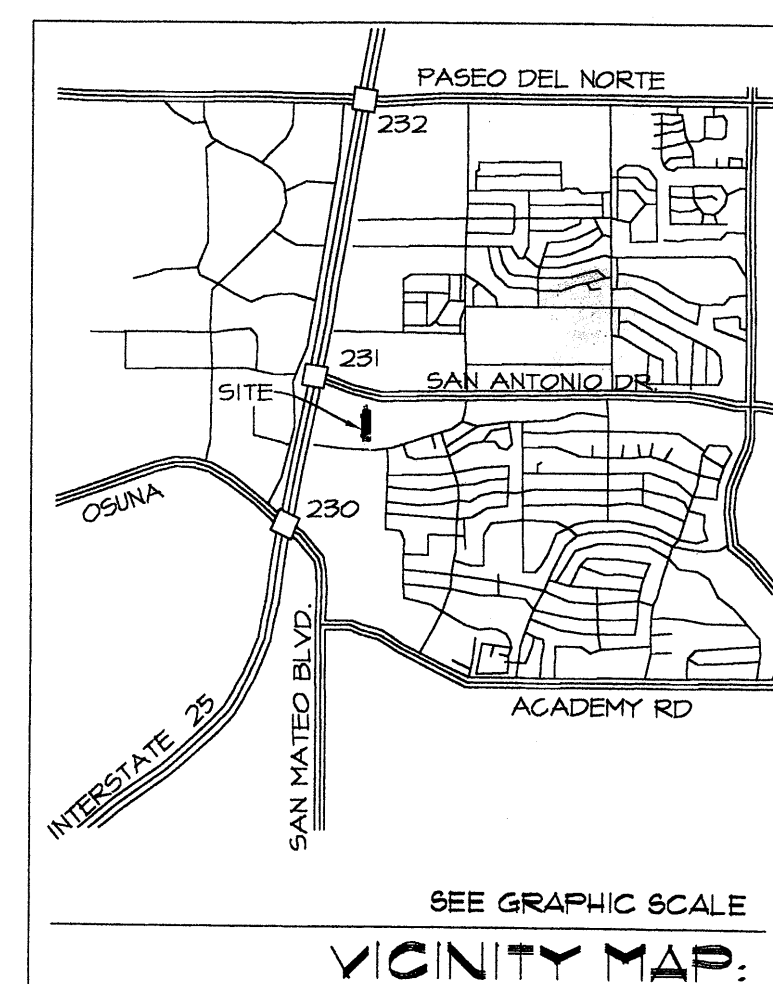
OWNER

HAUTHORN SUITES, USFS
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1. 404.325.1481

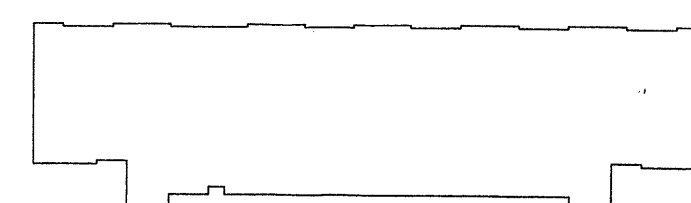
FRANCHISE

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ZONE: SU-1 WITH C-1 USAGE

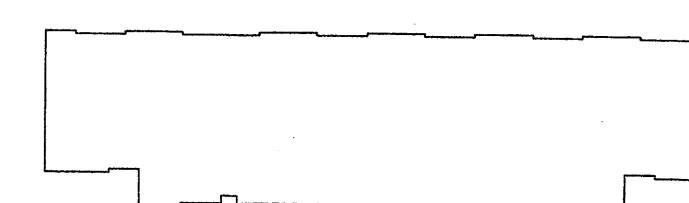
ZONING:



LEVEL ONE AREA
12621 SQ. FT.



LEVEL TWO AREA
12524 SQ. FT.



LEVEL THREE AREA
12524 SQ. FT.

CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division _____ Date _____

Parks & General Services Department _____ Date _____

Public Works, Water Utilities Division _____ Date _____

City Engineer, Engineering Division / AMAECA _____ Date _____

Solid Waste _____ Date _____

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division _____ Date _____

PLNZ (10706) 4/96

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C2.2 * DRAINAGE PLAN
C3.1 * DRAINAGE PLAN

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start date: 9.17.2001

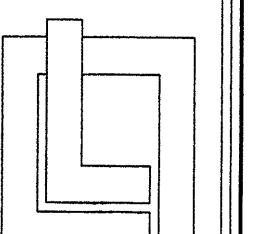
plot date: 8.13.2002

approved:

8.13.2002
anita same
05.02.2002
anita same

revisions:

architect's seal:



leon lauver
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architects
+ consultants
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job no: 417

sheet:

GENERAL CONDITIONS:

1. ALL TRADES MUST BE LICENSED IN THE STATE OF NEW MEXICO AND MUST PRESENT LICENSE NUMBER WITH BIDS. EACH TRADE SHALL OBTAIN ALL PERMITS AS REQUIRED FOR THE CITY OF ALBUQUERQUE AND ANY OTHER PERMITS AS REQUIRED.
2. ALL TRADES SHALL COMPLY WITH ALL CODES AND ORDINANCES.
3. CONTRACTORS NEED TO BE LICENSED IN THE STATE OF NEW MEXICO AND OBTAIN A BUILDING PERMIT FOR THE CITY OF ALBUQUERQUE. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRADES THAT ARE REQUIRED TO BE LICENSED IN THE STATE OF NEW MEXICO AND HOLD OWNER HARMLESS FOR ALL LICENSE VIOLATIONS.
4. CHANGE ORDERS: ALL CHANGE ORDERS MUST BE APPROVED BY ARCHITECT AND OWNER BEFORE WORK ON CHANGE ORDER COMMENCES.
5. PAYMENTS: INVOICES SHALL BE SUBMITTED TO ARCHITECT OR OWNER, ON OR BEFORE THE 25TH OF THE MONTH TO RECEIVE PAYMENT BY THE 10TH OF THE FOLLOWING MONTH. PAYMENT WILL BE APPROVED ON 10% OF WORK COMPLETED. PARTIAL LIEN WAIVERS WILL BE REQUIRED.
6. INSURANCE: EACH CONTRACTOR MUST FULFILL THE FOLLOWING INSURANCE REQUIREMENT. THE GENERAL CONTRACTOR MUST PROVIDE TO THE OWNER A CERTIFICATE OF INSURANCE.
 - A. WORKER'S COMPENSATION INSURANCE WITH STATUTORY LIMITS AND EMPLOYER'S LIABILITY INSURANCE WITH LIMITS OF NOT LESS THAN \$100,000 FOR THE STATE OF NEW MEXICO.
 - B. GENERAL LIABILITY INSURANCE WITH LIMITS OF NOT LESS THAN \$1,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY AND PROPERTY DAMAGE (INCLUDING PERSONAL INJURY, CONTRACTUAL LIABILITY COVERAGE SPECIFICALLY ENDORSED TO COVER THE INDEMNITY PROVISIONS CONTAINED HEREIN), AND CONTRACTOR'S PROTECTIVE LIABILITY COVERAGE IF CONTRACTOR WILL BE SUBCONTRACTOR.
 - C. MOTOR VEHICLE LIABILITY INSURANCE WITH LIMITS OF NOT LESS THAN \$250,000 PER PERSON, \$500,000 PER ACCIDENT FOR BODILY INJURY AND NOT LESS THAN \$250,000 PER PERSON, \$100,000 FOR PROPERTY DAMAGE.
 - D. CONTACT ARCHITECT FOR LIST OF INSURED.
7. GENERAL CONTRACTOR SHALL REQUIRE ALL SUBCONTRACTORS TO HAVE WORKMAN'S COMPENSATION INSURANCE APPROVED BY THE STATE OF NEW MEXICO.
8. GENERAL CLEANUP: EACH TRADE SHALL CLEAN UP DEBRIS FROM EACH DAYS WORK AND DISPOSE OF DAILY. IF CLEAN UP OF AREA OF WORK IS NOT COMPLETED, GENERAL CONTRACTOR SHALL HAVE THE OPTION TO CLEAN UP AREA OF WORK AND CHARGE BACK TO THE TRADE.
9. SHOP DRAWINGS AND EQUIPMENT CUTS: EACH TRADE SHALL SUBMIT SHOP DRAWINGS OR EQUIPMENT CUTS TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCING WORK.
10. SCHEDULES: IT IS THE RESPONSIBILITY OF EACH TRADE TO REVIEW AND FOLLOW CONSTRUCTION SCHEDULES. IF MATERIAL CANNOT REACH THE SITE ON TIME, THE ARCHITECT AND OWNER SHALL BE NOTIFIED 14 DAYS PRIOR TO DELAYED DELIVERY FOR POSSIBLE CHANGES TO MATERIAL THAT CAN BE USED WITHOUT ALTERING SCHEDULE.
11. FINAL LIEN WAIVER WILL BE REQUIRED UPON FINAL ACCEPTANCE OF WORK AND THE RECEIPT OF FINAL PAYMENT.
12. ALL WORK SHALL COMPLY WITH ADA REQUIREMENTS.

MISCELLANEOUS

NO PONDING OF STORMWATER SHALL OCCUR ON SITE

SPECIFICATIONS:

SITE WORK

1. GRADING: THE TOP SOIL OF THE SITE SHALL BE STRIPPED AND STOCKPILED IN AREAS THAT WILL NOT RECEIVE BUILDING OR PARKING BEFORE FILL IS INSTALLED.
2. CUT AND FILL: MATERIAL USED FOR FILL SHALL BE SANDY CLAY OR MATERIAL THAT CAN BE COMPACTED TO 95% STANDARD PROCTOR.
3. SAND FILL OR APPROPRIATE MATERIAL OF AREA:
 - A. BUILDING FLOOR - PROVIDE A 4" TO 6" SAND OR APPROPRIATE MATERIAL OF AREA FOR LEVELING BED ON BUILDING PAD.
 - B. SIDEWALK - PROVIDE 2" TO 3" SAND OR APPROPRIATE MATERIAL LEVELING BED.
 - C. PAVING AND APPROACH - PROVIDE SAND OR APPROPRIATE MATERIAL LEVELING BED AS REQUIRED.
4. DETENTION AREA SHALL BE BUILT AS SHOWN AND SHALL MEET CITY OF ALBUQUERQUE SPECIFICATIONS AND REQUIREMENTS.
5. UTILITIES:
 - A. WATER - FURNISH AND INSTALL A 4" C900 PVC WATER SERVICE FROM EXISTING MAIN AND TO MECHANICAL ROOM SHOWN ON PLANS. CONTRACTOR SHALL MEET ALL CITY REQUIREMENTS FOR INSTALLATION OF WATER SERVICE.
 - B. SEWER - PROVIDE A 6" HOUSE SEWER TO SEWER DISPOSAL FIELD BY OTHERS.
 - C. PHONE SERVICE - PROVIDE PHONE SERVICE.
 - D. CABLE - LOCAL CABLE COMPANY SHALL PROVIDE CABLE SERVICE TO MOTEL.
 - E. FIRE PROTECTION - PRIOR TO WATER LINE CHANNELING THROUGH WATER METER, RUN A 2" WATER LINE TO THE FIRE SPRINKLER SYSTEM.
6. PAVING:
 - A. ALL PAVING INSTALLED SHALL BE A MINIMUM OF 5" THICK 4000 PSI CONCRETE.
 - B. ALL PAVING SHALL BE INSTALLED ON A FIRM BASE OF EXISTING SOIL THAT CONSISTS OF A 45% MODIFIED PROCTOR DENSITY OR IS COMPACTED OF SAID DENSITY.
 - C. ALL FORMS USED FOR INSTALLING CONCRETE PAVING SHALL BE SMOOTH AND REMOVED ONLY WHEN CONCRETE IS PROPERLY SET.
 - D. PROVIDE A 1/2" EXPANSION JOINT BETWEEN POURS. ALL POURS SHALL BE TIED TOGETHER WITH #4 REBARS 12" LONG @ 24" O.C.
 - E. CONTROL JOINTS SHALL BE INSTALLED EVERY 20 FEET AND FILLED WITH WATERPROOFING COMPOUND THAT WILL HARDEN AND MAINTAIN A WATERPROOF SEAL TO CONCRETE. FURNISH ARCHITECT WITH MATERIAL TO BE USED AS SEALER.
 - F. ALL ASPHALT PAVING SHALL MEET STATE NM DOT OF ROAD STANDARD FOR 3/4" TYPE B BASE AND 1/2" TYPE A SURFACE WITH 15% OF CRUSHED ROCK PARTICLES. THICKNESS OF ASPHALT SHALL BE AS SHOWN ON PLANS.
 - G. FINISH - ALL CONCRETE SHALL RECEIVE A BROOM OR BURLAP FINISH. ALL FINISHES SHALL BE VOID OF INDENTATION AND OTHER IRREGULARITY THAT WILL ALLOW WATER TO STAND. ALL FINISHES SHALL BE APPROVED BY ARCHITECT.
 - H. PARKING LOT STRIPS - PROVIDE WHITE 4" STRIPES FOR ALL PARKING STALLS. ALSO PROVIDE PAINTED HANDICAP EMBLEM IN HANDICAP STALL.

LIGHT POLES

1. SINGLE PARKING LIGHT: EMCO WITH 16' POLE OR APPROVED EQUAL.
2. DOUBLE PARKING LIGHT: EMCO WITH 16' POLE OR APPROVED EQUAL.
3. WALL PACK LIGHT: WALL PACK LIGHTS LOCATED ON THE SIDE OF THE BUILDING ARE EXPRESSLY PROHIBITED BY HAWTHORN, LLC AND ALBUQUERQUE CITY CODES WITH THE EXCEPTION OF SCANCE LIGHTS TO BE LOCATED BY THE ENTRANCE AND SIDE EGRESS DOORS.

CONCRETE FOOTINGS:

- A. ALL FOOTINGS SHALL BE INSTALLED OVER FIRM GROUND THAT WILL COMPACT TO 95% MODIFIED PROCTOR. CONCRETE SHALL BE 3000 PSI AND SHALL BE INSTALLED OVER LEVEL SURFACE. REINFORCE AS SHOWN ON PLANS.

FOUNDATION WALLS:

- A. CONCRETE - CONCRETE BLOCK SHALL BE WIDTH AND DEPTH SHOWN ON PLANS. ALL REINFORCING SHALL BE INSTALLED AS SHOWN ON PLANS AND INSTALL FLOOR ANCHORS 4'-0" O.C.

CONCRETE FLOORS:

- A. ALL CONCRETE FLOORS SHALL BE INSTALLED OVER A COMPACTED SAND OR APPROPRIATE FILL AND 4 MIL POLYETHYLENE VAPOR BARRIER.
2. ALL FLOORS SHALL BE REINFORCED WITH 6X6 10/10 WIRE MESH. OVERLAP MESH AND TIE MESH UP INTO CONCRETE TO ALLOW AT LEAST AN INCH OF CONCRETE UNDER THE MESH. FIBER MESH WILL BE ACCEPTABLE.

CONCRETE FLOORS: (CONT.)

3. ALL FLOORS SHALL BE STEEL TROWELLED AND PROVIDE A SMOOTH LEVEL SURFACE. FLOORS SHALL BE LEVEL TO A TOLERANCE OF 1/8" PER FOOT AND IN NO INSTANCE SHALL BE MORE THAN 1/4" FOR LENGTH OF GIVEN ROOM.
4. ALL POURS SHALL BE TERMINATED BELOW A PARTITION WALL. PROVIDE CONTROL JOINTS AT ALL
5. NO CONCRETE FLOORS SHALL BE INSTALLED OVER FROZEN GROUND AND CONCRETE MUST BE PROTECTED WITH HEAT OR INSULATED BLANKET WHEN CURING TIME IS EXTENDED TO A PERIOD WHEN TEMPERATURES ARE BELOW 35 DEGREES.
6. ALL CONCRETE FLOORS SHALL BE THICKENED FOR LOCATION SHOWN ON PLANS.
7. ALL DEPRESSION AND DAMAGES TO FLOOR SHALL BE REPAIRED AT THE EXPENSE OF FLOORING CONTRACTOR OR SAID TRADE THAT CAUSED SAID DAMAGE.
8. PROVIDE POSITIVE SLOPE TO ALL DRAINS SHOWN ON PLANS. IN NO CASE SHALL THE DRAIN BE HIGHER THAN THE CONCRETE FLOOR. IN CASE OF THE LAUNDRY ROOM AND OTHER FLOOR SINKS, THE FLOOR SHALL SLOPE TO THE DRAIN A MINIMUM OF 1/2" FROM DRAIN AND DRAIN SHALL BE 1/4" TO 3/8" LOWER THAN THE FINISHED FLOOR.
9. CONCRETE FINISH AND INSTALLATION SHALL BE APPROVED BY ARCHITECT AND OWNER.
10. INSTALL 1/2" X 10' BOLTS 6" INTO CONCRETE 4'-0" O.C. AROUND PERIMETER OF BUILDING 1-3/4" IN FROM OUTSIDE FACE OF FLOOR.
11. PROVIDE CONTROL JOINTS UNDER EACH DEMISING WALL.

FRAMING:

1. ALL FRAMING LUMBER SHALL BE CONSTRUCTION GRADE OR BETTER AND FRAMER IS TO REJECT ANY STUDS AND PLATES THAT ARE NOT REASONABLY STRAIGHT.
2. ALL PLATES ON PERIMETER OF BUILDING SHALL BE INSTALLED OVER 3/8" SILL SEALER AND BOLTED TO THE FLOOR WITH 1/2" X 10' BOLTS 4'-0" O.C. AND AT EACH END OF PLATE
3. ALL 2X4 STUDS BETWEEN ROOMS SHALL BE INSTALLED 24" O.C., SEE PLANS FOR DETAILS.
4. ALL OPENINGS SHALL RECEIVE WOOD LINTELS, SEE STRUCTURAL DRAWINGS FOR LINTEL DETAILS AND SCHEDULE.
5. THE EXTERIOR SHEATHING SHALL BE NAILED AND INSTALLED TO PERFORM AS A VERTICAL DIAPHRAGM.
6. PROVIDE WOOD BACKING AS SHOWN ON ROOM PLANS AND NOTED ON PLANS AND ALL OF THE FOLLOWING:
 - A. ALL DOOR KNOB BUMPERS STOPS.
 - B. PHONE AND CABLE IN LAUNDRY ROOM.
 - C. TOWEL RACK AND SHOWER CURTAIN ROD IN BATH.
 - D. HANDICAP GRAB BARS.
 - E. COAT RACKS.
 - F. MIRRORS AND HEADBOARDS.
 - G. CABINETS AND BUILT-INS.
 - H. VANITY TOP SUPPORT IN ALL GUEST ROOMS.

7. ALL FRAMING SHALL BE PLUMB AND NAILED TO MEET BOCA AND STATE OF NEW MEXICO BUILDING CODES.

8. PROVIDE ALL NAILERS AS REQUIRED FOR SECURING DRYWALL IN ROOM AND FIRE STOP COVERAGE. SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS.

1. STAIR FRAMING - PROVIDE ALL FRAMING PER STAIR SECTIONS AND ALL NAILERS FOR DRYWALL AND OTHER ATTACHMENTS.

10. PROVIDE NAILERS FOR ALL SMOKE AND DRAFT STOPS.

11. INSTALL ALL WINDOWS.

12. SEE STRUCTURAL AND ARCHITECTURAL SHEETS FOR ADDITIONAL FRAMING SPECIFICATIONS.

13. INSPECT DRAWINGS AND INCLUDE FIELD FRAMING ON TRUSSES.

FLOOR TRUSSES: (INSTALLED BY FRAMING CONTRACTOR)

1. ALL FLOOR TRUSSES SHALL BE DESIGNED FOR 40# LIVE LOAD IN ROOMS AND 100# LIVE LOAD IN CORRIDORS.
2. ALL FLOOR TRUSSES SHALL BE DESIGNED TO RECEIVE 5/8" DRYWALL TO UNDERSIDE OF FLOOR AND STAMPED BY ENGINEER. ENGINEER SHALL BE REGISTERED BY THE STATE OF NEW MEXICO.

3. FLOOR TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS AND ENGINEER STAMP FOR DESIGN.

4. INSPECT DRAWINGS AND INCLUDE FIELD FRAMING ON TRUSSES.

ROOF TRUSSES: (INSTALLED BY FRAMING CONTRACTOR)

1. ALL ROOF TRUSSES SHALL BE DESIGNED FOR A SNOW LOAD AND WIND LOAD TO MEET LOCAL CODES. (INCLUDE SNOW DRIFT REQUIREMENTS).
 2. PROVIDE ALL CLIPS AND ANCHORS FOR INSTALLATION.
 3. PROVIDE SHOP DRAWINGS AND ENGINEER STAMP FOR REQUIRED DESIGN. SHOP DRAWING ENGINEER SHALL BE REGISTERED BY THE STATE OF NEW MEXICO.
 4. TRUSS MANUFACTURER SHALL PROVIDE DRAWINGS STAMPED BY A LICENSED NEW MEXICO ENGINEER UPON AWARD OF CONTRACT.
- ### WALL SHEATHING: (INSTALLED BY FRAMING CONTRACTOR)
1. ALL WALL SHEATHING SHALL BE 5/8" OSB BOARD OR EXTERIOR 5/8" GYPSUM BOARD NAILED ON ALL EDGES AT 6" O.C. AND ON OTHER VERTICAL STUDS AT 8" O.C.. REQUIREMENTS OF LOCAL FIRE CODE WILL PREVAIL.
 2. ALL SHEATHING SHALL FIT TIGHTLY.
 3. IF SHEATHING IS DAMAGED, IT SHALL BE REPLACED.

ROOF SHEATHING: (INSTALLED BY FRAMING CONTRACTOR)

1. ALL ROOF SHEATHING SHALL BE 5/8" OSB OR EQUAL, NAILED ON ALL EDGES WHERE FRAMING IS LOCATED AND PROVIDE CLIPS FOR AREAS NOT BACKED BY FRAMING. CLIPS SHALL BE INSTALLED TO ELIMINATE SAG IN SHEATHING.

FLOOR SHEATHING: (INSTALLED BY FRAMING CONTRACTOR)

1. ALL FLOOR SHEATHING SHALL BE 3/4" T&G OSB OR PLYWOOD. PLYWOOD SHALL BE NAILED AND GLUED TO ALL FLOOR TRUSSES.

FINISH CARPENTRY:

1. ALL THE FOLLOWING WORK SHALL BE COMPLETED BY A FINISH CARPENTER AND SHALL BE IN A WORKMANLIKE MANNER.

- A. ALL BED HEADBOARDS
- B. ALL COAT RACKS AND SHELVING
- C. ALL PREHUNG DOORS, FRAMES AND HARDWARE. (DO NOT INCLUDE ALUMINUM STORE DOORS)
- D. ALL LAVATORY BASES AND COAT RACKS IN EACH ROOM.
- E. ALL BATHROOM ACCESSORIES - TOILET PAPER HOLDERS, TOWEL BARS, COAT HOOKS AND SHOWER BODYS
- F. ALL STORAGE AND LAUNDRY ROOM SHELVING.
- G. ALL STAIR RAILING AND BAUSTER SHOWN ON PLANS.
- H. ALL STAIR HANDRAILS, CHAIR RAILS AND WOOD BASE (BOTH FINISHED AND UNFINISHED)
- I. ALL BUILT-IN KITCHENETTES.

WINDOWS: (INSTALLED BY FRAMING CONTRACTOR)

1. WINDOW SHALL BE INSTALLED LEVEL AND PLUMB AND PER DETAIL SHOWN ON PLANS.

MISCELLANEOUS STEEL:

1. PROVIDE STEEL BEAMS AS SHOWN ON STRUCTURAL DRAWINGS.
2. PROVIDE ALL PLATES, BOLTS AND ACCESSORIES FOR INSTALLATION.

WEATHER PROOFING:

1. PERIMETER INSULATION
 - A. PROVIDE 2" THICK HORIZONTAL AND 2" THICK VERTICAL INSULATION AS DETAILED ON DRAWINGS.
2. BUILDING INSULATION
 - A. WALLS - ALL EXTERIOR WALLS SHALL RECEIVE 5-1/2" THICK FIBERGLASS R-19. 1. IN BETWEEN STUDS, SOUND BLANKETS R-11.
 2. IN ALL CRACKS AND SMALL AREAS THAT MUST BE INDIVIDUALLY FILLED.
- B. WALLS - FOLLOWING INTERIOR SHALL RECEIVE FIBERGLASS INSULATION:
 1. ALL CORRIDOR WALLS 5-1/2"
 2. SURROUNDING BATHROOM WALLS 3-1/2"
- C. FLOOR AND ROOF TRUSSES:
 1. PROVIDE BLOW-IN INSULATION FOR A R-32 RATINGS IN THE ATTIC.
 2. FIRST AND SECOND FLOORS R-11 INSULATION.
3. SOUND ATTENUATION
 - A. PROVIDE 3" BATTES BETWEEN STUDS ON ROOM PARTITIONS.
4. VAPOR BARRIER
 - A. INSTALL 4 MIL POLYETHYLENE ON ALL EXTERIOR WALLS.
5. ROOFING FELT
 - A. INSTALL A 15# FELT ON ENTIRE ROOF SURFACE.

CARPETS:

1. CARPETING FOR PUBLIC AREAS INCLUDING LOBBY, MEETINGS ROOM, GUEST ROOM, CORRIDORS, GUEST ROOMS, HOSPITALITY ROOMS, OFFICES AND EXERCISE ROOMS MUST MEET THE FOLLOWING MINIMUM STANDARDS:

- A. CARPET FIRE RATINGS MUST EXCEED ALBUQUERQUE FIRE MARSHALL'S CODES, OR THE CURRENT NFPA STANDARD FOR CARPETS, WHICHEVER IS MORE STRINGENT.
- B. CARPET MUST BE A MINIMUM OF 36 OZ. PILE YEARN HEIGHT PER SQ. YARD. 100% NYLON CONTINUOUS FILAMENT 5-1/2 THIST, 8 TO 10 GAUGE, 8 STITCHES PER INCH, PILE HEIGHT OF 3/25" WITH BACKING AND SOLUTION DYED. YARN SHALL BE BASE WITH 10 YEAR STAIN GUARANTEE WITH ANTI STAT. FLAME SPREAD MUST BE 64 PER RADIANT FLUX AND SMOKE DENSITY TEST. CARPET PAD TO BE MALL TO WALL AND TO BE 50 OZ. TO 36 OZ. CARPET WILL ALSO BE USED FOR THE CARPET BASEBOARD.

2. CARPETING FOR GUEST ROOMS MUST MEET THE FOLLOWING STANDARDS:

- A. CARPET FIRE RATINGS MUST EXCEED ALBUQUERQUE FIRE MARSHALL'S CODES, OR THE CURRENT NFPA STANDARD FOR CARPETS, WHICHEVER IS MORE STRINGENT.
- B. ALL GUEST SUITES MUST HAVE WALL TO WALL. CARPET OVER 50 OZ CARPET CUSHION.
- C. CARPETING MUST BE INSTALLED IN A WAY THAT MINIMIZES THE NUMBER OF SEAMS.
- D. CARPET MUST BE A MINIMUM OF 28 OZ. PILE YEARN HEIGHT PER SQ. YARD. 100% NYLON CONTINUOUS FILAMENT, 8 TO 10 GAUGE, 8 STITCHES PER INCH, PILE HEIGHT OF .255" WITH POLYPROPYLENE BACKING AND SOLUTION DYED. YARN SHALL BE BASE WITH 10 YEAR STAIN GUARANTEE WITH ANTI STAT. FLAME SPREAD MUST BE 64 OR LESS, PER RADIANT FLUX AND SMOKE DENSITY TEST.

CERAMIC TILE:

1. ALL GUEST BATHROOMS ARE TO HAVE NON-SLIP CERAMIC TILE AND 4" OR 6" CERAMIC TILE BASE.

2. SEE DRAWINGS FOR SPECIFICATIONS.

VINYL COMPOSITION TILE: (VCT)

1. FOR ROOMS NEEDING VCT RESILIENT TILES, SEE ROOM FINISH SCHEDULE ON SHEET A1.3.
2. VCT SHALL BE OF A FIRE RESISTANT TYPE CONFORMING WITH THE RULES OF THE FIRE MARSHALL OR EITHER THE STATE OF NEW MEXICO OR THE CITY OF ALBUQUERQUE.

3. SAMPLES OF VCT SHALL BE SUBMITTED FOR APPROVAL AND MUST CARRY AN ACCEPTABLE COEFFICIENT OF FRICTION TO THE FRANCHISE.

4. A 4" VINYL BASE IS TO BE USED WITH THE VCT.

5. COLOR, TEXTURE AND ARRANGEMENT IS THE RESPONSIBILITY OF THE OWNER AND INTERIOR DESIGNER.

6. TILES ON THE SECOND AND THIRD FLOORS MUST BE PLACED ON A LAYER OF GYPCRETE MINIMUM OF 2,000 LBS PER SQ. FT. OR TILE MAKERS' SPECIFICATIONS.

DOOR FRAMES AND HARDWARE:

1. SEE DOOR SCHEDULE FOR ALL REQUIREMENTS SHEET A1.2.
2. SUBMIT SPECIFICATIONS AND BROCHURE IN HARDWARE COLOR AND MANUFACTURER OF DOORS AND FRAMES.
3. ALL ALUMINUM STORE DOORS RECEIVING REMOTE READERS SHALL RECEIVE AN ELECTRONIC STRIKE.

GLASS AND GLAZING:

1. ALUMINUM DOOR AS SPECIFIED UNDER DOORS SHALL BE FURNISHED AND INSTALLED BY A LICENSED STORE DOOR DISTRIBUTOR.

2. FURNISH AND INSTALL TEMPERED GLASS WHERE REQUIRED BY CODE.

3. FURNISH AND INSTALL ALL HARDWARE INCLUDING PANIC BARS, CLOSURES AND MORTISE CYLINDERS (SEE HARDWARE SCHEDULE).

4. FURNISH AND INSTALL MIRRORS FOR ALL VANITIES AND INSTALL ABOVE DESKS IN EACH ROOM.

5. POOL INTERIOR WINDOWS SHALL RECEIVE STANDARD 5/8" THERMOPANE.

DRYWALL:

1. ALL WALLS SHALL RECEIVE THE FOLLOWING MATERIAL:
 - A. DRYWALL BOARDS 5/8" THICK TAPED AND TEXTURED AS REQUIRED BY THE STATE OF NEW MEXICO AND BOCA CODES AND FIRE MARSHALL IN ALBUQUERQUE. TEXTURE SHALL BE SELECTED BY THE OWNER AND APPROVED BY HAWTHORN SUITES LTD.
 - B. DRYWALL SHALL BE TAPED TO BE DONE BY THE STATE OF NEW MEXICO. ALSO BE GOVERNED BY THE UNIFORM BUILDING CODE AND THE FIRE MARSHALL OF THE CITY OF ALBUQUERQUE.
 - C. 5/8" WATER RESISTANT (GREEN BOARD) DRYWALL SHALL BE INSTALLED IN SHOWER AND BATHTUB ENCLOSURES. BOARD TO TUN TO CEILING IN ENCLOSURE.
 - D. 5/8" GREEN BOARD TO BE INSTALLED IN SWIMMING POOL WALLS AND BOARDS ARE TO RUN TO TOP OF WALLS.

2. SPECIAL INSTALLATION:

- A. ALL WALLS IN ROOMS SHALL EXTEND TO UNDERSIDE OF THE NEXT FLOOR, ONE SIDE ONLY FOR DRAFT STOP.
- B. PROVIDE DRAFT STOPS IN ATTIC AS REQUIRED BY FIRE MARSHALL. DRAFT STOPS SHALL BE TAPED AND FIRE CAULKED AS SHOWN ON PLANS OR AS DESIGNATED BY FIRE/BUILDING INSPECTORS. ACCESS PANELS SHALL BE PLACED IN EACH 2-HOUR SPACE. SEE ROOF TRUSS PLAN FOR LOCATIONS.
- C. ONE WALL OF EACH GUEST ROOM SHALL RECEIVE 1/2" RC-1 SOUND CHANNEL.
- D. INSTALL 1/2" RC-1 SOUND CHANNEL ON ALL CORRIDOR WALLS ON CORRIDOR SIDE.
- E. INSTALL 1/2" RC-1 SOUND BOARD ON ALL CORRIDOR WALLS AND DEMISING WALLS.
- F. THIRD FLOOR CEILING TO RECEIVE 2 LAYERS 5/8" FIRECODE DRYWALL.
- G. INSTALL 1/2" SOUND BOARD ON ONE SIDE OF DEMISING WALL.

SPRINKLER AND FIRE ALARM SYSTEM: (NFPA 108)

1. THIS SYSTEM MUST BE COMPRISED OF DEVICES CAPABLE OF PROVIDING AUTOMATIC FIRE SUPPRESSION AND INITIATING GENERAL ALARM. IT MUST ALSO INITIATE AN AUDIBLE AND VISUAL ALARM AT THE FRONT DESK WHICH INDICATES THE SOURCE OF THE SPRINKLER ACTIVATION. THE SYSTEM SHALL BE DESIGNED BY FLOORS AND THE SYSTEM SHALL ALSO BE GOVERNED BY THE UNIFORM BUILDING CODE AND THE FIRE MARSHALL OF THE CITY OF ALBUQUERQUE.

2. THE SPACINGS, SIZE AND LOCATION OF SPRINKLERS, AND THE INSTALLATION OF THE SYSTEM MUST BE IN ACCORDANCE WITH NFPA 13R, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (FRAME BUILDINGS) OR OTHERWISE SPECIFIED BY THE FIRE MARSHALL OF THE CITY OF ALBUQUERQUE.

3. MINIMUM SPRINKLER PROTECTION IN THE GUEST ROOMS MUST CONSIST OF ONE HEAD IN THE SLEEPING AREA AND ONE HEAD IN THE ENTRANCE AREA. FAST ACTION SPRINKLER HEADS SHOULD BE UTILIZED. ADDITIONAL HEADS SHALL BE PLACED AS DIRECTED BY THE ALBUQUERQUE FIRE MARSHALL AND HAWTHORN SUITES LTD REQUIREMENTS.

4. SPRINKLER AND FIRE ALARM DRAWINGS SHALL BE SUBMITTED BY A LICENSED NEW MEXICO ENGINEER UPON AWARD OF CONTRACT (UFC 1009.3.1)

5. DETAILS OF SPRINKLER AND FIRE ALARM MONITORING CONTROL SYSTEMS SHALL BE SUBMITTED BY A LICENSED NEW MEXICO ENGINEER UPON AWARD OF CONTRACT (UFC 1009.3.1)

6. CONSTRUCTION TYPE V, 1 HOUR FOR FIRE FLOW CALCULATIONS (UBC 1947 SECTION 606)
7. BUILDING IS TO BE FURNISHED WITH AN AUTOMATIC FIRE SPRINKLER DESIGNED AND APPROVED BY A LICENSED SAFETY ENGINEER REGISTERED WITH THE STATE OF NEW MEXICO (UBC 904.2.4)

8. BUILDING IS TO BE FURNISHED WITH QUICK RESPONSE SPRINKLERS (UBC 904.2.4)

9. FIRE ALARM SYSTEMS NMBC 1103.1.1.2.4, UBC 310.1.0

HAWTHORN SUITES LIMITED
5420 SAN ANTONIO AVENUE
ALBUQUERQUE, NEW MEXICO 87199

ADDRESS

TRACT A-3-A
J GROUP ADDITION
TO THE CITY OF ALBUQUERQUE
COUNTY OF BERNALILLO
STATE OF NEW MEXICO

PROPERTY

ALL REGULATIONS AND GUIDELINES
OF THE AMERICANS WITH
DISABILITIES ACT AND ADDITIONAL
STATE AND LOCAL ACCESSIBILITY
CODES SHALL BE MET

ADA NOTE:

LEON LAUVER • ASSOCIATES
ARCHITECTS • CONSULTANTS
P.O. BOX 1207
NORFOLK, NEBRASKA 68701
1.402.371.3333

ARCHITECT

VEENA INVESTMENTS
SAMIR PATEL
P.O. BOX 8710
ALBUQUERQUE, NEW MEXICO 87199
1.505.131.3341

OWNER

HAWTHORN SUITES, USF6
RANDY REDMAN
13 CORPORATE SQUARE
ATLANTA, GEORGIA 30329
1.404.339.1481

FRANCHISE

EXISTING AND PROPOSED
ZONE: BU-1 WITH C-1 USAGE

ZONING:

→ (AS REQUIRED BY THE MOST
CURRENT VERSION OF THE
"INTERIM GUIDELINES FOR
DEVELOPMENT WITHIN 100FT
OF LANDFILLS") S.P. 8/19/02

DISCLOSURE:

THE PLANS PREPARED BY HEAVER, BOOS AND
GORDON MUST BE INCORPORATED INTO THE PLANS
MADE BY LEON LAUVER AND ASSOCIATES

THE SUBJECT PROPERTY IS ON A FORMER
LANDFILL. DUE TO THE SUBJECT PROPERTY BEING
ON A FORMER LANDFILL, CERTAIN
PRECAUTIONARY MEASURES MAY NEED TO BE
TAKEN TO ENSURE HEALTH AND SAFETY OF THE
PUBLIC. RECOMMENDATIONS MADE BY A
PROFESSIONAL ENGINEER WITH EXPERTISE IN
LANDFILL AND GAS ISSUES SHALL BE CONSULTED
PRIOR TO THE DEVELOPMENT OF THE SITE

ALL OCCUPATIONAL SAFETY AND HEALTH
ADMINISTRATION (OSHA) GUIDELINES SHALL BE
MET. ALL MATERIAL SAFETY DATA SHEETS SHALL
BE MAINTAINED ON SITE BY THE GENERAL
CONTRACTOR OR PROJECT SUPERINTENDENT.

FIRE ASSY LIST	
CORRIDOR WALL	UB31
STAIRWELL	UB34
EXTERIOR WALL	UB48
DEMISING WALL	UB48
LAUNDRY WALL	UB34
STORAGE WALL	UB31
SUSPENDED CEILING	LS24
FLOOR JOIST/CEILING	LS23
FLOOR TRUSS/CEILING	LS24
MECH ROOM WALLS	UB34
ELEVATOR SHAFT	UB34
LAUNDRY CHUTE	UB34
FIRE WALL	UB34
GENERAL INTERIOR WALLS	UB33
ROOF	RC2601

CODE DESIGN DATA:

TYPE V 1 HOUR, R1 OCCUPANCY

BASE AREA: 10300 S.F. (TABLE 5B
OF UBC)

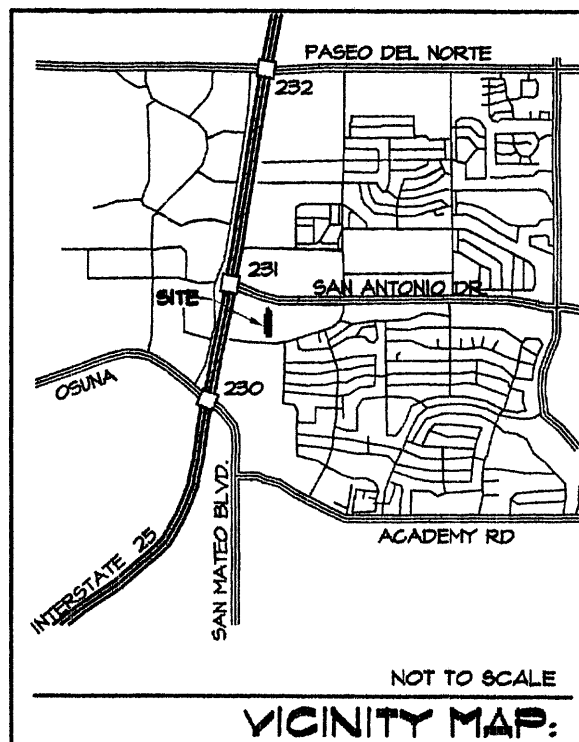
SPRINKLER INCREASE: 10300 S.F.
(505.3)

SEPARATION ON 2 SIDES: 50% (40
X 1.25%)(505.1.2)

TOTAL 31,500

2 AREAS NEEDED

AREAS PROVIDED: 28,200 AND
10,000



VICINITY MAP:

DRAWING INDEX:

- C1.1 • SITE PLAN
- C2.1 • DRAINAGE PLAN
- C2.2 • DRAINAGE PLAN
- C3.1 • DRAINAGE PLAN

- ENV1 • LF6 ABATEMENT SYSTEM PLAN
- ENV2 • LF6 VENTING SYSTEM SECT B-C
- ENV3 • LF6 VENTING SYSTEM SECT F + ELEV
- ENV 4 • LF6 DETAILS

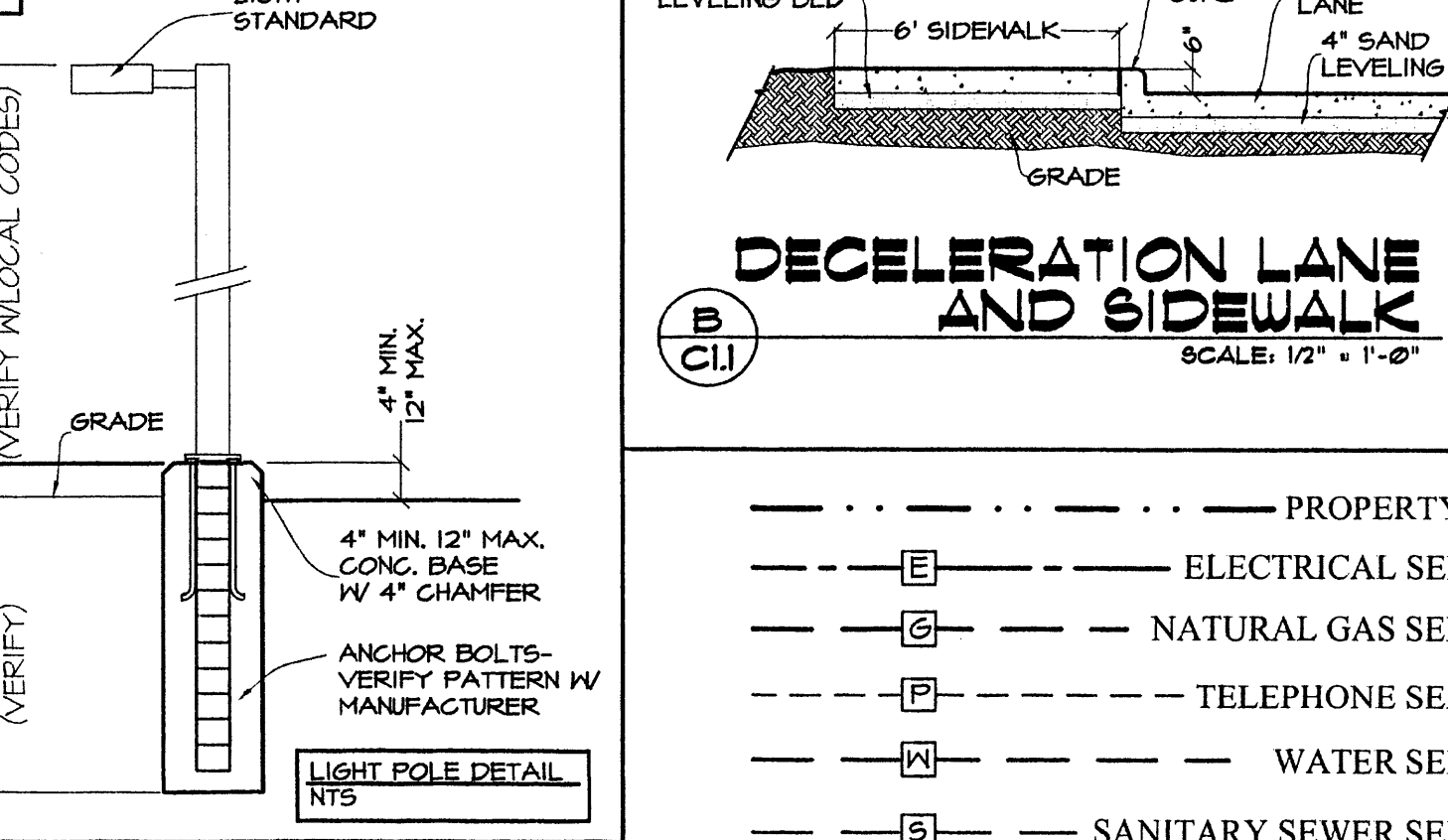
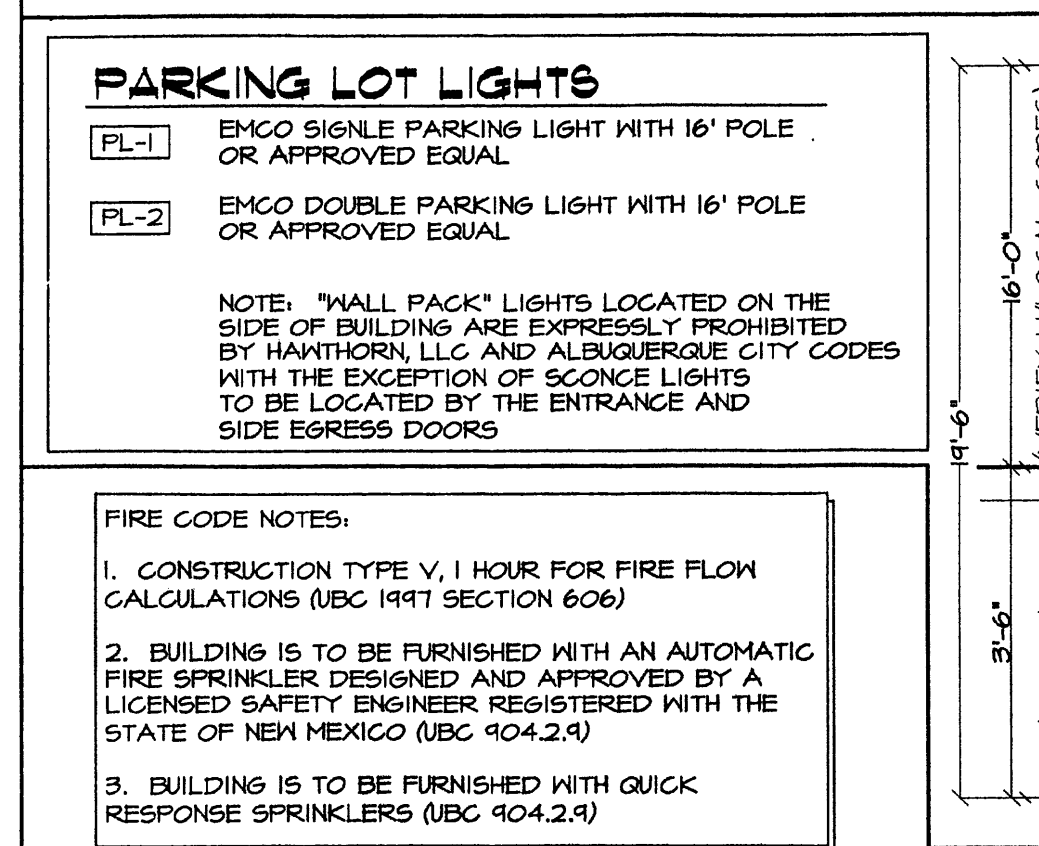
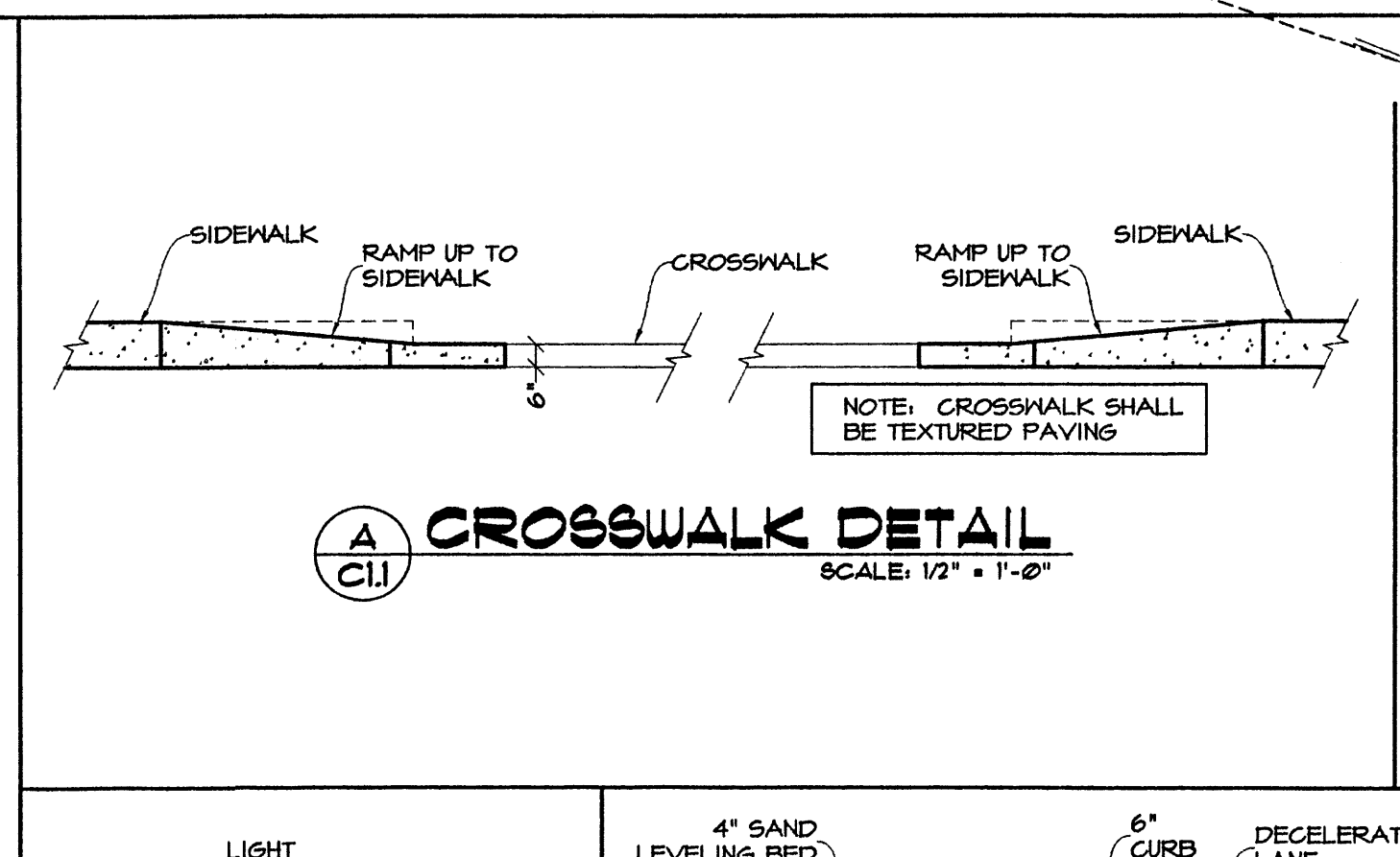
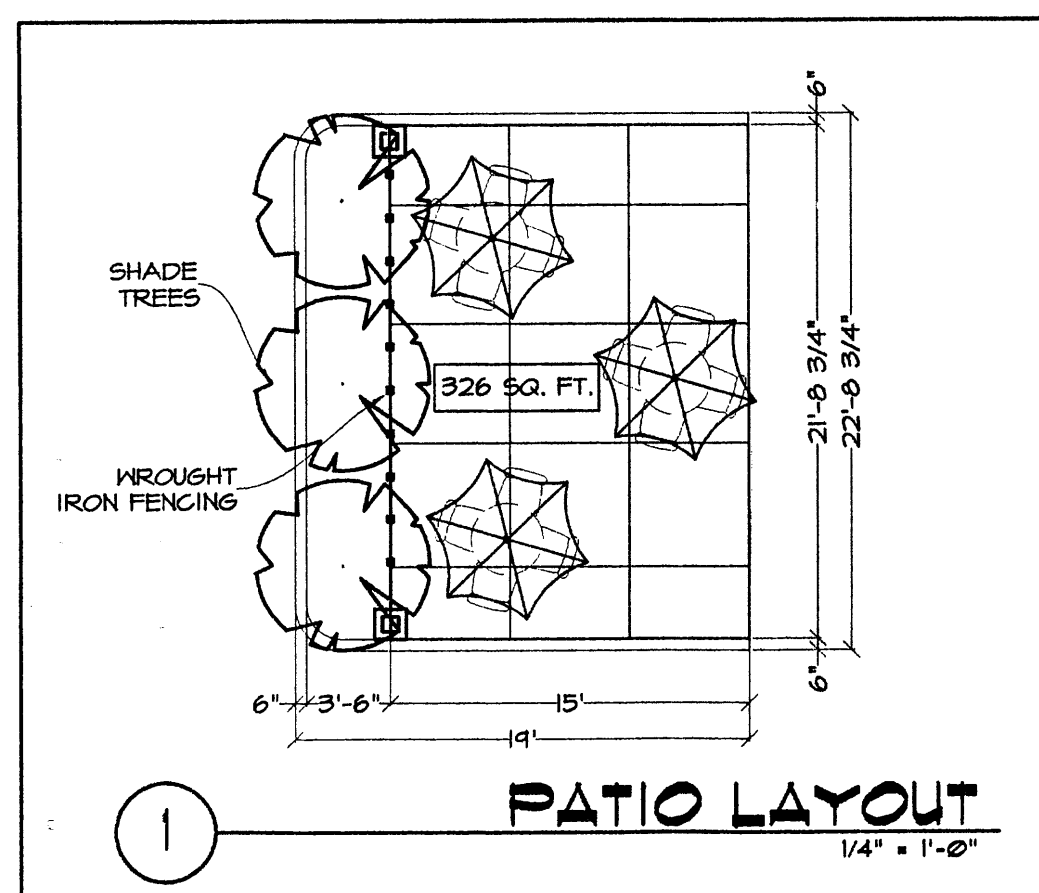
- L1.1 • LANDSCAPING PLAN

- A1.1 • LEVEL ONE FLOOR PLAN
- A1.2 • LEVEL TWO FLOOR PLAN
- A1.3 • LEVEL THREE FLOOR PLAN
- A2.1 • EXTERIOR ELEVATIONS
- A3.1 • PARTIAL FLOOR PLAN
- A3.2 • ROOM PLANS
- A4.1 • GUESTROOM BATH ELEVATIONS
- A4.2 • GUESTROOM ELEVATIONS
- A4.3 • GUESTROOM AND CABINET ELEVATIONS
- A4.4 • CABINET ELEVATIONS
- A5.1 • BUILDING SECTION
- A5.2 • BUILDING SECTION
- A5.3 • BUILDING SECTION
- A5.4 • STAIR AND CANOPY SECTIONS
- A5.5 • BUILDING SECTION

- S0.1 • STRUCTURAL DETAILS
- S0.2 • STRUCTURAL DETAILS
- S2.0 • FOUNDATION PLAN AND DETAILS
- S2.1 • ROOF FRAMING PLAN
- S2.2 • ROOF LEVEL SHEAR WALL LOCATIONS
- S3.1 • LEVEL THREE FRAMING PLAN
- S3.2 • LEVEL THREE SHEAR WALL LOCATIONS
- S4.1 • LEVEL TWO FRAMING PLAN
- S4.2 • LEVEL TWO SHEAR WALL LOCATIONS
- S5.1 • STRUCTURAL DETAILS

- M1.1 • LEVEL ONE HVAC/MECHANICAL PLAN
- M1.2 • LEVEL TWO AND THREE HVAC/MECHANICAL PLANS
- M1.3 • MECHANICAL/PLUMBING PLANS
- M1.4 • MECHANICAL/PLUMBING PLANS
- M1.5 • MECHANICAL/PLUMBING PLANS

- E1.1 • LEVEL ONE ELECTRICAL PLAN
- E1.2 • LEVEL TWO AND THREE ELECTRICAL PLANS



PARKING LOT LIGHTS

PL-1 EMCO SINGLE PARKING LIGHT WITH 16' POLE OR APPROVED EQUAL

PL-2 EMCO DOUBLE PARKING LIGHT WITH 16' POLE OR APPROVED EQUAL

NOTE: "WALL PACK" LIGHTS LOCATED ON THE SIDE OF BUILDING ARE EXPRESSLY PROHIBITED BY HAWTHORN, LLC AND ALBUQUERQUE CITY CODES WITH THE EXCEPTION OF SCONCE LIGHTS TO BE LOCATED BY THE ENTRANCE AND SIDE EGRESS DOORS

FIRE CODE NOTES:

- CONSTRUCTION TYPE V, 1 HOUR FOR FIRE FLOW CALCULATIONS (UBC 1911 SECTION 606)
- BUILDING IS TO BE FURNISHED WITH AN AUTOMATIC FIRE SPRINKLER DESIGNED AND APPROVED BY A LICENSED SAFETY ENGINEER REGISTERED WITH THE STATE OF NEW MEXICO (UBC 904.2.4)
- BUILDING IS TO BE FURNISHED WITH QUICK RESPONSE SPRINKLERS (UBC 904.2.4)

ZONING:

EXISTING AND PROPOSED ZONE: BU-1 WITH C-1 USAGE

ARCHITECT

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OWNER

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ADDRESS

TRACT A-3-A
J GROUP ADDITION
TO THE CITY OF ALBUQUERQUE
COUNTY OF BERNALILLO
STATE OF NEW MEXICO

PROPERTY

ALL REGULATIONS AND GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT AND ADDITIONAL STATE AND LOCAL ACCESSIBILITY CODES SHALL BE MET

ADA NOTE:

LEGEND:

PROPERTY LINE

ELECTRICAL SERVICE

NATURAL GAS SERVICE

TELEPHONE SERVICE

WATER SERVICE

SANITARY SEWER SERVICE

WROUGHT IRON FENCING

4" PERFORATED METHANE VENT UNDER VAPOR BARRIER

HANDICAPPED STALL MARKER

FIRE HYDRANT

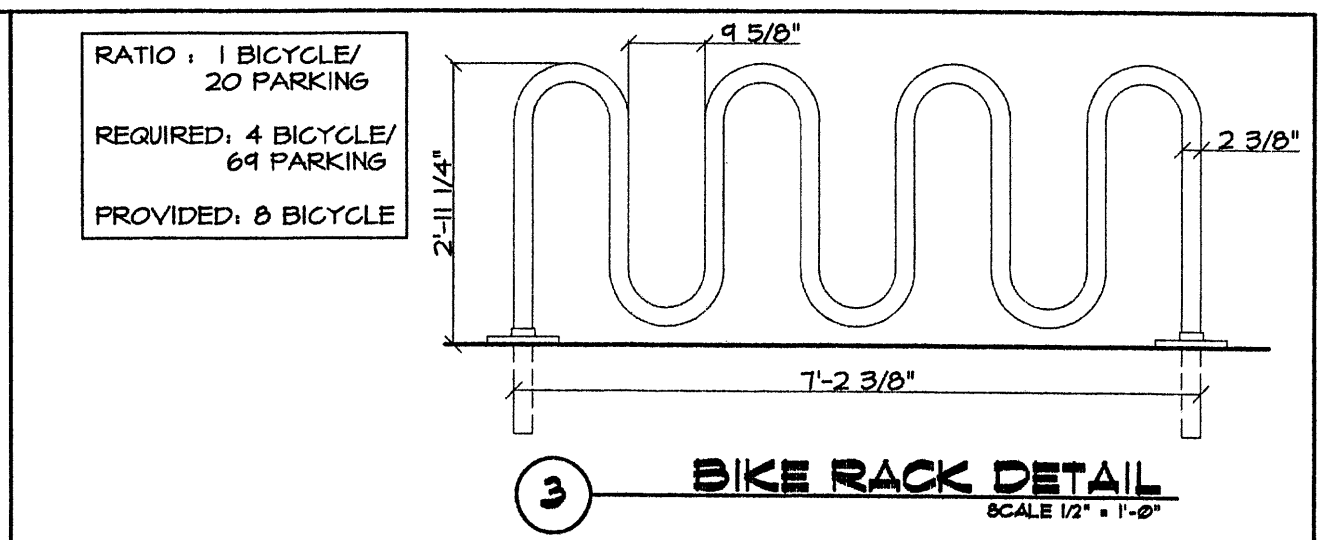
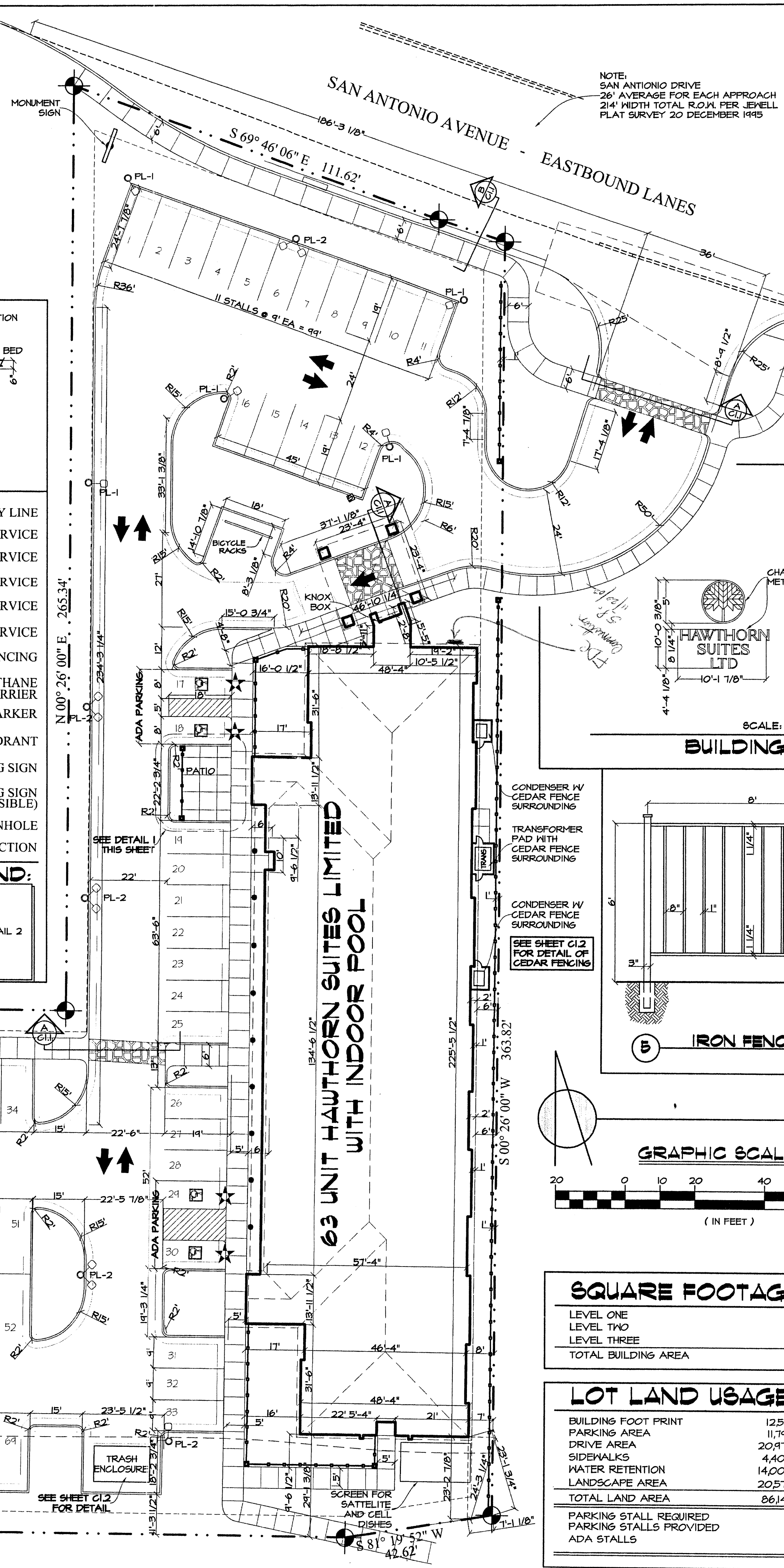
HANDICAPPED PARKING SIGN (VAN ACCESSIBLE)

MANHOLE

INCOMING TRAFFIC DIRECTION

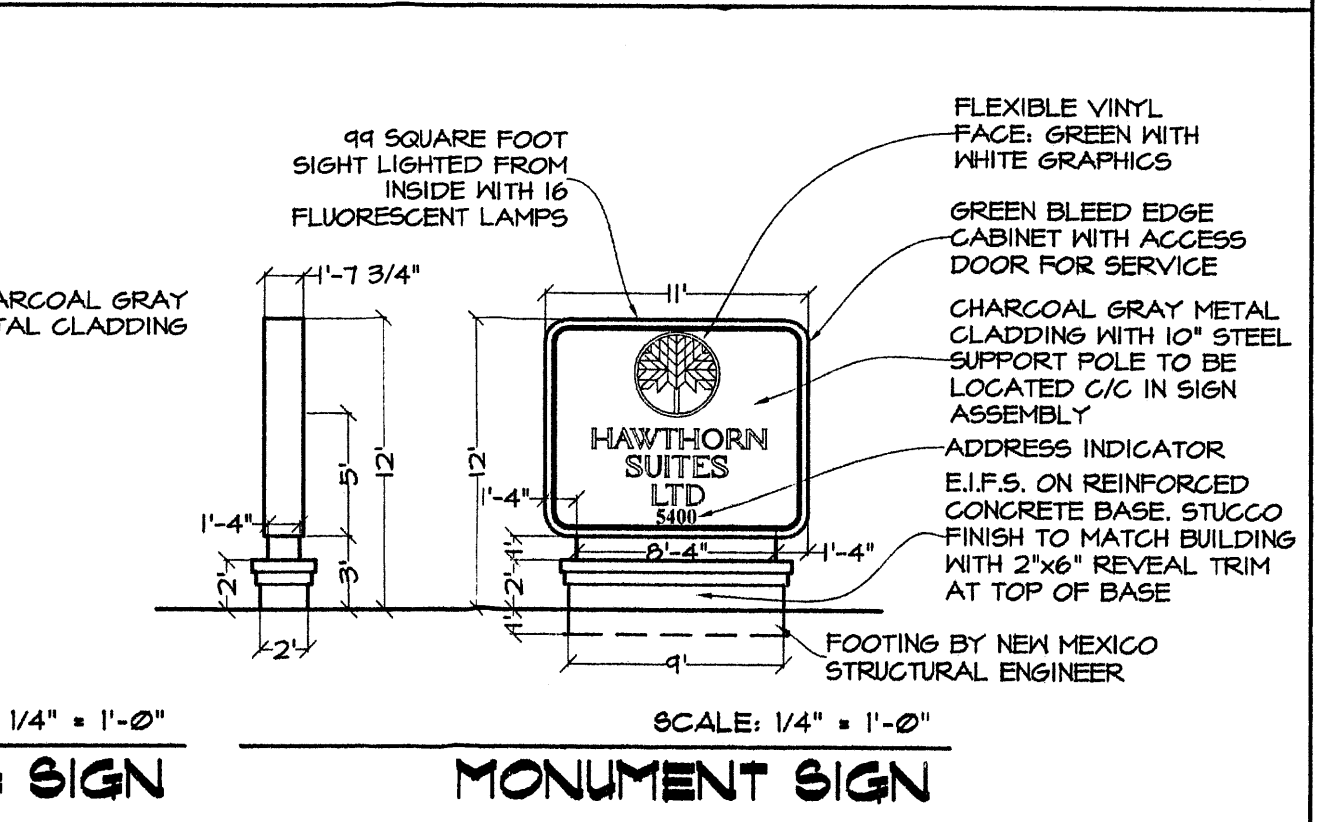
SHEET REFERENCE NOTES:

- FOR UTILITY LOCATIONS AND DATA SEE SHEET C1.3
- FOR ALL SLAB PENETRATIONS REFER TO SHEET ENV.4 DETAIL 2
- FOR ALL AREA TABULATION SEE SHEET G1.1
- FOR ALL LANDSCAPING DETAILS SEE SHEET L1.1



SITE NOTES

- THE TRANSFORMER PAD, GAS METER AND THE TRASH ENCLOSURE SHALL BE SCREENED WITH SMALL TREES AND LARGE SHRUBS TO MATCH LOCAL BIOTA. NO SHRUB OR TREE SHALL IMPEDE OPERATION OF ANY OF THESE DEVICES.
- ALL UTILITY LINES SHALL BE FIELD VERIFIED WITH CITY OF ALBUQUERQUE CODES PRIOR TO INSTALLATION OF SITE WORK.
- ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH HAWTHORN SUITES WITH PROPER ADJUSTMENTS MADE TO ENSURE LOCAL CLIMATE AND BIOTA ARE FOLLOWED. ALL CODES OF THE CITY OF ALBUQUERQUE, NEW MEXICO CONCERNING LANDSCAPING SHALL BE MET.
- UNDER NO CIRCUMSTANCES SHALL ANY TREE, SHRUB OR OTHER FIXTURE IMPEDE THE PASSAGE OF EMERGENCY EQUIPMENT IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE.
- ALL SETBACKS ARE TO CONFORM TO TABLE 5A OF THE UNIFORM BUILDING CODE IF UBC IS MORE STRINGENT THAN LOCAL CODES.



SURFACE MATERIALS LIST

1" TO 3" EIFS (STUCCO) COLOR PAREX 10346 OR DRYVIT 385A

NATURAL CLAY TILE ROOF COLOR = LIGHT GREEN

4" COLUMN COVERED WITH EIFS IN ITEM #1

ALUMINUM OR VINYL FASCIA COLOR WHITE OR BRONZE TO MATCH WINDOWS

SOLID STEEL DOOR COLOR TO MATCH EIFS IN ITEM #1

EIFS "IRON LOCK" COLOR SAME AS IN ITEM #1

NOTE: SEE SHEET A2.1 AND A2.2 FOR DETAILS

SITE PLAN

SCALE 1" = 20'-0"

NOTE: ON REPRODUCTIONS OTHER THAN ON A SIZE "D" SHEET (24"x36") PLEASE REFER TO THE GRAPHIC SCALE AT LEFT.

GRAPHIC SCALE

(IN FEET)

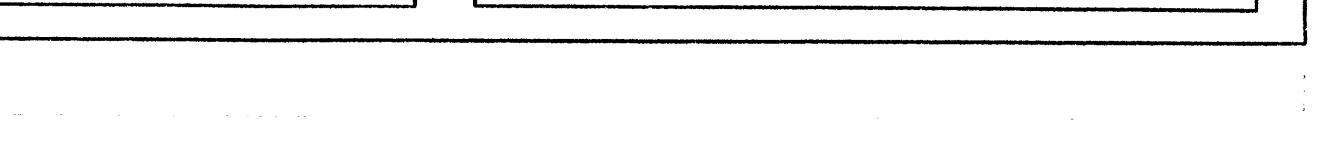
0 10 20 30 40 50 60 70 80

SQUARE FOOTAGE

LEVEL ONE	12,531 S.F.
LEVEL TWO	12,531 S.F.
LEVEL THREE	12,531 S.F.
TOTAL BUILDING AREA	37,593 S.F.

LOT LAND USAGE

BUILDING FOOT PRINT	12,531 S.F.	17.44%
PARKING AREA	11,749 S.F.	12.48%
DRIVE AREA	20,413 S.F.	24.35%
SIDEWALKS	4,400 S.F.	5.11%
WATER RETENTION	14,000 S.F.	16.25%
LANDSCAPE AREA	20,514 S.F.	23.88%
TOTAL LAND AREA	86,147 S.F.	100.00%



Hawthorn Suites Limited
site plan
albuquerque, new mexico

drawn: t.r. hendricks

checked: L.K.Lauver

start date: 12.16.2000

plot date: 11.19.2002

approved:

11.19.2002 antia sanne
08.26.02 antia sanne
08.09.02 Benjamin Gall
10.28.01 antia sanne
10.18.01 antia sanne
08.09.01 antia sanne
07.03.01 antia sanne
6.4.2001 t.r. hendricks
1.23.2001 t.r. hendricks
01.23.01 antia sanne

revisions:

STATE OF NEW MEXICO
LEON LAUVER
REGISTERED ARCHITECT
NO. 3363

architect's seal:

leon lauver
+ associates
architects
+ consultants
p. o. box number 1207
norfolk, nebraska 68701
voice: 1.402.371.3333
fax: 1.402.371.1164

job no: 417

sheet: C1.1

Veena Construction, Inc.

November 19, 2002

VIA FACSIMILE

Cmdr. Phil Garcia
Chief Fire Marshal
City of Albuquerque
Fax: 764-65215

Re: Variance request for Hawthorn Suites project, 5400 San Antonio Ave. NE

Dear Cmdr. Garcia:

This letter serves as a request for variance on comment #5 on the City of Albuquerque Fire Marshal's Office building plans review.

My plans were recently reviewed by your department whereby one comment was made, "When any portion of the building is located more than 150 feet from fire apparatus access, fire apparatus access roads shall be provided. A 20 foot access road shall be provided for back of building..."

Last Wednesday Frank Quintana had contacted you about this specific issue. Since my building was designed to be fully sprinklered, with auto sprinkler heads, an exception to UFC 902.2.1 could be made. I would like to request your permission to apply Exception 1 to UFC 902.2.1 and ask for your signature below to confirm the granting of this variance.

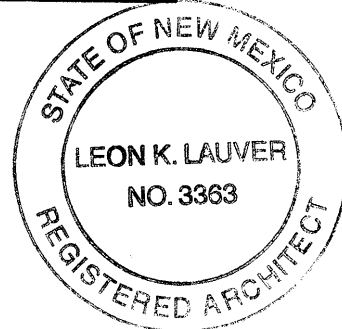
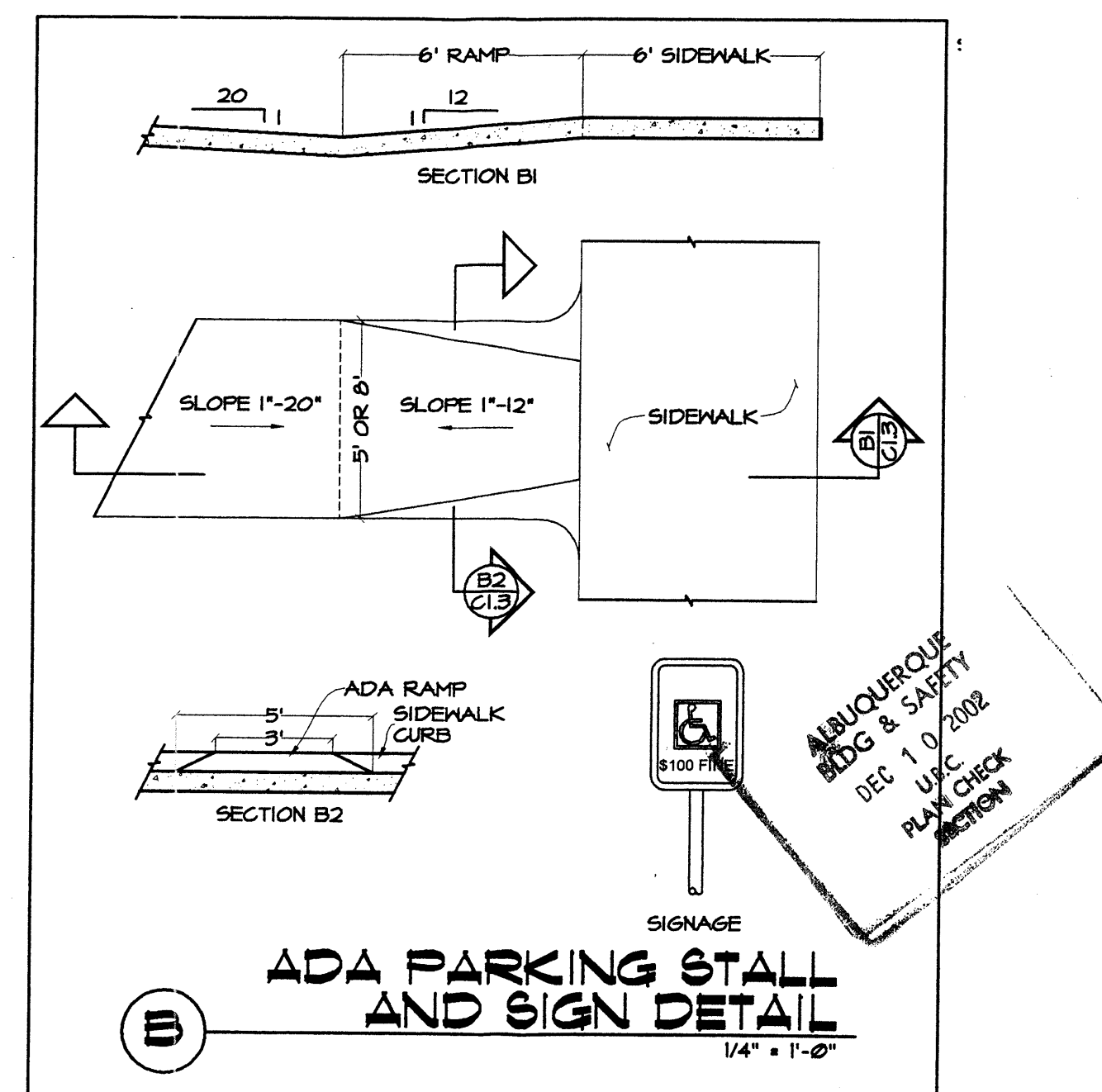
Cmdr. Phil Garcia, Chief Fire Marshal Date

Please fax this document upon completion to: 797-9347. I truly appreciate your prompt attention to this matter. Should you have any questions, please feel free to contact me: 378-8033.

Respectfully,

Sam Patel, Owner

PO Box 91720 Albuquerque, NM 87103 505.797.9347 fax 505.797.9347



Leon Lauver + Associates
Architects + Consultants
700 West Benjamin Avenue
Norfolk, Nebraska 68701



City of Albuquerque
Environmental Health Department

Martin J. Chavez, Mayor
Interoffice Memorandum

August 20, 2002

To: Zoning Enforcement, Planning Department

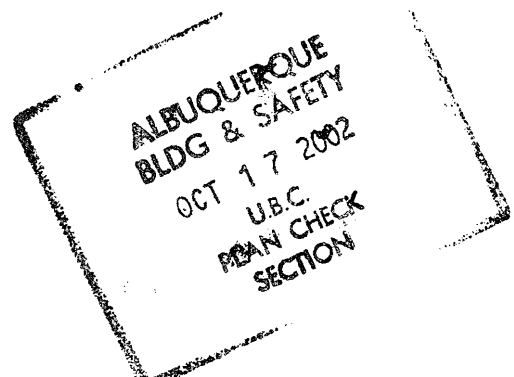
From: Marcia A. Pincus, Environmental Health Department

Subject: Building Permit for the Hawthorn Suites Located at San Antonio Boulevard (the former San Antonio Landfill).

Albuquerque Environmental Health Department has received plans from the owner/developer and the landfill gas engineer that detail the construction plans for the installation of a landfill gas system for the Hawthorn Suites. These plans are required by the "Interim Guidelines for Development Within 1000 Feet of Landfill" dated August 28, 2001 in order for the owner/developer to proceed with construction of the building. EHD recommends that the facility be given a building permit providing all other Planning Department requirements have been met.

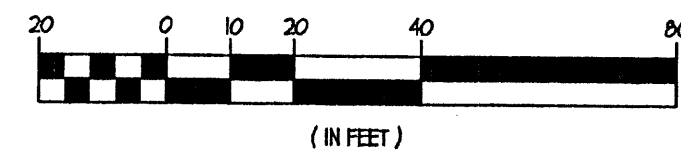
If you have any questions/comments concerning the above information, please contact me at 768-2618.

cc: Kevin Curran, Legal Department
Janet Cunningham, Planning Department
Charles Kolberg, Legal Department
Sam Patel, Owner/Developer
File



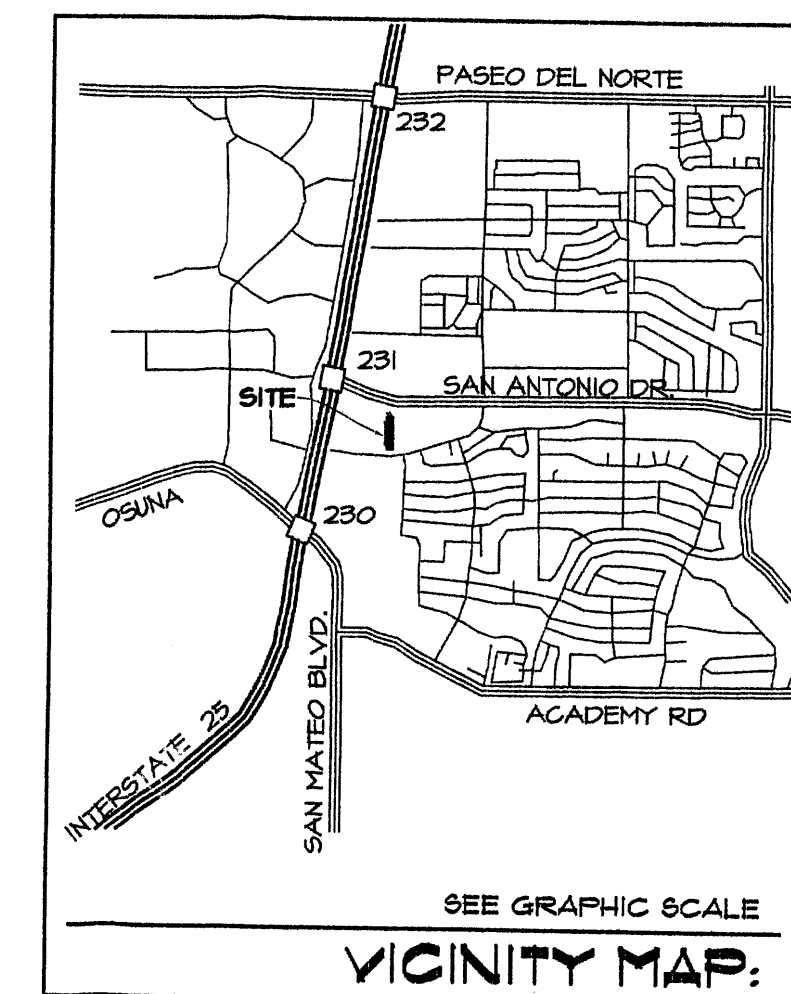
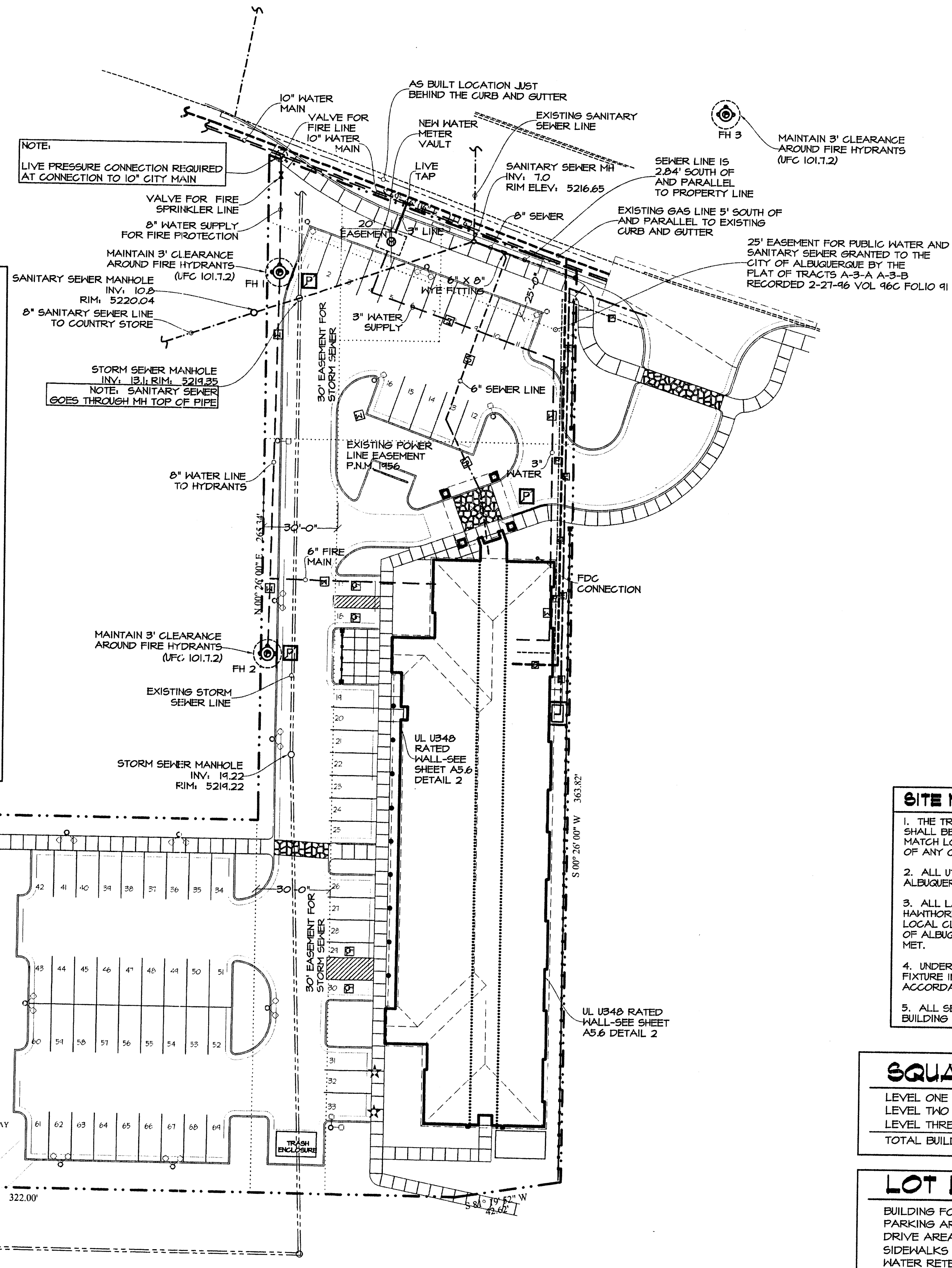
ZONING:

ADA NOTE:



SCALE 1" = 20'-0"

NOTE:
ON REPRODUCTIONS OTHER THAN
ON A SIZE "D" SHEET (24"x36")
PLEASE REFER TO THE GRAPHIC
SCALE AT LEFT.



1. THE TRANSFORMER PAD, GAS METER, AND THE TRASH ENCLOSURE SHALL BE SCREENED WITH SMALL TREES AND LARGE SHRUBS TO MATCH LOCAL BIOTA. NO SHRUB OR TREE SHALL IMPEDE OPERATION OF ANY OF THESE DEVICES.
2. ALL UTILITY LINES SHALL BE FIELD VERIFIED WITH CITY OF ALBUQUERQUE CODES PRIOR TO INSTALLATION OF SITE WORK.
3. ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH HAWTHORN SUITES WITH PROPER ADJUSTMENTS MADE TO SUITE LOCAL CLIMATE AND BIOTA ARE FOLLOWED. ALL CODES OF THE CITY OF ALBUQUERQUE, NEW MEXICO CONCERNING LANDSCAPING SHALL BE MET.
4. UNDER NO CIRCUMSTANCES SHALL ANY TREE, SHRUB OR OTHER FIXTURE IMPEDE THE PASSAGE OF EMERGENCY EQUIPMENT IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE.
5. ALL SETBACKS ARE TO CONFORM TO TABLE 5A OF THE UNIFORM BUILDING CODE IF UBC IS MORE STRINGENT THAN LOCAL CODES.

LEVEL ONE	12,531 S.F.
LEVEL TWO	12,531 S.F.
LEVEL THREE	12,531 S.F.
TOTAL BUILDING AREA	37,593 S.F.

BUILDING FOOT PRINT	12,531 S.F.	17.44%
PARKING AREA	11,149 S.F.	12.98%
DRIVE AREA	20,418 S.F.	23.5%
SIDEWALKS	4,400 S.F.	5.11%
WATER RETENTION	14,000 S.F.	16.25%
LANDSCAPE AREA	20,574 S.F.	23.86%
TOTAL LAND AREA	86,141 S.F.	100.00%
PARKING STALL REQUIRED	65	100.00%
PARKING STALLS PROVIDED	69	102.11%
ADA STALLS	4	5.89%

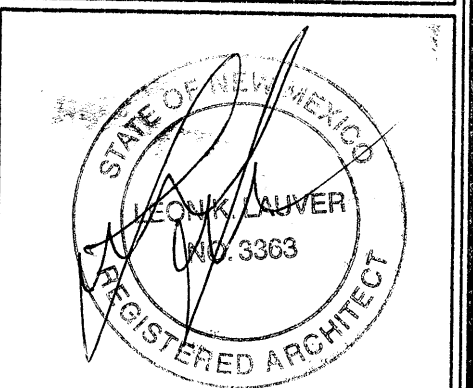
ALBUQUERQUE
BLDG & SAFETY
DEC 10 2002
U.B.C.
PLAN CHECK
SECTION

Hawthorn Suites Limited

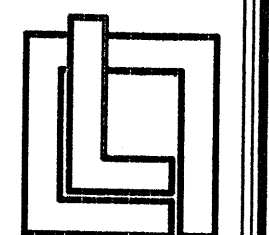
drawn:	ams
checked:	L.K.Lauer
start date:	09.26.02
plot date:	11.19.2002
approved:	

11.19.2002	anita sanne
10.24.02	anita sanne

revisions:



architect's seal:



leon lauver
+ associates
architects
+ consultants
p. o. box number 1207
norfolk, nebraska 68701
voice: 1.402.371.3333
fax: 1.402.371.1164

job no: 417

sheet: C1.3

QTY	KEY	LATIN NAME COMMON NAME	SIZE	MATURE SIZE	WATER USAGE	ALLERGY HAZARD	XERISCAPE REBATE	DESCRIPTION
6	TUT	MELIA NZEDARACH UMBRAENIFORMIS TEXAS UMBRELLA TREE	2" - 2 1/4"	40' HIGH 40' WIDE	LOW	LOW	50	DECIDUOUS SHADE TREE
4	TRO	QUERCUS BUCKLEYI TEXAS RED OAK	2" - 2 1/4"	40' HIGH 30' WIDE	MEDIUM	MEDIUM	50	DECIDUOUS SHADE TREE
4	KC	GYMNOELADUS DIOICIA KENTUCKY COFFEE TREE	2" - 2 1/4"	50' HIGH 40' WIDE	MEDIUM	LOW	50	DECIDUOUS SHADE TREE
2	PP	PRUNUS CERASTIFERA PURPLELEAF PLUM	1 1/2" - 2"	20' HIGH 20' WIDE	MEDIUM	LOW	50	ORNAMENTAL
3	DW	CHILOPSIS LINEARIS DESERT WILLOW	1 1/2" - 2"	20' HIGH 25' WIDE	LOW	LOW	50	DECIDUOUS TREE
2	GL	LENCAENEA RETUSA GOLDENBALL LEADTREE	1 1/2" - 2"	15' HIGH 20' WIDE	LOW	LOW	50	ORNAMENTAL
1	AP	PINUS NIGRA AUSTRIAN PINE	HIGH	35' HIGH 25' WIDE	MEDIUM	LOW	50	EVERGREEN TREE
4	FN	PINUS EDULIS PINON PINE	HIGH	30' HIGH 20' WIDE	MEDIUM	LOW	50	EVERGREEN TREE
31	DH	CELTIS FALLIDA DESERT HACKBERRY	5"	8' HIGH 8' WIDE	LOW	LOW	50	FLOWERING SHRUB
10	WJ	JASMINUM NUDIFLORUM WINTER JASMINE	5"	4' HIGH 12' WIDE	LOW	LOW	25	FLOWERING SHRUB
5	CL	SYRINGIA VULGARIS COMMON LILAC	5"	15' HIGH 15' WIDE	MEDIUM	LOW	60	FLOWERING SHRUB
47	BS	ATREMISSIA TRIDENTATA BIG SAGE	5"	4' HIGH 4' WIDE	LOW	LOW	40	EVERGREEN
14	SY	YUCCA ELATA SOAPTREE YUCCA	5"	15' HIGH 5' WIDE	LOW	LOW	25	BORDER SHRUB
22	GLC	SANTOLIA CHAMAEDRYOIDES GRAY LAVENDER COTTON	5"	2' HIGH 5' WIDE	LOW	LOW	24	BORDER SHRUB

NOTE:
ALL SLAB PENETRATIONS MUST REFER
TO SHEET ENV-4 DETAIL 2

NOTE

ALL PLANTS WERE DERIVED FROM THE CITY
OF ALBUQUERQUE XERISCAPING LIST AND
ARE BELIEVED TO BE PERMITTED.

LANDSCAPING CONTRACTOR SHALL DETERMINE
IF THE LIST IS FEASIBLE AND HAS THE RIGHT
TO SUBSTITUTE ANY ITEM ON THIS LIST PROVIDED
THEY HAVE WRITTEN CONSENT WITH THE CITY
OF ALBUQUERQUE AND THE OWNER.

WASTE WATER - IRRIGATION

WASTE WATER SHALL BE FILTERED THROUGH GRAVEL AREAS AND
RETENTION AREAS. IRRIGATION SYSTEM SHALL BE SET TO MINIMIZE
IRRIGATION RUNOFF PER ALBUQUERQUE CITY CODE

MAINTENANCE

MAINTENANCE OF LANDSCAPED AREA SHALL BE THE RESPONSIBILITY
OF THE OWNER OF HOTEL OR OWNER'S BONDED DESIGNATE. CARE
SHALL CONFORM TO ALL APPLICABLE CITY CODES

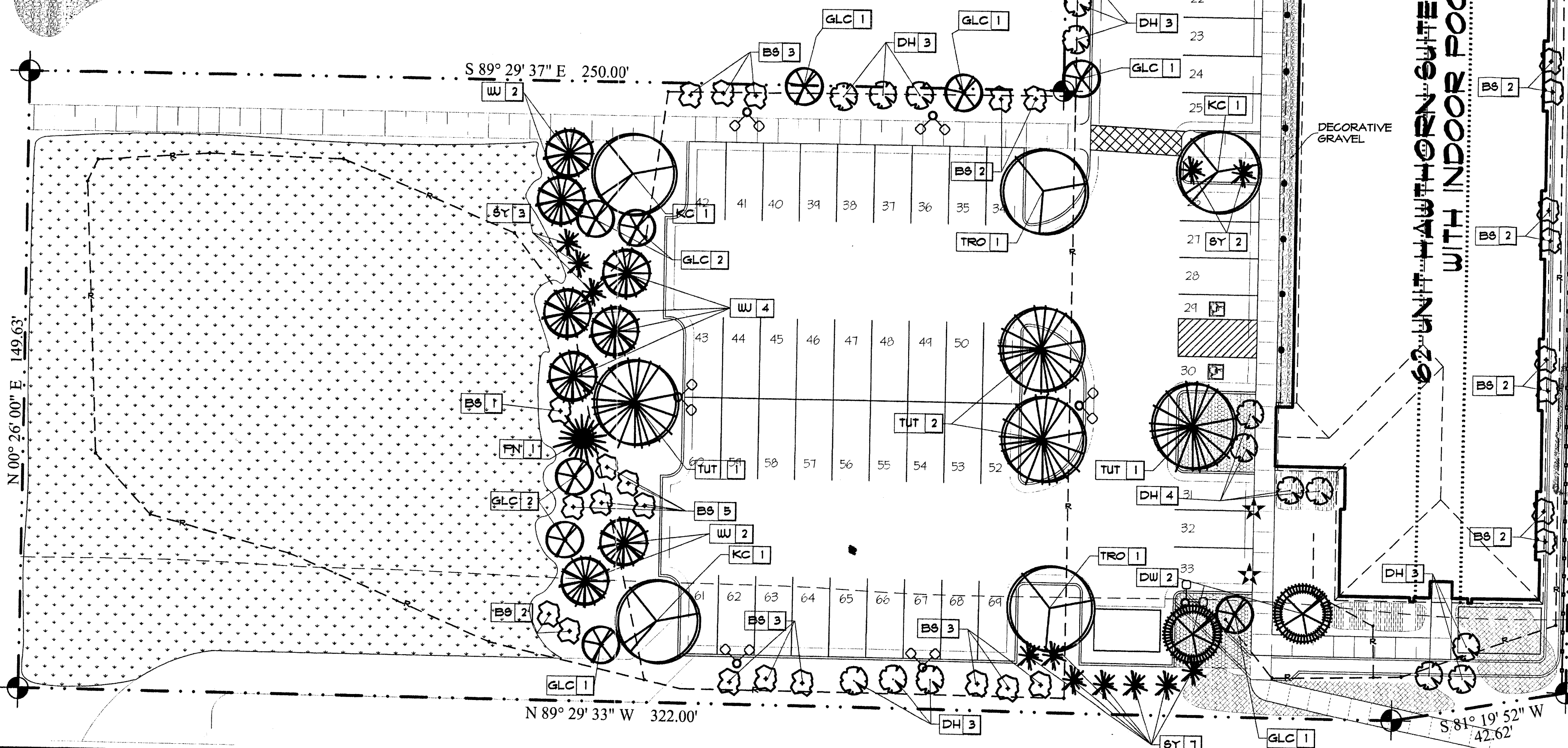
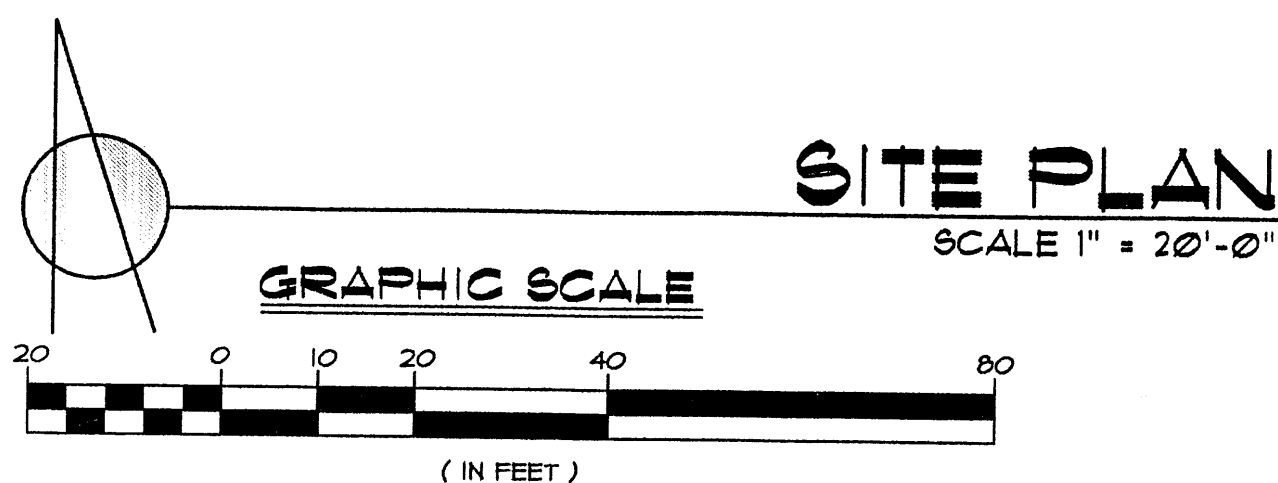
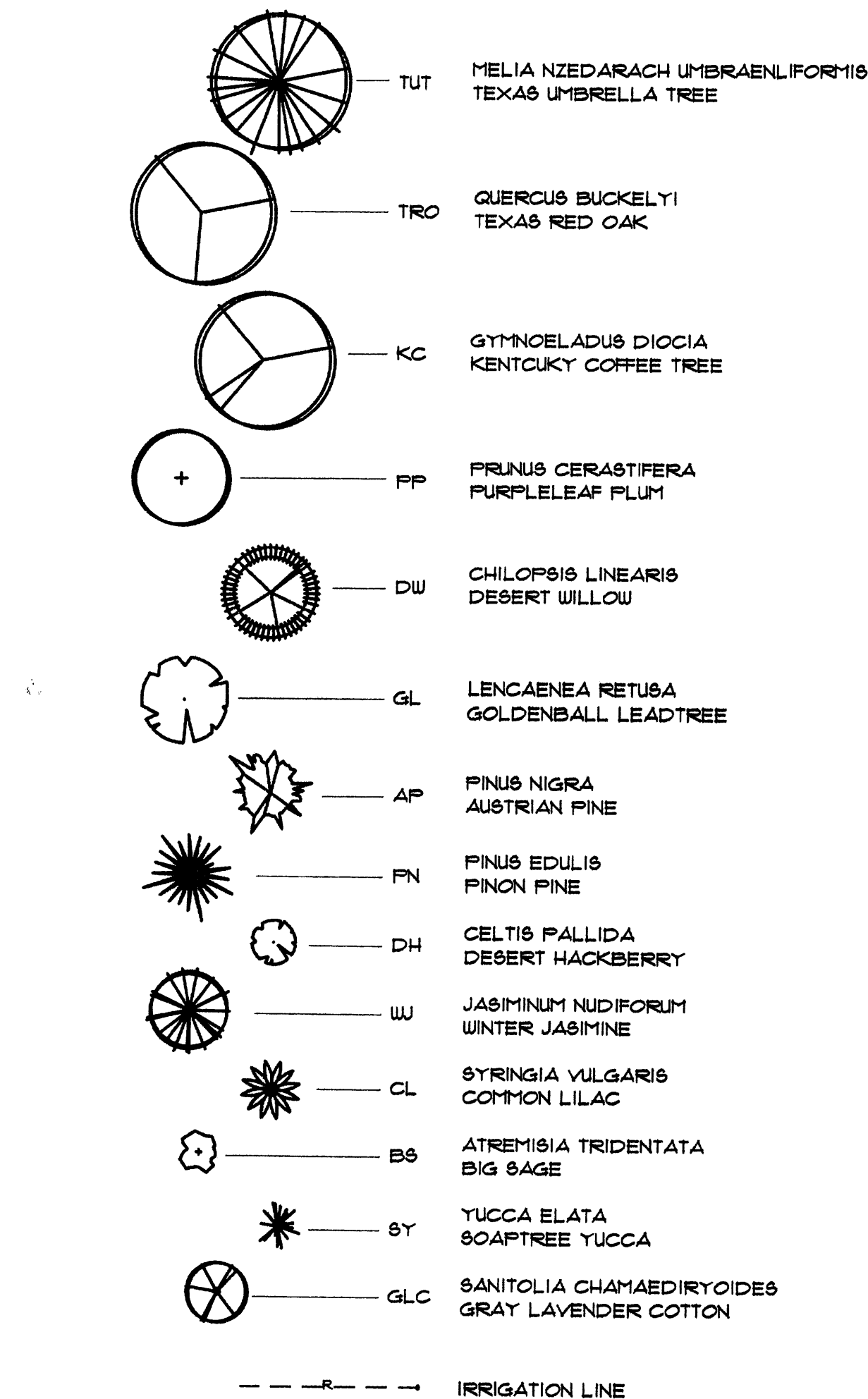
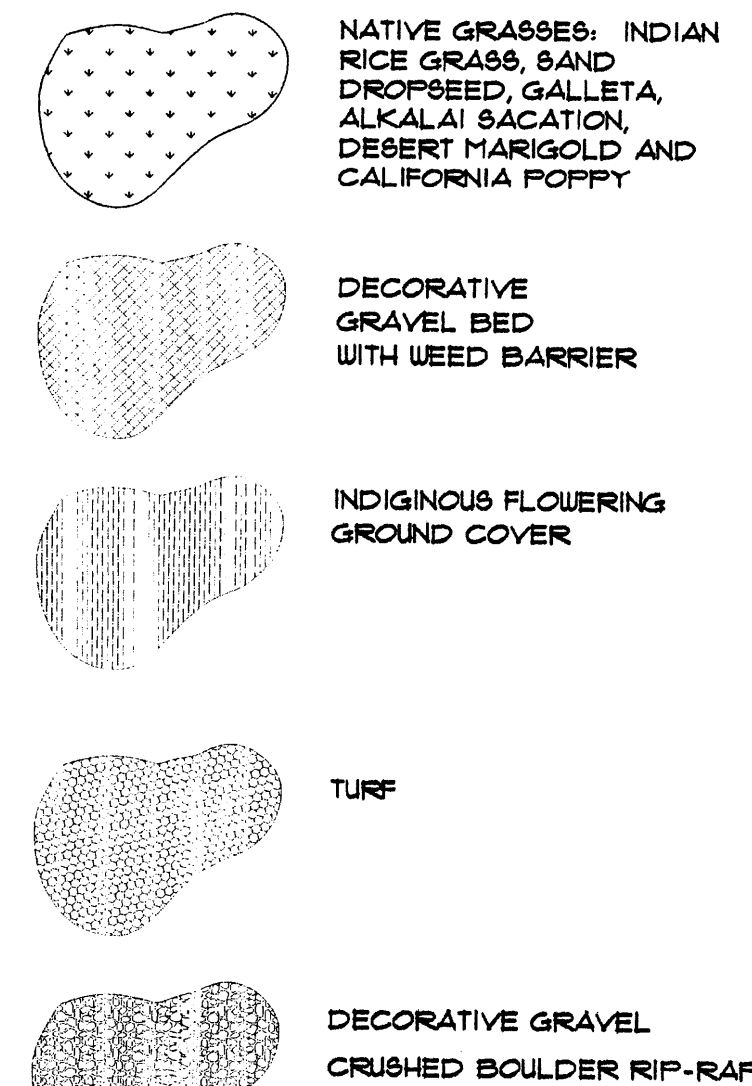
ALL TREES SHALL BE STAKED FOR THE FIRST TWO GROWING SEASONS

ALL TREES AND SHRUBS SHALL HAVE A MULCH AREA SURROUNDING
THE TRUNK AS DEEMED NECESSARY BY NURSERYMAN TO FOLLOW
ALBUQUERQUE CODES IF NEEDED

FLOWERING INDIGENOUS GROUND COVER SHALL FOLLOW XERISCAPE
GUIDELINES. COMPOSITION OF PLANTING TO BE DETERMINED BY
NURSERY CONTRACTOR WITH OWNER APPROVAL

IRRIGATION SYSTEMS SHALL BE LOW PRESSURE WITH DRIP DELIVERY.
CONTROL VALVES AND TIMER SHALL BE USED. IRRIGATION LINES
SHALL BE PRESSURIZED ONLY DURING WATERING CYCLES. ONLY
NATIVE DROUGHT TOLERANT PLANTS SHALL BE USED

ALL TREES SHALL BE CONTAINED IN SEALED BOTTOM PLANTERS.



TOTAL LANDSCAPE

AREA: 20,574 SQ. FT.
23.88% OF SITE

HAWTHORN SUITES LIMITED
5420 SAN ANTONIO AVENUE
ALBUQUERQUE, NEW MEXICO 87199

ADDRESS

TRACT A-3-A
J GROUP ADDITION
TO THE CITY OF ALBUQUERQUE
COUNTY OF BERNALILLO
STATE OF NEW MEXICO

PROPERTY

ALL REGULATIONS AND GUIDELINES
OF THE AMERICANS WITH
DISABILITIES ACT AND ADDITIONAL
STATE AND LOCAL ACCESSIBILITY
CODES SHALL BE MET

ADA NOTE:

LEON LAUVER + ASSOCIATES
ARCHITECTS + CONSULTANTS
P.O. BOX 1207
NORFOLK, NEBRASKA 68701
1. 402.371.3333

ARCHITECT

VEENA INVESTMENTS
SAMIR PATEL
P.O. BOX 91210
ALBUQUERQUE, NEW MEXICO 87199
1. 505.191.9341

OWNER

HAWTHORN SUITES, US95
RANDY REDMAN
13 CORPORATE SQUARE
ATLANTA, GEORGIA 30329
1. 404.325.1481

FRANCHISE

EXISTING AND PROPOSED
ZONE: SU-1 WITH C-1 USAGE

ZONING:

Hawthorn Suites Limited
landscape plan
albuquerque, new mexico

drawn: t.r. hendricks

checked: L.K.Lauver

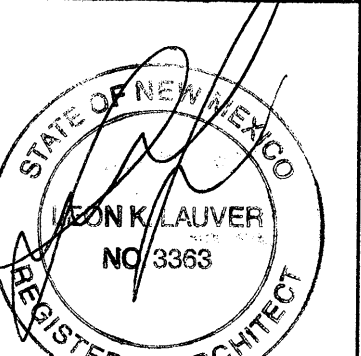
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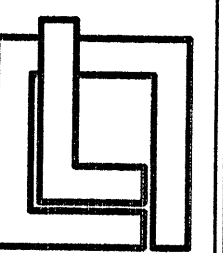
approved:

8.28.2001 t.r. hendricks
10.19.01 anita sanna
08.06.01 anita sanna
01.23.01 anita sanna

revisions:



architect's seal:



leon lauver
+ associates
architects
+ consultants
p. o. box number 1207
norfolk, nebraska 68701
voice: 1.402.371.3333
fax: 1.402.371.1164

job no: 417

sheet: L1.1

Hawthorne Suites LTD

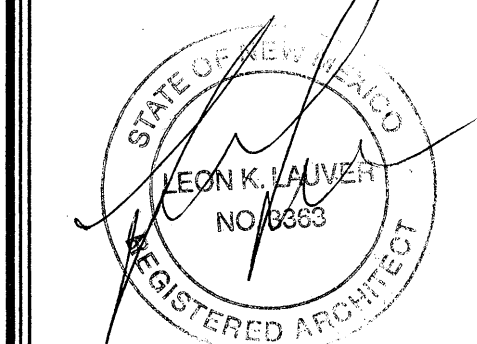
level one floor plan

Albuquerque, NM

drawn: ams
checked: L.K.Lauver
start date: 08.15.01
plot date: 11.27.02
approved:

11.27.02 anita same
11.19.2002 anita same
01.21.02 anita same
11.22.02 Dennis Gordon
10.25.01 Dennis Gordon

revisions:

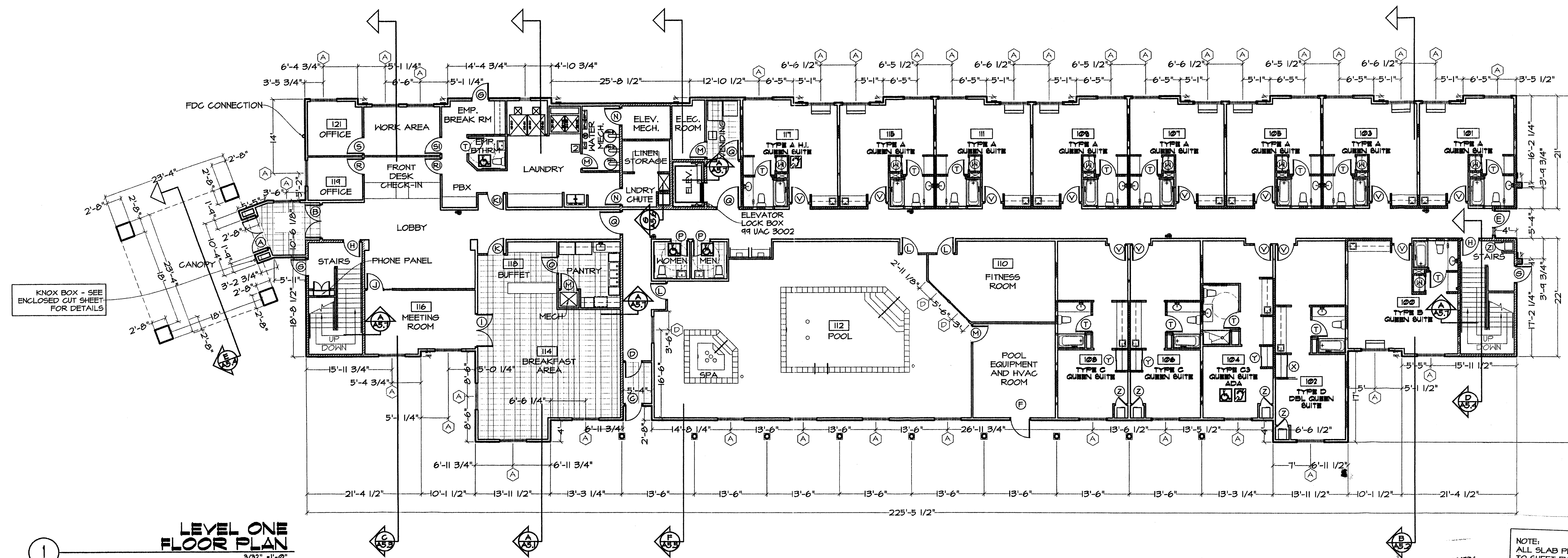


architect's seal:

leon lauver
+ associates
architects
+ consultants
p.o. box number 1207
northfork, nebraska 68701
voice: 1.402.371.3333
fax: 1.402.371.1164

job no: 417

sheet: A1.1



SEE SHEET E1.1 FOR LOCATION OF SMOKE DETECTORS AND FULL STATIONS

FIRE LEGEND

- FIRE EXTINGUISHER
- 2 HOUR WALL

NOTES:

- ALL WALLS SURROUNDING STAIRS, MECHANICAL ROOMS, ELEVATOR AND ELEVATOR LOBBY SHALL BE 2 HOUR FIRE RATED WALLS WITH 2 LAYERS 5/8" FIRECODE DRYWALL ON INSIDE OF WALL TOWARDS STAIRS, MECHANICAL EQUIPMENT OR ELEVATOR.
- ALL OTHER WALLS SHALL BE 1 HOUR FIRE RATED WALLS WITH 1 LAYER 5/8" FIRECODE DRYWALL ON EACH SIDE OF WALL.
- CONSTRUCTION TYPE V, 1 HOUR FOR FIRE FLOW CALCULATIONS (UBC 1991 SECTION 606)
- BUILDING IS TO BE FURNISHED WITH AN AUTOMATIC FIRE SPRINKLER DESIGNED AND APPROVED BY A LICENSED SAFETY ENGINEER REGISTERED WITH THE STATE OF NEW MEXICO (UBC 904.2.4)
- BUILDING IS TO BE FURNISHED WITH QUICK RESPONSE SPRINKLERS (UBC 904.2.4)
- FIRE EXTINGUISHERS TO BE PLACED EVERY 40'
- ELEVATOR AREAS SHALL MEET THE FOLLOWING CODES: ELEVATOR LOBBIES UBC 1004.3.3.5, ELEVATOR CARS 90 ANSI A17.1-40T, ELEVATOR LOCK BOX 99 UAC 3002, ELEVATOR PIT DAMP PROOFING UBC 1402.4
- SMOKE DETECTORS SHALL COMPLY WITH UBC 310.10 - SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DETAILS

DRIVE CANOPY AREA
545 SQ. FT.

LEVEL ONE AREA
12,621 SQ. FT.

FRONT CANOPY AREA
530 SQ. FT.

END CANOPY AREA
15 SQ. FT.

CODE DESIGN DATA

TYPE V 1 HOUR, R1 OCCUPANCY			
BASE AREA: (TABLE 5B, UBC)	10500 S.F.		
SPRINKLER INCREASE: (UBC 505.3)	10500 S.F.		
SEPARATION ON 2 SIDES: (UBC 505.1.1) 50% (40 X 1.25%)(505.1.2)	10500 S.F.		
ALLOWABLE INCREASE TOTAL	31500 S.F.		
2 AREAS NEEDED			
AREAS PROVIDED: 28,254 AND 4,621 S.F.			

SIGNAGE LEGEND

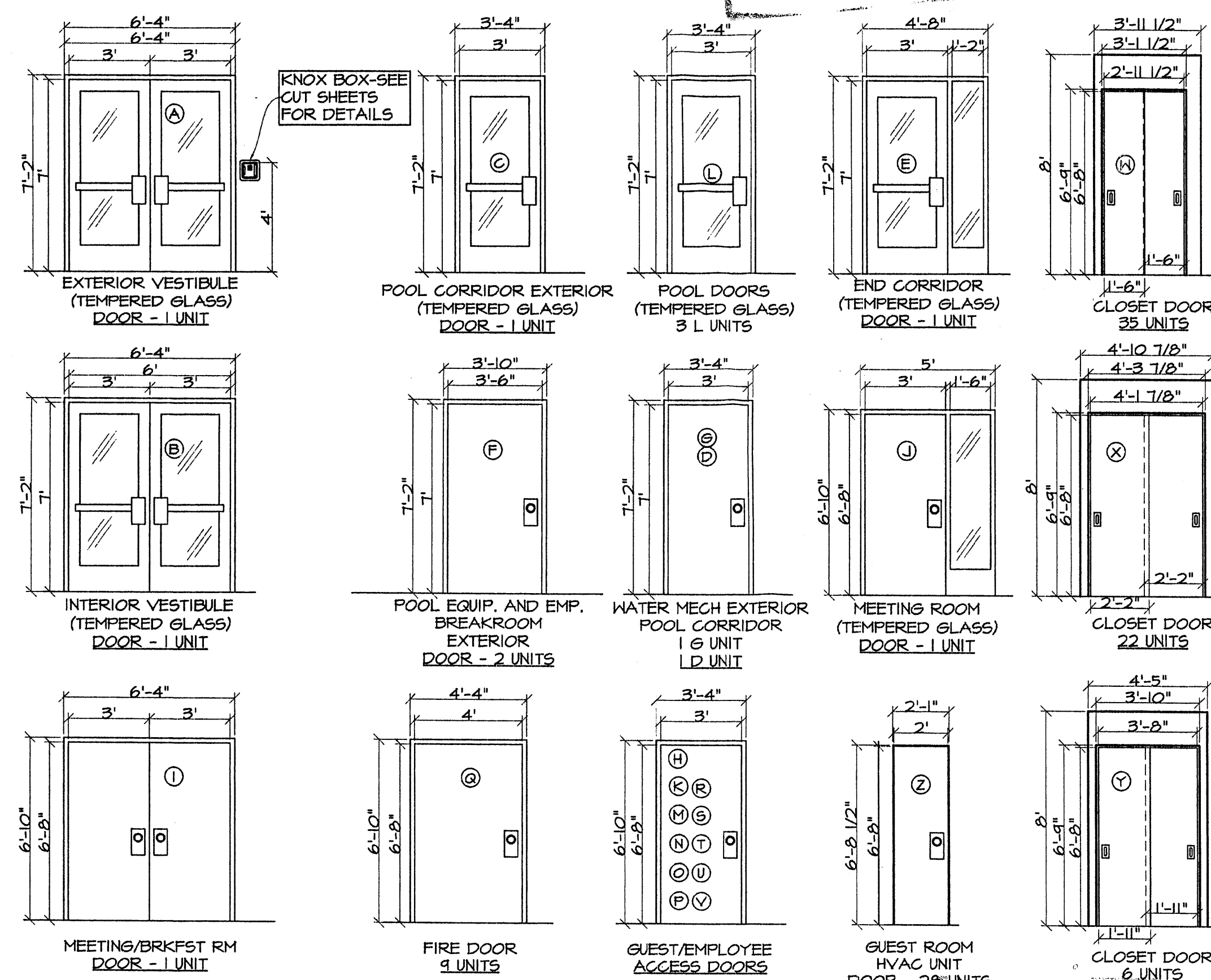
- ELECTRICAL ROOM
NO STORAGE
- RISER ROOM

FIRE ASSY LIST

CORRIDOR WALL	UB31
STAIRWELL	UB34
EXTERIOR WALL	UB36
DEMISING WALL	UB31
LAUNDRY WALL	UB34
STORAGE WALL	UB31
FLOOR JOIST/CEILING	UB33
FLOOR TRUSS/CEILING	UB34
MECH ROOM WALLS	UB34
ELEVATOR SHAFT	UB34
LAUNDRY CHUTE	UB34
FIRE WALL	UB34
GENERAL INTERIOR WALLS	UB33
ROOF	RC2601

LIGHTING NOTE

ALL LIGHTS IN BREAKFAST ROOM, PREP ROOM AND WORK AREAS TO HAVE SHATTER RESISTANT LENSES PER ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DETAILS.



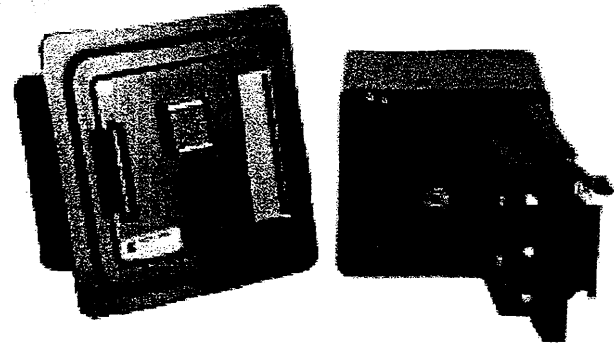
63 UNIT HOTEL ROOM TYPE COUNT								
COUNT	ROOM TYPES							
	QUEEN SUITE	ADA ROLL-IN QUEEN SUITE	ADA QUEEN SUITE	DBL QUEEN SUITE	ADA DBL QUEEN SUITE	HEARING IMPAIRED (H.I.) QUEEN SUITE	EXTENDED QUEEN SUITE	TOTAL
LEVEL ONE	10	1	0	1	0	1	0	13
LEVEL TWO	19	0	1	2	0	2	1	25
LEVEL THREE	20	0	1	1	1	1	1	25
TOTAL	49	1	2	4	1	4	2	63
PERCENTAGE	78%	2%	3%	6%	2%	6%	3%	100%

ROOM SYMBOL LEGEND

- HEARING IMPAIRED (H.I.)
- HANDICAPPED/ADA

UNITS MEET THE FOLLOWING CODES:

- 97 NMEC 1105.4.5.1, 1103.1.4.3, 1103.1.4.2.4; TABLES 1103.1.2.4.A 1103.1.4.B
- UBC 310.4, 90
- ANSI 309, 506,



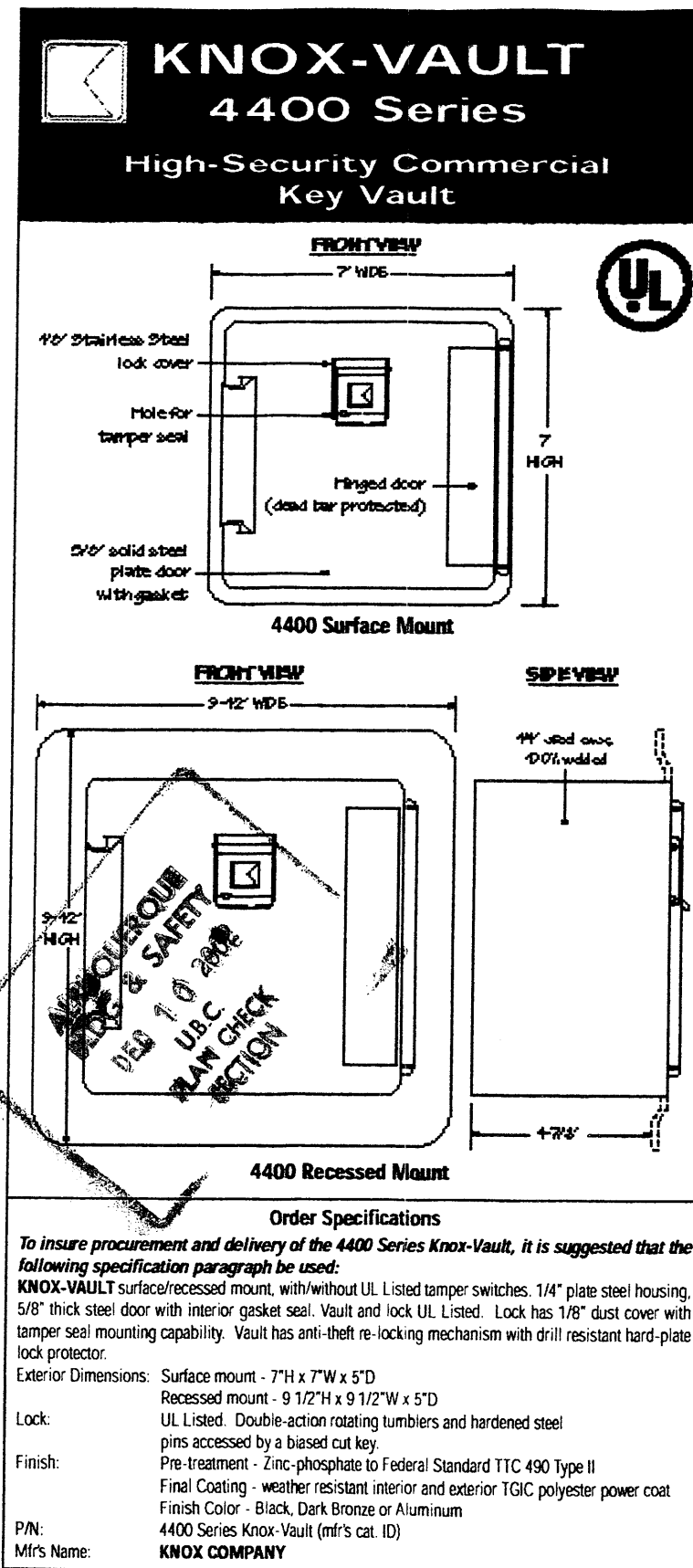
Knox-Vaults are used in larger businesses, industrial properties, public buildings and universities. The heavy-duty, high security 4400 Series Knox-Vault protects and stores building keys, access cards and floor plans for emergency entry. The vault also provides secure storage for other internal and external applications.

Features and Benefits

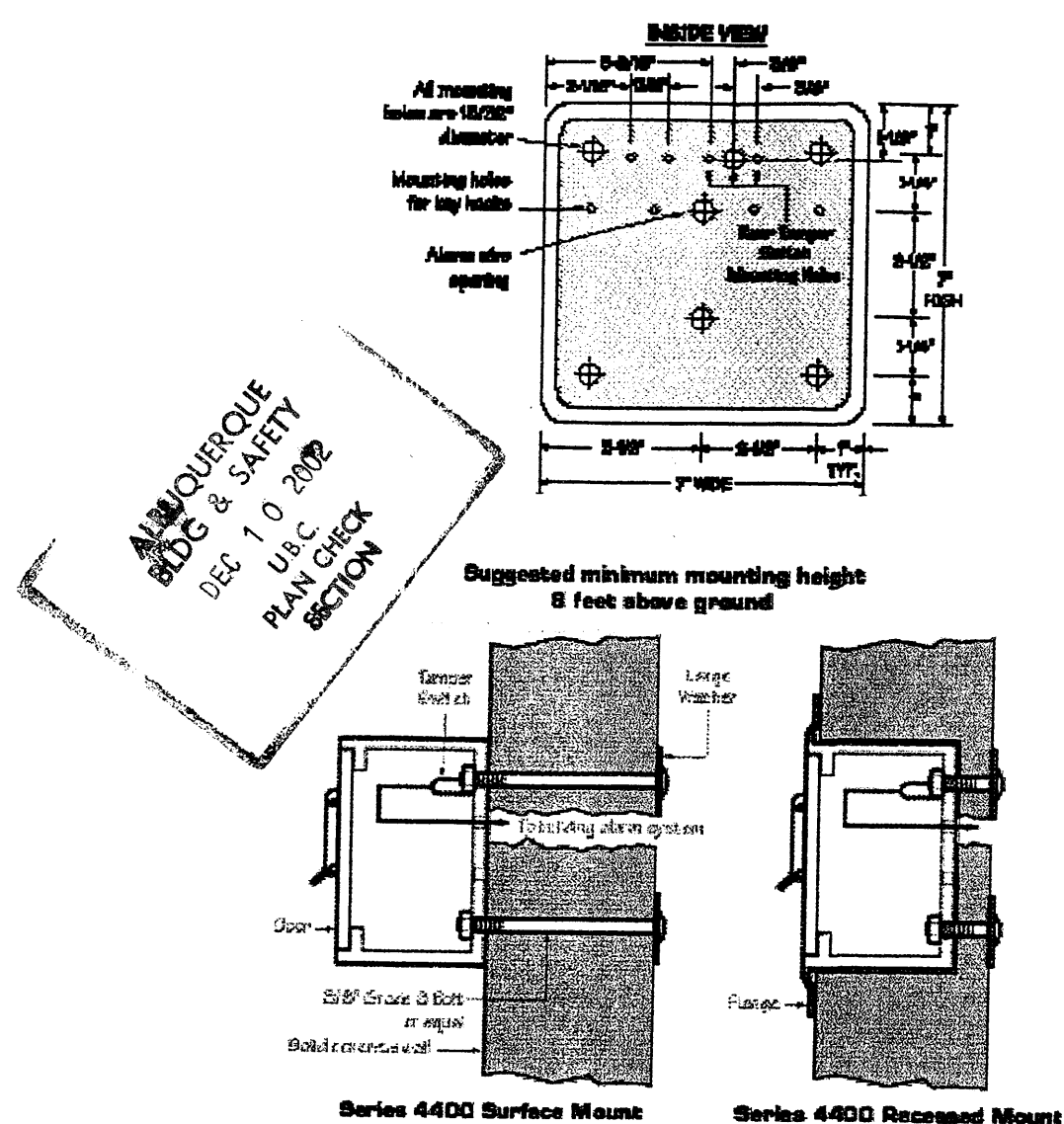
- Holds up to 50 keys in the large interior compartment
- Ensures high security with UL Listed Medeco lock(s)
- Includes a TGIC polyester powder coat finish for extended protection
- Resists moist conditions with a weather resistant door gasket
- **Colors:** Black, dark bronze or aluminum
- **Weight:** Surface mount - 28 lbs.
Recessed mount - 29 lbs.

Options

- Alarm tamper switches (UL Listed)
- Additional rust and corrosion protection (Aluminization)
- Recessed Mounting Kit (RMK) for recessed models only
- Custom vault depth available
- Dual lock configuration



KNOX-Vault 4400 Series Mounting Diagrams



Knox Rapid Entry System
The Knox Company manufactures a complete line of high security products including Knox-Boxes, key vaults, cabinets, key switches, padlocks and electronic master key security devices. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

Recessed Mounting Kit

The 4400 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the Knox-Vault mounts inside the recessed shell housing. The RMK may only be used in new concrete or masonry construction.

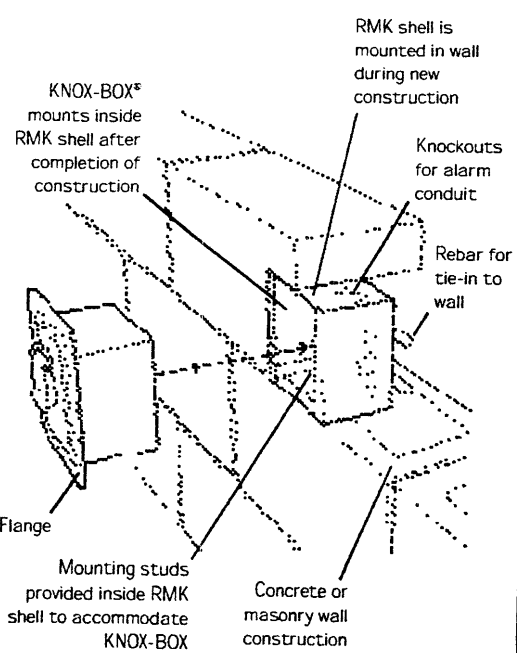
Installation

Fasten the mounting kit to the inside wall of a concrete form or set-in-place during masonry wall construction. Connect the wiring conduit through one of several knockout holes in the shell housing.

Dimensions

8 1/4" H x 8 1/4" W x 7" D, including Rebar

IMPORTANT: Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.



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