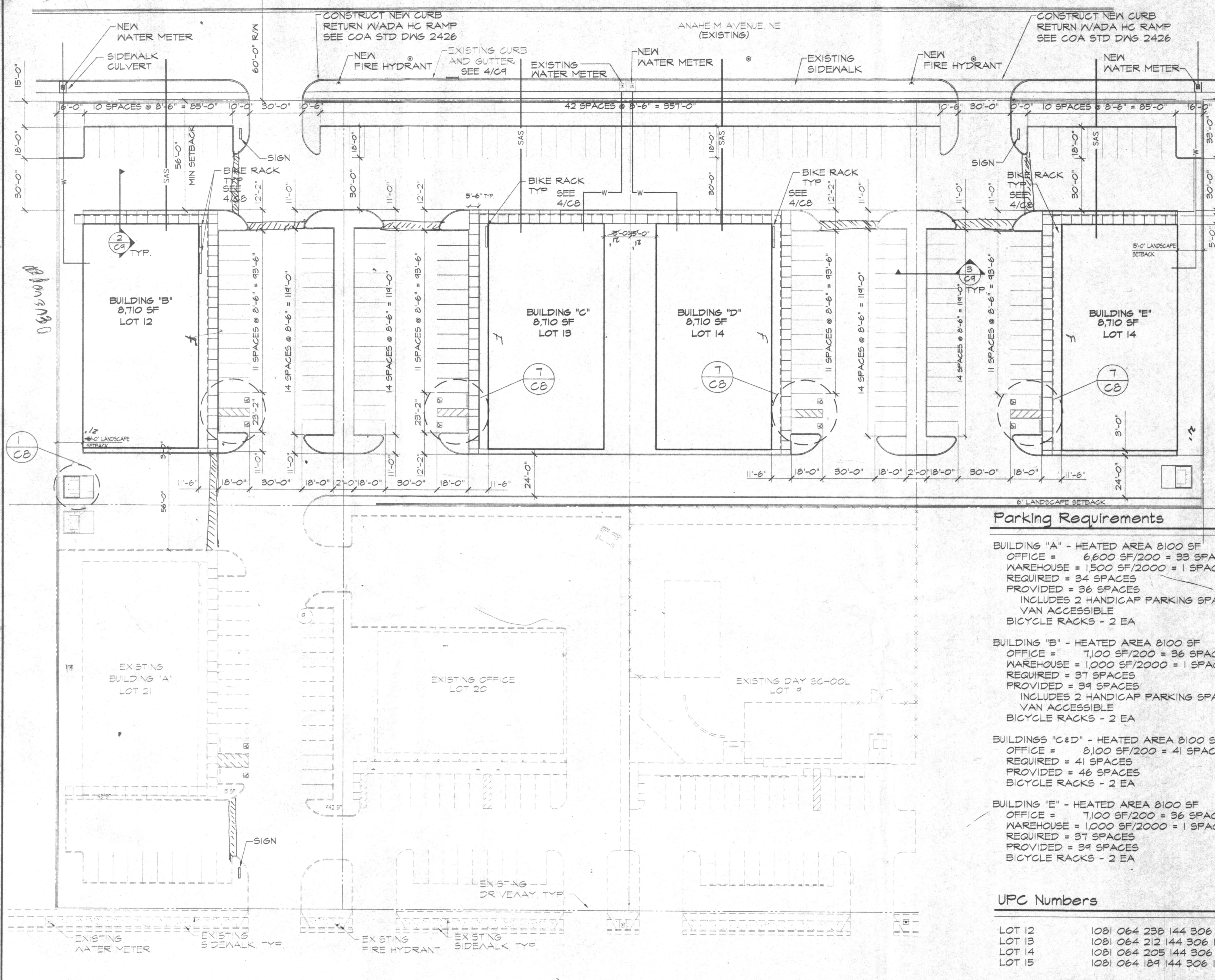


PROJ 1000236



Site Data

LAND AREA:	4.432 ACRES
PROPOSED USAGE:	OFFICE/ WAREHOUSE
BUILDING TYPE:	VN
DRIVEWAY:	30'
SIDEWALKS:	6'

- General Notes**
- THE RESPONSIBLE PART MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN AND THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN:
 - UNTIMELY DELAY OF ISSUANCE OF TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
 - INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE CALLING FOR TEMPORARY C.O.
 - ALL EXISTING STREET SIDEWALK AND C & G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL WILL BE REMOVED AND REPLACED.

Cross Access Agreements in accordance with those filed on 8/24/99 BK 9911 PG. 8892

Legal Description
 LOTS 12, 13, 14, 15 BLOCK 16, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES, WITHIN SECTION 13, TOWNSHIP 11, RANGE 3, EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Parking Requirements

- BUILDING "A" - HEATED AREA 8100 SF**
 OFFICE = 6,600 SF/200 = 33 SPACES
 WAREHOUSE = 1,500 SF/2000 = 1 SPACE
 REQUIRED = 34 SPACES
 PROVIDED = 36 SPACES
 INCLUDES 2 HANDICAP PARKING SPACES VAN ACCESSIBLE
 BICYCLE RACKS - 2 EA
- BUILDING "B" - HEATED AREA 8100 SF**
 OFFICE = 7,100 SF/200 = 36 SPACES
 WAREHOUSE = 1,000 SF/2000 = 1 SPACE
 REQUIRED = 37 SPACES
 PROVIDED = 39 SPACES
 INCLUDES 2 HANDICAP PARKING SPACES VAN ACCESSIBLE
 BICYCLE RACKS - 2 EA
- BUILDINGS "C&D" - HEATED AREA 8100 SF**
 OFFICE = 8,100 SF/200 = 41 SPACES
 REQUIRED = 41 SPACES
 PROVIDED = 46 SPACES
 BICYCLE RACKS - 2 EA
- BUILDING "E" - HEATED AREA 8100 SF**
 OFFICE = 7,100 SF/200 = 36 SPACES
 WAREHOUSE = 1,000 SF/2000 = 1 SPACE
 REQUIRED = 37 SPACES
 PROVIDED = 39 SPACES
 BICYCLE RACKS - 2 EA

UPC Numbers

LOT 12	1081 064 238 144 306 12	5900 ANAHEIM NE
LOT 13	1081 064 212 144 306 13	5908 ANAHEIM NE
LOT 14	1081 064 205 144 306 14	5916 ANAHEIM NE
LOT 15	1081 064 189 144 306 15	5924 ANAHEIM NE

Landfill Disclosure Statement

THE SUBJECT PROPERTY IS LOCATED NEAR AN EXISTING LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PRECAUTIONARY MEASURES NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

SITE PLAN

SCALE: 1" = 30'-0"
 0 10 20 30 60
 SCALE: 1" = 30'



AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 11-14-00
 SIGNATURE & DATE

ZONE ATLAS MAP C-18-Z
 PERMIT # 1000236 APP # 00450-00000-00953

CASE NUMBER:	DRB 99-282
SITE DEVELOPMENT PLAN FOR LOTS 12, 13, 14, 15 AND 21 OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO	
<i>W. J. ...</i>	7-20-00
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Adriana E. Castellana</i>	10/17/00
PARKS AND RECREATION	DATE
<i>Randy Green</i>	9/07/00
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
<i>Bradley D. Bingham</i>	11/14/00
CITY ENGINEER, ENGINEERING DIVISION	DATE
<i>Wanda ...</i>	Nov. 15, 2000
ENVIRONMENTAL HEALTH	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	
<i>...</i>	11/17/00
PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION	DATE
<i>...</i>	11-17-00
A.M.A.F.C.A.	DATE
<i>...</i>	Nov 15 - 00
SOLID WASTE APPROVAL	DATE
THIS IS A SITE DEVELOPMENT PLAN FOR THE I-25 SECTOR DEVELOPMENT PLAN	

	CARMEL ENTERPRISES OFFICE PARK PHASE II	
	R BOOTH CHECKED BY	F PHILLIPS DRAFTED BY
ARCHITECT		JUNE 2000 DATE
SITE PLAN FOR BUILDING PERMIT		
C2		

Drainage Calculations

I. SEE REPORT

Bench Mark

TOPOGRAPHIC SURVEY PROVIDED BY ANDREW MEDINA P.S.
ACS BENCHMARK No. 11-D10, ELEV 5235.67

PROJECT BENCHMARK - SOUTH BONNET BOLT ON THE
HYDRANT NEAR LOTS 20-21 PROPERTY LINE ON CARMEL
ELEVATION: 5228.52

Legend

- 5005 EXISTING CONTOUR
- 20 PROPOSED CONTOUR
- DRAINAGE BASIN BOUNDARY
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED DRAINAGE EASEMENT
- PROPOSED SPOT ELEVATIONS AND TO TOP OF CURB
- FL FLOW LINE
- TC TOP OF CURB
- TBC TOP OF BACK CURB

Grading And Drainage Plan

PURPOSE AND SCOPE

PURSUANT TO THE DRAINAGE ORDINANCE FOR THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THE GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE.

THE PROPERTY IS TO BE DEVELOPED AS AN OFFICE COMPLEX ON LOTS 12, 13, 14, 15 AND 21.

EXISTING CONDITIONS

THE SITE IS PRESENTLY UNDEVELOPED. SITE TOPO SLOPES FROM EAST TO WEST AT APPROXIMATELY 3.0%. THE SITE IS SPARSELY COVERED BY NATIVE VEGETATION. THE AFIXED FLOODWAY PANEL INDICATES THAT THERE IS A FLOOD HAZARD ZONE ON OR ADJACENT TO THE SITE. SEE DRAINAGE REPORT FOR CLARIFICATION. THE LOTS ARE APPROXIMATELY 0.89 ACRES EACH.

DEVELOPED CONDITIONS

LOTS 12, 13, 14, 15 AND 21 WILL BE OFFICE BUILDING SITES. IT WAS DECIDED TO DRAIN THE STORM FLOW FROM THE BACK OF LOTS 12, 13, 14, 15, 16, 20, 21 AND PART OF LOT 19 TO ANAHEIM STREET. PONDING ON LOT 12 WILL BE SUFFICIENT TO REDUCE DEVELOPED FLOWS BELOW THE LEVEL OF UNDEVELOPED HISTORIC FLOWS FOR THE PROJECT SITE.

EROSION CONTROL

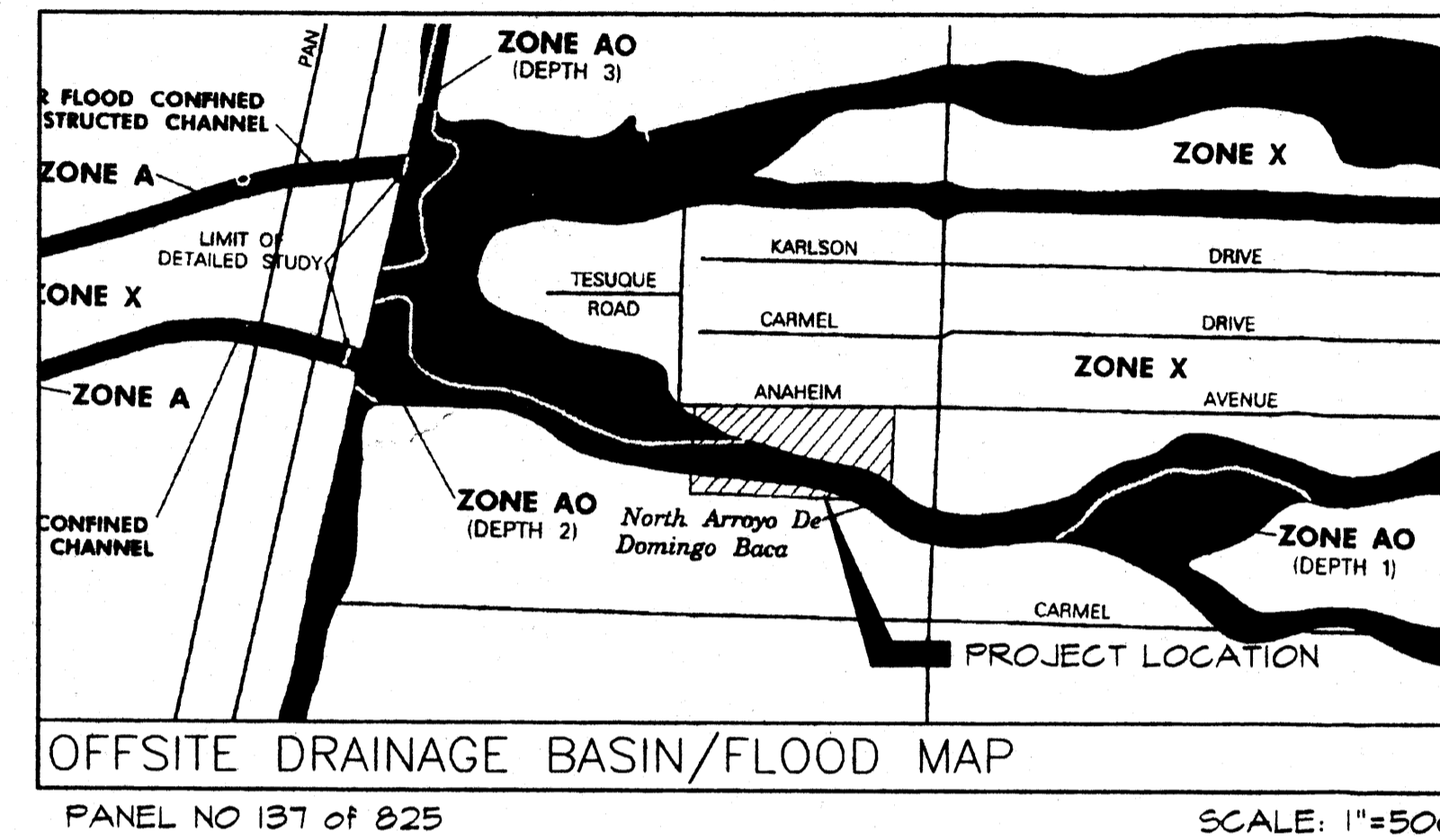
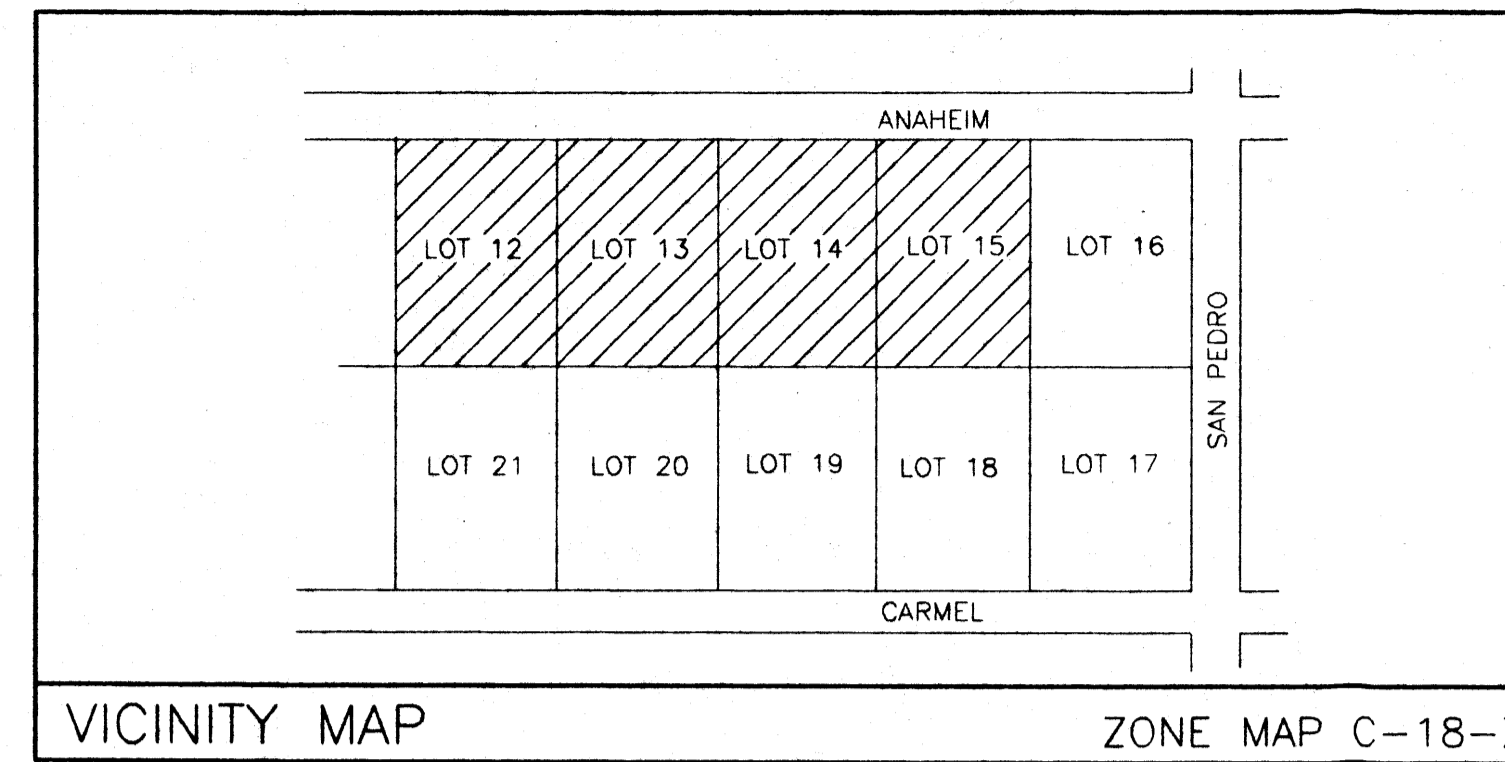
TEMPORARY EROSION CONTROL WILL BE REQUIRED DURING CONSTRUCTION TO CONTROL THE DISCHARGE OF SEDIMENT INTO THE PUBLIC STREET DRAINAGE NETWORK.

Drainage Plan Notes

1. THE PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
2. IRRIGATION WITHIN 10 FEET OF ANY PROPOSED STRUCTURE IS NOT RECOMMENDED. INTRODUCTION OF IRRIGATION WATER TO SUBSURFACE SOILS ADJACENT TO THE STRUCTURE COULD CAUSE SETTLEMENT.
3. THIS PLAN IS PREPARED TO ESTABLISH ON-SITE DRAINAGE AND GRADING CRITERIA ONLY. ABQ ASSUMES NO RESPONSIBILITY FOR SUBSURFACE ANALYSIS, FOUNDATION/STRUCTURAL DESIGN, OR UTILITY DESIGN.
4. LOCAL CODES MAY REQUIRE ALL FOOTINGS TO BE PLACED IN NATURAL UNDISTURBED SOIL. IF THE CONTRACTOR PLANS TO PLACE FOOTINGS ON ENGINEERED FILL, A CERTIFICATION BY A REGISTERED PROFESSIONAL ENGINEER WILL BE REQUIRED.

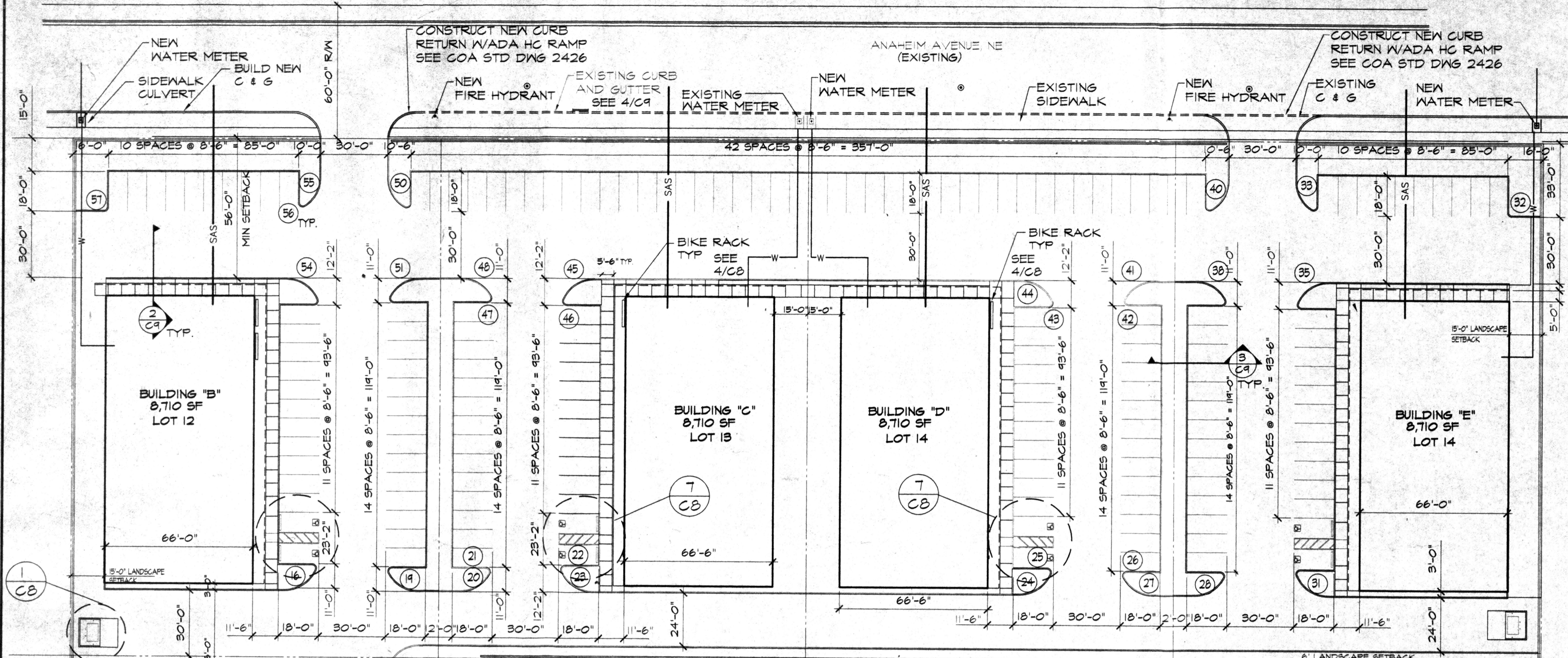
SITE PLAN NOTES

1. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED IP-SUI THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE OF THE LANDSCAPING AND IRRIGATION, INCLUDING THAT LOCATED WITHIN THE ADJUTING PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE ADJACENT PRIVATE PROPERTY OWNER.
2. SITE LIGHTING WILL CONSIST OF BUILDING MOUNTED HPS FIXTURES AND WALKWAY AREA LIGHTS. ALL EXTERIOR LIGHTING SHALL NOT SHINE PAST PROPERTY LINES.
3. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE. THE PROJECT SHALL HAVE ILLUMINATED PROJECT IDENTIFICATION SIGNAGE AT THE MAIN ENTRANCE. MAXIMUM MONUMENT SIGNAGE AREA SHALL BE 100 SQ FT EACH FACE. SIGNAGE SHALL ADHERE TO O-1 (OFFICE) ZONE REQUIREMENTS (SECTION 14-16-2-15(A)(16)) AND SHALL BE INTERNALLY ILLUMINATED WITH INDIVIDUAL LETTERING. THE AMOUNT OF MONUMENT SIGNS SHALL ALSO MEET THE REQUIREMENTS OF THE O-1 ZONE.
4. ALL SIDEWALKS ON SITE SHALL BE MONOLITHIC TURN-DOWN UNLESS OTHERWISE SHOWN. ALL THE SIDEWALKS ARE TO BE CONSTRUCTED WITH EACH BUILDING.



ABQ Engineering, Inc.
Engineers • Planners • Construction Services
1631 Eubank NE Suite C, Albuquerque, NM 87112
505-255-7802 FAX 505-255-7902

REVISIONS			
		CARMEL ENTERPRISES OFFICE PARK PHASE II	
R BOOTH CHECKED BY	F PHILLIPS DRAFTED BY	20158 PROJECT NO	JUNE 2000 DATE
ARCHITECT		GENERAL NOTES	
		CI	



Site Data

LAND AREA: 4.432 ACRES
 PROPOSED USAGE: OFFICE/ WAREHOUSE
 BUILDING TYPE: VN
 DRIVEWAY: 30'
 SIDEWALKS: 6'

General Notes

- THE RESPONSIBLE PART MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN AND THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN:
 - UNTIMELY DELAY OF ISSUANCE OF TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO TO CORRECT UNAPPROVED WORK, AND
 - INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE CALLING FOR TEMPORARY C.O.
- ALL EXISTING STREET SIDEWALK AND C & G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL WILL BE REMOVED AND REPLACED.

Curve Data

CURVE	RADIUS	CURVE	RADIUS	CURVE	RADIUS
1	25.00'	21	2.00'	41	25.00'
2	25.00'	22	2.00'	42	2.00'
3	N/A	23	15.00'	43	2.00'
4	2.00'	24	15.00'	44	2.00'
5	15.00'	25	2.00'	45	15.00'
6	2.00'	26	2.00'	46	2.00'
7	15.00'	27	25.00'	47	2.00'
8	2.00'	28	25.00'	48	15.00'
9	N/A	29	2.00'	49	N/A
10	25.00'	30	N/A	50	25.00'
11	2.00'	31	25.00'	51	25.00'
12	15.00'	32	2.00'	52	N/A
13	25.00'	33	25.00'	53	N/A
14	25.00'	34	N/A	54	25.00'
15	25.00'	35	25.00'	55	25.00'
16	25.00'	36	N/A	56	3.00'
17	25.00'	37	N/A	57	2.00'
18	25.00'	38	25.00'		
19	25.00'	39	N/A		
20	15.00'	40	25.00'		

Parking Requirements

BUILDING "A" - HEATED AREA 8100 SF
 OFFICE = 6,600 SF/200 = 33 SPACES
 WAREHOUSE = 1,500 SF/2000 = 1 SPACE
 REQUIRED = 34 SPACES
 PROVIDED = 36 SPACES
 INCLUDES 2 HANDICAP PARKING SPACES
 VAN ACCESSIBLE
 BICYCLE RACKS - 2 EA

BUILDING "B" - HEATED AREA 8100 SF
 OFFICE = 7,100 SF/200 = 36 SPACES
 WAREHOUSE = 1,000 SF/2000 = 1 SPACE
 REQUIRED = 37 SPACES
 PROVIDED = 39 SPACES
 INCLUDES 2 HANDICAP PARKING SPACES
 VAN ACCESSIBLE
 BICYCLE RACKS - 2 EA

BUILDINGS "C & D" - HEATED AREA 8100 SF
 OFFICE = 8,100 SF/200 = 41 SPACES
 REQUIRED = 41 SPACES
 PROVIDED = 46 SPACES
 BICYCLE RACKS - 2 EA

BUILDING "E" - HEATED AREA 8100 SF
 OFFICE = 7,100 SF/200 = 36 SPACES
 WAREHOUSE = 1,000 SF/2000 = 1 SPACE
 REQUIRED = 37 SPACES
 PROVIDED = 39 SPACES
 BICYCLE RACKS - 2 EA

UPC Numbers

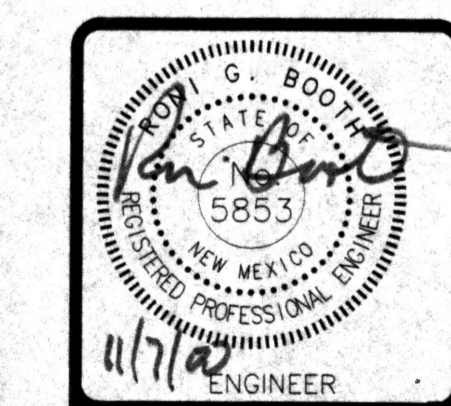
LOT 12	1081 064 238 144 306 12
LOT 13	1081 064 212 144 306 13
LOT 14	1081 064 205 144 306 14
LOT 15	1081 064 189 144 306 15

Legal Description

LOTS 12, 13, 14, 15 BLOCK 16, TRACT A, UNIT B
 NORTH ALBUQUERQUE ACRES, WITHIN SECTION 13,
 TOWNSHIP 11, RANGE 3, EAST, CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW MEXICO.

SITE PLAN

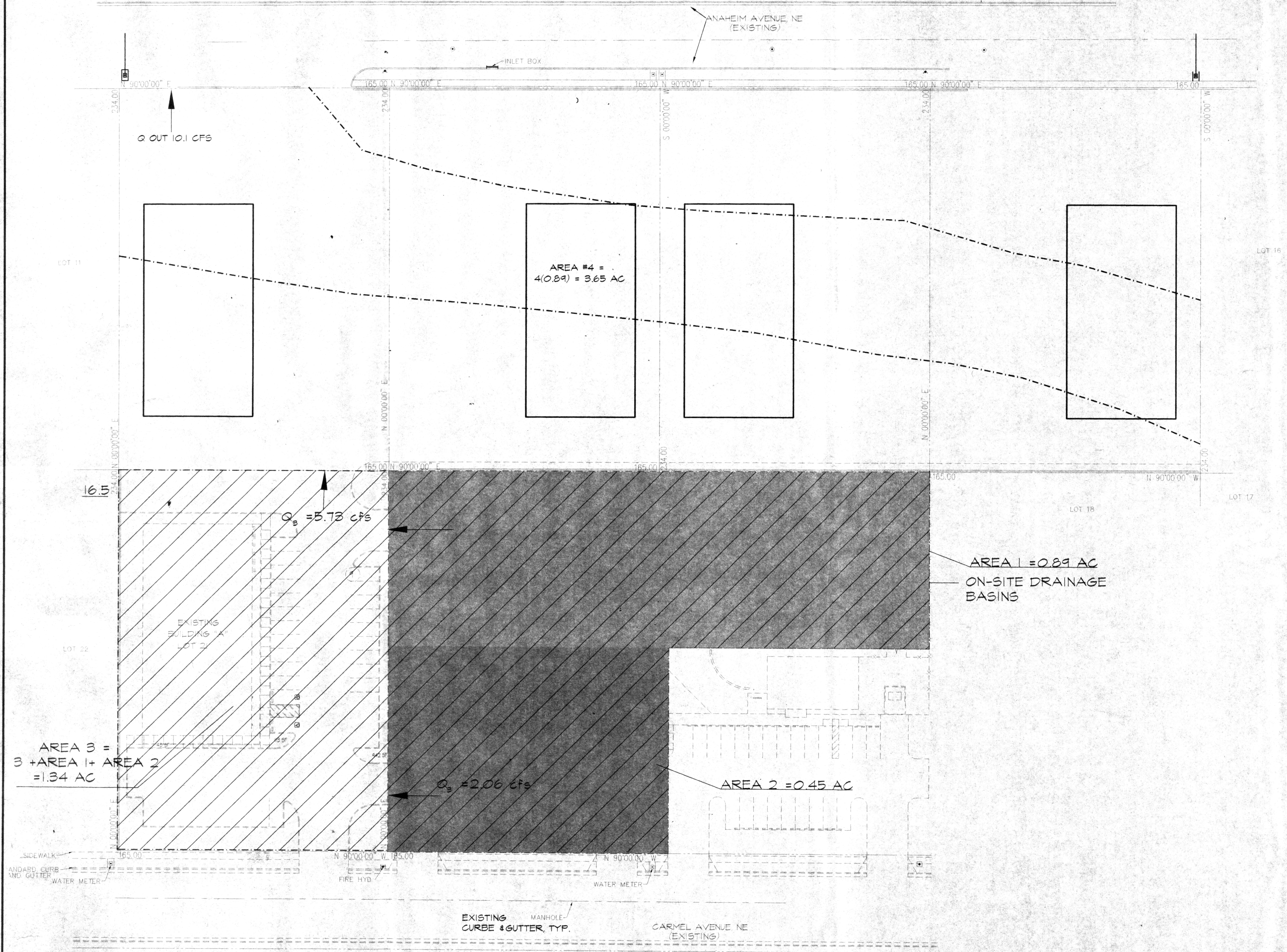
SCALE: 1" = 30'-0"
 0 10 20 30 60
 SCALE: 1:30



**CARMEL ENTERPRISES
 OFFICE PARK
 PHASE II**

R. BOOTH CHECKED BY	F. PHILLIPS DRAFTED BY	20158 PROJECT NO.	JUNE 2000 DATE
DIMENSIONED SITE PLAN FOR BUILDING PERMIT			
ARCHITECT			C2.1

- Legend**
- PROPERTY LINE
 - ▤ PROPOSED SIDEWALK
 - PROPOSED CURB
 - NEW BIKE RACK
 - NEW HANDICAP SIGN
 - ◻ EXISTING HYDRANT
 - ◻ EXISTING WATER METER
 - EXISTING MANHOLE
 - L/S LANDSCAPE SETBACK
 - EXISTING SIDEWALK
 - === EXISTING CURB & GUTTER
 - CROSS LOT DRAINAGE EASEMENT
 - DRAINAGE EASEMENT
 - ▨ PONDING AREA
 - - - EXISTING FLOOD PLAIN



DRAINAGE PLAN - PHASE I & II

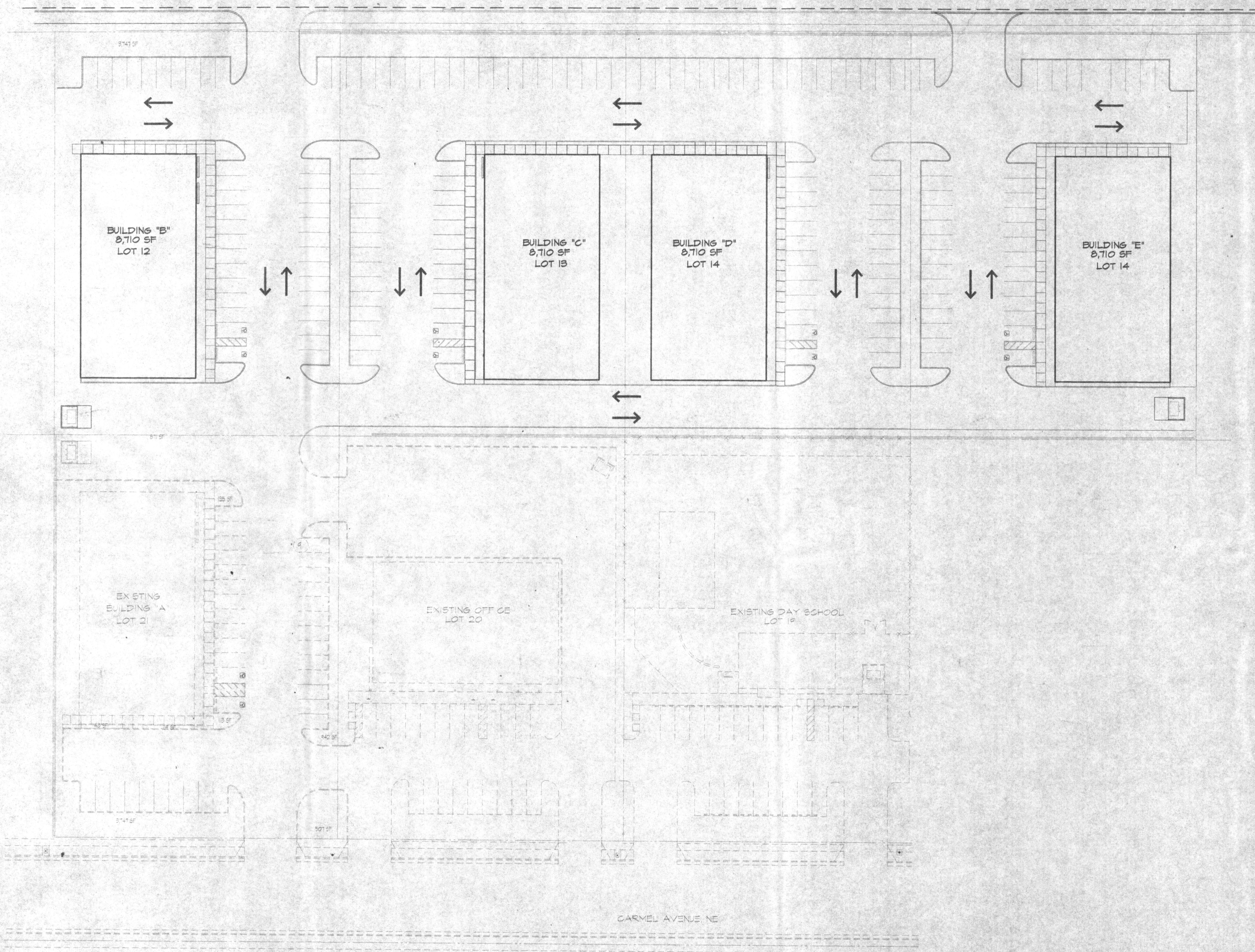
SCALE: 1" = 30'

0 10 20 30 60

SCALE: 1" = 30'

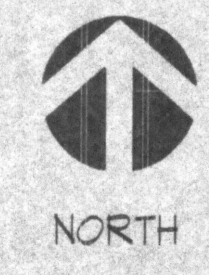
NORTH

	CARMEL ENTERPRISES OFFICE PARK PHASE II		
	S. KNEE CHECKED BY	F. PHILLIPS DRAFTED BY	20150 PROJECT NO.
ARCHITECT	DRAINAGE PLAN		
	C4		

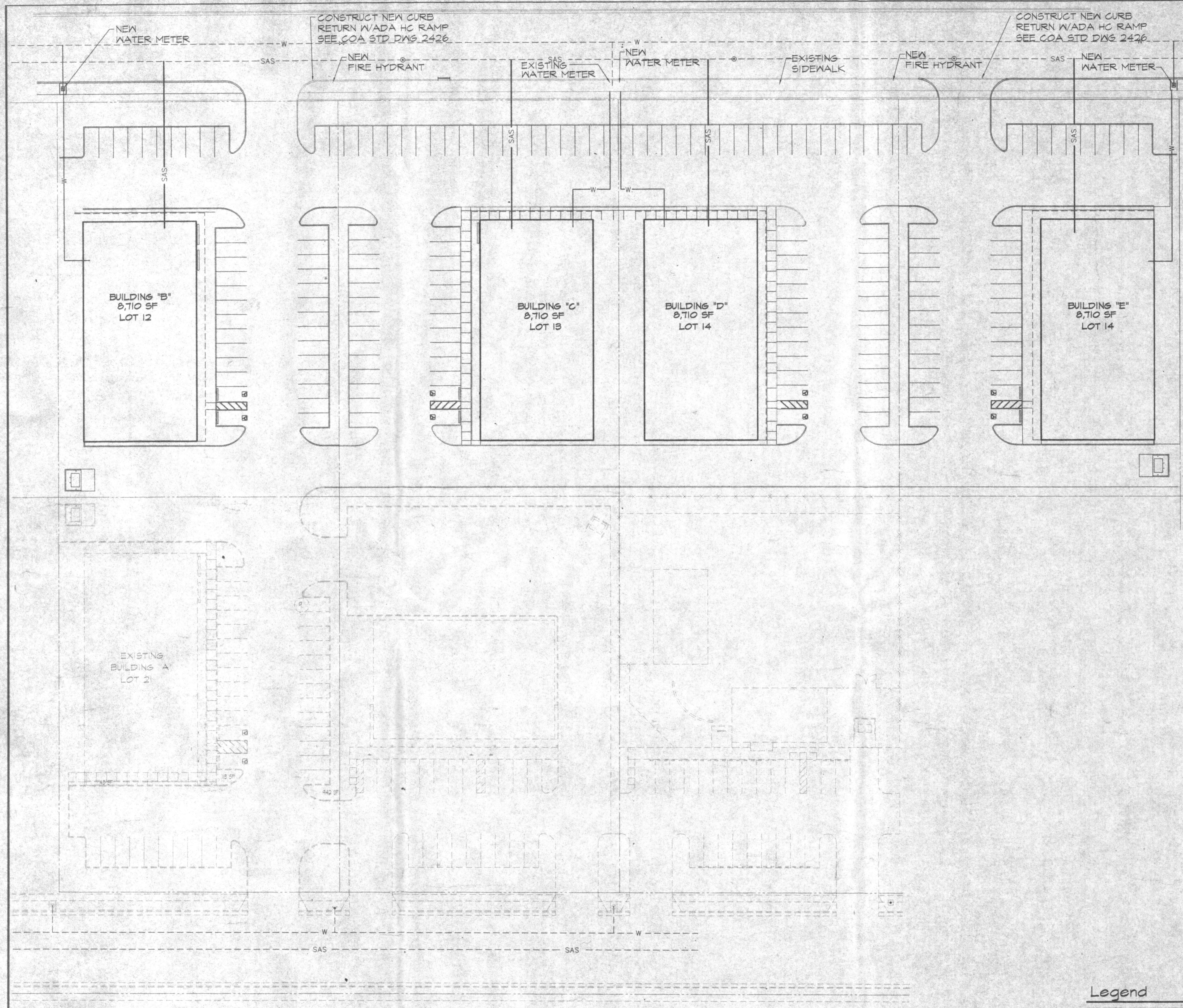


TRAFFIC CONTROL ACCESS LANES

SCALE: 1/8" = 1'-0"
 0 10 20 30 60
 SCALE: 1:30

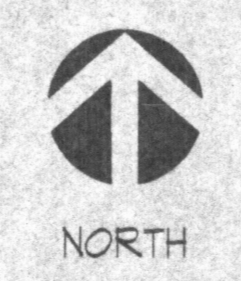


REVISIONS			
	CARMEL ENTERPRISES OFFICE PARK PHASE II		
	R BOOTH CHECKED BY	F PHILLIPS DRAFTED BY	2015 PROJECT NO
ARCHITECT	TRAFFIC CONTROL ACCESS LANES		
	C5		



UTILITY PLAN

SCALE 1" = 30'-0"

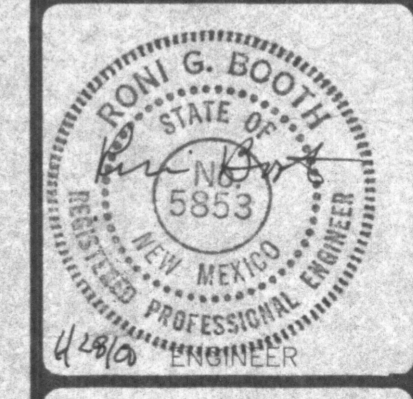


Legend

- EXISTING UTILITIES
- W — NEW WATER LINE
- SAS — NEW SANITARY SEWER LINE
- - - - - PROPOSED 10' EASMENT
- EXISTING MANHOLE
- ▲ → NEW FIRE HYDRANT

Fire Flow Calculations
 2519 GPM
 3 HYDRANTS

REVISIONS



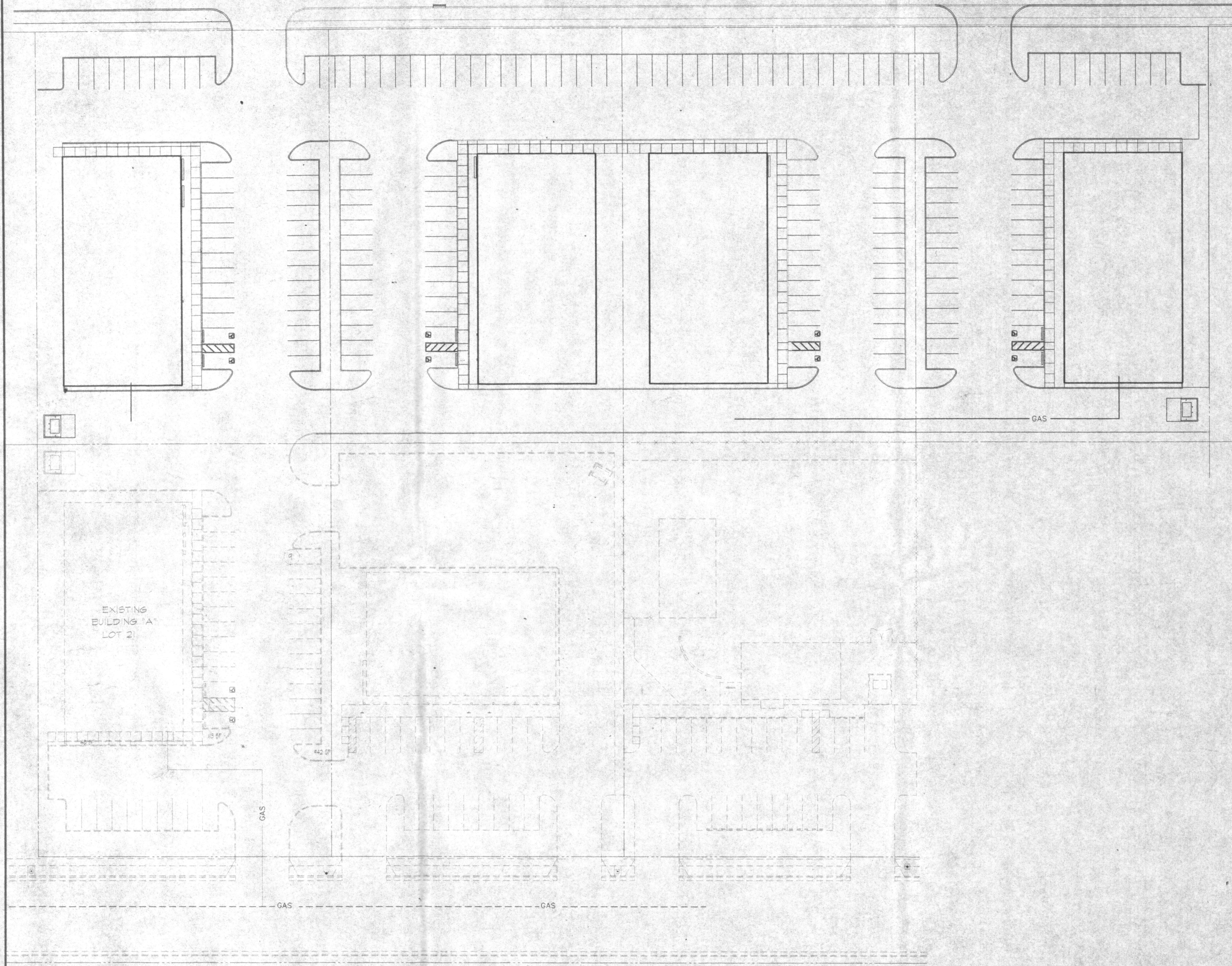
**CARMEL ENTERPRISES
 OFFICE PARK
 PHASE II**

S KNEE CHECKED BY	F PHILLIPS DRAFTED BY	20158 PROJECT NO	JUNE 2000 DATE
-----------------------------	---------------------------------	----------------------------	--------------------------

**SEWER AND WATER
 UTILITY SITE
 PLAN**

ARCHITECT

C6



GAS UTILITY PLAN

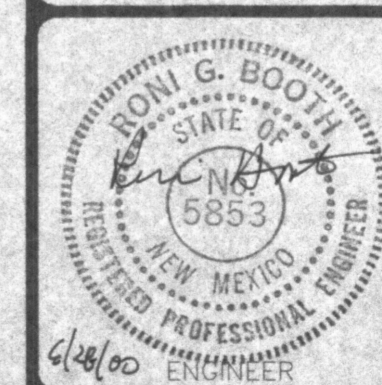
SCALE: 1" = 30'-0"



Legend

- EXISTING UTILITIES
- GAS — NEW GAS LINE
- - - - - PROPOSED 10' EASMENT

REVISIONS



**CARMEL ENTERPRISES
 OFFICE PARK
 PHASE II**

R. BOOTH
 CHECKED BY

F. PHILLIPS
 DRAFTED BY

20158
 PROJECT NO

JUNE 2000
 DATE

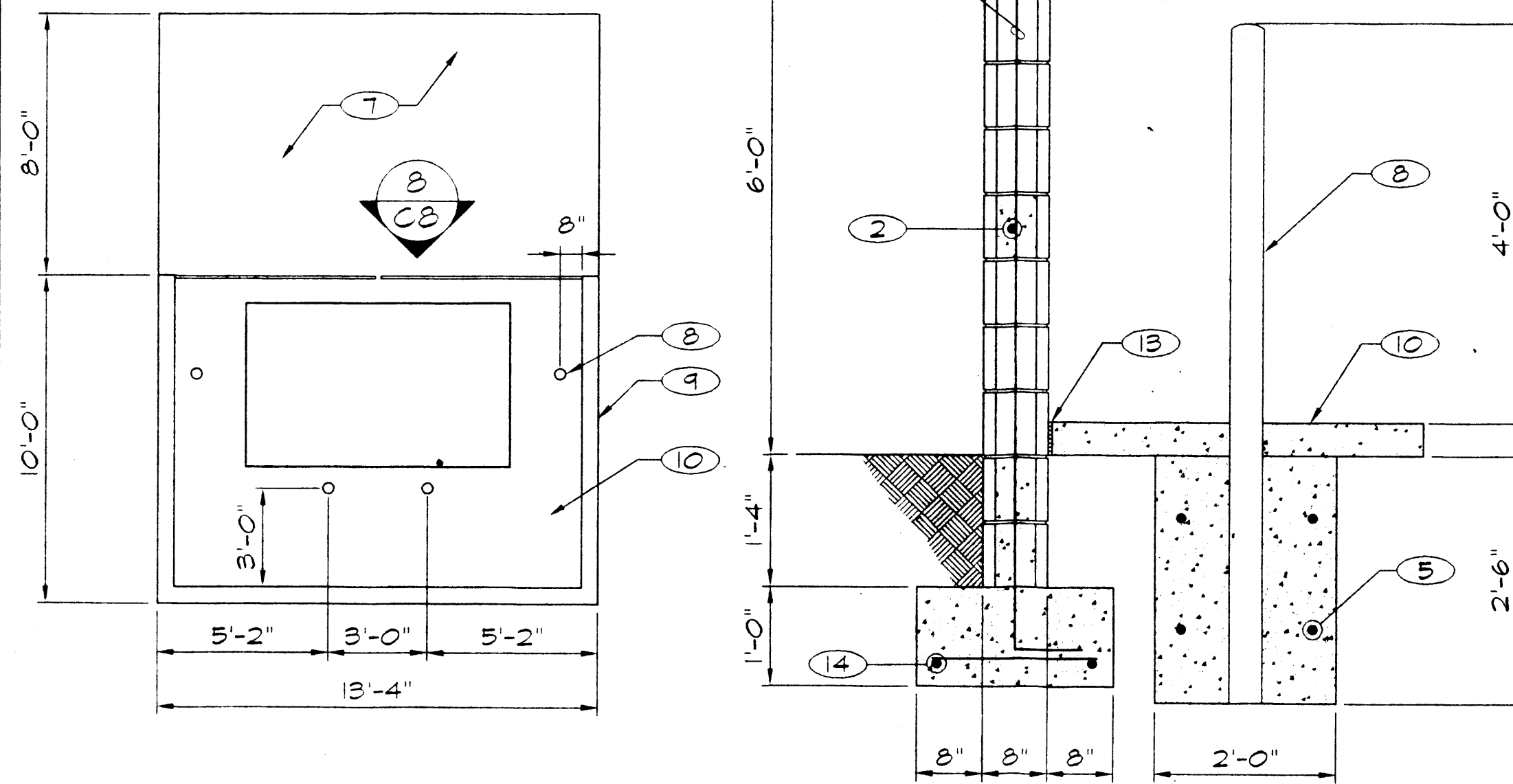
**GAS UTILITY
 SITE PLAN**

ARCHITECT

C7

Keyed Notes

1. SOLID CMU CAP UNITS.
2. #4 CONTINUOUS AROUND PERIMETER.
3. #4 HOOKED VERTICALS @ 24" ON CENTER ALTERNATE HOOKS.
4. 2" DIA STEEL PIPE, PAINTED.
5. 4-#4 EACH FACE.
6. FINISH FLUSH WITH ADJACENT CONCRETE WALK.
7. 6" REINFORCED CONCRETE APRON WITH #4@12" EACH WAY ON CENTER.
8. 6" CONCRETE FILL STEEL PIPE BOLLARDS.
9. 8" REINFORCED CONCRETE BLOCK ENCLOSURE.
10. 4" FIBER REINFORCED CONCRETE SLAB.
11. 1/2" EXPANSION JOINT FILLER WITH 1/4" RADIUS AND WATERPROOF SEALANT.
12. EMBED STEEL PIPE IN 18" CONCRETE.
13. 1/2" EXPANSION MATERIAL.
14. 2-#4 CONTINUOUS.
15. SPLIT FACE CMU (OUTSIDE) COLOR: CSR "COPPER"



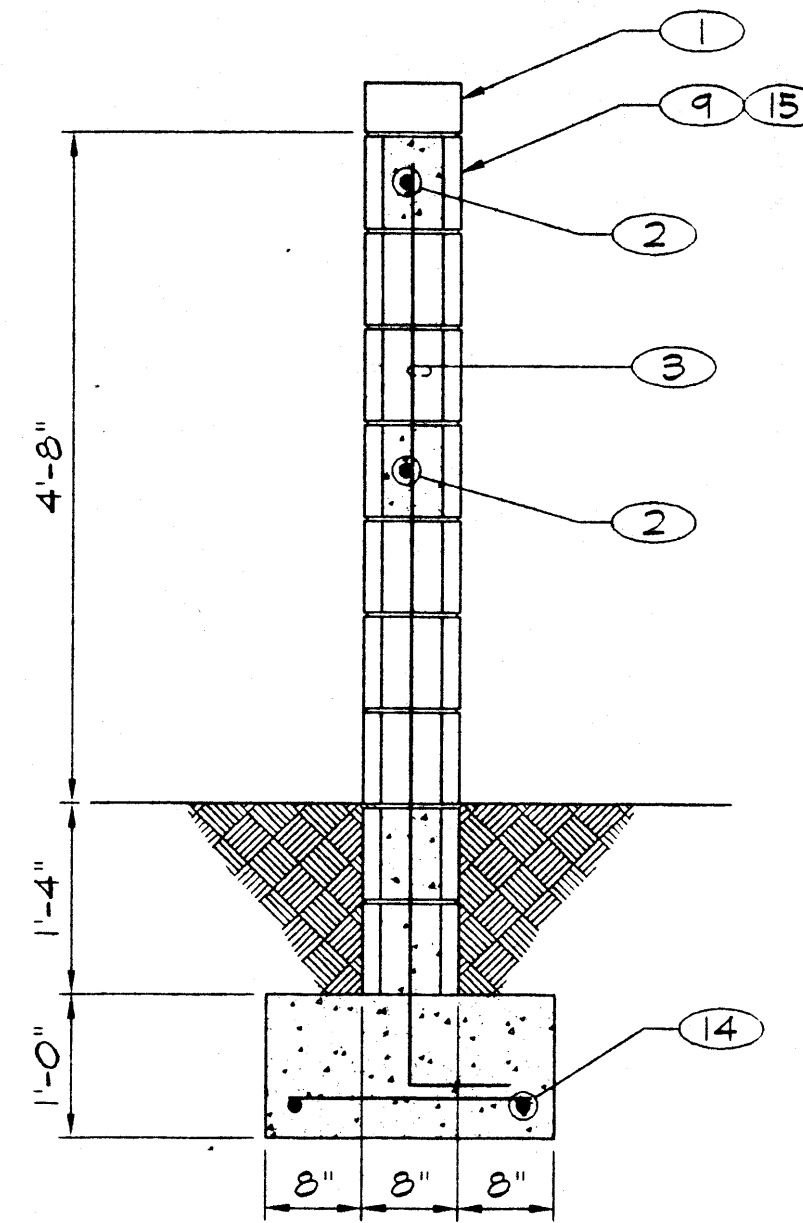
PLAN
1/4"=1'-0"

SECTION
3/4"=1'-0"

DUMPSTER DETAIL

AS SHOWN

1
C2



SCREEN WALL SECTION

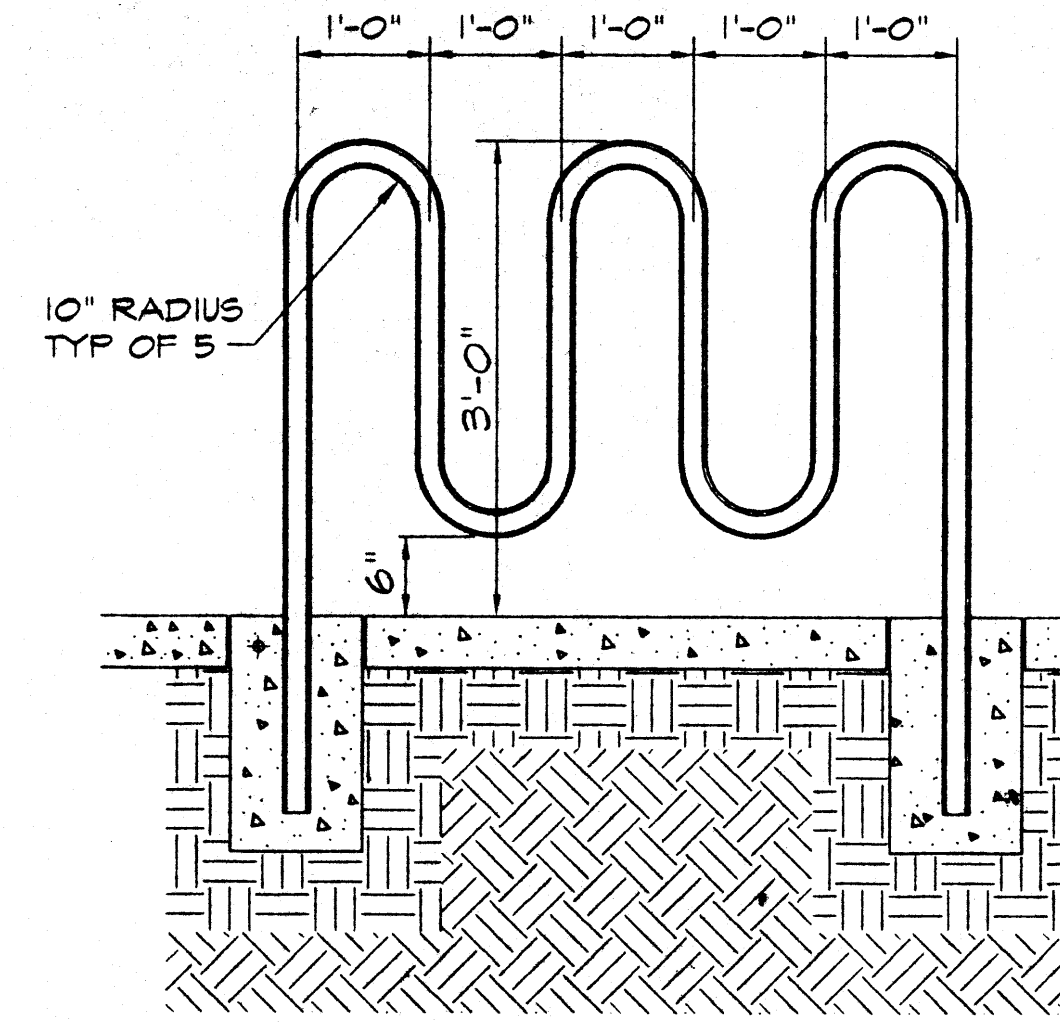
AS SHOWN

2
C2

WHEELCHAIR RAMP DETAIL

NTS

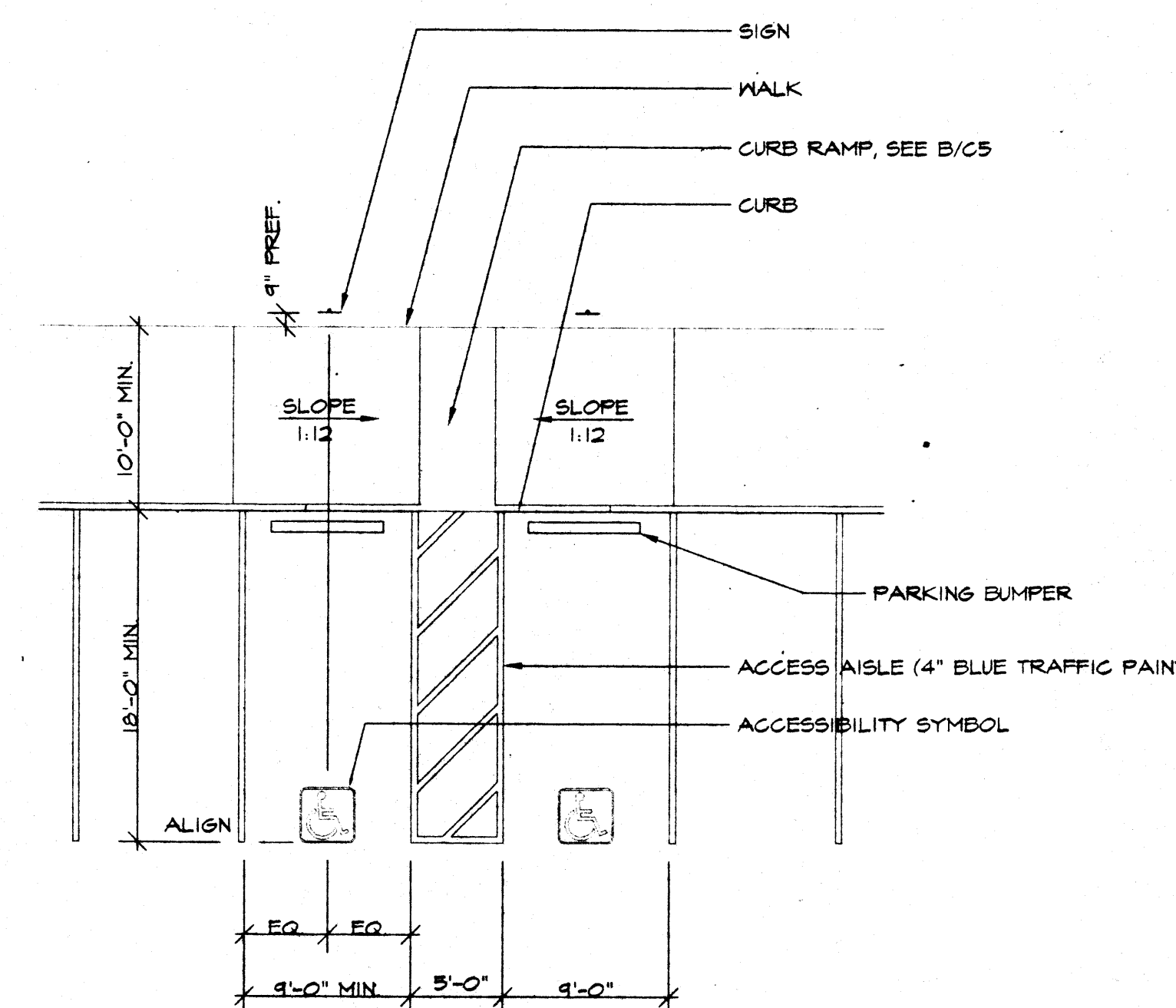
3
C2



BIKE RACK DETAIL

AS SHOWN

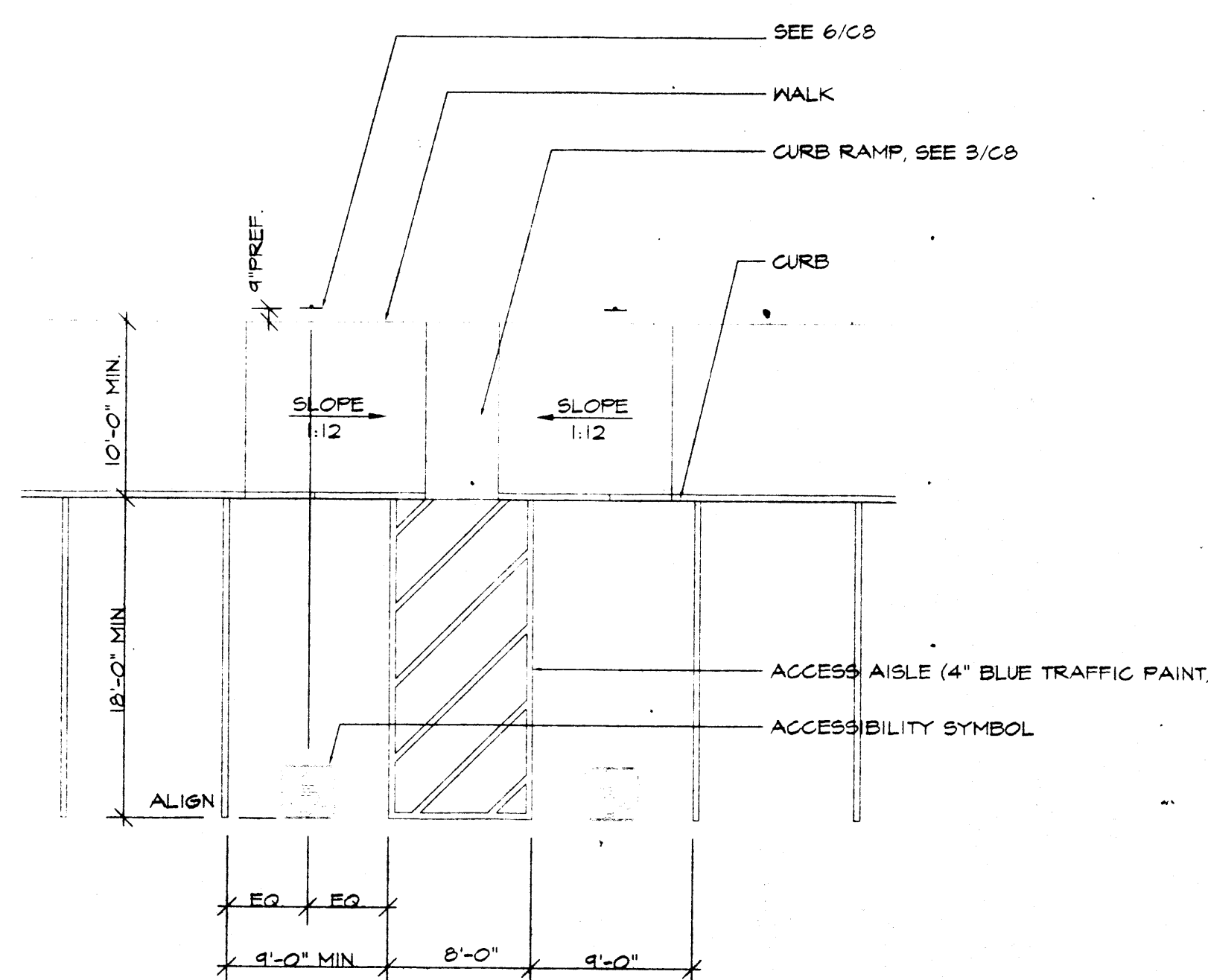
4
C2



STANDARD HANDICAP STALL

SCALE: 1/8" = 1'-0"

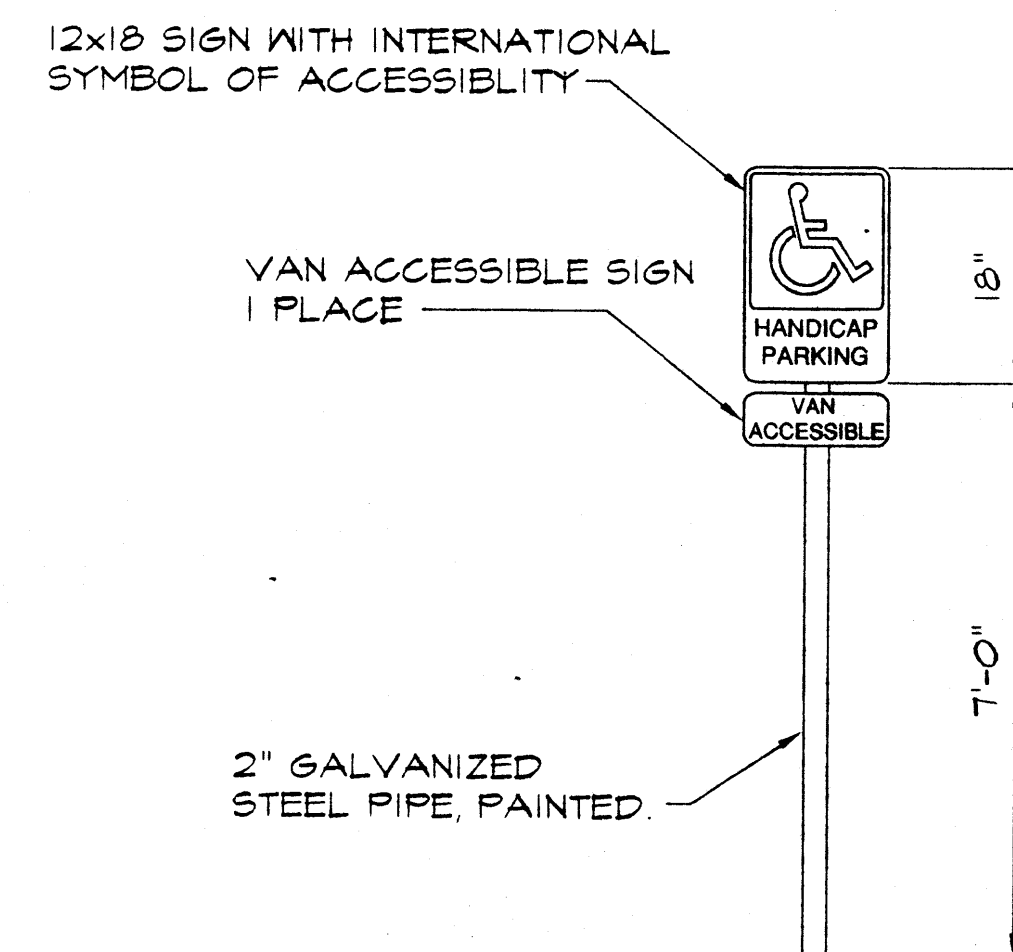
7
C2



VAN HANDICAP STALL

SCALE: 1/8" = 1'-0"

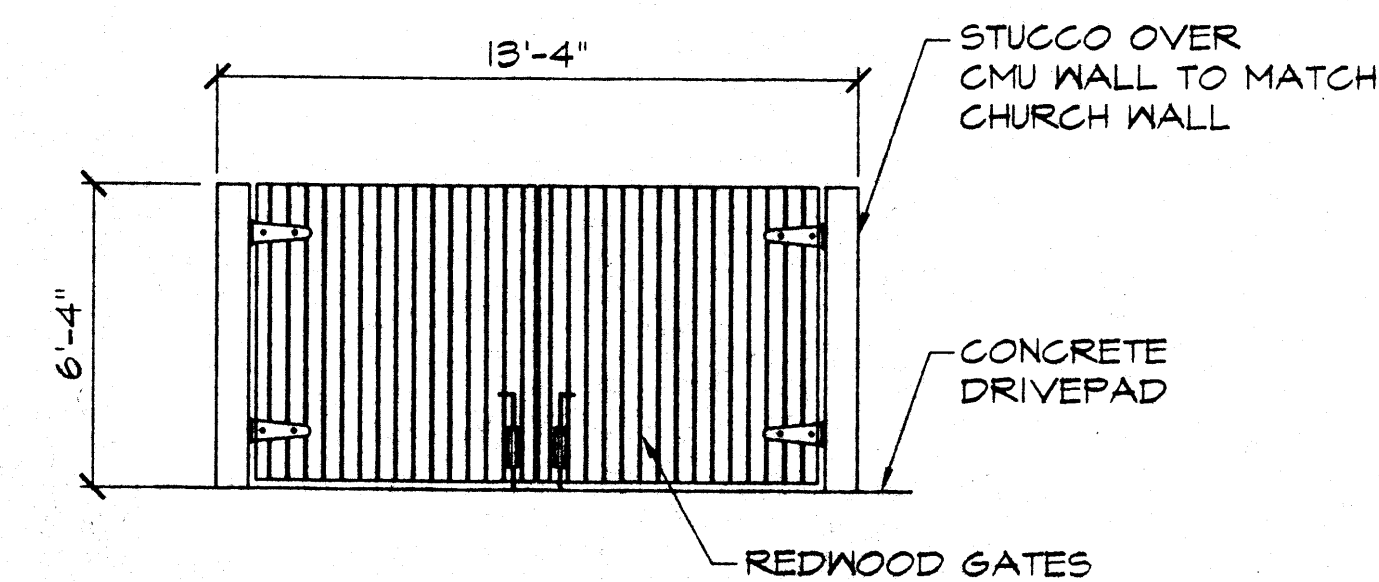
5
C2



HANDICAP SIGN DETAIL

SCALE: 3/4"=1'-0"

6
CB

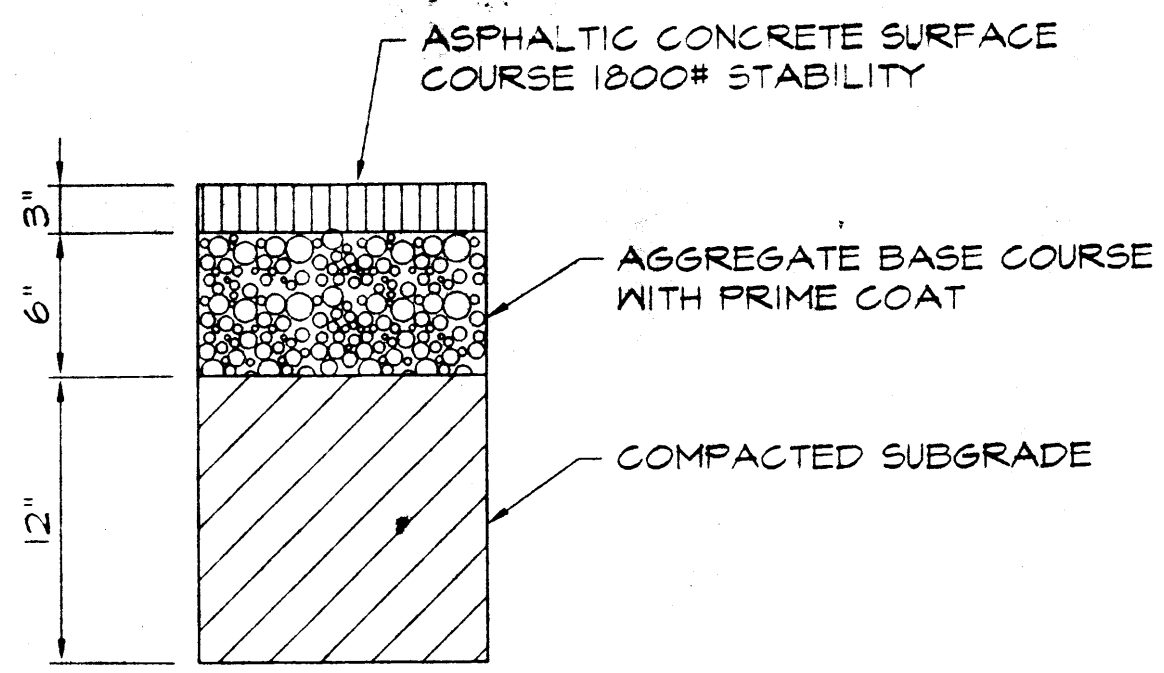


FRONT ELEVATION @ DUMPSTER

AS SHOWN

8
CB

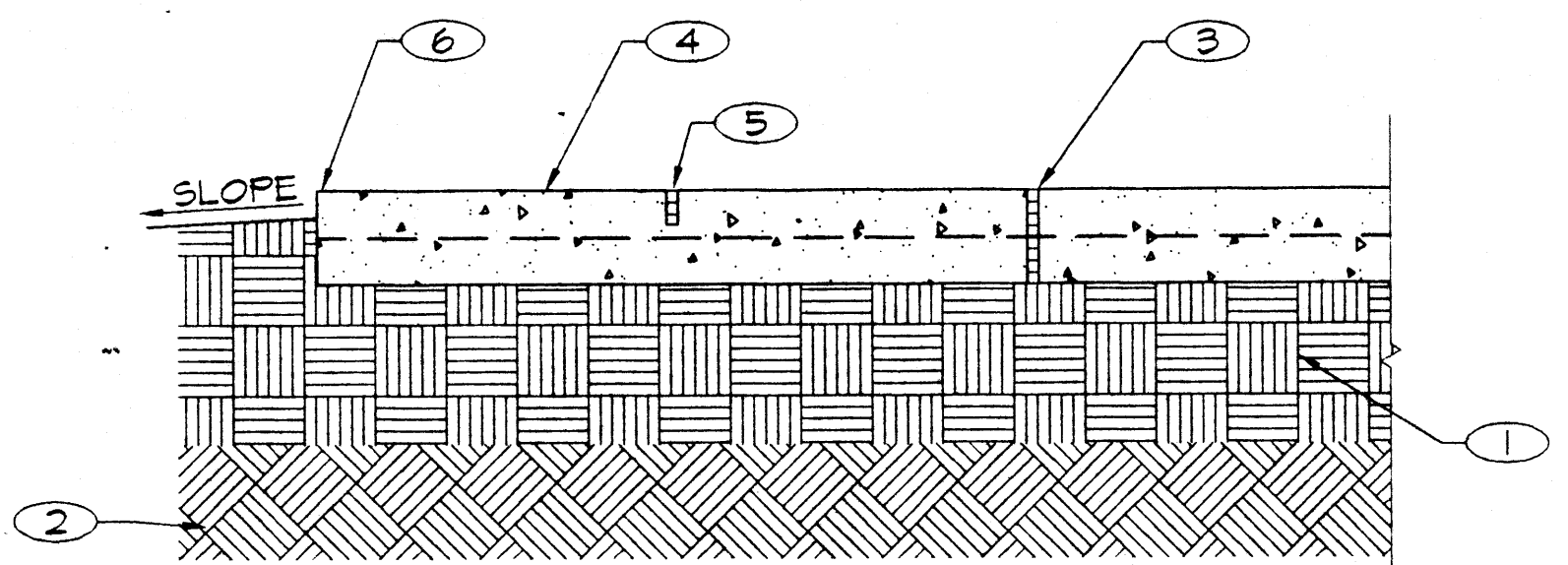
REVISIONS			
		CARMEL ENTERPRISES OFFICE PARK PHASE II	
R. BOOTH CHECKED BY	F. PHILLIPS DRAFTED BY	20150 PROJECT NO.	JUNE 2000 DATE
ARCHITECT		SITE DETAILS	
		CB	



PAVING DETAIL

SCALE: 1/2" = 1'-0"

1
C2

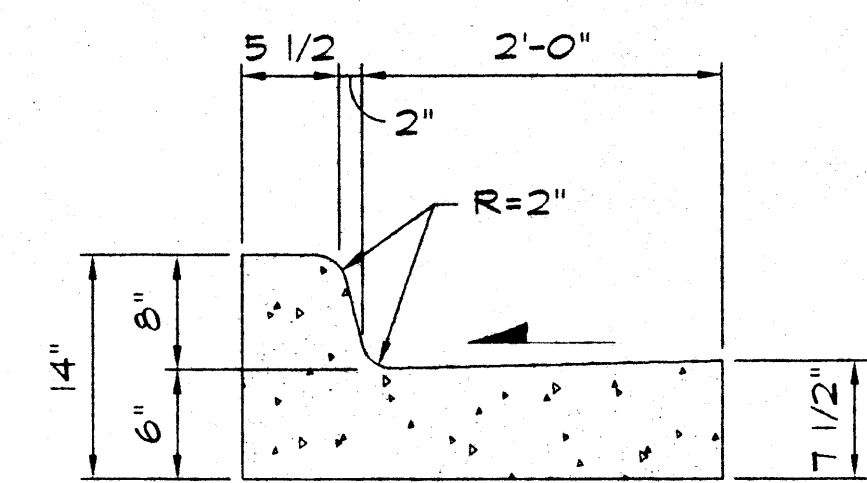


NOTE: PROVIDE TRANSVERSE CONTROL JOINTS AT INTERVALS NOT EXCEEDING 6'-0" ON CENTER. PROVIDE CENTERLINE CONTROL JOINTS IN SIDEWALK WIDER THAN 8'-0". SPACING OF CENTERLINE CONTROL JOINTS SHALL NOT EXCEED 6'-0" OR AS SHOWN ON PLANS. PROVIDE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING 20'-0" ON CENTER WHERE WALK DOES NOT ABUT CURB, REINFORCE WITH 6x6 W2.9xW2.9 WWF.

CONCRETE WALKS

SCALE: 1/2" = 1'-0"

2
C2

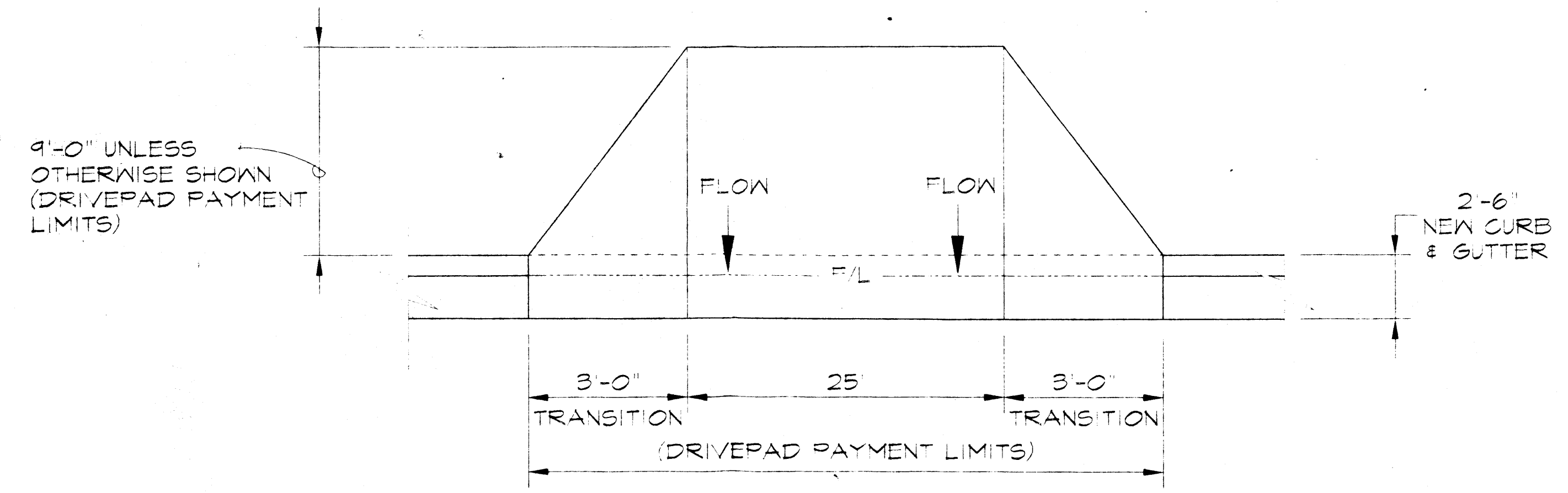


CURB AND GUTTER

NOT TO SCALE

3
C2

- Keyed Notes
- 8" COMPACTED NATIVE SOIL.
 - NATIVE SOIL.
 - 1/2" EXPANSION JOINT FILLER WITH 1/4" RADIUS EDGES WATERPROOF SEALANT AT BUILDING PERIMETER ONLY.
 - 4" CONCRETE PAVING (SLOPE AT 2% TYP) WITH W2.9xW2.9 WWF.
 - CONTROL JOINTS.
 - TOOL EDGE WITH 1/4" DIA FINISHING TOOL



DRIVE PAD

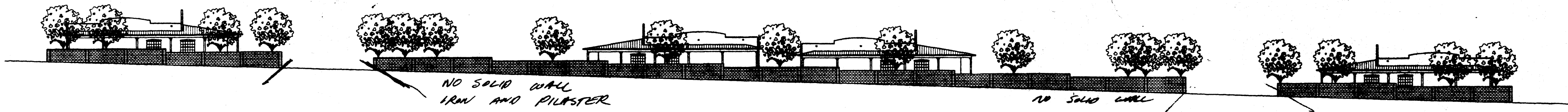
NOT TO SCALE

4
C2

REVISIONS

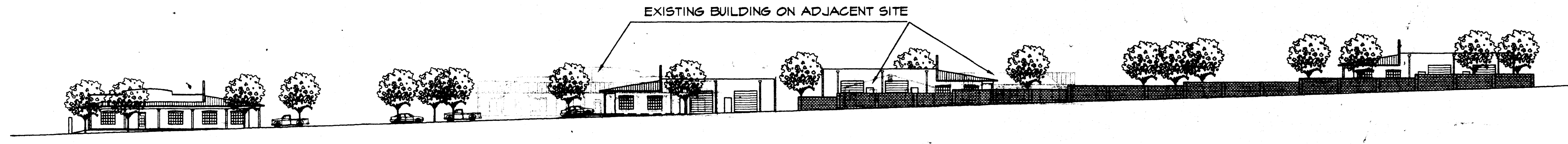
	CARMEL ENTERPRISES OFFICE PARK PHASE II		
	R BOOTH CHECKED BY	F PHILLIPS DRAFTED BY	20150 PROJECT NO
ARCHITECT		SITE DETAILS	

C9



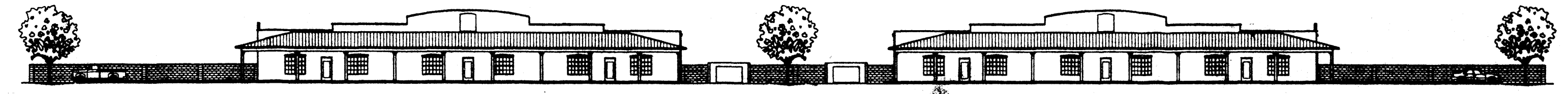
NORTH ELEVATION - FROM ANAHIEM

SCALE: 1/8" = 1'-0"



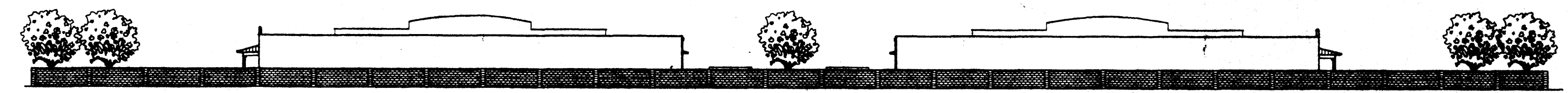
SOUTH ELEVATION - FROM CARMEL

SCALE: 1/8" = 1'-0"



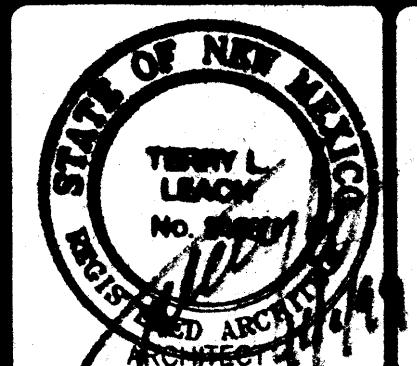
EAST ELEVATION - ON SITE

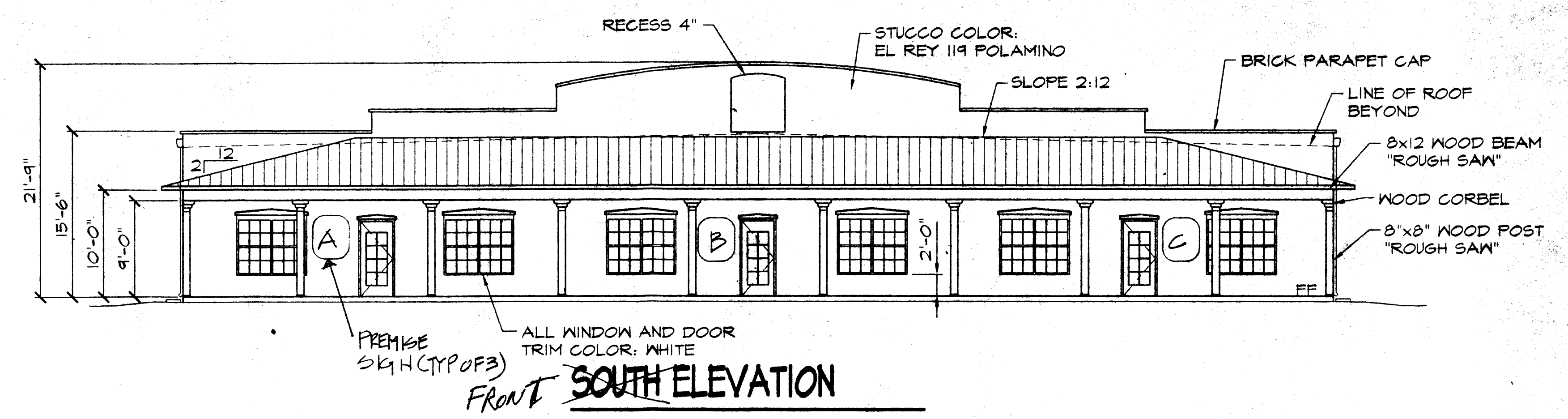
SCALE: 1/8" = 1'-0"



WEST ELEVATION

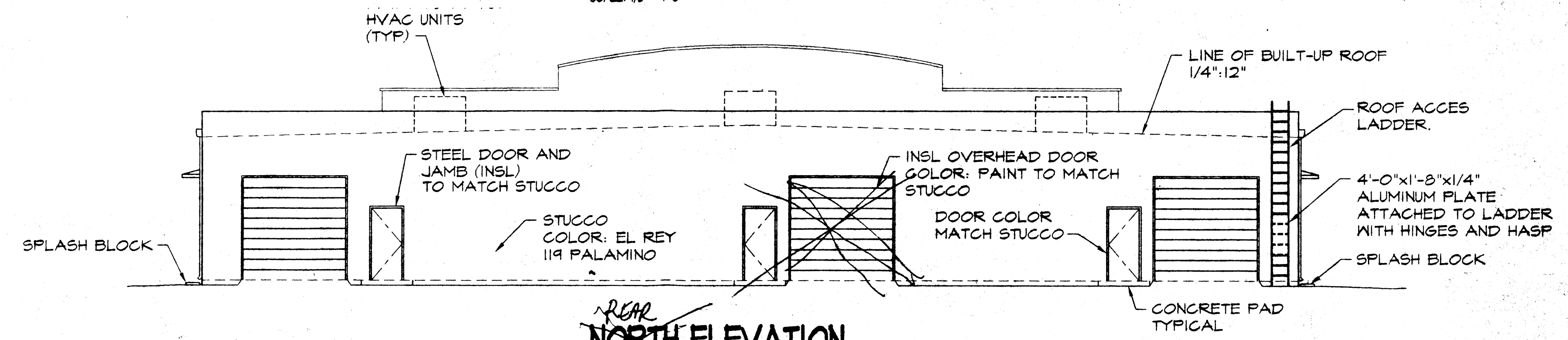
SCALE: 1/8" = 1'-0"

REVISIONS			
CARMEL ENTERPRISES OFFICE PARK			
ENGINEER T. LEACH CHECKED BY	DRAFTED BY J. KAMPS	PROJECT NO 99160	DATE 11/2/99
		ELEVATIONS	
			A2



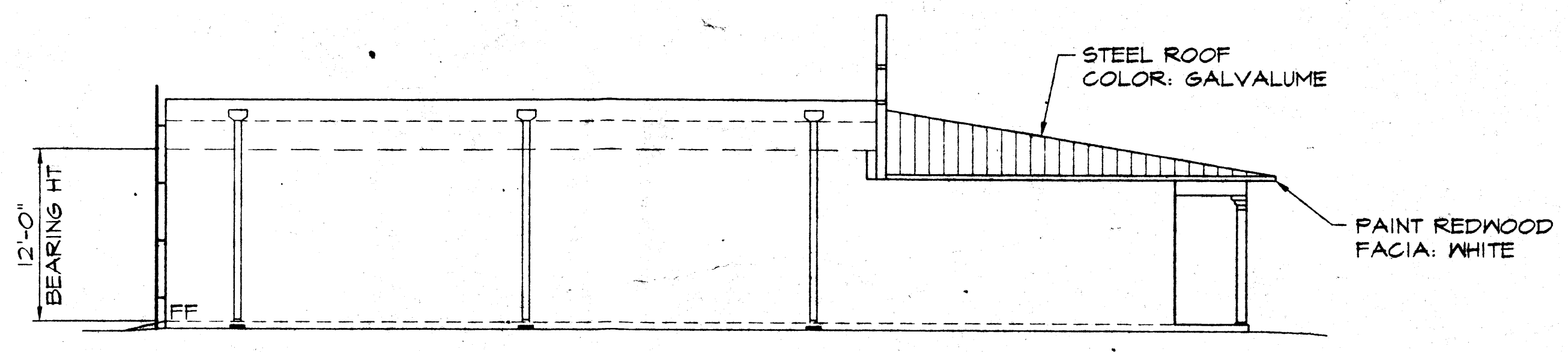
FRONT SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



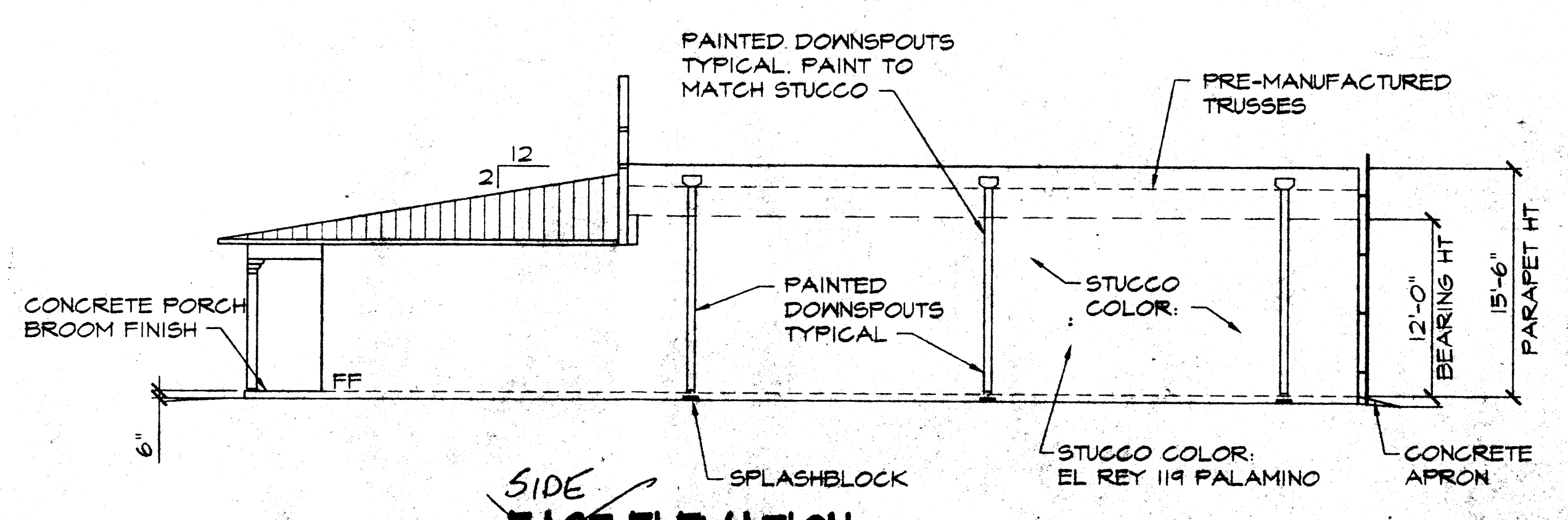
REAR NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SIDE WEST ELEVATION

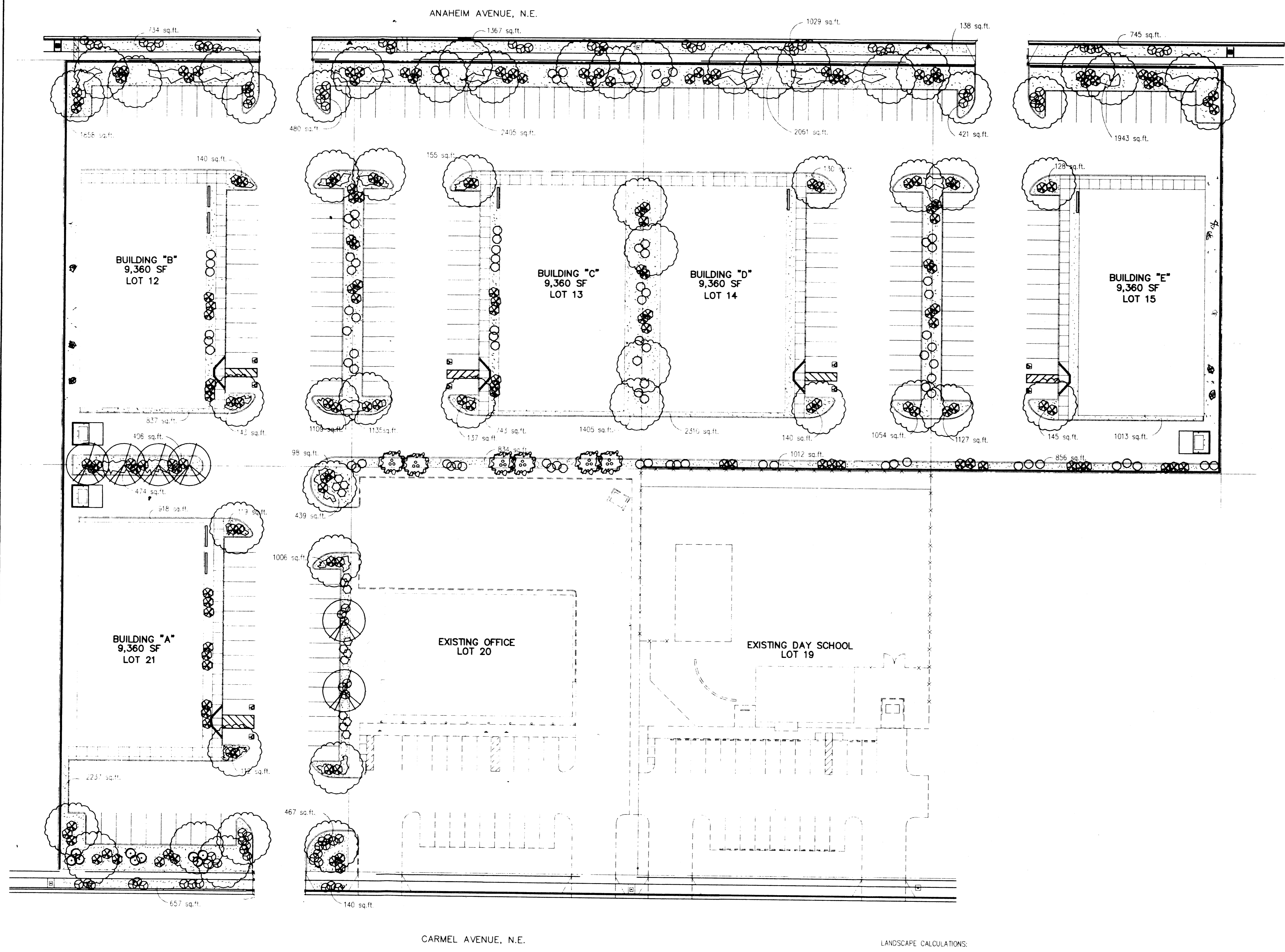
SCALE: 1/8" = 1'-0"




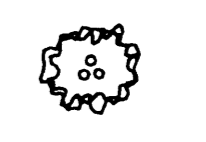
SIDE EAST ELEVATION

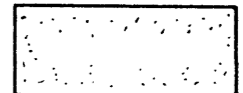
SCALE: 1/8" = 1'-0"

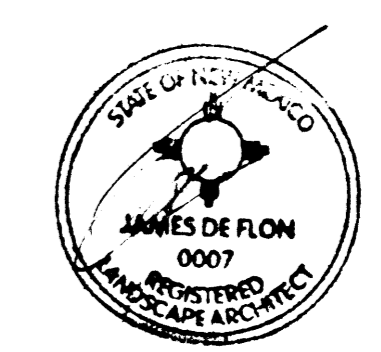
REVISIONS		
CARMEL ENTERPRISES OFFICE COMPLEX		
ENGINEER	PROJECT NO.	DATE
T. LEACH CHECKED	98175	10/14/98
STATE OF NEW MEXICO REGISTERED ARCHITECT TERRY L. LEACH No. 2498		ELEVATIONS
		A2



PLANT LEGEND

- 
 ASH(H) OR HONEY LOCUST (H)
 Fraxinus pennsylvanica
 Gleditsia triacanthos
 2" Cal
- 
 FLOWERING PEACH (H)
 Pyrus calleryana
 2" Cal
- 
 WASHINGTON HAWTHORN (H)
 Crataegus phaenopynum
- 
 INDIAN HAWTHORN (M)
 Raphiolepis indica
 5 gal
- 
 RUSSIAN SAGE (M)
 Perovskia atriplicifolia
 5 gal
- 
 AUTUMN SAGE (M)
 Salvia greggii
 5 gal
- 
 APACHE PLUME (L)
 Fallugia paradoxa
 5 gal
- 
 WILDFLOWER
 1 gal
- 
 TAM JUNIPER (M)
 JUNIPERUS SABINA
 5 gal


 3/4" GREY GRAVEL WITH FILTER FAB



5-26-95

The Hilltop

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of

THE HILLTOP

LANDSCAPE CALCULATIONS:

LOT	LOT A	LOT B	LOT C	LOT D	LOT E
TOTAL LOT AREA	38,536 sq.ft.	37,852 sq.ft.	38,424 sq.ft.	38,535 sq.ft.	37,851 sq.ft.
TOTAL BUILDING AREA	9,360 sq.ft.	9,360 sq.ft.	9,360 sq.ft.	9,360 sq.ft.	9,360 sq.ft.
NET LOT AREA	29,176 sq.ft.	28,492 sq.ft.	29,064 sq.ft.	29,175 sq.ft.	28,491 sq.ft.
LANDSCAPE REQUIREMENT	15%	15%	15%	15%	15%
TOTAL LANDSCAPE REQUIREMENT	4,376 sq.ft.	4,273 sq.ft.	4,359 sq.ft.	4,376 sq.ft.	4,273 sq.ft.
TOTAL LANDSCAPE PROVIDED	6,669 sq.ft.	5,815 sq.ft.	8,181 sq.ft.	7,736 sq.ft.	6,516 sq.ft.
TOTAL BED PROVIDED	6,669 sq.ft.	5,815 sq.ft.	8,181 sq.ft.	7,736 sq.ft.	6,516 sq.ft.

LANDSCAPE PLAN

SCALE: 1" = 30'-0"



NORTH

REVISIONS

CARMEL ENTERPRISES OFFICE PARK

ENGINEER	AV	AV	GRATER	4
CHECKED BY	DRAFTED BY	PROJECT NO.		

LANDSCAPE PLAN

ARCHITECT