

# CARMEL ENTERPRISES OFFICE PARK

5701 CARMEL NE, 5900, 5908, 5916, & 5924 ANAHEIM NE  
ALBUQUERQUE, NM 87113

DECEMBER 1999

## PHASE I

### INDEX OF DRAWINGS

- T1 COVER SHEET
- C1 GENERAL NOTES
- C2 PHASE I GRADING PLAN
- C3 PHASE I DRAINAGE PLAN
- C3.1 PHASE I SITE PLAN
- C3.2 PHASE I TRAFFIC CONTROL ACCESS LANES
- C3.3 PHASE I SEWER AND WATER UTILITY PLAN
- C3.4 PHASE I GAS UTILITY PLAN
- C4 DETAILS
- C5 SITE DETAILS
  
- L1 LANDSCAPE PLAN
  
- A1 BUILDING ELEVATIONS A, B, C, D & E
- A2 ELEVATIONS

**ABQ** Engineering, Inc.  
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4401 Silver SE Albuquerque, NM 87108  
505-255-7802 FAX 505-255-7902

P# 1000236  
00450-00000-00183

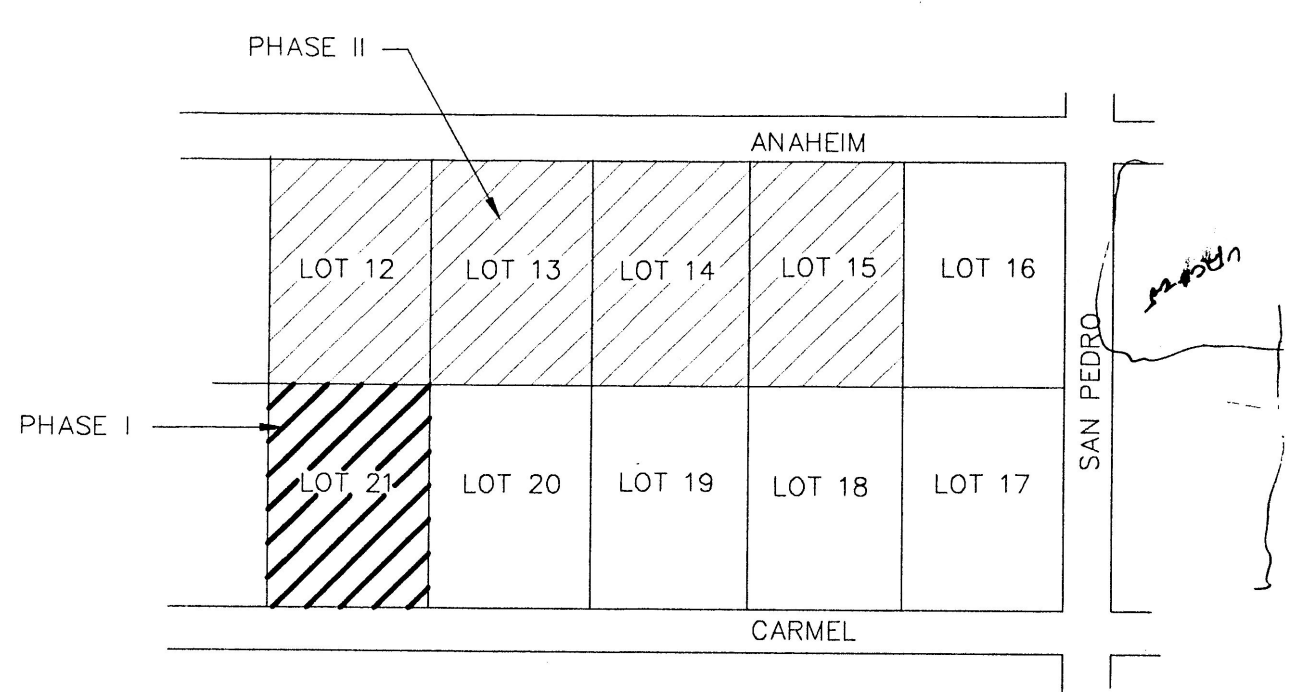
P# 1000236

CASE NUMBER: DRB 99-282

SITE DEVELOPMENT PLAN FOR LOTS 12, 13, 14, 15 AND 21 OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO

<i>Paul Dant</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	3-2-00 DATE
<i>Edward A. Stang</i> DESIGN AND DEVELOPMENT, CIP	3-1-00 DATE
<i>Rogers Green</i> PUBLIC WORKS, WATER UTILITIES DIVISION	3-1-00 DATE
<i>Frank J. Argin</i> CITY ENGINEER, ENGINEERING DIVISION	3-3-00 DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	
<i>Paul Dant</i> CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION	3/3/00 DATE
SOLID WASTE APPROVAL - Note: Possible relocation of Enclosure location. DATE	

THIS IS A SITE DEVELOPMENT PLAN FOR THE I-25 SECTOR DEVELOPMENT PLAN



**ZONE MAP**



REVISIONS			
	<b>CARMEL ENTERPRISES OFFICE PARK</b>		
<b>T. LEACH</b> CHECKED BY	<b>J. KAMPS</b> DRAFTED BY	<b>99160</b> PROJECT NO	<b>1/27/2000</b> DATE
<b>COVER SHEET</b>			
ARCHITECT			T1

Drainage Calculations

1. SEE REPORT

Bench Mark

TOPOGRAPHIC SURVEY PROVIDED BY ANDREW MEDINA P.S.  
ACS BENCHMARK No. 11-D18, ELEV 5235.67

PROJECT BENCHMARK - SOUTH BONNET BOLT ON THE  
HYDRANT NEAR LOTS 20-21 PROPERTY LINE ON CARMEL  
ELEVATION: 5228.52

Legend

- 5225 --- EXISTING CONTOUR
- 20 — PROPOSED CONTOUR
- DRAINAGE BASIN BOUNDARY
- EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER
- PROPOSED DRAINAGE EASEMENT
- PROPOSED SPOT ELEVATIONS AND TO TOP OF CURB
- FL FLOW LINE
- TC TOP OF CURB
- TBC TOP OF BACK CURB

Grading And Drainage Plan

PURPOSE AND SCOPE

PURSUANT TO THE DRAINAGE ORDINANCE FOR THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THE GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE.

THE PROPERTY IS TO BE DEVELOPED AS AN OFFICE COMPLEX ON LOTS 12, 13, 14, 15 AND 21.

EXISTING CONDITIONS

THE SITE IS PRESENTLY UNDEVELOPED. SITE TOPO SLOPES FROM EAST TO WEST AT APPROXIMATELY 3.0%. THE SITE IS SPARSELY COVERED BY NATIVE VEGETATION. THE AFIXED FLOODWAY PANEL INDICATES THAT THERE IS A FLOOD HAZARD ZONE ON OR ADJACENT TO THE SITE. SEE DRAINAGE REPORT FOR CLARIFICATION. THE LOTS ARE APPROXIMATELY 0.89 ACRES EACH.

DEVELOPED CONDITIONS

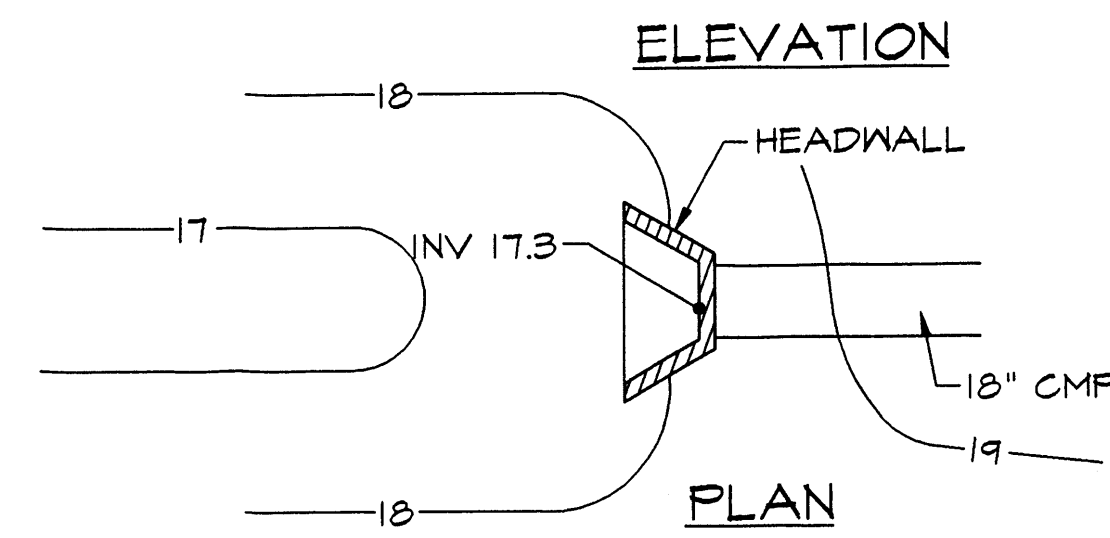
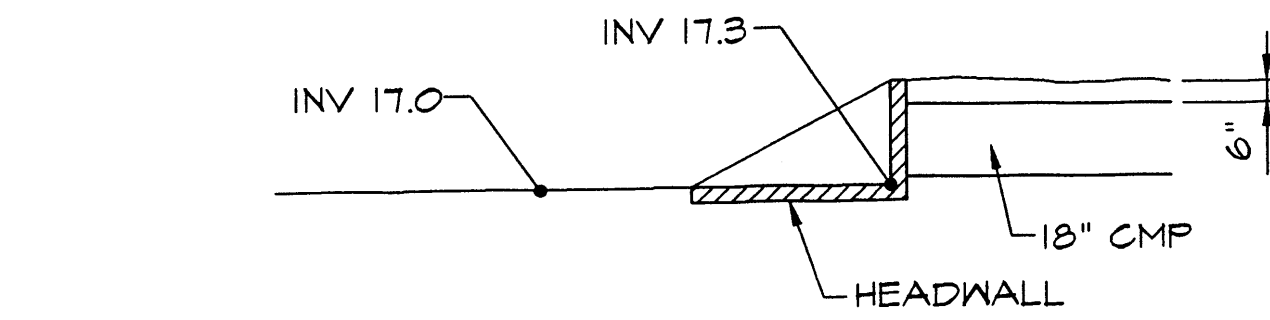
LOTS 12, 13, 14, 15 AND 21 WILL BE OFFICE BUILDING SITES. IT WAS DECIDED TO DRAIN THE STORM FLOW FROM THE BACK OF LOTS 12, 13, 14, 15, 16, 20, 21 AND PART OF LOT 19 TO ANAHEIM STREET. PONDING ON LOT 12 WILL BE SUFFICIENT TO REDUCE DEVELOPED FLOWS BELOW THE LEVEL OF UNDEVELOPED HISTORIC FLOWS FOR THE PROJECT SITE.

EROSION CONTROL

TEMPORARY EROSION CONTROL WILL BE REQUIRED DURING CONSTRUCTION TO CONTROL THE DISCHARGE OF SEDIMENT INTO THE PUBLIC STREET DRAINAGE NETWORK.

Drainage Plan Notes

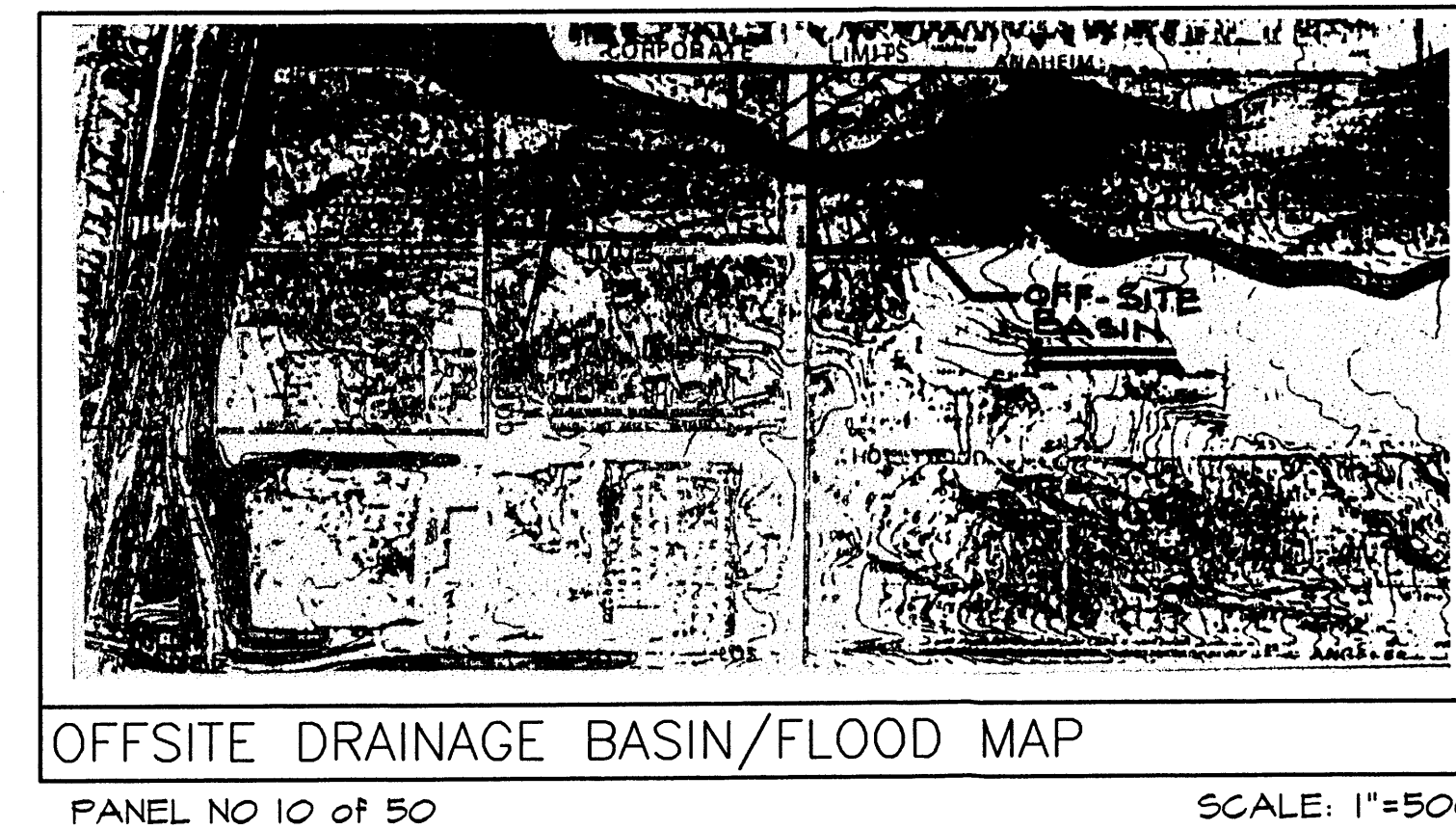
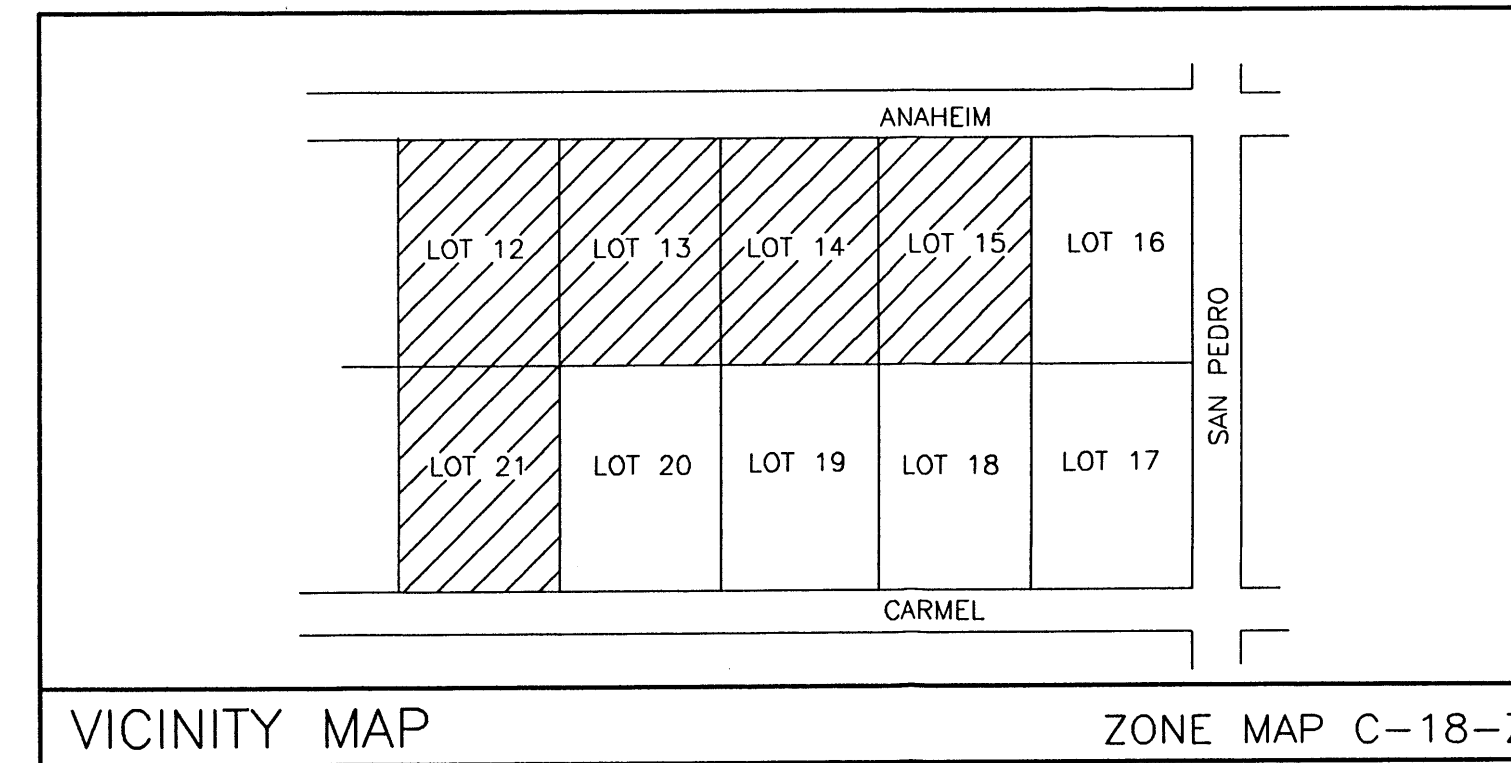
1. THE PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
2. IRRIGATION WITHIN 10 FEET OF ANY PROPOSED STRUCTURE IS NOT RECOMMENDED. INTRODUCTION OF IRRIGATION WATER TO SUBSURFACE SOILS ADJACENT TO THE STRUCTURE COULD CAUSE SETTLEMENT.
3. THIS PLAN IS PREPARED TO ESTABLISH ON-SITE DRAINAGE AND GRADING CRITERIA ONLY. ABQ ASSUMES NO RESPONSIBILITY FOR SUBSURFACE ANALYSIS, FOUNDATION/STRUCTURAL DESIGN, OR UTILITY DESIGN.
4. LOCAL CODES MAY REQUIRE ALL FOOTINGS TO BE PLACED IN NATURAL UNDISTURBED SOIL. IF THE CONTRACTOR PLANS TO PLACE FOOTINGS ON ENGINEERED FILL, A CERTIFICATION BY A REGISTERED PROFESSIONAL ENGINEER WILL BE REQUIRED.



**HEADWALL DETAIL**

SCALE: 1/4" = 1'-0"

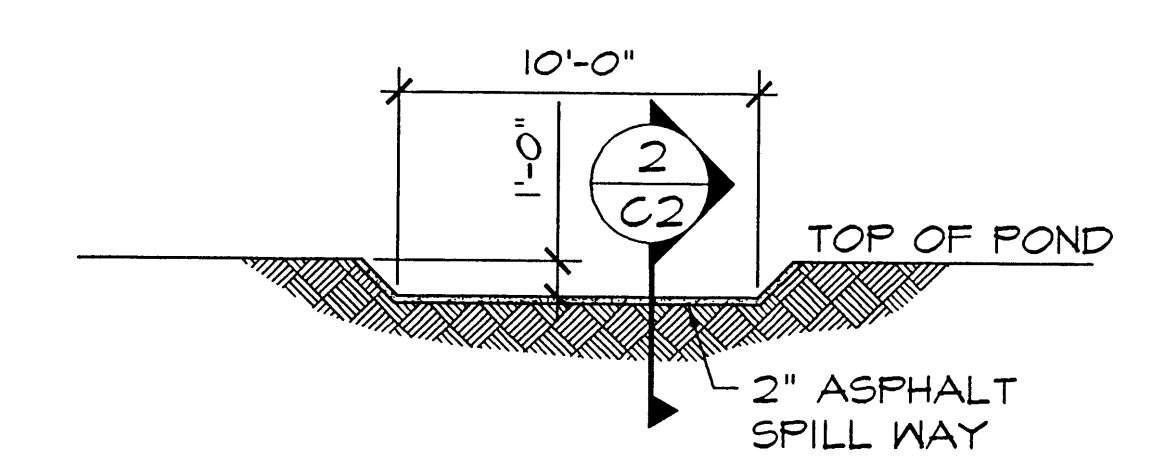
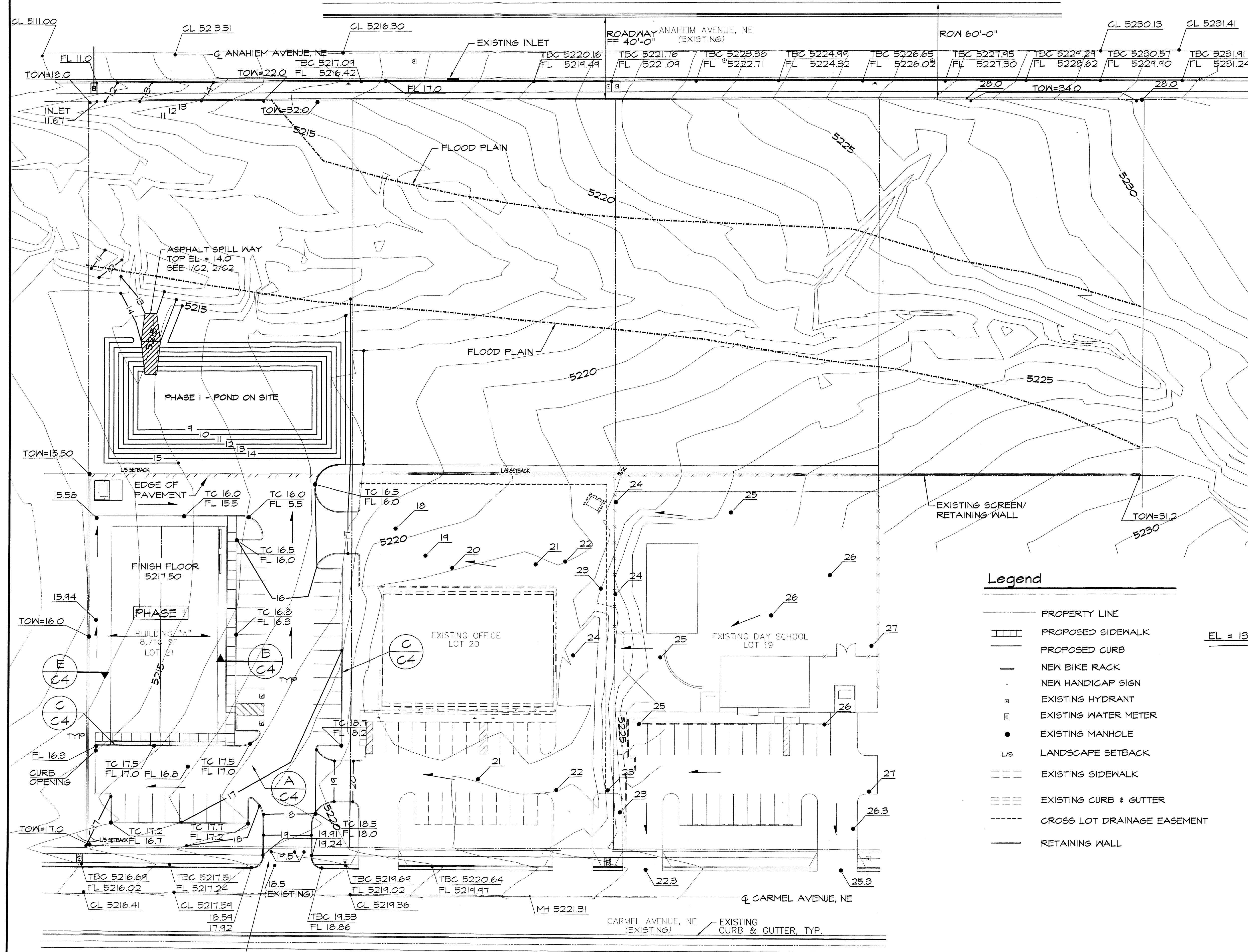
A  
C4



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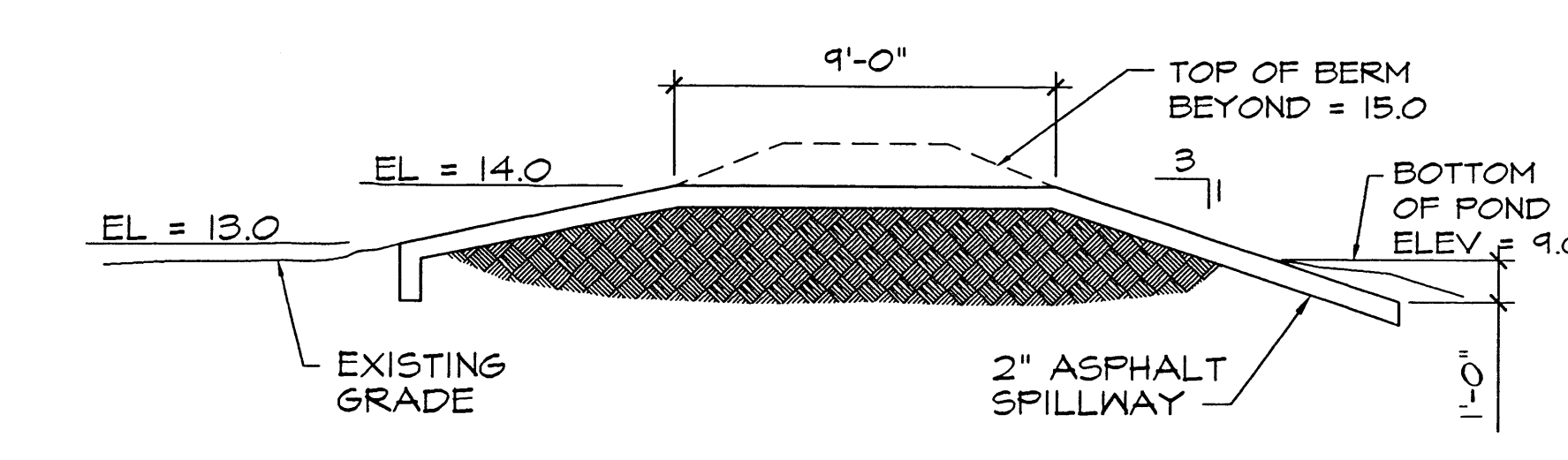
REVISIONS

	<p><b>CARMEL ENTERPRISES OFFICE PARK</b></p>
<p>S KNEE CHECKED BY</p>	<p>F PHILLIPS DRAFTED BY</p>
<p>99160 PROJECT NO</p>	<p>12/8/99 DATE</p>
<p>ARCHITECT</p>	<p><b>GENERAL NOTES</b></p> <p style="text-align: right;">C1</p>



**SPILL WAY SECTION**  
 SCALE: 3/8" = 1'-0"  
 1  
 C2

- Legend**
- PROPERTY LINE
  - ▤ PROPOSED SIDEWALK
  - PROPOSED CURB
  - NEW BIKE RACK
  - NEW HANDICAP SIGN
  - ⊕ EXISTING HYDRANT
  - ⊕ EXISTING WATER METER
  - EXISTING MANHOLE
  - L/S LANDSCAPE SETBACK
  - - - EXISTING SIDEWALK
  - ≡≡≡ EXISTING CURB & GUTTER
  - - - - - CROSS LOT DRAINAGE EASEMENT
  - RETAINING WALL

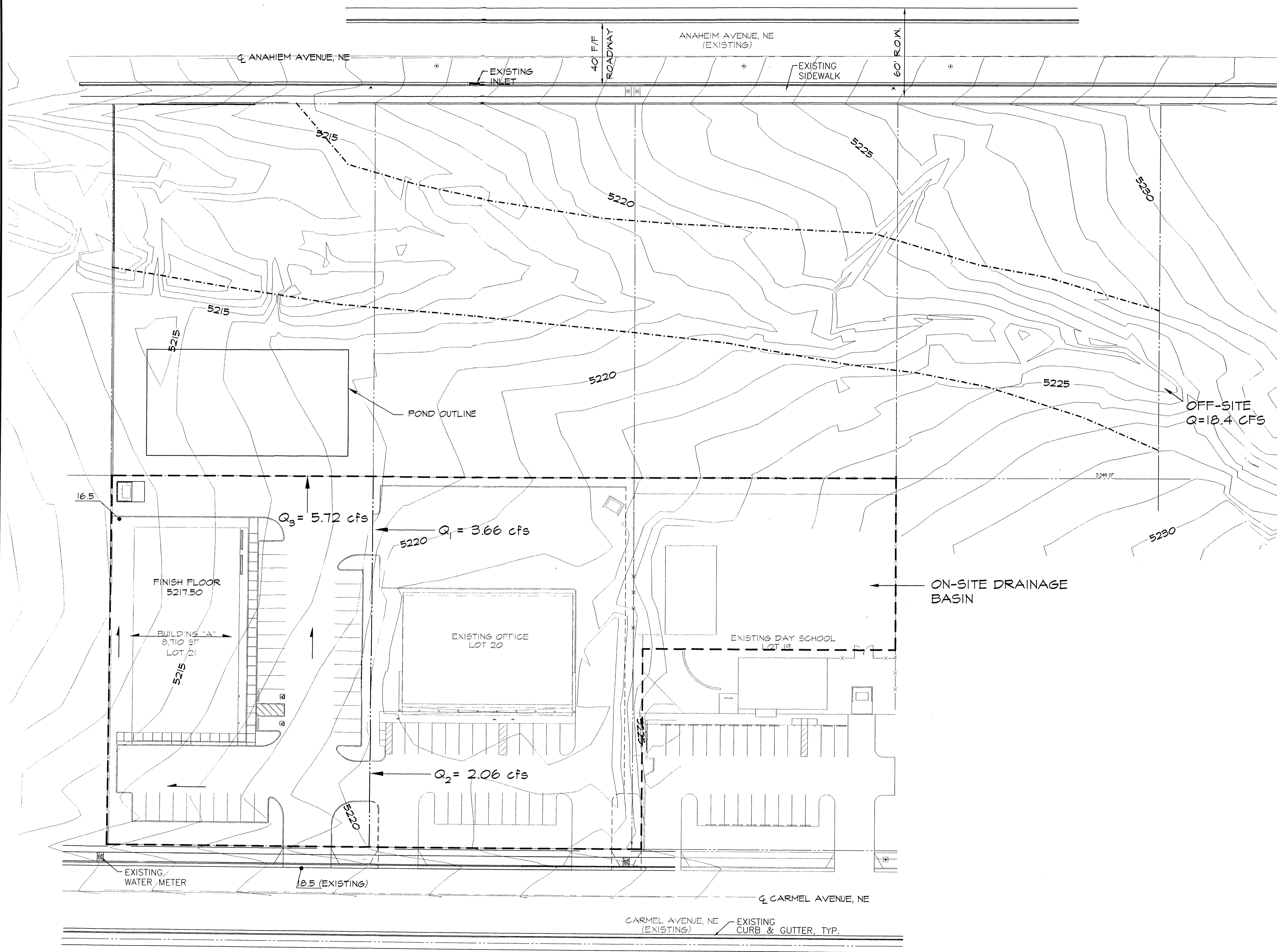


**SECTION**  
 SCALE: 1/4" = 1'-0"  
 2  
 C2

**GRADING PLAN**  
 SCALE: 1" = 30'  
 0 10 20 30 60  
 SCALE: 1" = 30'  
 NORTH

REVISIONS			
<b>CARMEL ENTERPRISES OFFICE PARK</b>			
	<b>S. KNEE</b> CHECKED BY		<b>F PHILLIPS</b> DRAFTED BY
	<b>99160</b> PROJECT NO		<b>1/27/2000</b> DATE
ARCHITECT		<b>PHASE I GRADING PLAN</b>	
			C2

- Legend**
- PROPERTY LINE
  - ▤ PROPOSED SIDEWALK
  - PROPOSED CURB
  - NEW BIKE RACK
  - NEW HANDICAP SIGN
  - EXISTING HYDRANT
  - EXISTING WATER METER
  - EXISTING MANHOLE
  - L/S LANDSCAPE SETBACK
  - EXISTING SIDEWALK
  - ≡≡≡ EXISTING CURB & GUTTER
  - - - - - CROSS LOT DRAINAGE EASEMENT
  - - - - - DRAINAGE EASEMENT
  - ▨ PONDING AREA
  - - - - - EXISTING FLOOD PLAIN

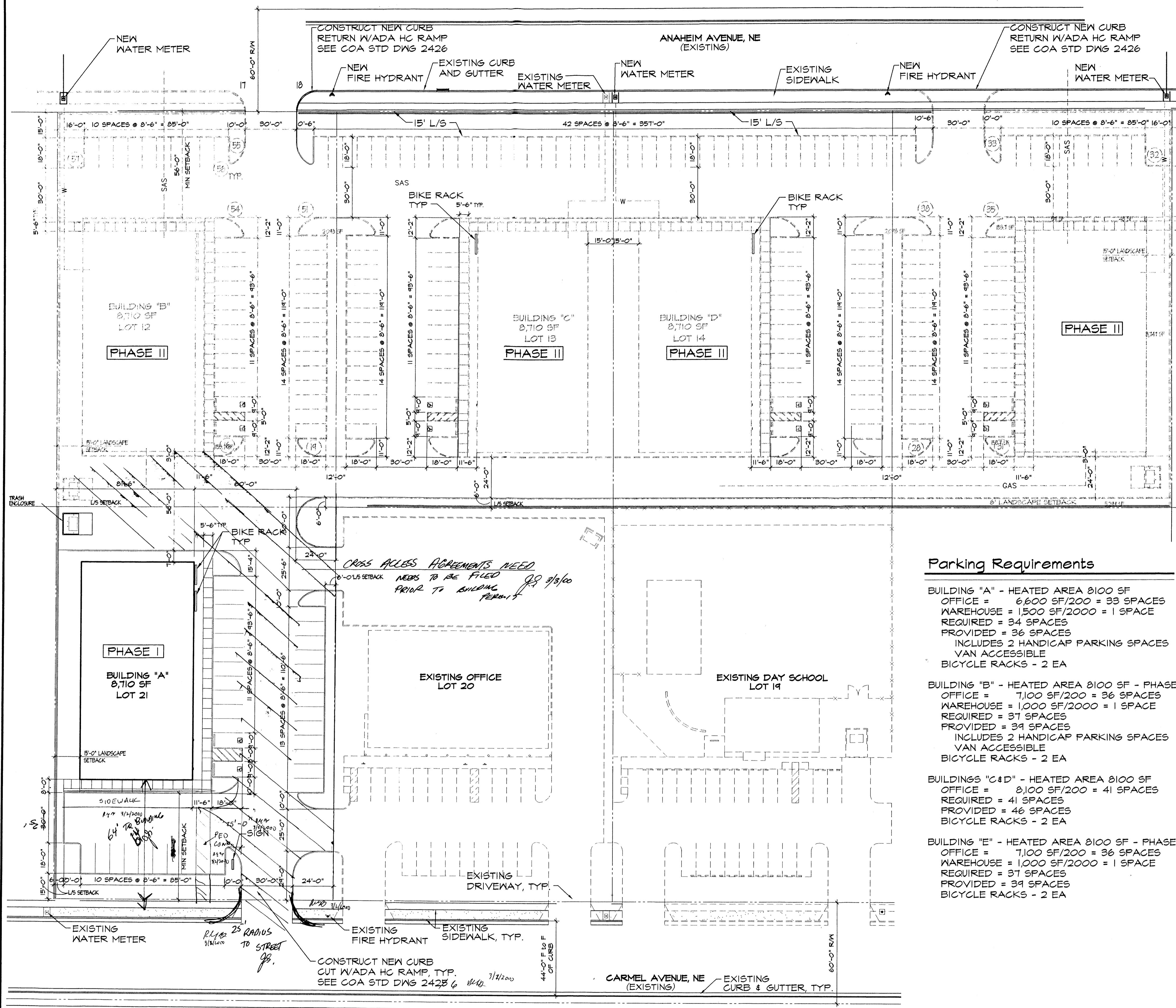


**DRAINAGE PLAN - PHASE I & II**

SCALE: 1 : 30  
 0 10 20 30 60  
 SCALE: 1 : 30



REVISIONS			
	<b>CARMEL ENTERPRISES OFFICE PARK</b>		
	S. KNEE CHECKED BY	F. PHILLIPS DRAFTED BY	99160 PROJECT NO.
		1/27/2000 DATE	<b>ON-SITE DRAINAGE BASIN</b>
ARCHITECT		C3	



**Site Data**

LAND AREA: 4.432 ACRES  
 PROPOSED USAGE: OFFICE/ WAREHOUSE  
 BUILDING TYPE: VN  
 DRIVEWAY: 30'  
 SIDEWALKS: 6'

**Notes**

- SEE ATTACHED ARCH SHEET FOR BUILDING ELEVATIONS
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED IF-SUI THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE OF THE LANDSCAPING AND IRRIGATION, INCLUDING THAT LOCATED WITHIN THE ABUTTING PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE ADJACENT PRIVATE PROPERTY OWNER.
- SITE LIGHTING WILL CONSIST OF BUILDING MOUNTED HPS FIXTURES AND WALKWAY AREA LIGHTS. ALL EXTERIOR LIGHTING SHALL NOT SHINE PAST PROPERTY LINES.
- ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE. THE PROJECT SHALL HAVE ILLUMINATED PROJECT IDENTIFICATION SIGNAGE AT THE MAIN ENTRANCE. MAXIMUM MONUMENT SIGNAGE AREA SHALL BE 100 SQ FT EACH FACE. SIGNAGE SHALL ADHERE TO O-1 (OFFICE) ZONE REQUIREMENTS (SECTION 14-16-2-15(A)(16)) AND SHALL BE INTERNALLY ILLUMINATED WITH INDIVIDUAL LETTERING. THE AMOUNT OF MONUMENT SIGNS SHALL ALSO MEET THE REQUIREMENTS OF THE O-1 ZONE.
- ALL SIDEWALKS ON SITE SHALL BE MONOLITHIC TURN-DOWN UNLESS OTHERWISE SHOWN. ALL THE SIDEWALKS ARE TO BE CONSTRUCTED WITH EACH BUILDING.

**Parking Requirements**

**BUILDING "A" - HEATED AREA 8100 SF**  
 OFFICE = 6,600 SF/200 = 33 SPACES  
 WAREHOUSE = 1,500 SF/2000 = 1 SPACE  
 REQUIRED = 34 SPACES  
 PROVIDED = 36 SPACES  
 INCLUDES 2 HANDICAP PARKING SPACES  
 VAN ACCESSIBLE  
 BICYCLE RACKS - 2 EA

**BUILDING "B" - HEATED AREA 8100 SF - PHASE II**  
 OFFICE = 7,100 SF/200 = 36 SPACES  
 WAREHOUSE = 1,000 SF/2000 = 1 SPACE  
 REQUIRED = 37 SPACES  
 PROVIDED = 39 SPACES  
 INCLUDES 2 HANDICAP PARKING SPACES  
 VAN ACCESSIBLE  
 BICYCLE RACKS - 2 EA

**BUILDINGS "C&D" - HEATED AREA 8100 SF**  
 OFFICE = 8,100 SF/200 = 41 SPACES  
 REQUIRED = 41 SPACES  
 PROVIDED = 46 SPACES  
 BICYCLE RACKS - 2 EA

**BUILDING "E" - HEATED AREA 8100 SF - PHASE II**  
 OFFICE = 7,100 SF/200 = 36 SPACES  
 WAREHOUSE = 1,000 SF/2000 = 1 SPACE  
 REQUIRED = 37 SPACES  
 PROVIDED = 39 SPACES  
 BICYCLE RACKS - 2 EA

**Legal Description**

LOTS 12, 13, 14, 15 AND 21 BLOCK 16, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES, WITHIN SECTION 13, TOWNSHIP II, RANGE 3, EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ZONE ATLAS MAP C-18-Z

**UPC Numbers**

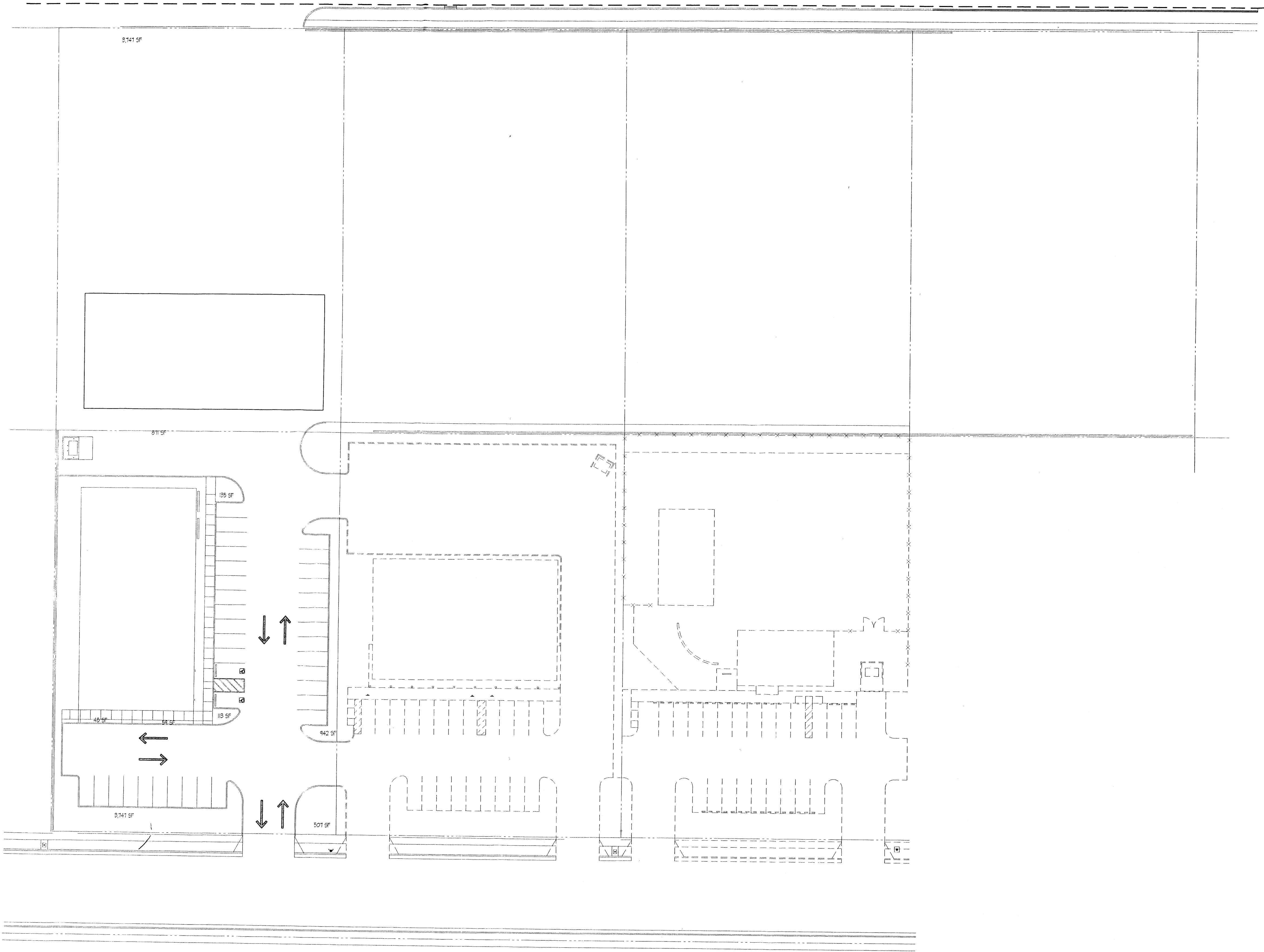
LOT 12	1081 064 238 144 306 12
LOT 13	1081 064 212 144 306 13
LOT 14	1081 064 205 144 306 14
LOT 15	1081 064 189 144 306 15
LOT 21	1081 064 189 162 306 06

**Landscape**

REFERENCE SHEET LI - HILLTOP LANDSCAPING SHEET FOR LANDSCAPING PLAN

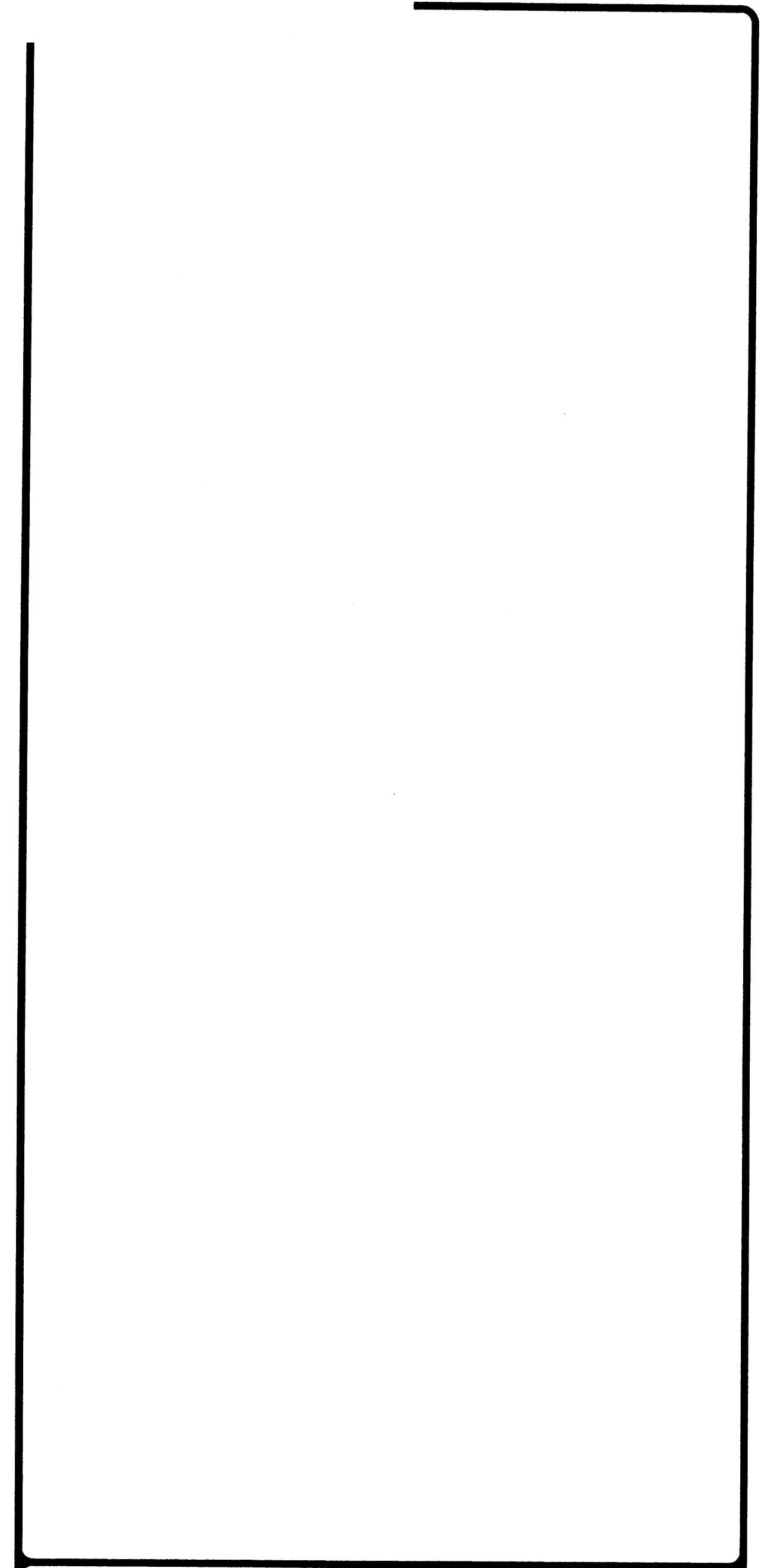
**SITE PLAN - PHASE I**  
 SCALE: 1" = 30'-0"  
 0 10 20 30 60  
 SCALE: 1" = 30'  
  
 NORTH

REVISIONS			
		<b>CARMEL ENTERPRISES OFFICE PARK</b>	
T. LEACH CHECKED BY	F. PHILLIPS DRAFTED BY	99160 PROJECT NO	1/27/2000 DATE
ARCHITECT		<b>PHASE I SITE PLAN</b> C3.1	

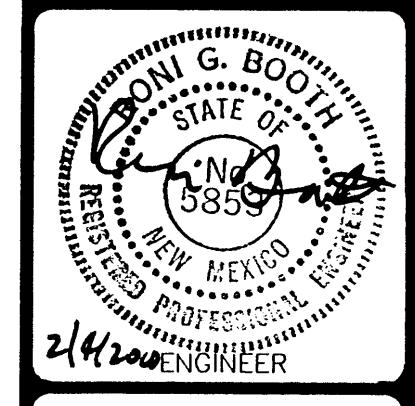


**TRAFFIC CONTROL ACCESS LANES**

SCALE: 1/8" = 1'-0"  
 0 10 20 30 60  
 SCALE: 1:30



REVISIONS



**CARMEL ENTERPRISES  
OFFICE PARK**

**S. KNEE**  
CHECKED BY

**F. PHILLIPS**  
DRAFTED BY

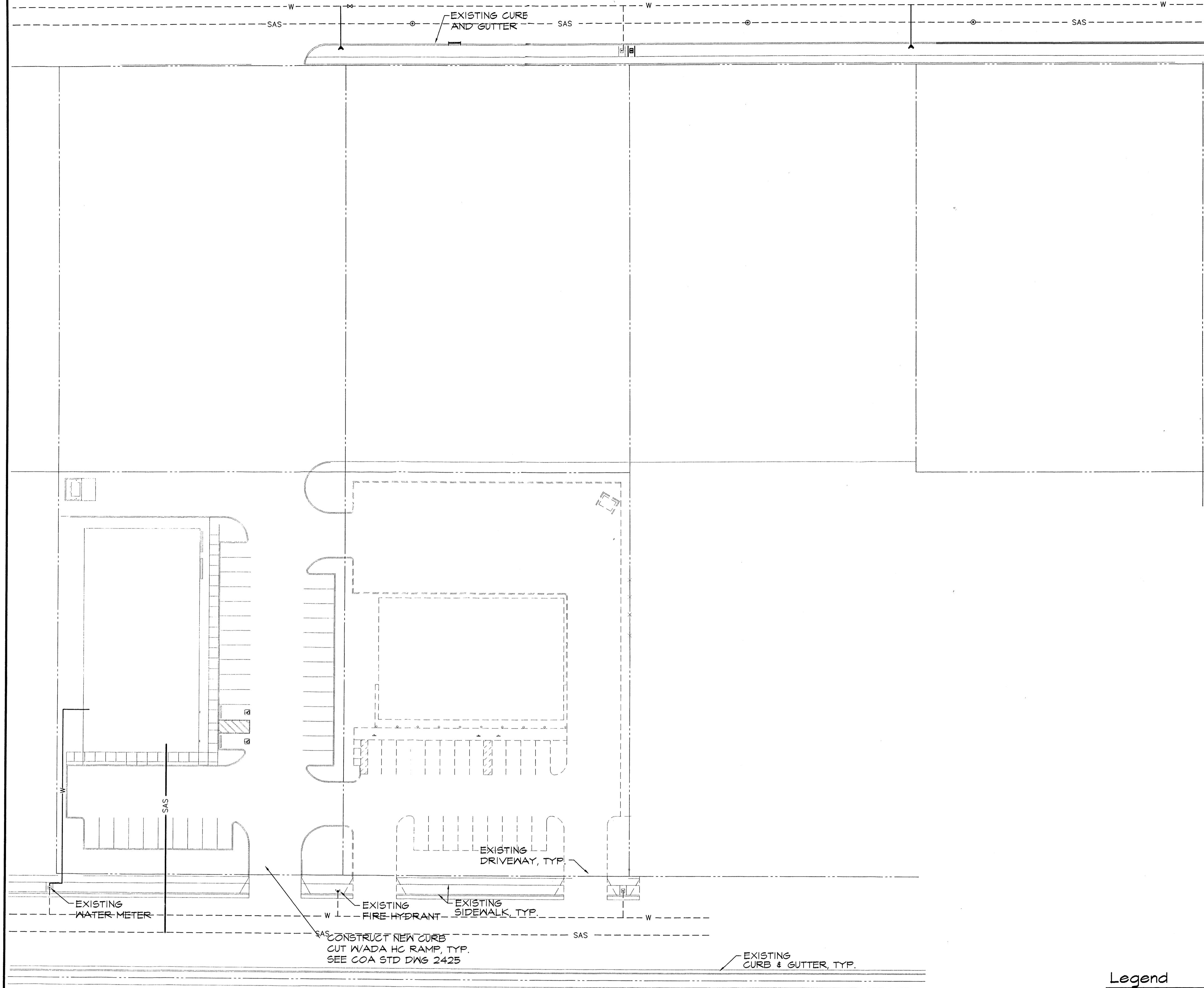
**44160**  
PROJECT NO.

**1/27/2000**  
DATE

**TRAFFIC CONTROL  
ACCESS LANES**

ARCHITECT

**C3.2**



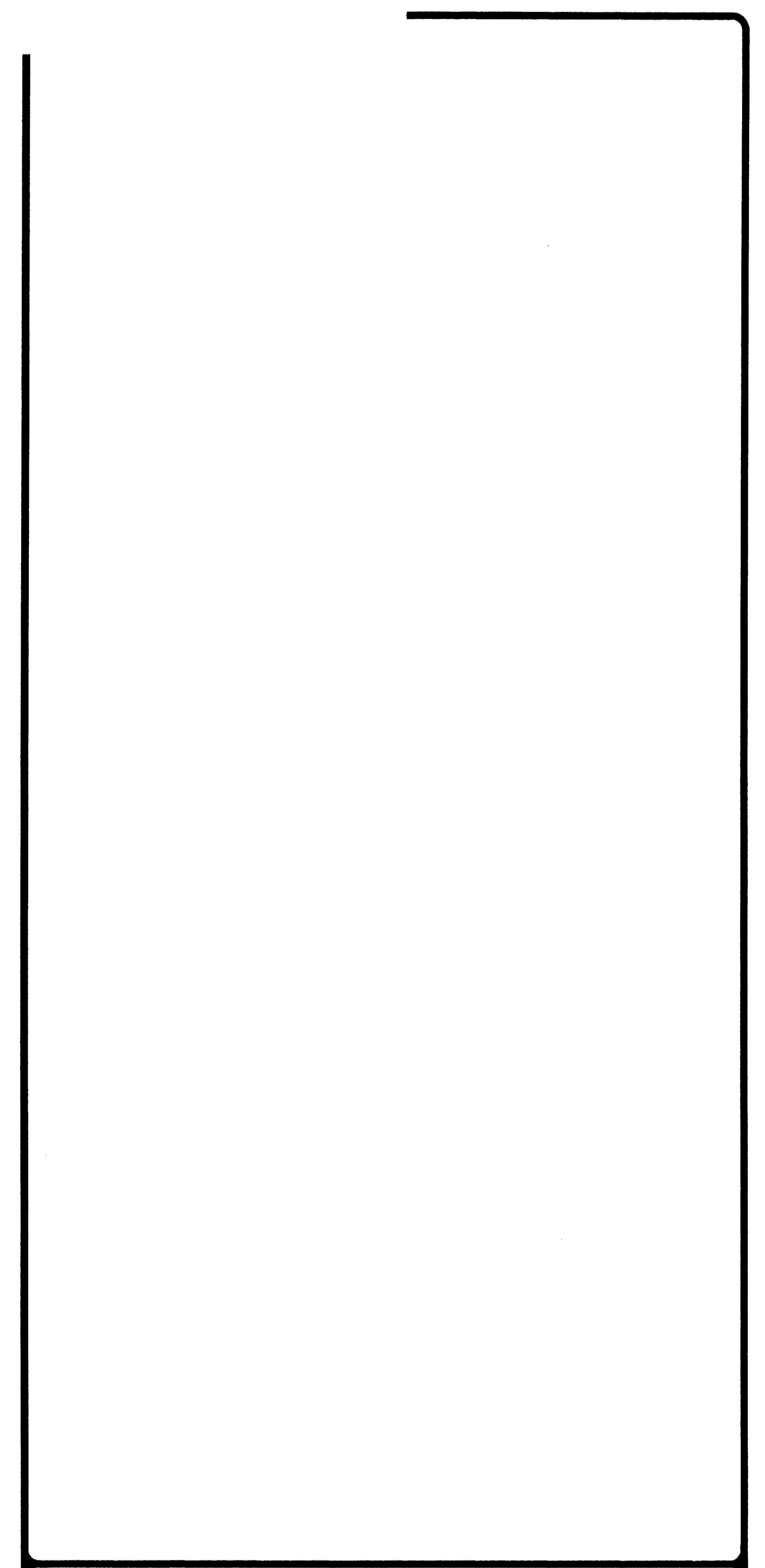
**UTILITY PLAN**

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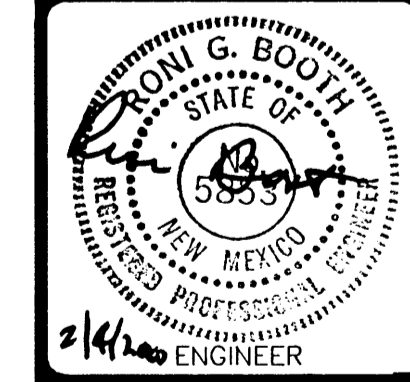


Legend

- EXISTING UTILITIES
- W — NEW WATER LINE
- SAS — NEW SANITARY SEWER LINE
- - - - - PROPOSED 10' EASMENT
- EXISTING MANHOLE
- ▲ NEW FIRE HYDRANT



REVISIONS



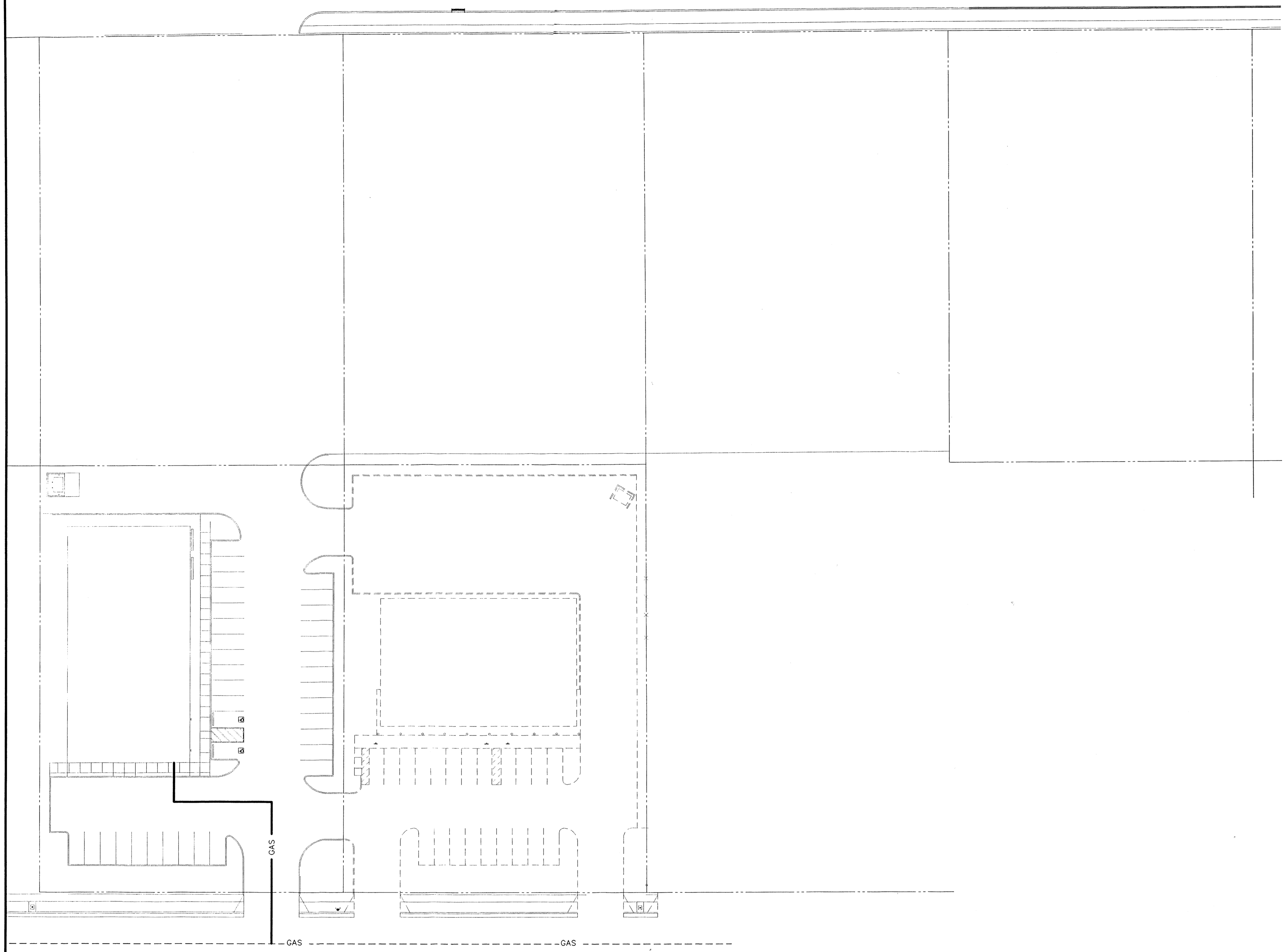
**CARMEL ENTERPRISES  
OFFICE PARK**

<b>S KNEE</b> CHECKED BY	<b>F PHILLIPS</b> DRAFTED BY	<b>99160</b> PROJECT NO	<b>1/27/2000</b> DATE
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**PHASE I  
SEWER & WATER  
UTILITY PLAN**

ARCHITECT

**C3.3**



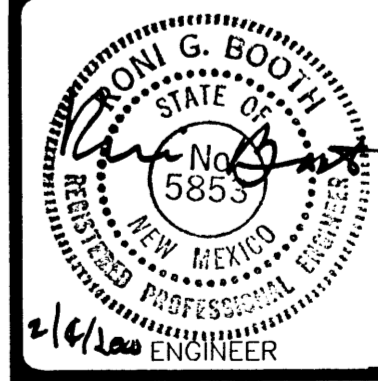
**GAS UTILITY PLAN**

SCALE: 1" = 30'-0"

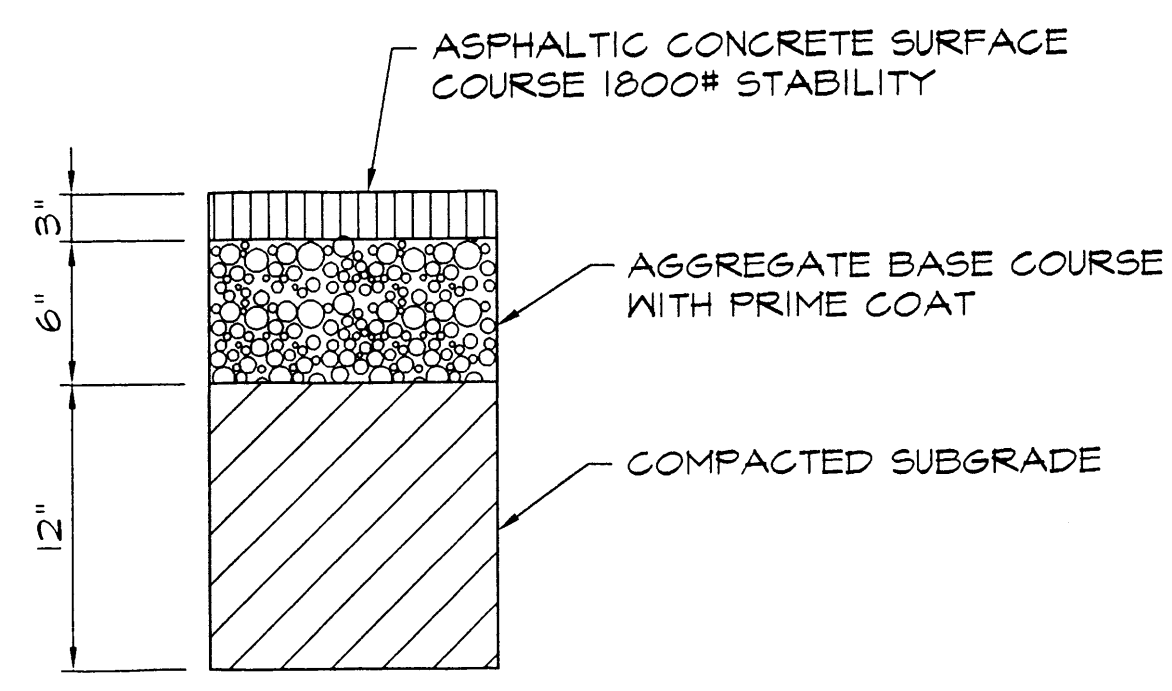


Legend

- EXISTING UTILITIES
- GAS — NEW GAS LINE
- · - · - PROPOSED 10' EASMENT

REVISIONS			
		<b>CARMEL ENTERPRISES OFFICE PARK</b>	
<b>S. KNEE</b> CHECKED BY	<b>F. PHILLIPS</b> DRAFTED BY	<b>99160</b> PROJECT NO	<b>1/27/2000</b> DATE
<b>PHASE I GAS UTILITY PLAN</b>		<b>C3.4</b>	
<small>ARCHITECT</small>			

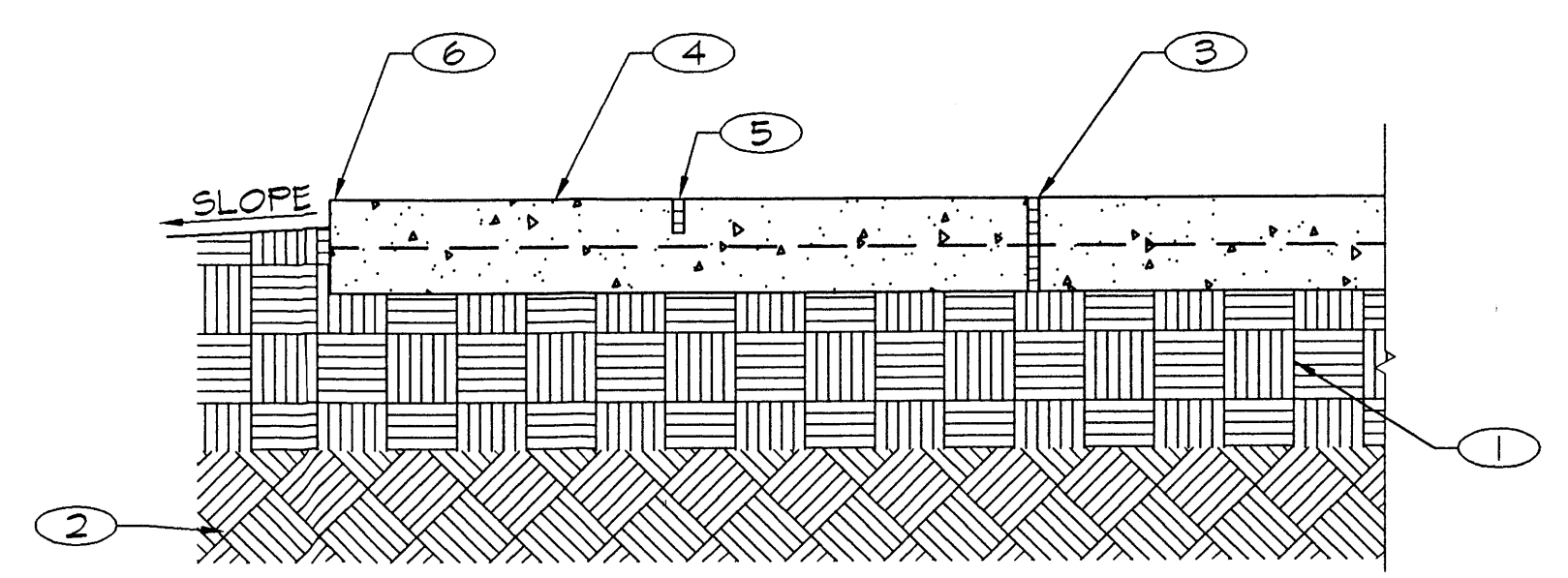




**PAVING DETAIL**

SCALE: 1 1/2" = 1'-0"

A  
C4

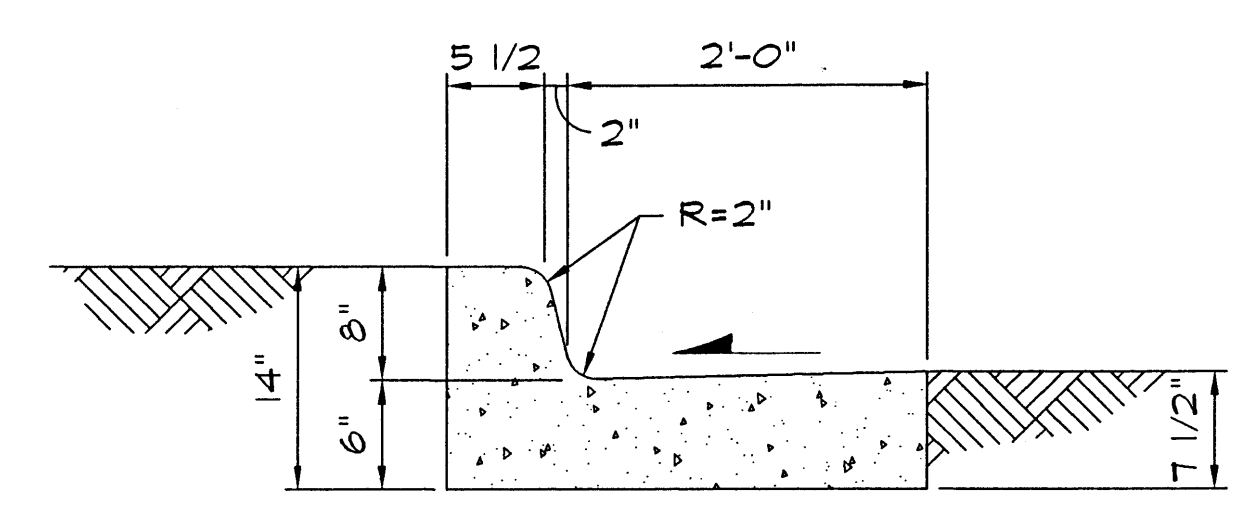


NOTE: PROVIDE TRANSVERSE CONTROL JOINTS AT INTERVALS NOT EXCEEDING 6'-0" ON CENTER, PROVIDE CENTERLINE CONTROL JOINTS IN SIDEWALK WIDER THAN 8'-0". SPACING OF CENTERLINE CONTROL JOINTS SHALL NOT EXCEED 6'-0" OR AS SHOWN ON PLANS. PROVIDE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING 20'-0" ON CENTER, WHERE WALK DOES NOT ABUT CURB, REINFORCE WITH 6x6 W2.9xW2.9 WWF.

**CONCRETE WALKS**

SCALE: 1 1/2" = 1'-0"

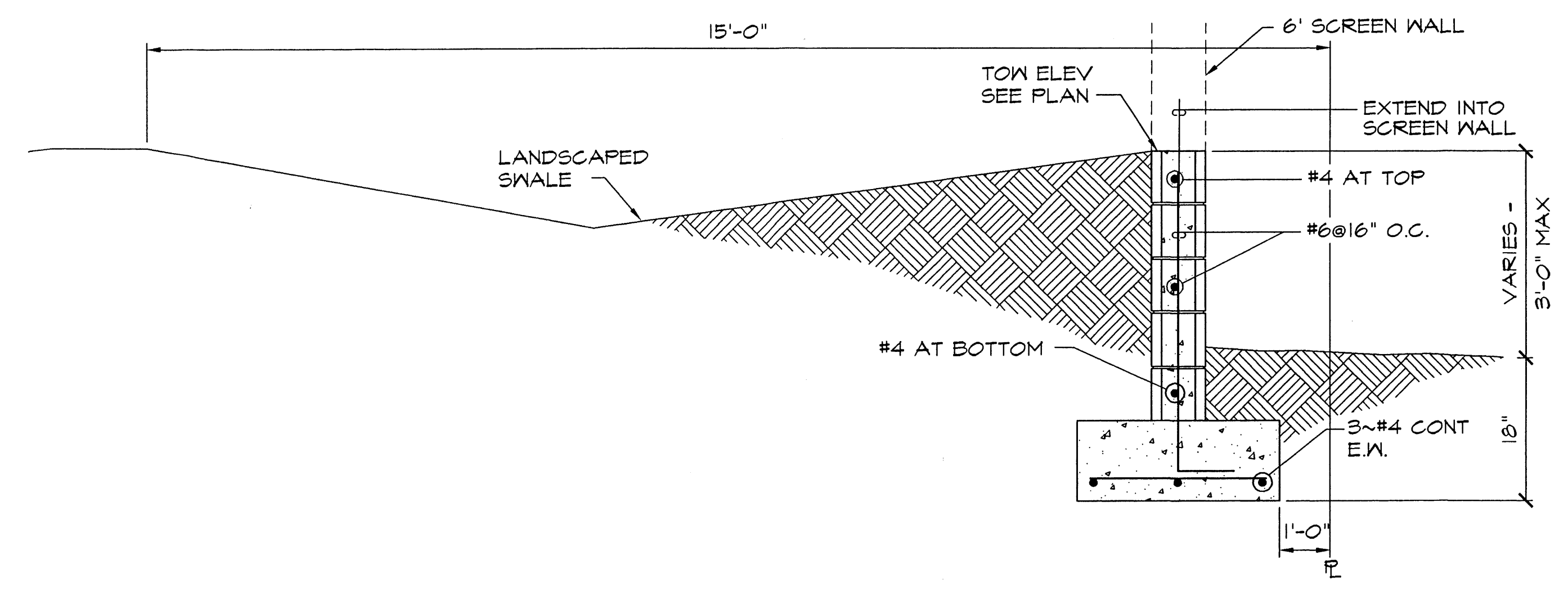
B  
C4



**CURB AND GUTTER**

NOT TO SCALE

C  
C4



**SECTION**

NOT TO SCALE

E  
C4

**NOT USED**

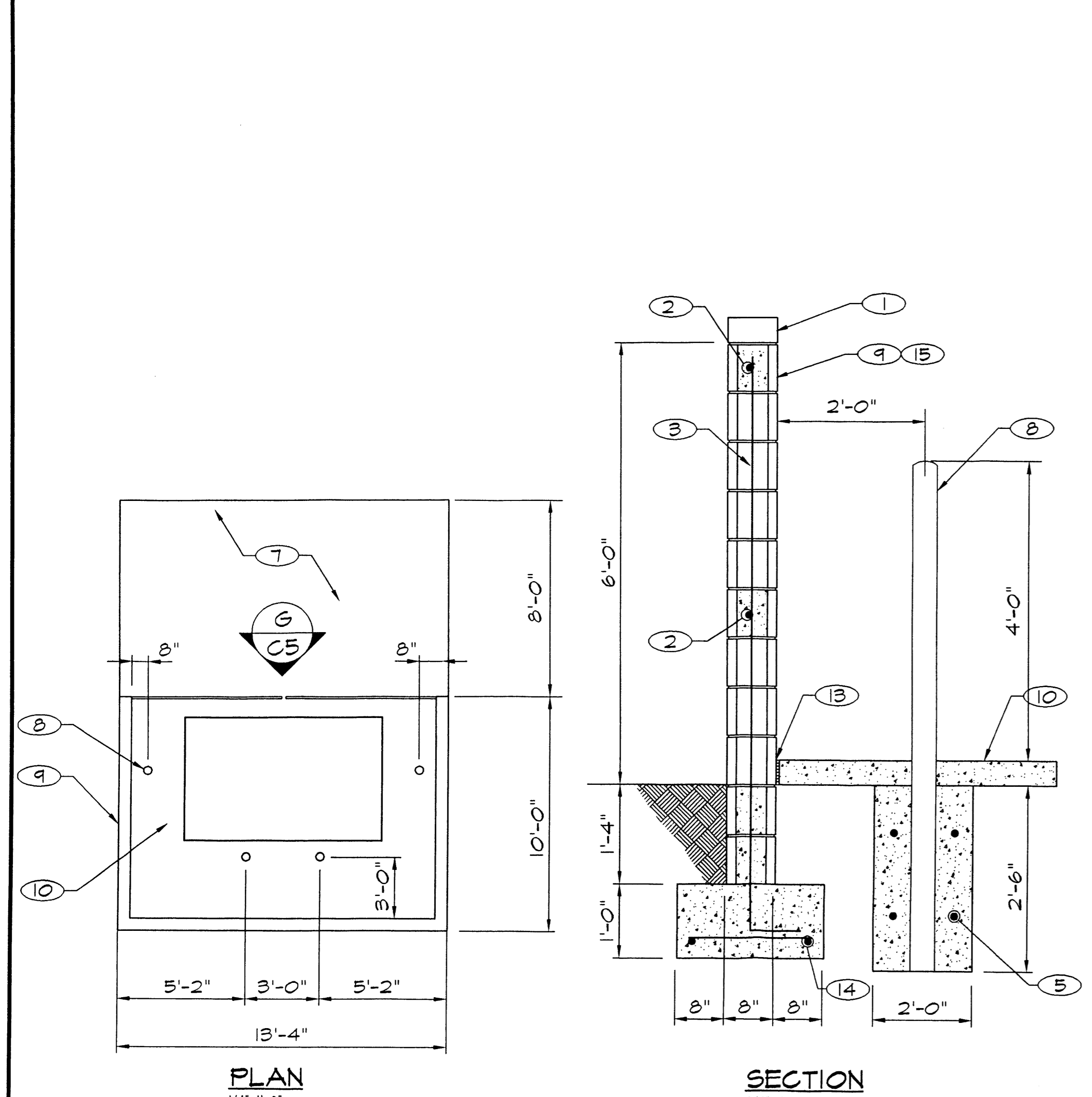
NOT TO SCALE

D  
C4

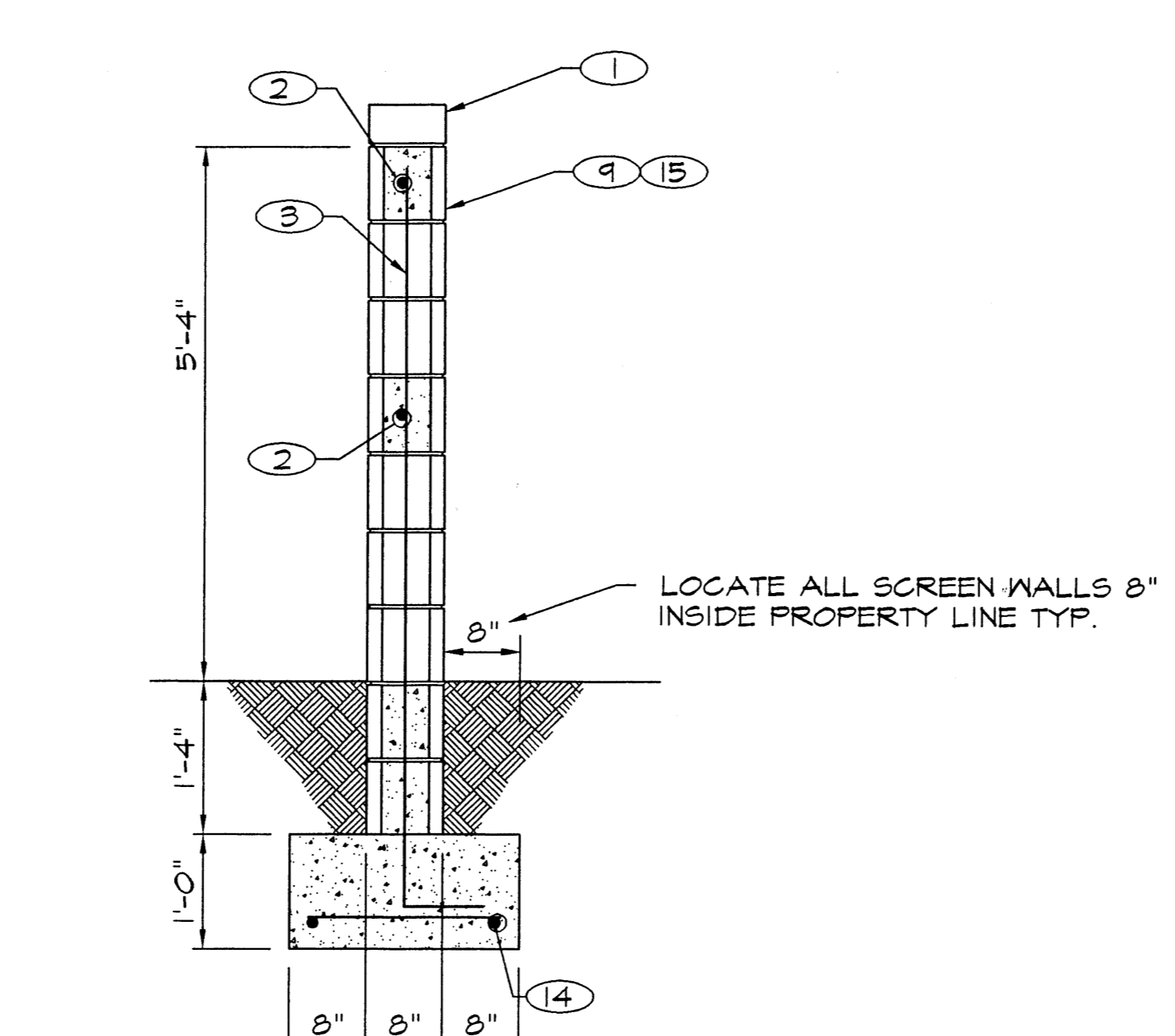
- Keyed Notes
- 8" COMPACTED NATIVE SOIL.
  - NATIVE SOIL.
  - 1/2" EXPANSION JOINT FILLER WITH 1/4" RADIUS EDGES. WATERPROOF SEALANT AT BUILDING PERIMETER ONLY.
  - 4" CONCRETE PAVING (SLOPE AT 2% TYP) WITH W2.9xW2.9 WWF.
  - CONTROL JOINTS.
  - TOOL EDGE WITH 1/4" DIA FINISHING TOOL

REVISIONS

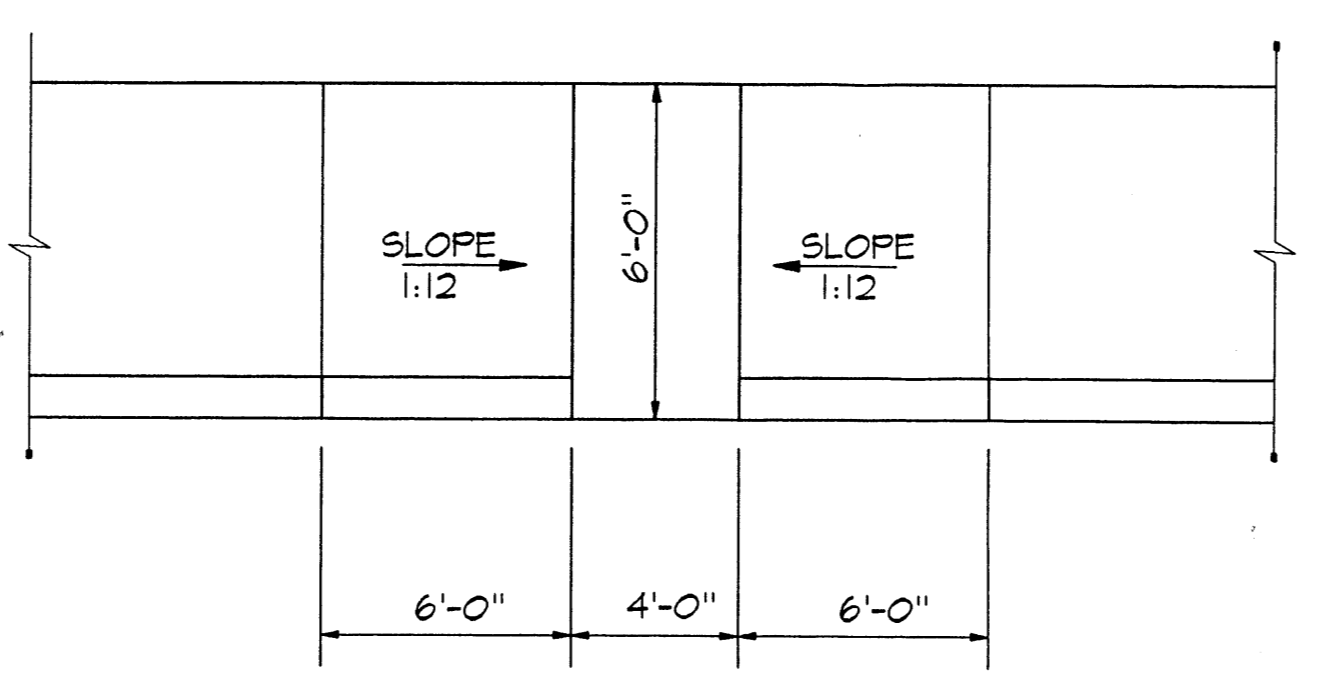
	<b>CARMEL ENTERPRISES OFFICE PARK</b>		
	S. KNEE CHECKED BY	F PHILLIPS DRAFTED BY	99160 PROJECT NO
ARCHITECT	<b>DETAILS</b>		
	C4		



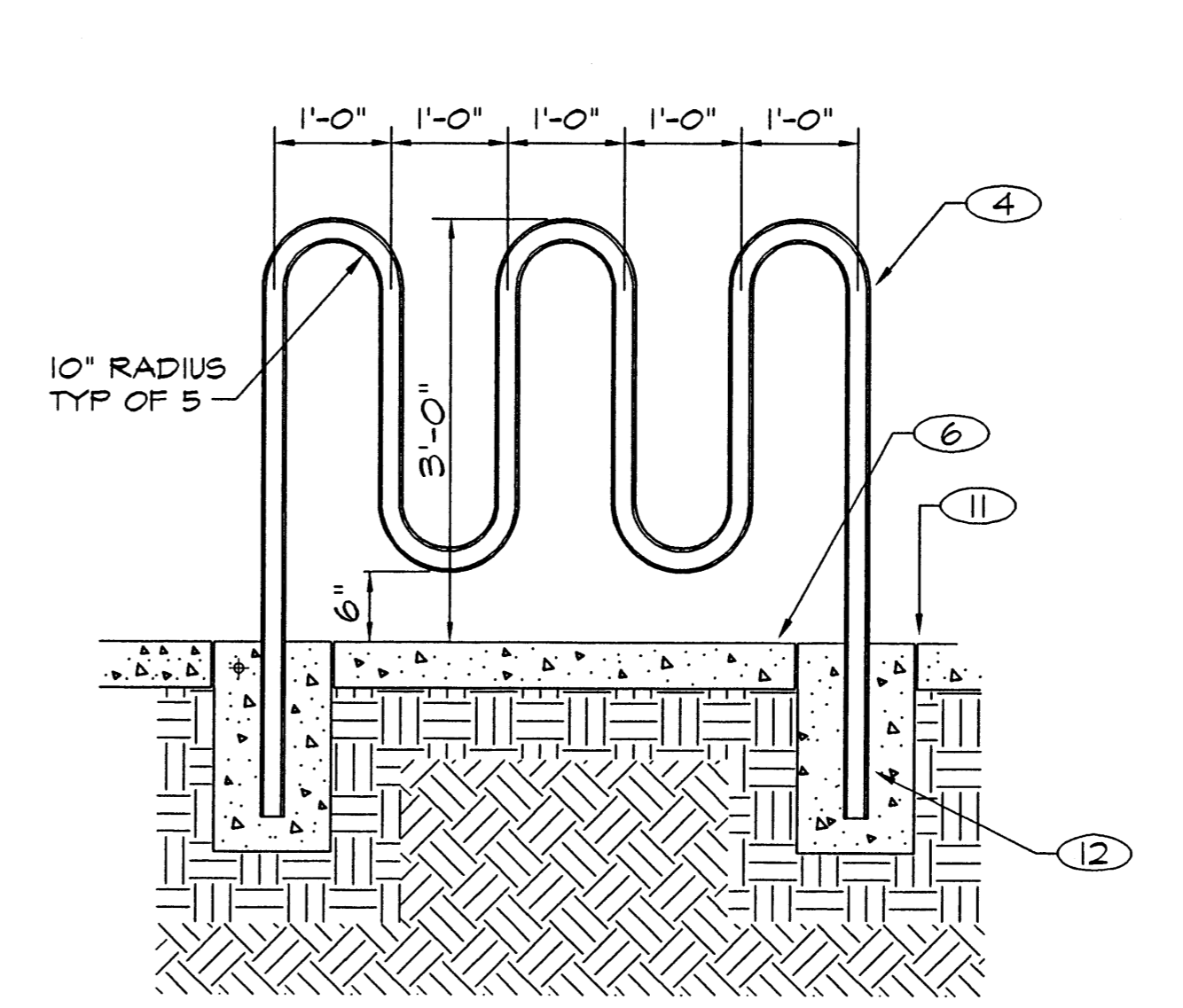
**DUMPSTER DETAIL**  
 AS SHOWN  
 A C3.1



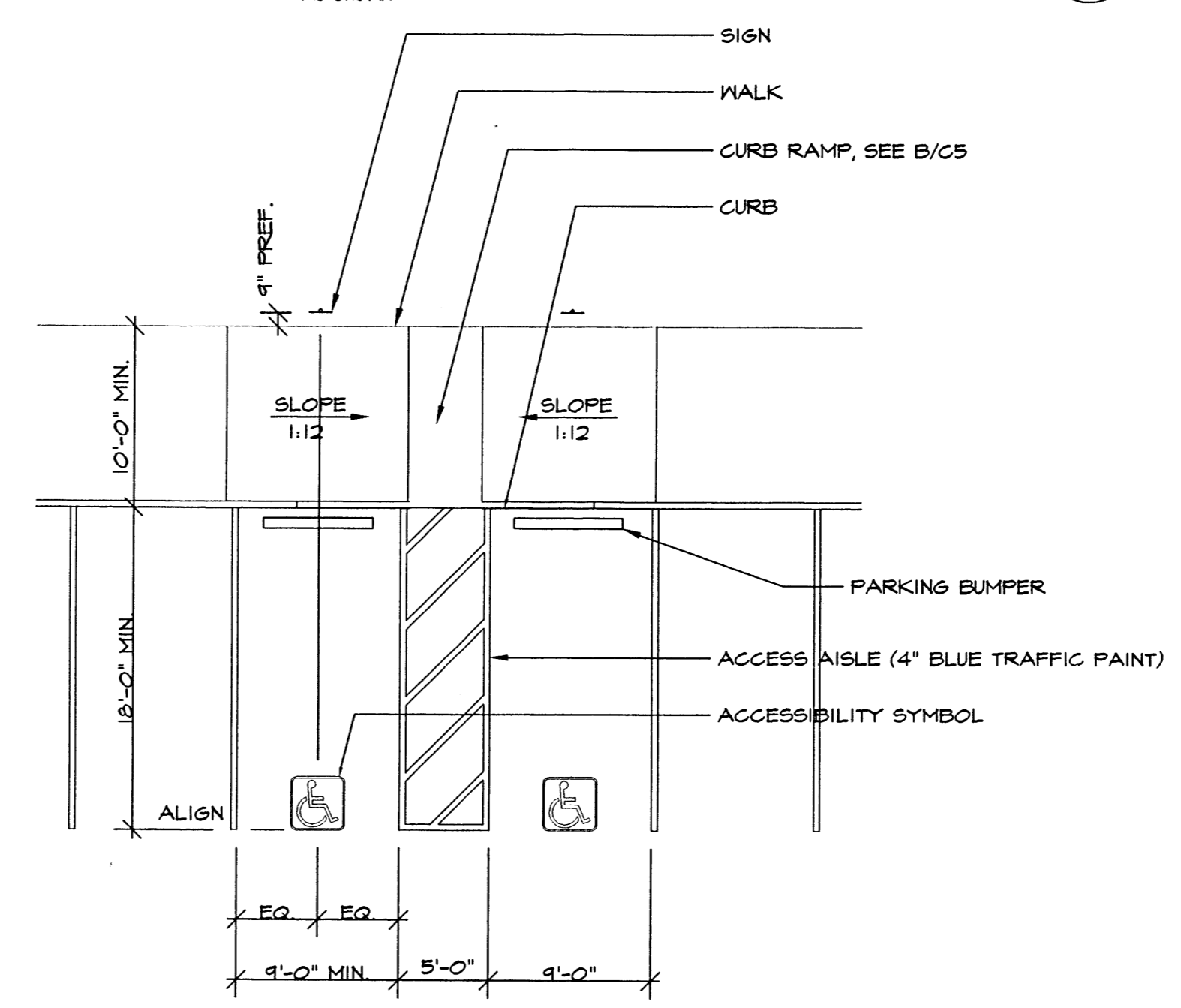
**SCREEN WALL SECTION**  
 AS SHOWN  
 1 C2



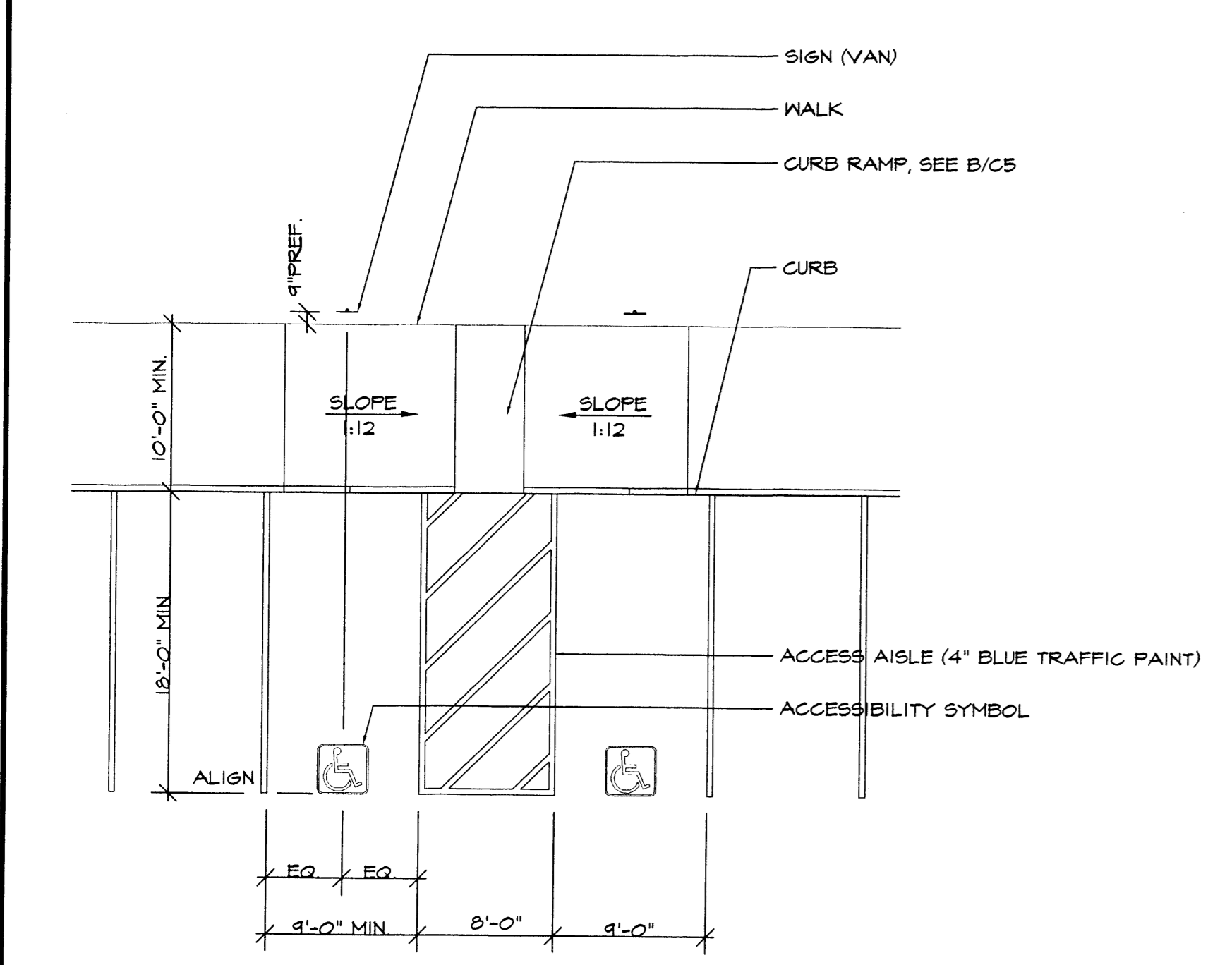
**WHEELCHAIR RAMP DETAIL**  
 N.T.S.  
 B C3.1



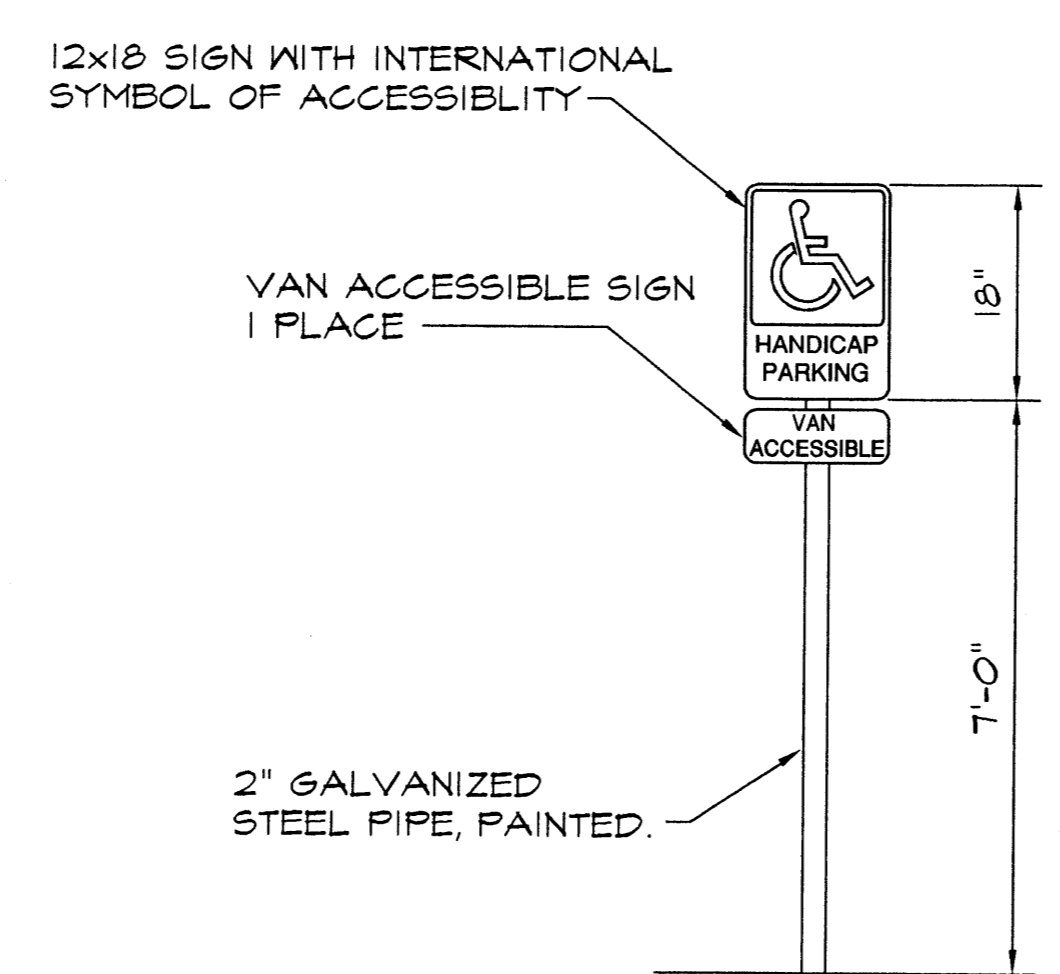
**BIKE RACK DETAIL**  
 AS SHOWN  
 C C2



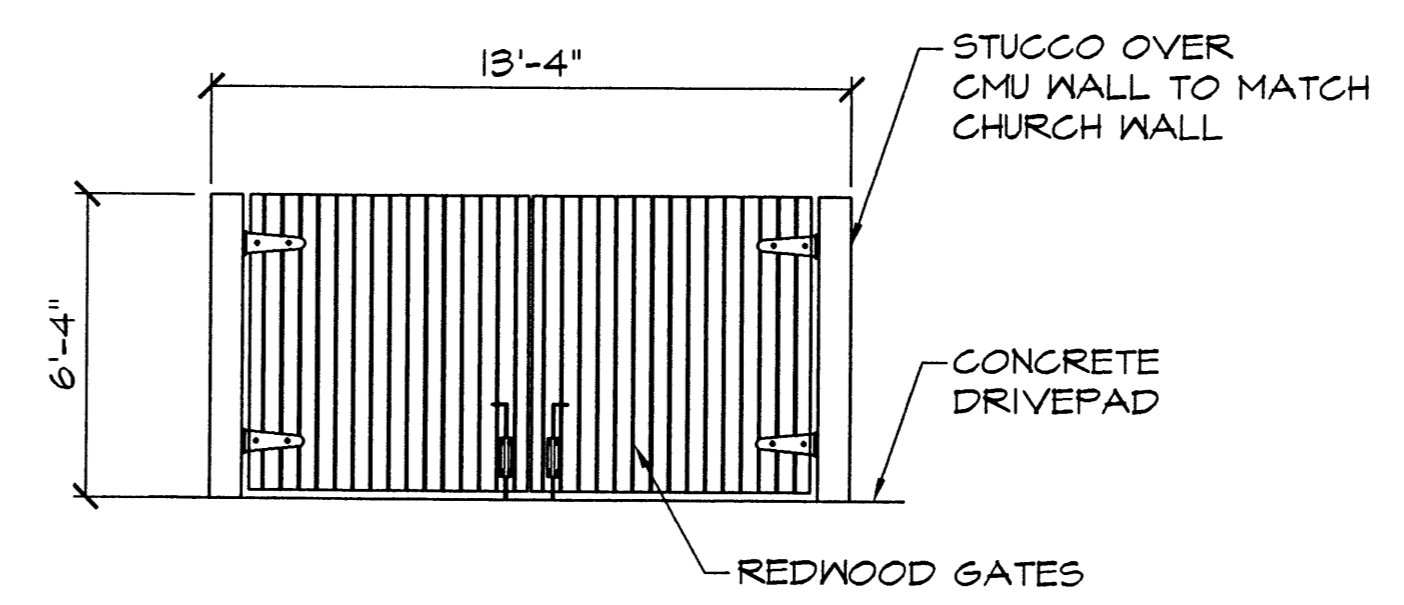
**STANDARD HANDICAP STALL**  
 SCALE: 1/8" = 1'-0"  
 D C3.1



**VAN HANDICAP STALL**  
 SCALE: 1/8" = 1'-0"  
 E C3.1



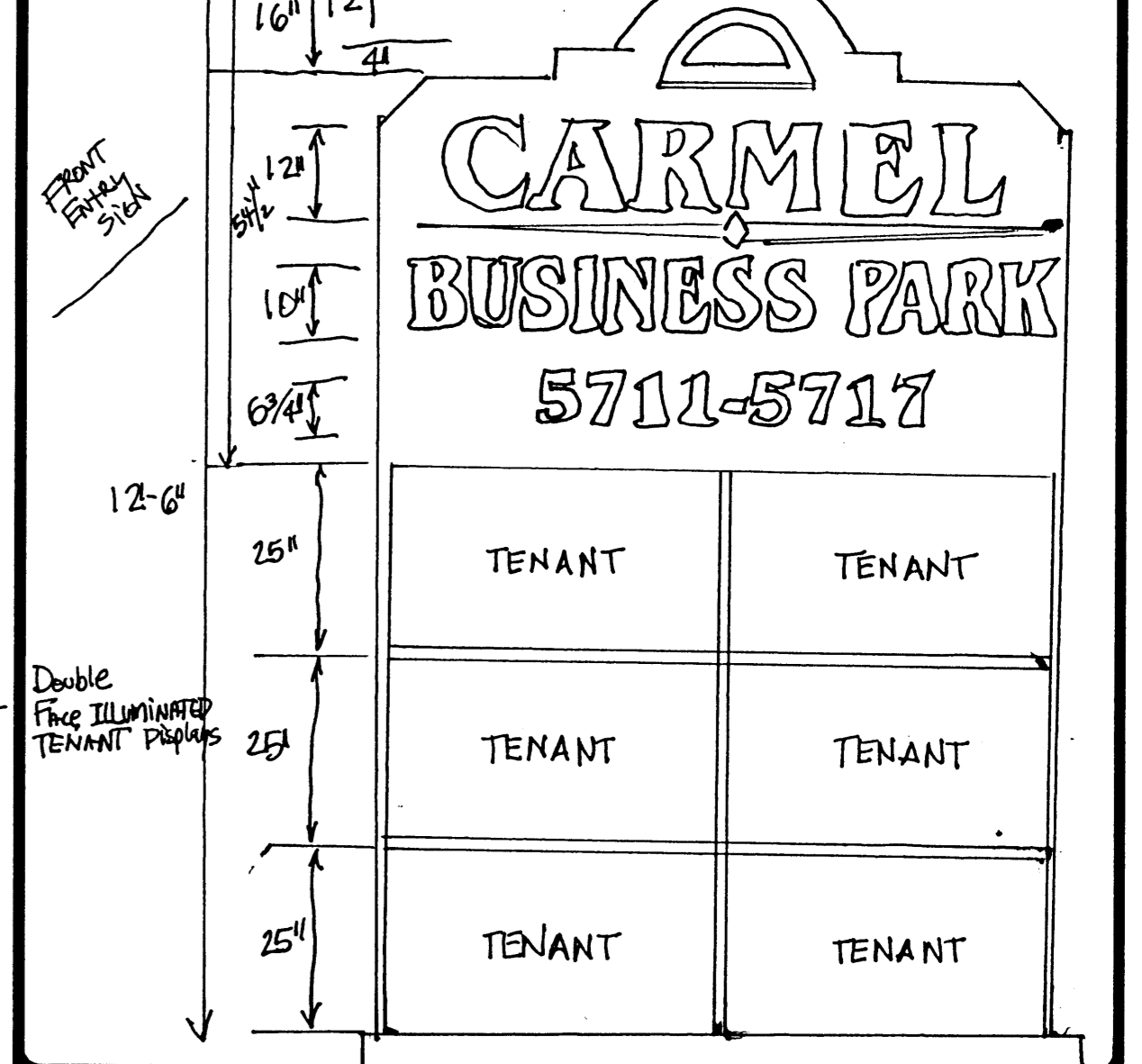
**HANDICAP SIGN DETAIL**  
 SCALE: 3/4" = 1'-0"  
 F C3.1



**FRONT ELEVATION @ DUMPSTER**  
 AS SHOWN  
 G C3.1

**Keyed Notes**

1. SOLID CMU CAP UNITS.
2. #4 CONTINUOUS AROUND PERIMETER.
3. #4 HOOKED VERTICALS @ 24" ON CENTER ALTERNATE HOOKS.
4. 2" DIA STEEL PIPE, PAINTED.
5. 4~#4 EACH FACE.
6. FINISH FLUSH WITH ADJACENT CONCRETE WALK.
7. 6" REINFORCED CONCRETE APRON WITH #4@12" EACH WAY ON CENTER.
8. 6" CONCRETE FILL STEEL PIPE BOLLARDS.
9. 8" REINFORCED CONCRETE BLOCK ENCLOSURE.
10. 4" FIBER REINFORCED CONCRETE SLAB.
11. 1/2" EXPANSION JOINT FILLER WITH 1/4" RADIUS AND WATERPROOF SEALANT.
12. EMBED STEEL PIPE IN 18" CONCRETE.
13. 1/2" EXPANSION MATERIAL.
14. 2~#4 CONTINUOUS.
15. SPLIT FACE CMU (OUTSIDE) COLOR: CSR "COPPER"

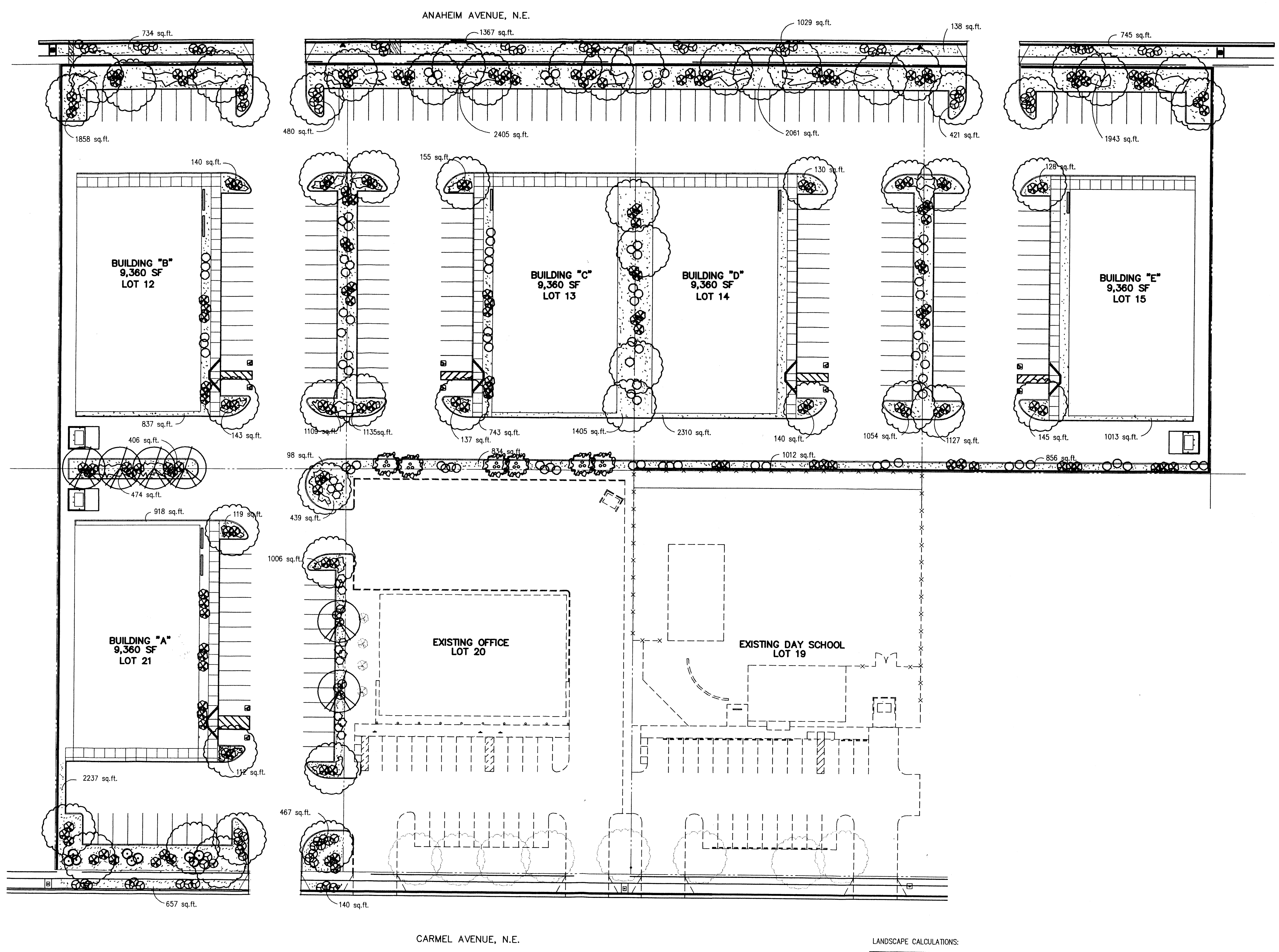


Revised copy backed with 2245 Red Plastic  
 • ALUMINUM STRUCTURE OR EXPOSED STEEL - TO MATCH BUILDING  
 • TENANT COPY - VINYL LETTERS APPLIED ON WHITE LEXAN PLASTIC  
 • INTERNALLY ILLUMINATED WITH 16.0 FLUORESCENT LAMPS  
 REVISIONS

	<b>CARMEL ENTERPRISES OFFICE PARK</b>		
	S. KNEE CHECKED BY	J. KAMPS DRAFTED BY	99160 PROJECT NO

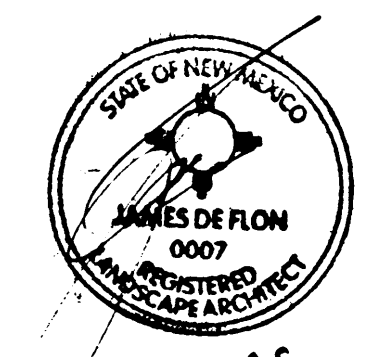
1/27/2000 DATE
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<b>SITE DETAILS</b>	
ARCHITECT	C5



**PLANT LEGEND**

- ASH(H) OR HONEY LOCUST (H)  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Cal
- FLOWERING PEAR (H)  
Pyrus calleryana  
2" Cal
- WASHINGTON HAWTHORN (H)  
Crataegus phenopyrum
- INDIAN HAWTHORN (M)  
Raphiolepis indica  
5 gal
- RUSSIAN SAGE (M)  
Perovskia atriplicifolia  
5 gal
- AUTUMN SAGE (M)  
Salvia greggii  
5 gal
- APACHE PLUME (L)  
Fallugia paradoxa  
5 gal
- WILDFLOWER  
1 gal
- TAM JUNIPER (M)  
JUNIPERUS SABINA  
5 gal
- 3/4" GREY CRAVEL WITH FILTER FAB

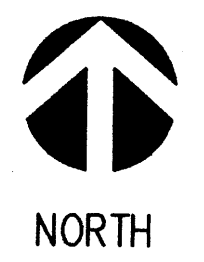


5-26-99  
**The Hilltop**

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**LANDSCAPE PLAN**

SCALE: 1" = 30'-0"



LANDSCAPE CALCULATIONS:

LOT	LOT A	LOT B	LOT C	LOT D	LOT E
TOTAL LOT AREA	38,536 sq.ft.	37,852 sq.ft.	38,424, sq.ft.	38,535 sq.ft.	37,851 sq.ft.
TOTAL BUILDING AREA	9360 sq.ft.	9360 sq.ft.	9360 sq.ft.	9360 sq.ft.	9360 sq.ft.
NET LOT AREA	29,176 sq.ft.	28,492 sq.ft.	29,064 sq.ft.	29,175 sq.ft.	28,491 sq.ft.
LANDSCAPE REQUIREMENT	15%	15%	15%	15%	15%
TOTAL LANDSCAPE REQUIREMENT	4376 sq.ft.	4273 sq.ft.	4359 sq.ft.	4376 sq.ft.	4273 sq.ft.
TOTAL LANDSCAPE PROVIDED	6669 sq.ft.	5815 sq.ft.	8181 sq.ft.	7736 sq.ft.	6516 sq.ft.
TOTAL BED PROVIDED	6669 sq.ft.	5815 sq.ft.	8181 sq.ft.	7736 sq.ft.	6516 sq.ft.

REVISIONS

CARMEL ENTERPRISES OFFICE PARK

ENGINEER

AV

CHECKED BY

AV

DRAFTED BY

98218

PROJECT NO

4/29/99

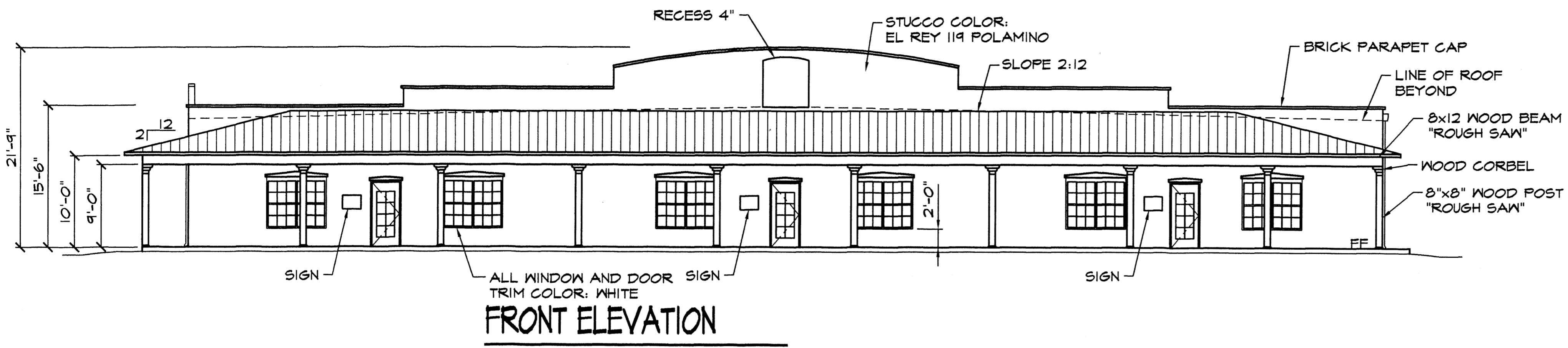
DATE

LANDSCAPE PLAN

ARCHITECT

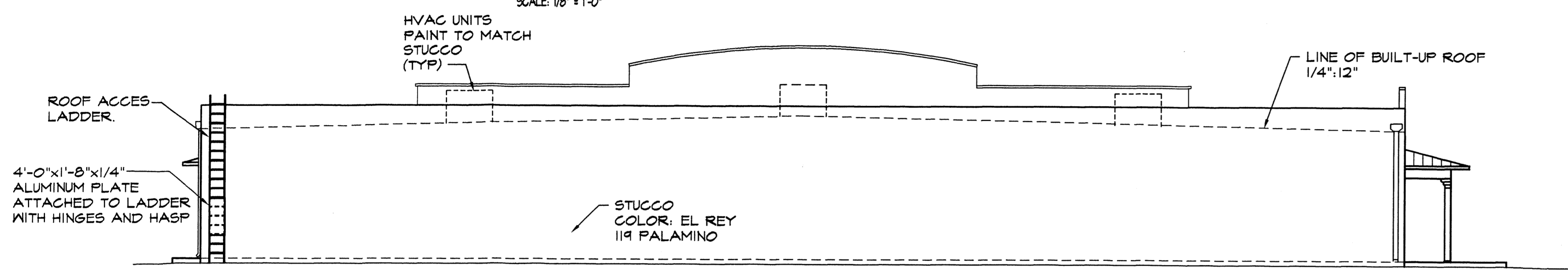
L1

www.dslassociates.com email: info@dslassociates.com



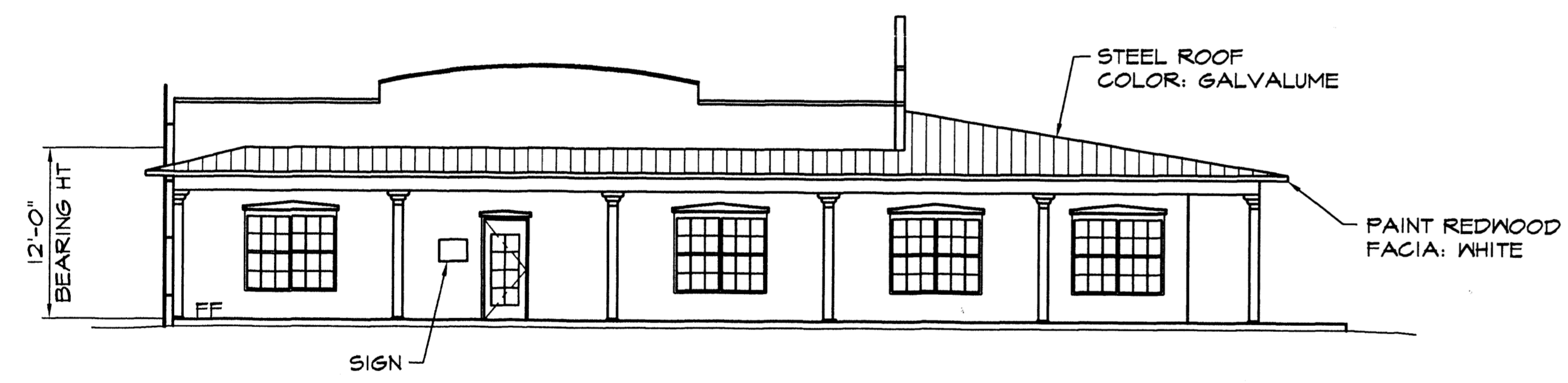
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



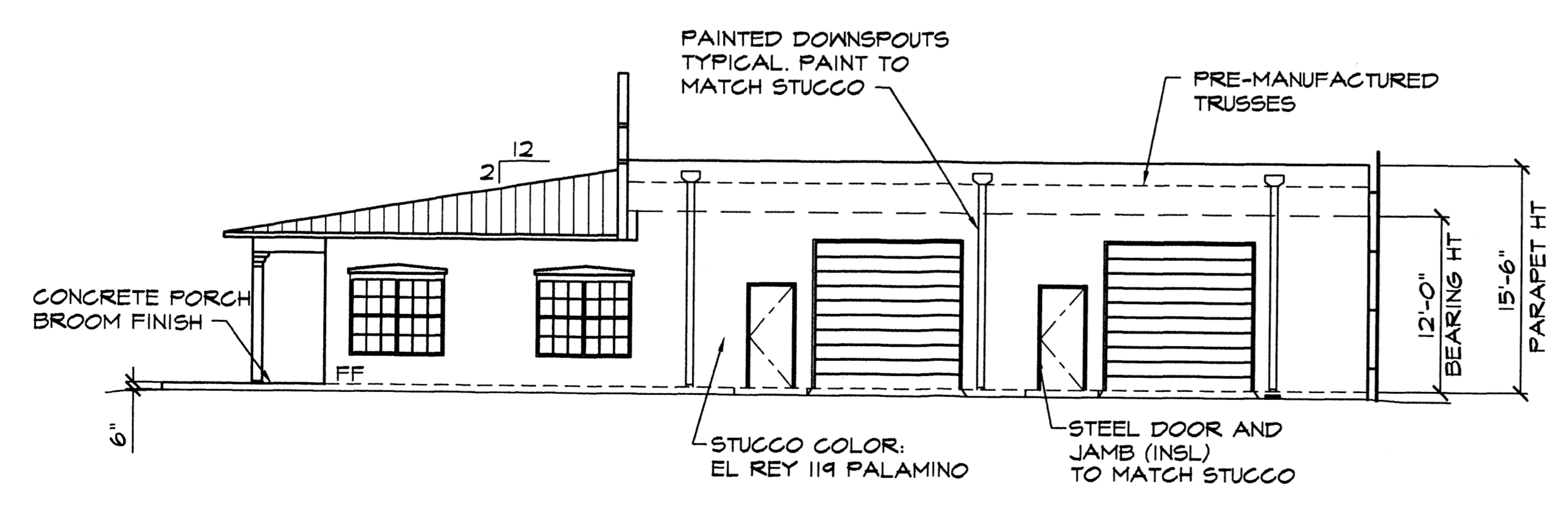
**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

REVISIONS

**CARMEL ENTERPRISES OFFICE PARK**

ENGINEER

T. LEACH

CHECKED BY

J. KAMPS

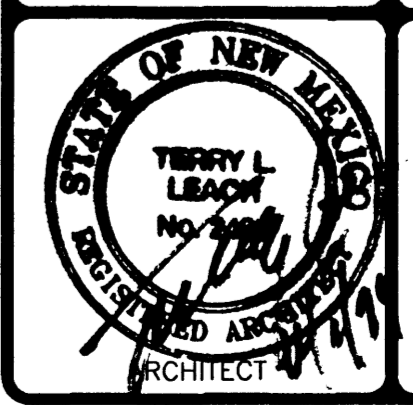
DRAFTED BY

99160

PROJECT NO

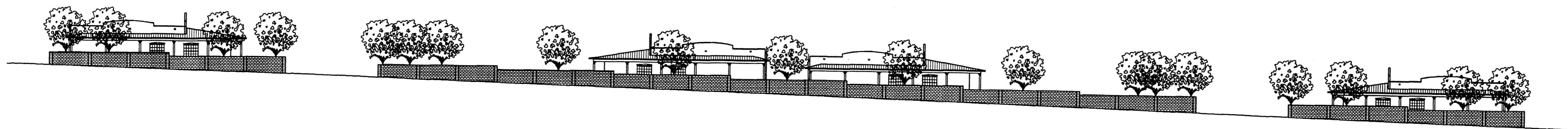
11/2/99

DATE

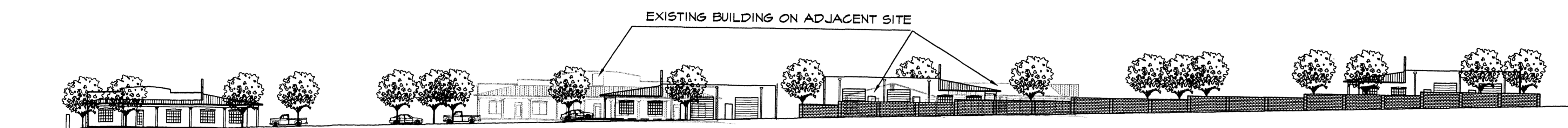


**BUILDING ELEVATIONS A, B, C, D & E**

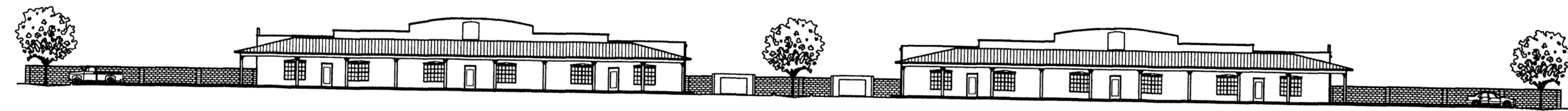
AI



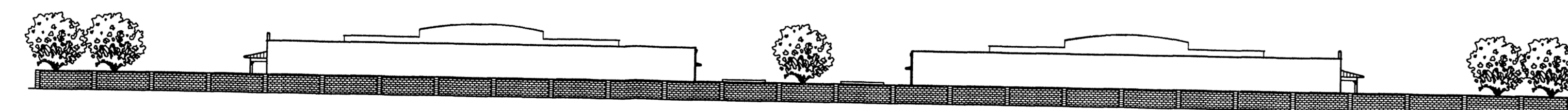
NORTH ELEVATION - FROM ANAHIEM  
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - FROM CARMEL  
 SCALE: 1/8" = 1'-0"



EAST ELEVATION - ON SITE  
 SCALE: 1/8" = 1'-0"



WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

REVISIONS			
CARMEL ENTERPRISES OFFICE PARK			
ENGINEER	T. LEACH	J. KAMPS	99160
CHECKED BY	PROJECT NO	DATE	11/2/99
		ELEVATIONS	
			A2