

**SITE DATA TABLE**

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	BUS CREDIT	PARKING REQUIRED	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	SC MAX.	SC PROV.	BIKE RACKS REQ.	OWNERSHIP
A-2021-A	4	0.3991	3,646	REST.	C-2	45' SOLAR SETBACK	7	15*	16	1	2	1	1	0	0	1	UNIQUE MOTOR CARS LTD.
10	2,3,7	2.3069	15,486	REST./R.598B REF.	C-2	45' SOLAR SETBACK	12	(120-12=)108	128	8	8	1	3	34	12	3	WEST BLUFF, LLC
11	1a,b	1.8594	24,070	RETAIL	C-2	45' SOLAR SETBACK	12	(121-12=)109	116	4	4	1	1	30	7	4	CONWAY WEST BLUFF, LLC
12	1c	1.5068	21,760	RETAIL	C-2	45' SOLAR SETBACK		109	113	4	4	1	1	23	11	4	CONWAY WEST BLUFF, LLC
<b>TOTAL</b>								<b>326</b>	<b>357</b>	<b>14</b>	<b>18</b>	<b>3</b>	<b>5</b>	<b>85</b>	<b>30</b>	<b>8</b>	

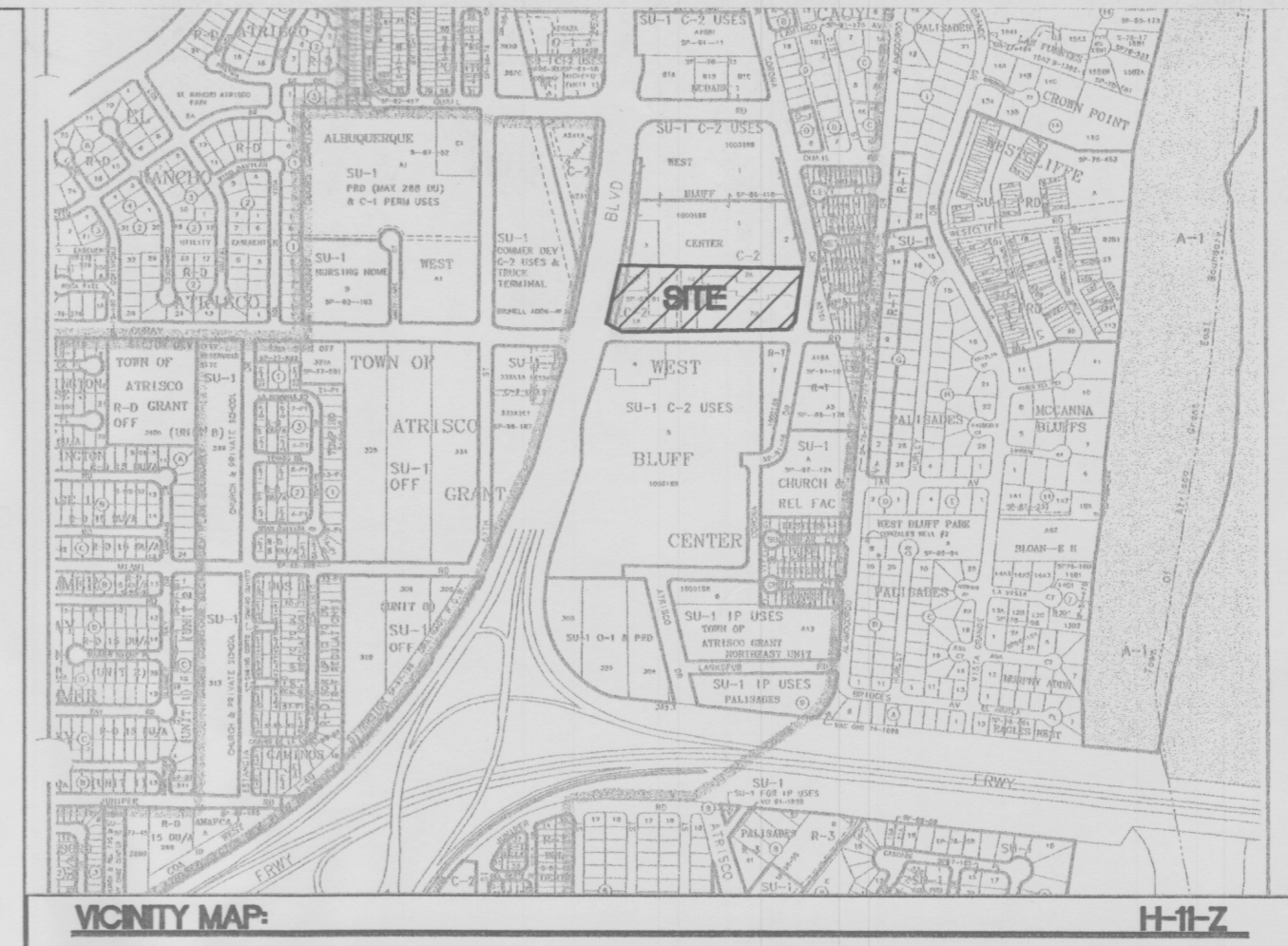
\* PARKING REQUIRED (BUILDING 4)  
1 PER 4 SEATS (68 SEATS) = 17

\*\* PARKING REQUIRED (BUILDING 3)  
1 PER 4 SEATS (160 SEATS) = 40

\*\*\* PARKING REQUIRED (BUILDING 7)  
1 PER 4 SEATS (130 SEATS) = 33

**LANDSCAPING TABLE**

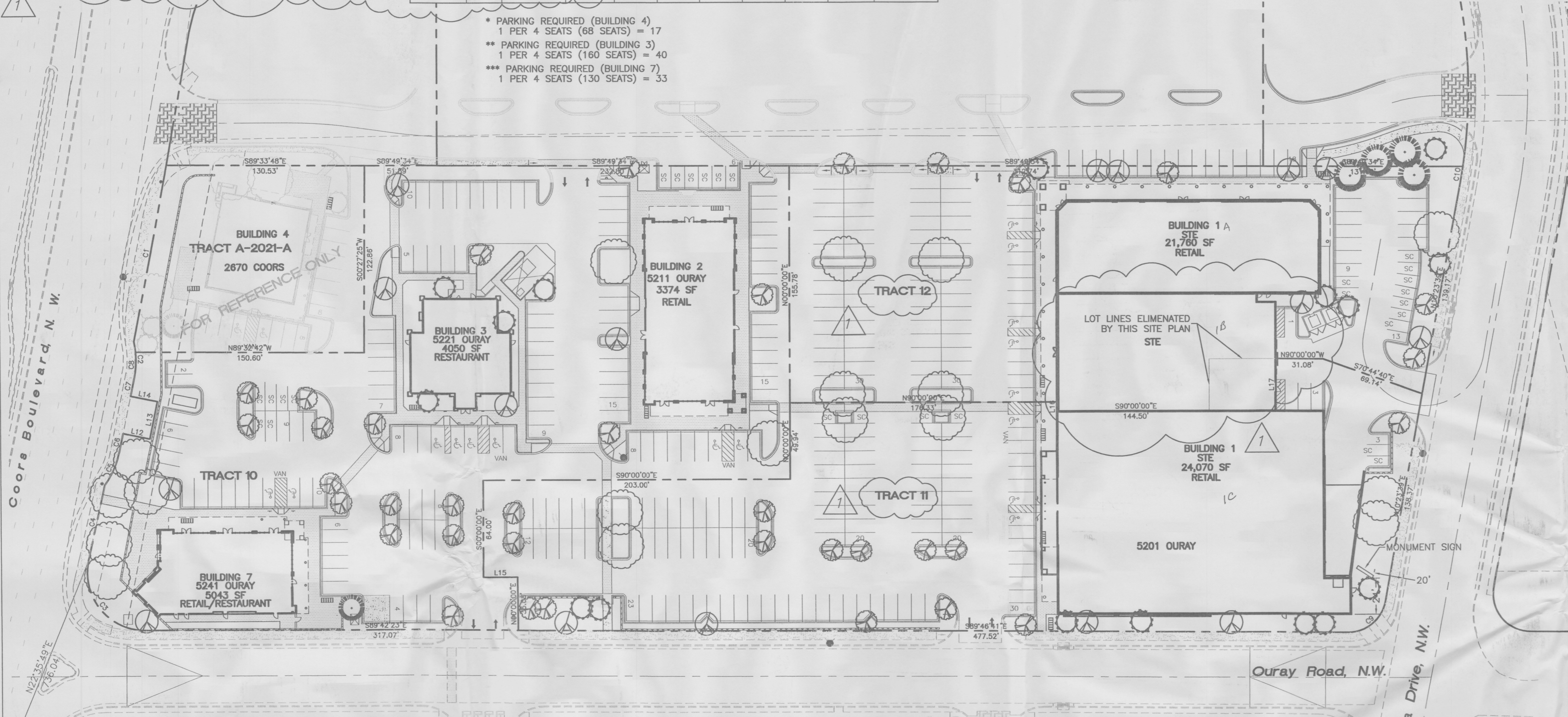
TRACT	PAVING AREA (SF)	15% OF PAVING (REQUIREMENT)	LANDSCAPE PROVIDED (SF)	LANDSCAPE SURPLUS
A-2021-A	13,783	1,098	6,418	5,318
10	70,258	10,539	18,229	7,690
11	48,777	7,316	9,952	2,635
12	38,124	5,719	6,700	981



**LEGAL DESCRIPTION:**  
TRACT A-2021-A TOWN OF ATRISCO GRANT NORTHEAST UNIT AND TRACT 10, AND 11 OF WEST BLUFF

**GENERAL NOTES:**

- INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
- CROSS ACCESS EASEMENTS HAVE BEEN FILED ON OCTOBER 2nd, BK-A10, PG-7082.
- CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
- ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
- UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
- ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
- ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°. LIGHT POLE HEIGHT SHALL NOT EXCEED 20'.
- LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)
- ALL SMALL CAR PARKING SHALL BE LABELED AS "COMPACT" OR EQUAL, PAINT ON ASPHALT.
- ANY SIGNAGE FOR TRACTS 1 THRU 5 OF WEST BLUFF CENTER SHALL NOT BE CONSIDERED OFF-PREMISE. ALL BUILDING SIGNAGE SHALL BE IN CONFORMANCE WITH THE COORS CORRIDOR PLAN AND ZONING CODES. TENANT SIGNAGE ON ELEVATIONS ARE FOR REFERENCE ONLY
- SEE SHEET C6 FOR LIGHT POLE DETAILS.
- SEE SHEET C5 FOR REFUSE ENCLOSURE DETAIL.
- SEE SHEET C6 FOR BIKE RACK DETAIL.
- SEE SHEET C6 FOR MONUMENT SIGN DETAIL.
- EMPLOYEE BREAK AREAS SHALL BE PROVIDED W/EACH RETAIL SPACE WHERE MEALS CAN BE HANDLED TO REDUCE THE NEED FOR EMPLOYEES TO LEAVE THE SITE FOR LUNCHES AND DINNERS. PATIO AREAS MAY FULFILL THIS REQUIREMENT.



A.C.S. MONUMENT "11-H11"  
STANDARD A.C.S. ALUMINUM CAP  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
X=364,763.94  
Y=1,495,852.97  
E1=5098.514  
GRID TO GROUND FACTOR=0.99967720  
DELTA ALPHA ANGLE=-0°15'36"

**LINE TABLE**

LINE	LENGTH	BEARING
L12	18.01	N78°09'02"W
L13	25.00	S11°50'58"W
L14	18.01	S78°09'02"E
L15	22.58	N90°00'00"W
L16	5.83	S00°00'00"E
L17	33.99	N00°00'00"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	117.73	5807.58	58.87	1°09'41"	N10°50'05"E	117.73
C2	23.77	56.63	12.07	24°03'15"	N00°19'04"W	23.60
C3	68.15	38.00	47.56	102°45'24"	S38°34'50"E	59.38
C4	50.48	5807.58	25.24	0°29'53"	N12°35'04"E	50.48
C5	23.82	56.62	12.09	24°05'58"	N24°02'03"E	23.64
C6	12.47	5812.42	6.24	0°07'23"	N12°02'45"E	12.47
C7	12.47	5812.41	6.24	0°07'23"	N11°39'51"E	12.47
C8	16.66	56.63	8.39	16°51'21"	N03°16'53"E	16.60
C9	34.84	25.00	20.92	79°51'23"	N50°19'20"E	32.09
C10	11.34	341.00	5.67	1°54'21"	N09°26'29"E	11.34

03DRB-01129 / 03DRB-01130  
**PROJECT NUMBER: 1000264**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [ ] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

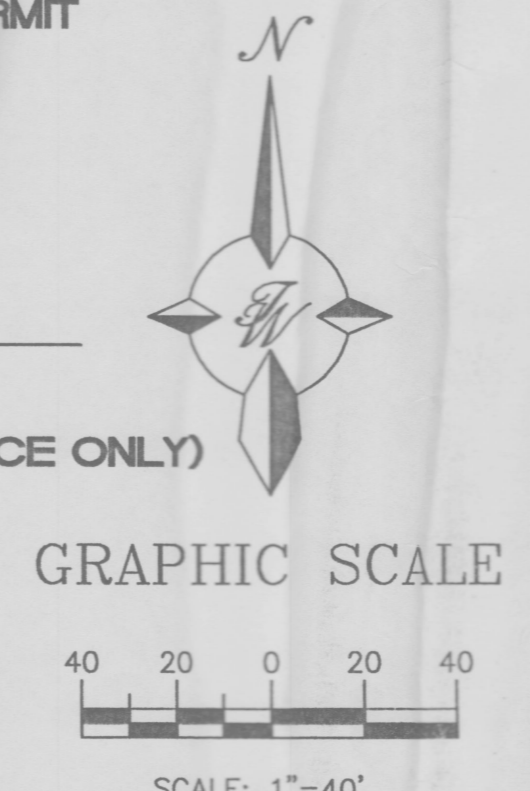
Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date
PLNZ (10706) 4/96	

DRB ADMINISTRATIVE  
SITE PLAN AMENDMENT  
PROJECT NO. 1000264  
APPLICATION NO. 03DRB-01129  
SHERAN M. NELSON 9/26/09  
PLANNING DIRECTOR DATE

**LEGEND**

--- (dashed line)	BOUNDARY LINE
--- (dotted line)	PROPOSED SIDEWALK
--- (dash-dot line)	PROPOSED WALL
--- (stippled area)	PROPOSED CONC.
--- (hatched area)	30' WIDE SERVICE ROAD

- SHEET INDEX**
- AMENDED SITE PLAN FOR SUBDMISION
  - AMENDED SITE PLAN FOR BUILDING PERMIT
  - AMENDED LANDSCAPE PLAN
  - AMENDED GRADING PLAN
  - AMENDED MASTER UTILITY PLAN
  - AMENDED ELEVATIONS
- ATTACHED SUBSET**  
SHEETS C THROUGH A191 REPRESENT APPROVED DRB PACKAGE (FOR REFERENCE ONLY)



NO.	DATE	REMARKS	BY
1	7-23-02	INCREASE OF TR. 12 BUILDING SF/LOT LINE ADJUSTMENT FOR TR. 11 & 12	WCWJ

**REVISIONS**

ENGINEER'S SEAL	<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY WCWJ
	<b>AMENDED SITE PLAN FOR SUBDMISION</b>	DATE 7-30-02
		9862PMSPSD.DWG
		SHEET #
		<b>1 OF 6</b>
		JOB # 980063PM

**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

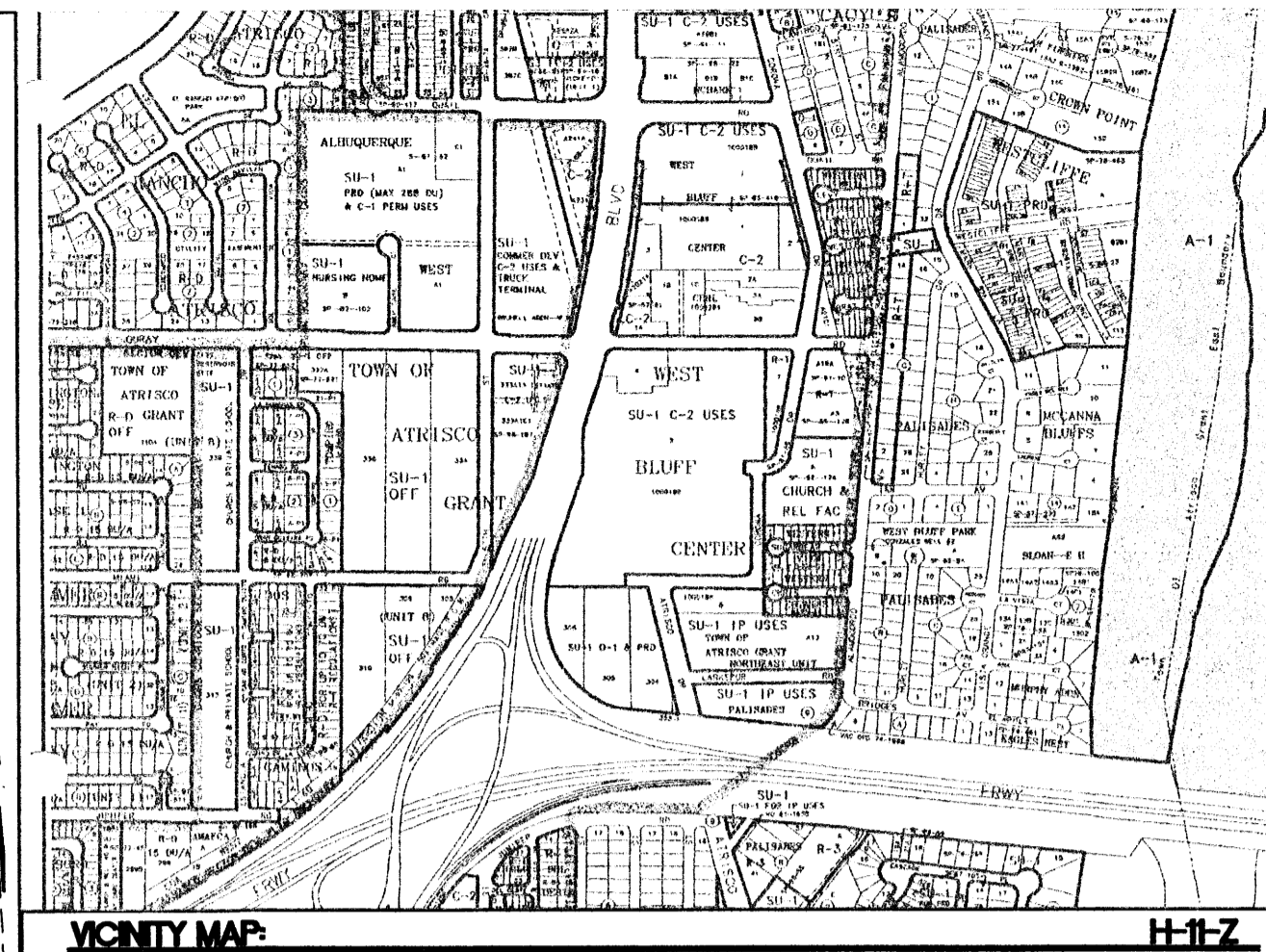
PROJECT 1000264

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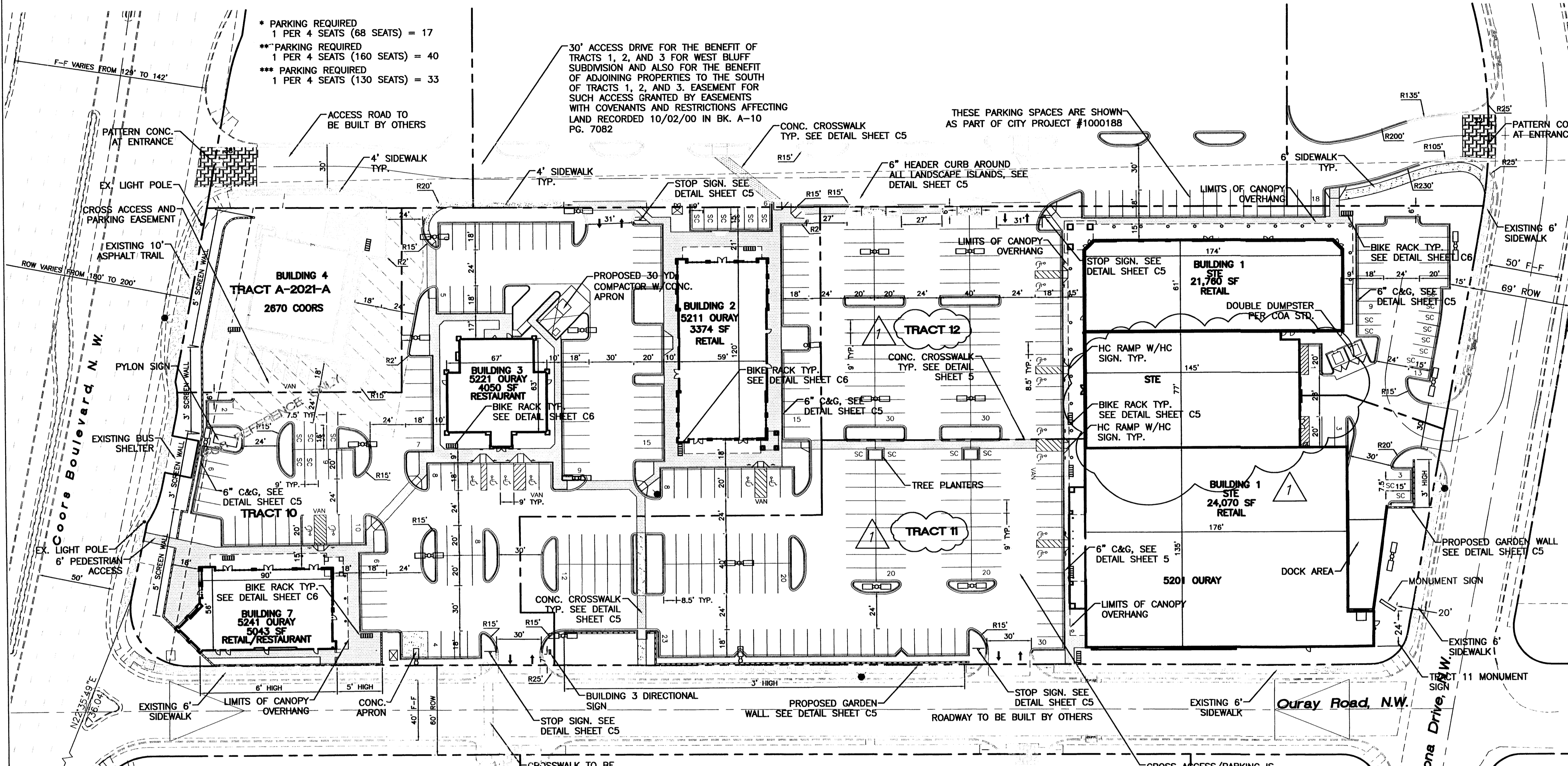
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TRACT	PAVING AREA (SF)	15% OF PAVING (REQUIREMENT)	LANDSCAPE PROVIDED (SF)	LANDSCAPE SURPLUS
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**LEGAL DESCRIPTION**  
TRACT A-2021-A TOWN OF ATRISCO GRANT NORTHEAST UNIT AND TRACT 10, AND 11 OF WEST BLUFF

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  - SEE SHEET C6 FOR MONUMENT SIGN DETAIL.
  - ALL FIXTURES SHALL BE FULL CUT-OFF DESIGN TO MINIMIZE FUGITIVE LIGHT; FIXTURE LENSES SHALL NOT PROTRUDE BELOW THE FIXTURE HOUSING.



\* PARKING REQUIRED  
1 PER 4 SEATS (68 SEATS) = 17  
\*\* PARKING REQUIRED  
1 PER 4 SEATS (160 SEATS) = 40  
\*\*\* PARKING REQUIRED  
1 PER 4 SEATS (130 SEATS) = 33

30' ACCESS DRIVE FOR THE BENEFIT OF TRACTS 1, 2, AND 3 FOR WEST BLUFF SUBDIVISION AND ALSO FOR THE BENEFIT OF ADJOINING PROPERTIES TO THE SOUTH OF TRACTS 1, 2, AND 3. EASEMENT FOR SUCH ACCESS GRANTED BY EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND RECORDED 10/02/00 IN BK. A-10 PG. 7082

THESE PARKING SPACES ARE SHOWN AS PART OF CITY PROJECT #1000188

A.C.S. MONUMENT "11-111"  
STANDARD A.C.S. ALUMINUM CAP  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
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03DRB-01129 / 03DRB-01130  
**PROJECT NUMBER: 1000264**

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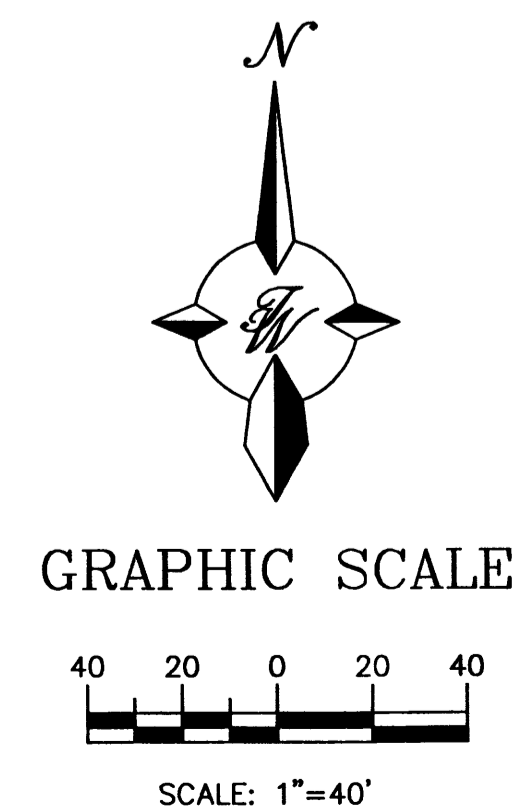
Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division  
Date

PLNZ (10706) 4/96

- LEGEND**
- BOUNDARY LINE
  - - - EASEMENT
  - - - PROPOSED SIDEWALK
  - - - PROPOSED WALL
  - ▨ PROPOSED CONC.
  - ▨ 30' WIDE SERVICE ROAD
  - PROPOSED PARKING LOT LIGHTING
  - SMALL CAR SPACE
  - ⊗ PROPOSED TRANSFORMER
  - PROPOSED FIRE HYDRANT
  - ▣ PROPOSED BIKE RACK



DRB ADMINISTRATIVE  
SITE PLAN AMENDMENT  
PROJECT 1000264  
03DRB-01129  
Sharon Matson 9/26/03  
PLANNING DIRECTOR DATE

NO.	DATE	REMARKS	BY
1	7-23-02	INCREASE OF TR. 12 BUILDING SF/LOT LINE ADJUSTMENT FOR TR. 11 & 12	WCWJ

**REVISIONS**

ENGINEER'S SEAL	<b>TRACT 10, 11 AND 12 WEST BLUFF AMENED SITE PLAN FOR BUILDING PERMIT</b>	DRAWN BY WCWJ
		DATE 7-30-02
		9863PMSBP.DWG
		SHEET # 2 OF 6
		JOB # 980063

TERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

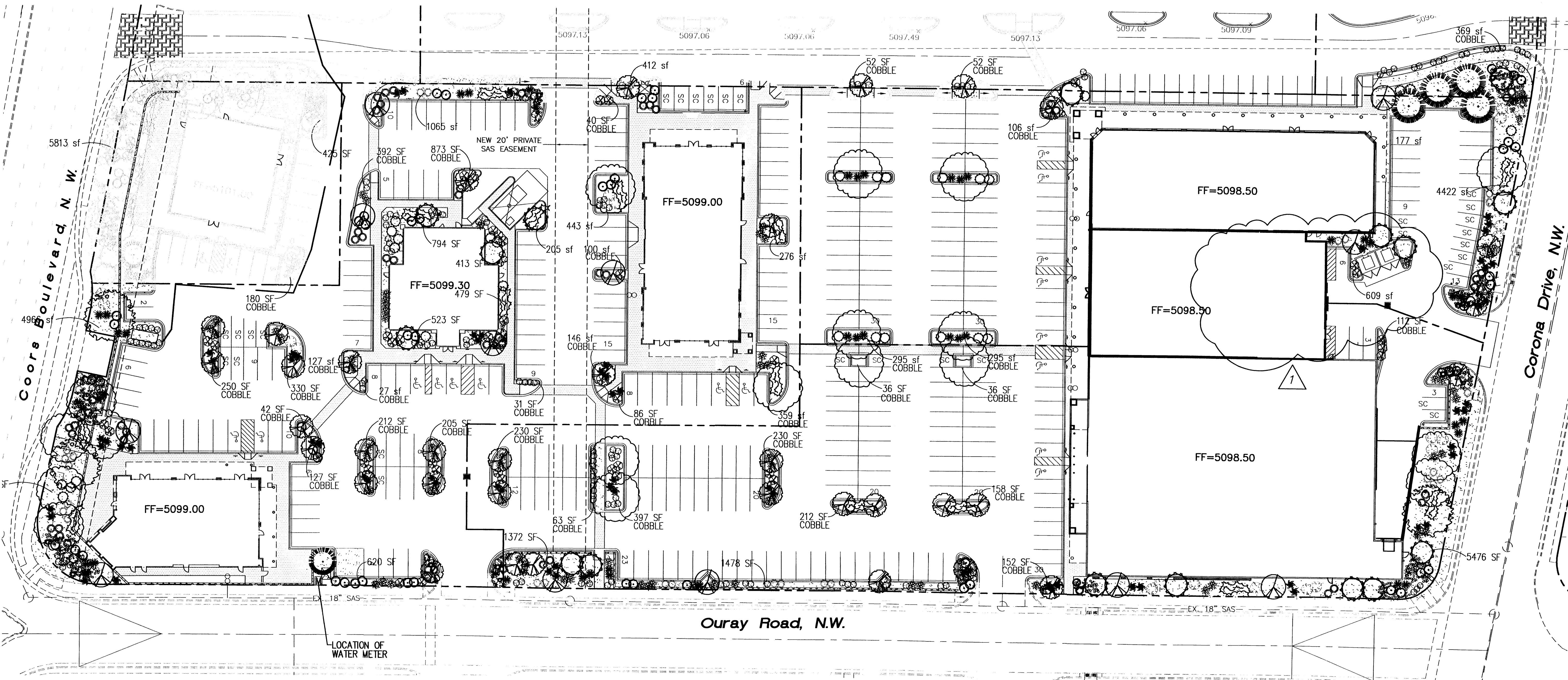
RONALD R. BOHANNAN  
P.E. #7868

architect

engineer

project

West Bluff  
Coors Blvd. N.W. & I-40  
Albuquerque, New Mexico



LOCATION OF WATER METER

Ouray Road, N.W.

### PLANT LEGEND

- ARIZONA ASH (M) 6  
Fraxinus velutina  
2" cal
- RAYWOOD ASH (M) 19  
Fraxinus oxycarpa raywood  
2" cal
- AUSTRIAN PINE (H) 6  
Pinus nigra  
6-8'
- CHITALPA (M) 17  
Chilopsis x Catalpa  
15 gal
- DESERT WILLOW (L) 19  
Chilopsis linearis  
15 gal
- WASHINGTON HAWTHORN (H) 38  
Crataegus phaenopyrum  
15 gal
- DWARF MAIDEN/SILVERGRASS (M) 76  
Miscanthus sinensis  
5 gal
- BUFFALO JUNIPER (L) 51  
Juniperus sabina  
5 gal
- RED YUCCA (L) 48  
Hesperaloe parviflora  
5 gal
- REGAL MIST (M) 89  
Muhlenbergia rigida  
5 gal
- POWIS CASTLE SAGE (L) 54  
Artemisia x 'Powis Castle'  
5 gal
- APACHE PLUME (L) 60  
Fallugia paradoxa  
5 gal
- MAHONIA (M) 26  
Mahonia aquifolium  
5 gal
- COYOTE BUSH (L) 66  
Baccharis Centennial  
5 gal
- ROSEMARY (M) 62  
Rosmarinus officinalis  
5 gal
- CHAMISA (L) 32  
Chrysothamnus nauseosus  
1 gal
- WILDFLOWER 178  
1 gal
- OVERSIZED GRAVEL & BOULDERS 28
- EARTH TONE (BROWN) CRUSHER FINES

#### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Earth Tone (Brown) Crusher Fines shall be placed in all landscape areas which are not designated to receive native seed.

#### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

#### STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

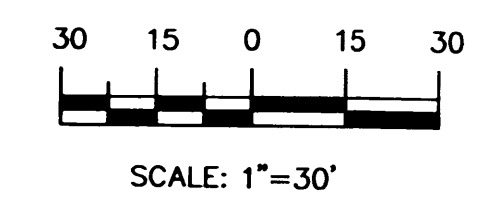
Name of Street: COORS BLVD. NW  
Required #: 11 Provided #: 11

NO.	DATE	REMARKS	BY
REVISIONS			

TRACT	PAVED AREA	15% OF PAVING	LANDSCAPE PROVIDED	LANDSCAPE SURPLUS
A-2021-A	13,783 SF	1,098 SF	6,418 SF	5,318 SF
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12	38,124 SF	5,719 SF	6,700 SF	981 SF

L1 Landscape Plan  
1" = 30'-0"

#### GRAPHIC SCALE



## The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
thilltoplandscaping.com

THE HILLTOP expressly reserves the copyright and other proprietary rights in these plans. These plans are not to be reproduced, altered or copied in any manner whatsoever, nor are they to be assigned to any third party, without obtaining the express written permission and consent of THE HILLTOP.

#### revisions

- △
- △
- △
- △

plotted: x

drawn by IRW

reviewed by JUD

date 9-20-01

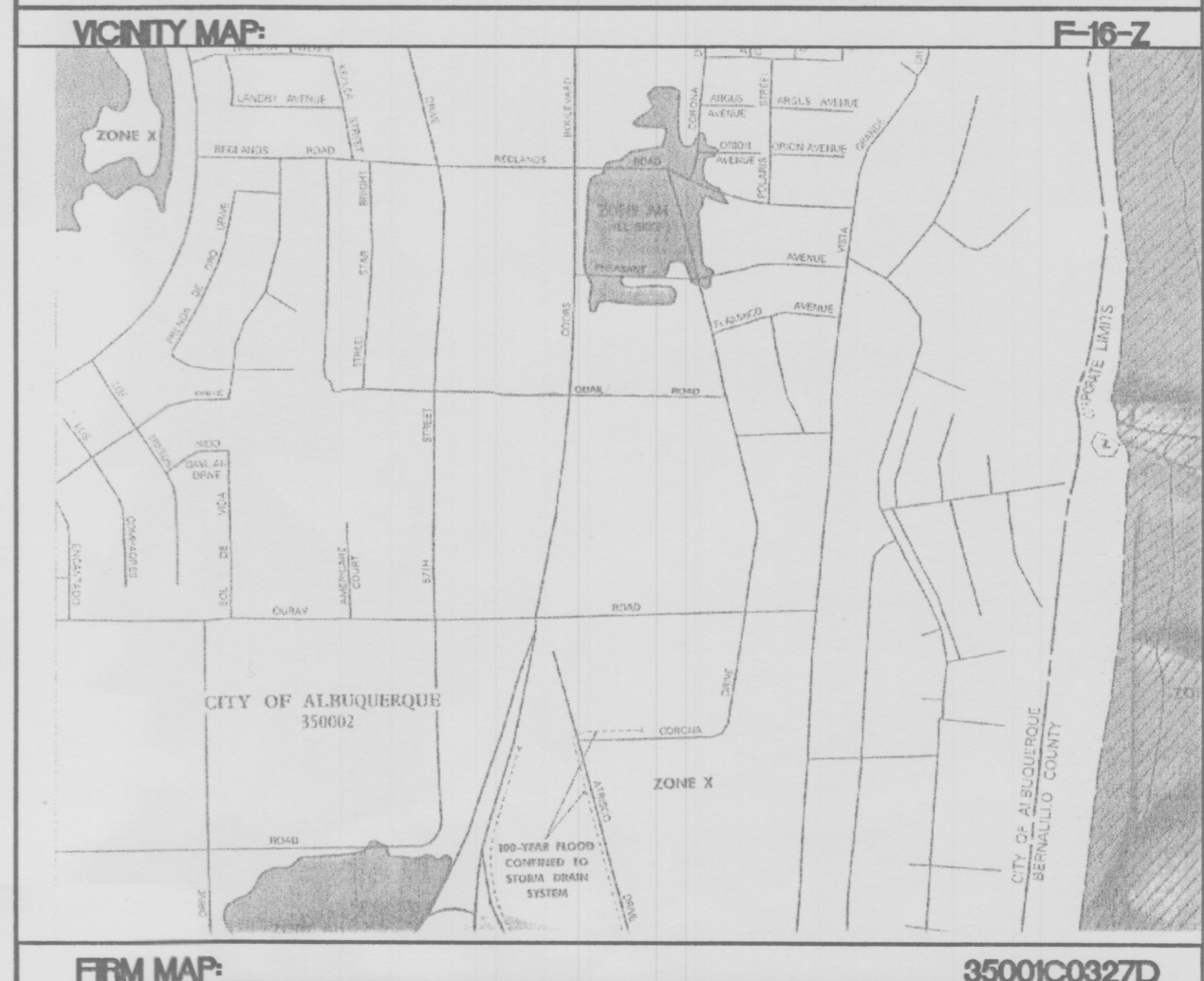
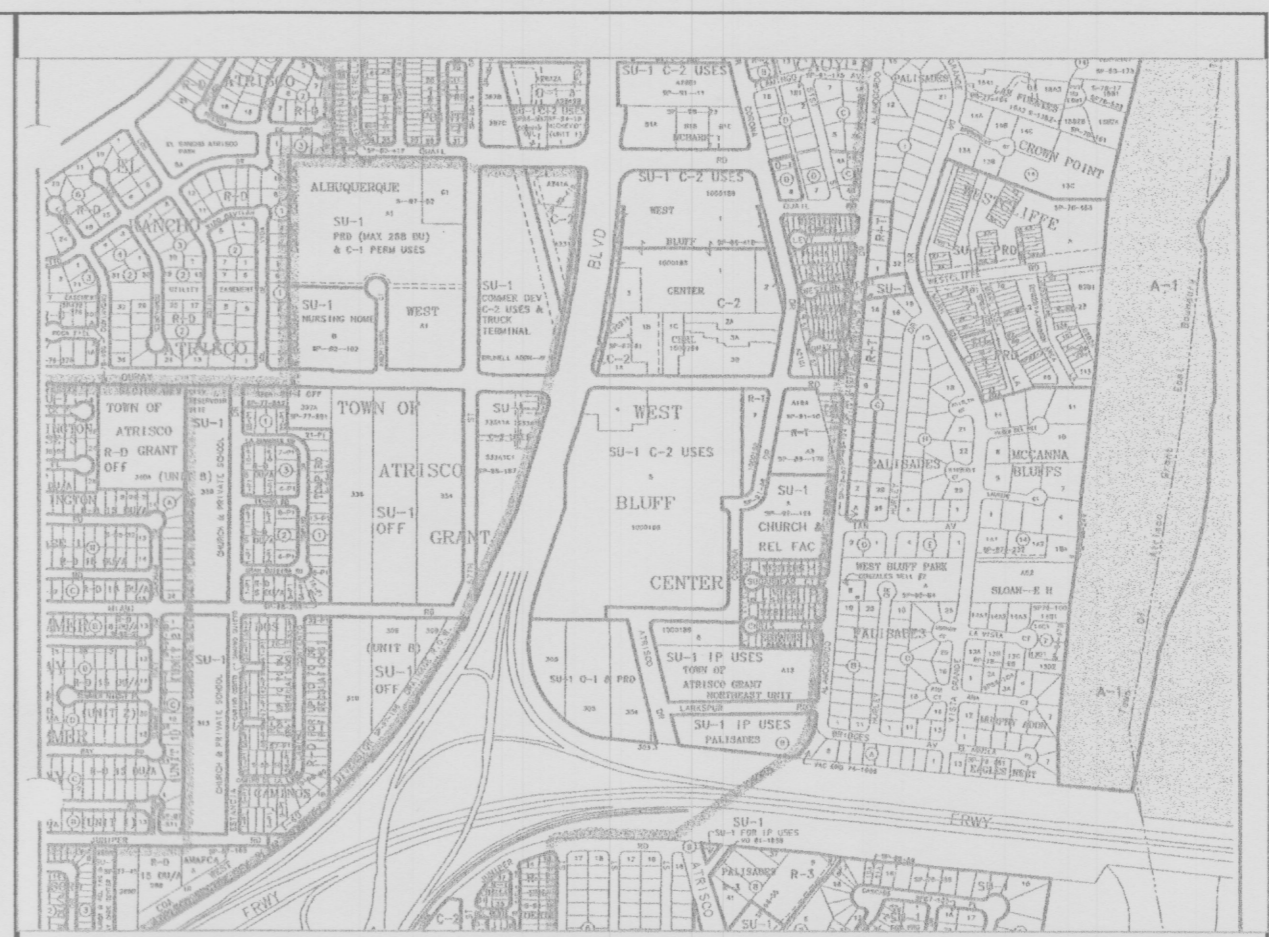
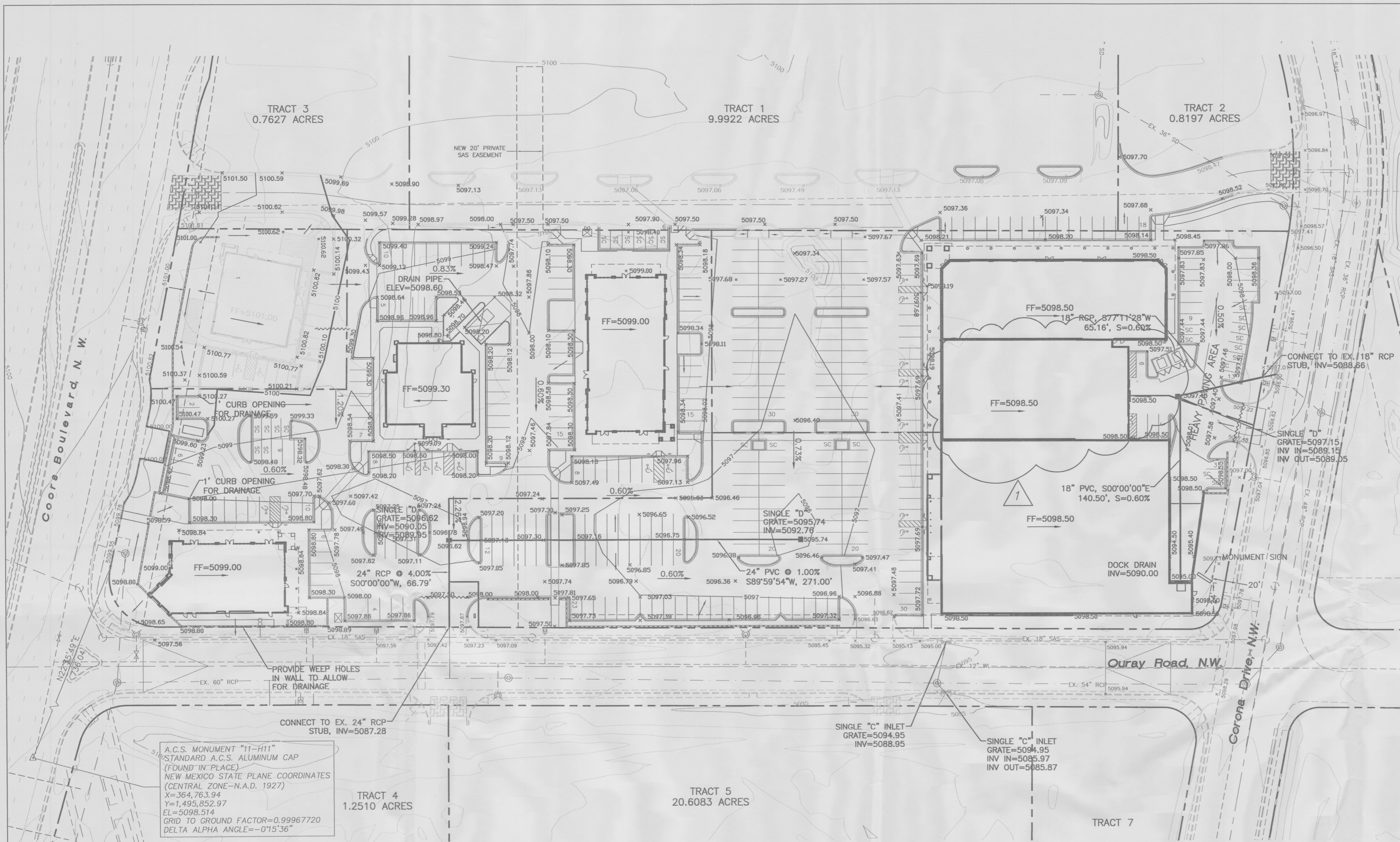
project no. 98101.002

drawing name

sheet no.

3 OF 6

of



NOTES:  
1. ALL SPOT ELEVATION ARE FLOWLINE UNLESS OTHERWISE NOTED.

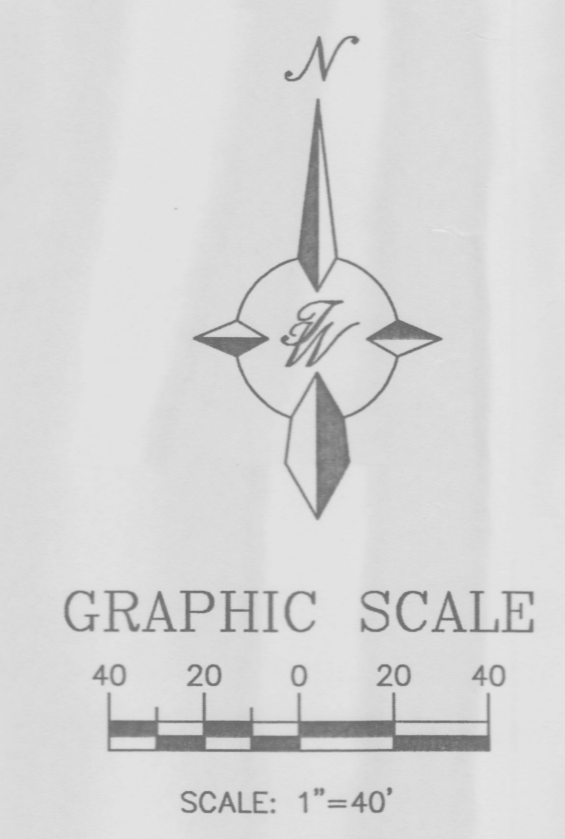
**LEGEND**

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	HEAVY CONCRETE AREA
	PATTERN CONCRETE AREA
	GRADE BREAK

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

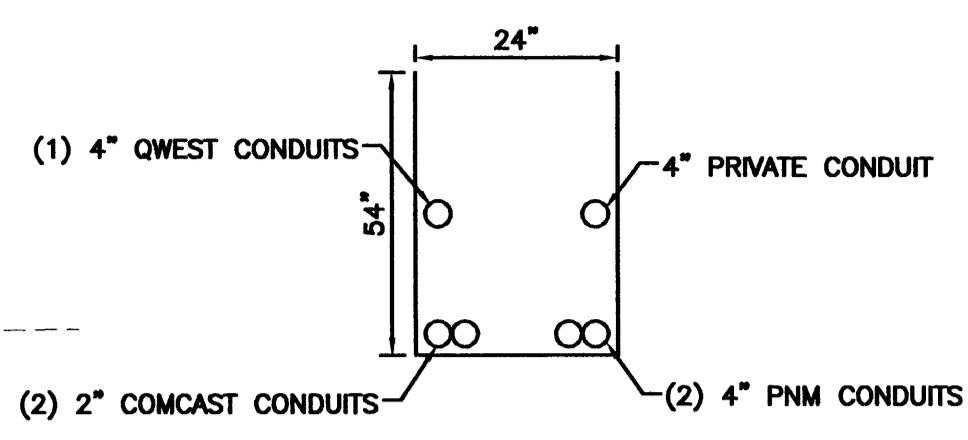
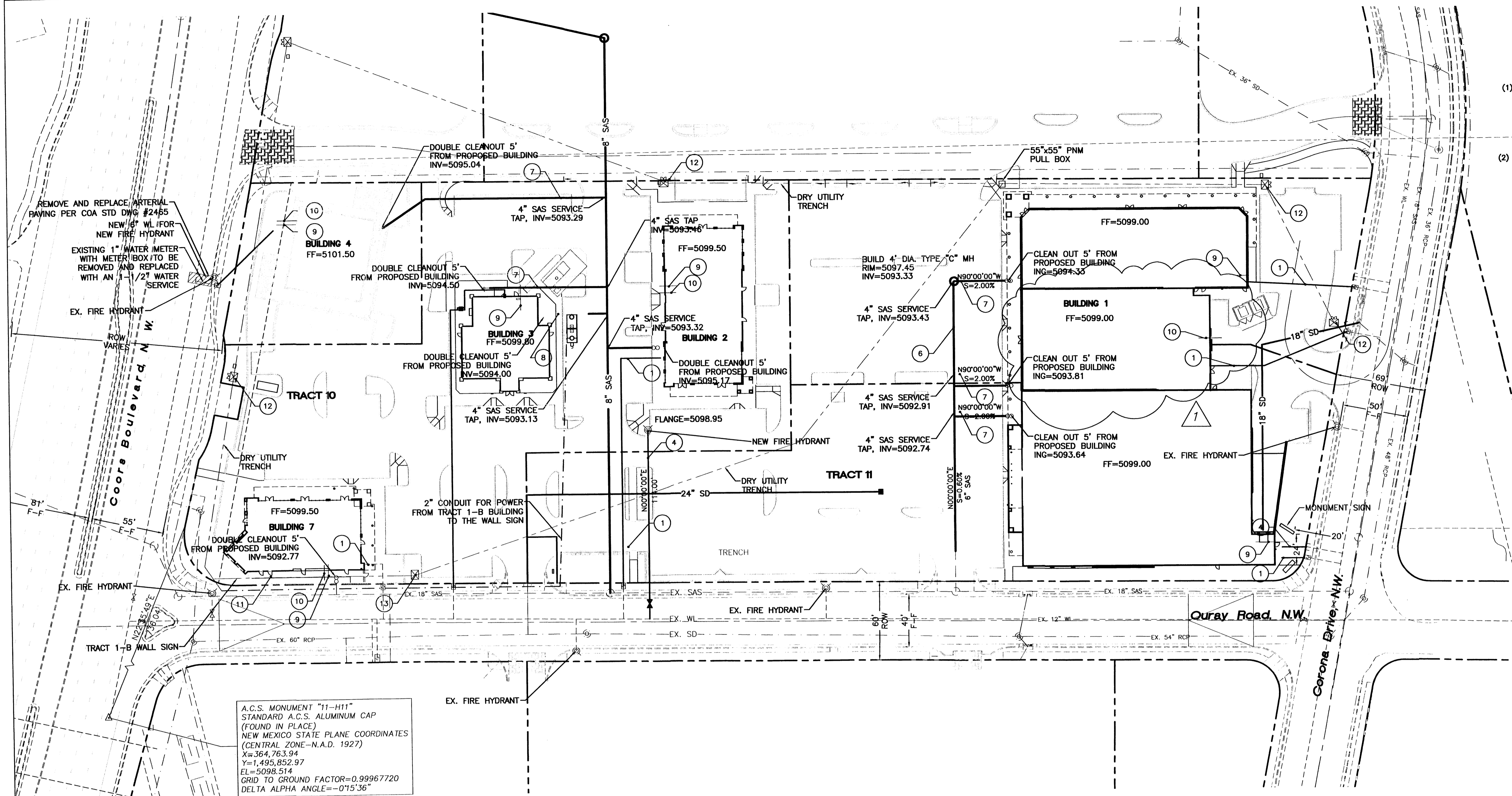
**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE



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(CENTRAL ZONE-N.A.D. 1927)  
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DELTA ALPHA ANGLE=-0°15'36"

NO.	DATE	REMARKS	BY
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REVISIONS			
ENGINEER'S SEAL		<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY WCWJ
		<b>AMENDED GRADING PLAN</b>	DATE 7-23-02
			CRBL-GR3.DWG
		<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4 OF 6</b>
RONALD R. BOHANNAN P.E. #7868			JOB # 980063PM



**UTILITY TRENCH DETAIL**  
NTS

- GENERAL NOTES:**
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  - ALL PIPE MATERIAL TO BE USED PER UPC.

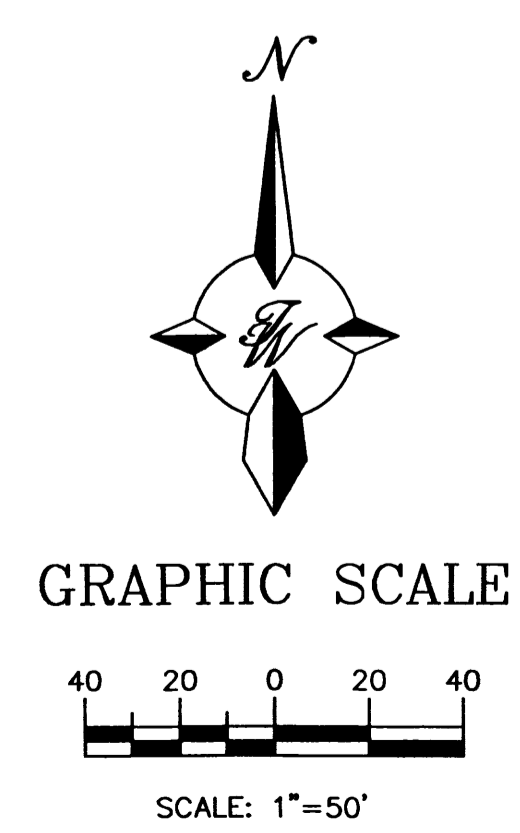
- LEGEND**
- EXISTING SD MANHOLE
  - EXISTING SAS MANHOLE
  - EXISTING METER
  - EXISTING VALVE W/BOX
  - EXISTING FIRE HYDRANT
  - PROPOSED CLEAN OUT
  - PROPOSED DOUBLE CLEAN OUT
  - EXISTING 8" SAS
  - EXISTING 18" WL
  - EXISTING 42" RCP
  - EXISTING CURB & GUTTER
  - PROPOSED 4" SD
  - PROPOSED 8" SAS
  - PROPOSED 8" WL
  - PROPOSED WATERLINE
  - BOUNDARY LINE
  - EASEMENT
  - MAIN ELECTRIC ROUTE

A.C.S. MONUMENT "11-H11"  
STANDARD A.C.S. ALUMINUM CAP  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE--N.A.D. 1927)  
X=364,763.94  
Y=1,495,852.97  
E=5098.514  
GRID TO GROUND FACTOR=0.99967720  
DELTA ALPHA ANGLE=-0°15'36"

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

- KEYED NOTES**
- 1-1/2" WATER SERVICE LINE
  - 1" WATER SERVICE LINE
  - NOT USED
  - 6" FIRE LINE
  - REMOVE AND REPLACE EXISTING ARTERIAL PAVING PER COA STD #2465
  - 6" SAS
  - 4" SAS SERVICE LINE
  - GREASE TRAP
  - GAS ENTRY
  - POWER ENTRY
  - MAIN ELECTRIC ROUTING WITH (2) 2" EMPTY CONDUITS (SEE PNM ROUTING LAYOUT)
  - TRANSFORMER
  - SWITCH GEAR

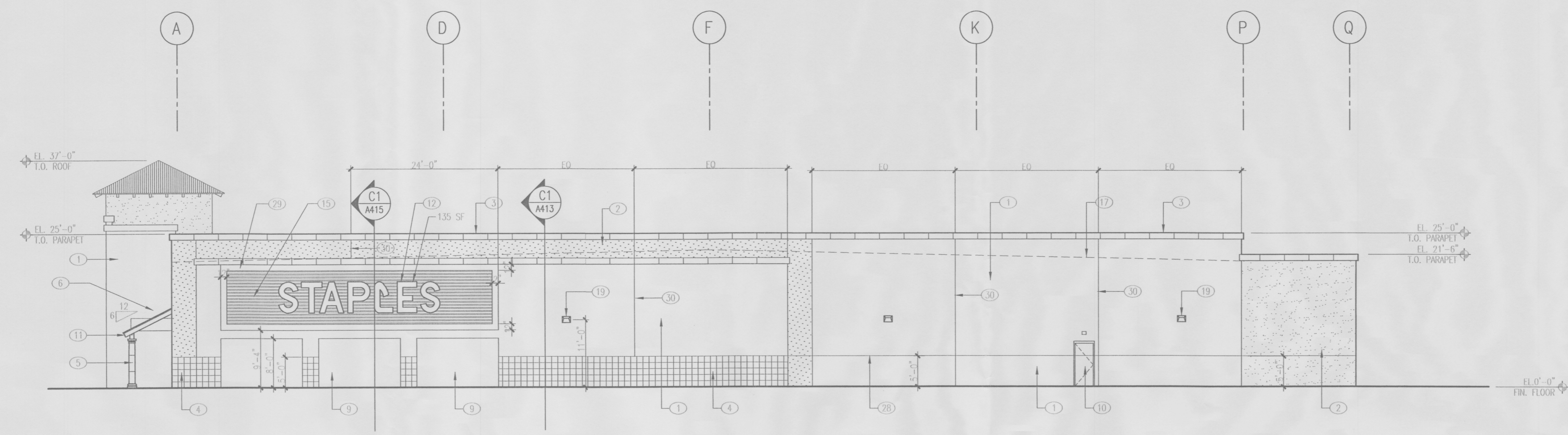
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



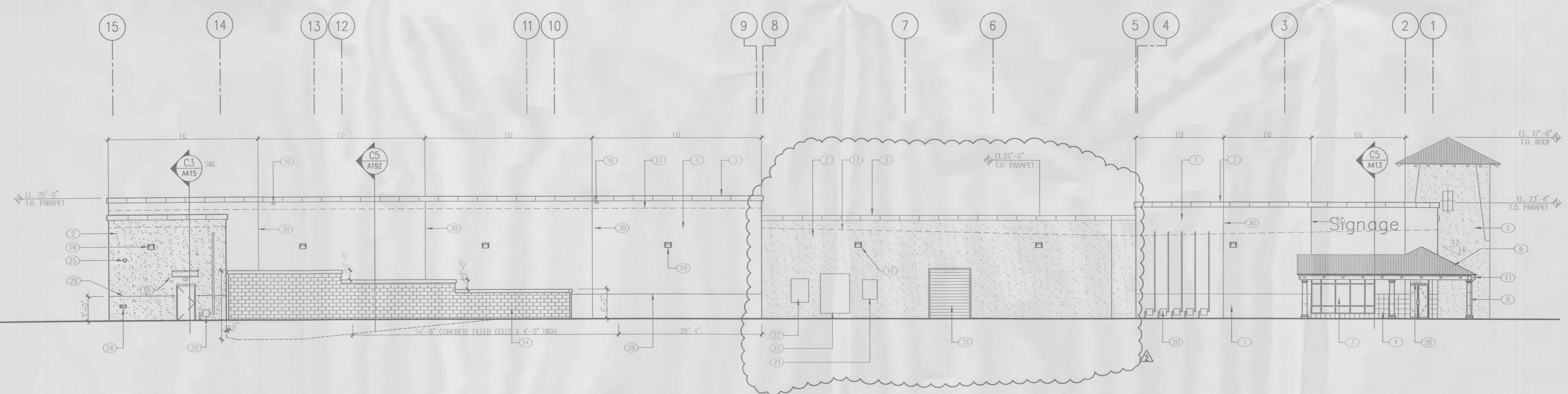
1	7-23-02	INCREASE OF TR. 12 BUILDING SET/LOT LINE ADJUSTMENT FOR TR. 11 & 12	WCWJ
NO.	DATE	REMARKS	BY
<b>REVISIONS</b>			
ENGINEER'S SEAL		<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY WCWJ
		<b>AMENDED MASTER UTILITY PLAN</b>	DATE 7-30-02
		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	CBRL-MU3.DWG
		SHEET #	5 OF 6
RONALD R. BOHANNAN P.E. #7868		JOB #	980063PM

Keyed Notes < ELEVNOTES.DWG >

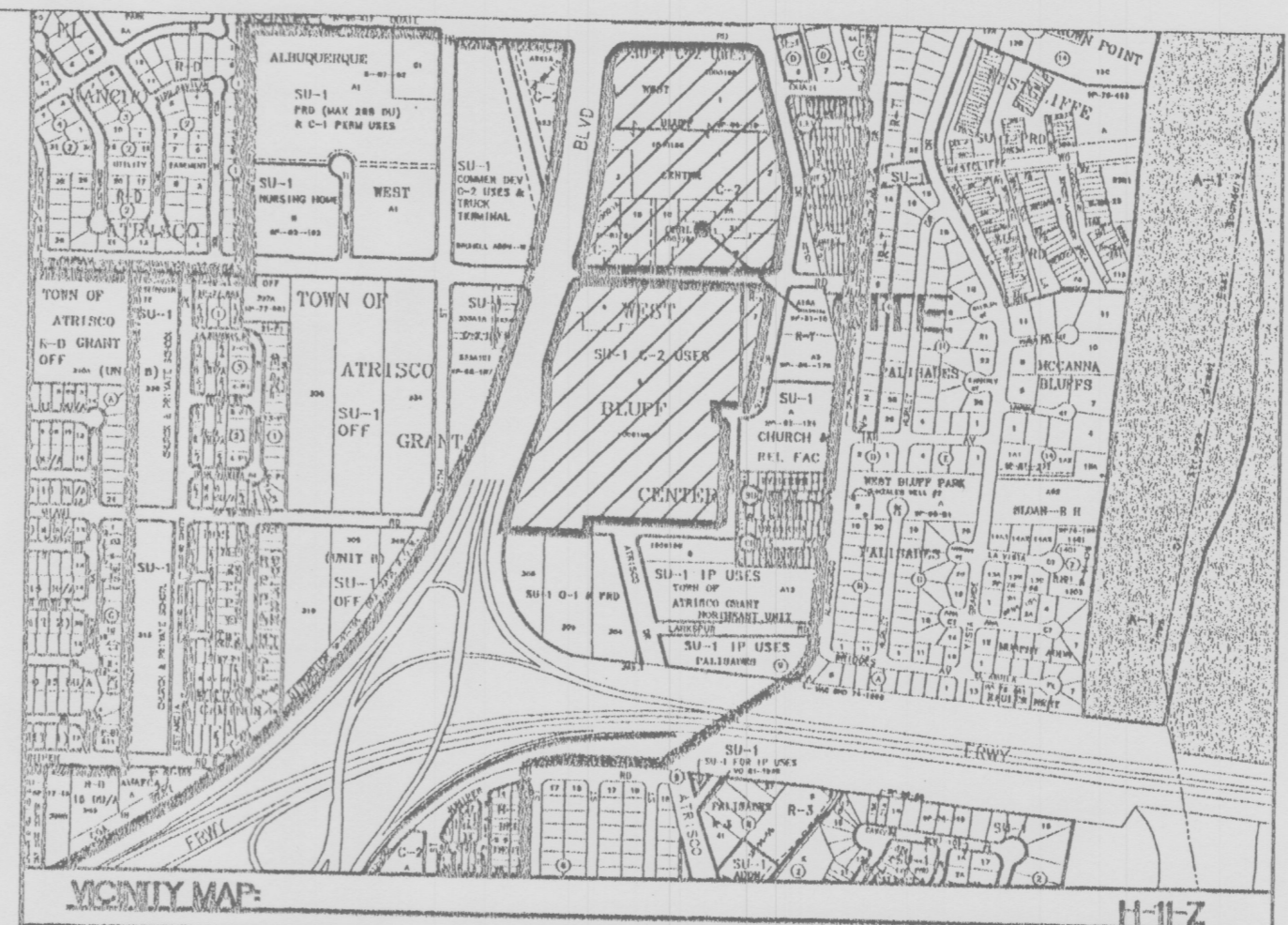
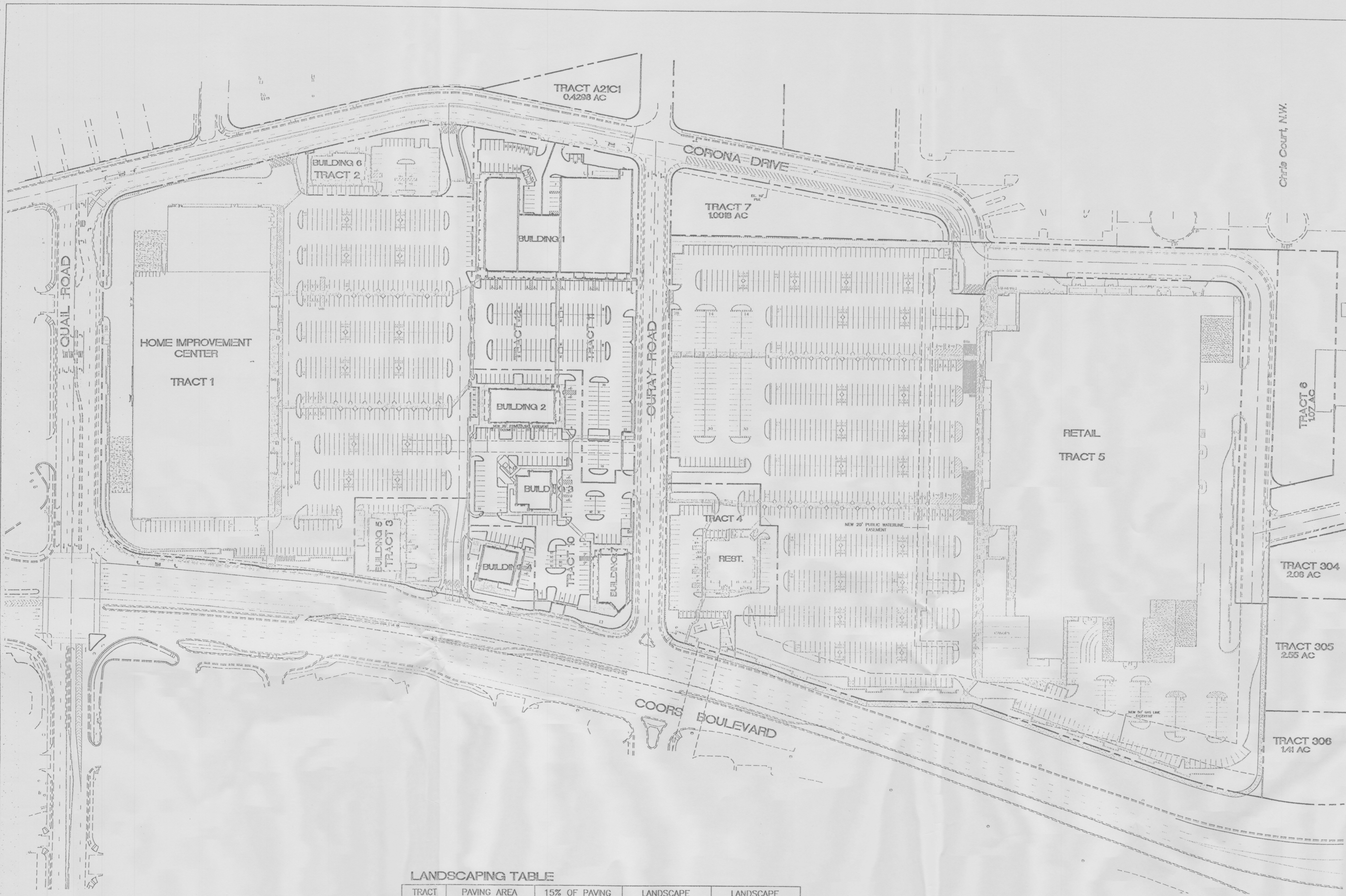
- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "PUERLO" 0100S; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "ADOBE BROWN" 01004; DARK TAN
- 3 E.F.S. COPING, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER
- 4 E.F.S. WANSCOI, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.F.S. COLUMN WRAP, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING, SUPER LOK, 12" COVERAGE, 24 GA  
FINISH: GALVALUM PILES
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PAINT BARS "FLAT BLACK"
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED,  
COLOR: TO MATCH ADJACENT STUCCO, (PUERLO STO) BENJAMIN MOORE,  
"BROOKLINE BEIGE" #HC-47, (ADOBE BROWN STO) BENJAMIN MOORE,  
"JACKSON TAN" #HC-46.
- 11 6" X 4" T.S. RAFTER, PAINTED, COLOR: T.B.D.  
REFER TO STRUCTURAL
- 12 SIGNAGE TO BE PROVIDED BY TENANT. G.C. TO PROVIDE  
POWER FOR LIGHTING
- 13 OVERHEAD DOOR, PAINTED TO MATCH ADJACENT STUCCO
- 14 SPLIT FACE CMU WALL
- 15 RED RIBBED METAL PANELS OVER 5/8" PLYWOOD
- 16 OVERFLOW SCUPPER
- 17 LINE OF ROOF BEYOND
- 18 ENTRY HOOD, PAINTED, COLOR: RED,  
LIGHT FIXTURE, REFER TO ELECTRICAL.
- 19 SIGNAGE
- 20 RELOCATED TELEPHONE SWITCH PANEL
- 21 RELOCATED HOUSE PANEL
- 22 RELOCATED METERING SWITCH BOARD
- 23 ELECTRICAL CONNECTION
- 24 ELECT. BELL FOR SPRINKLER SYSTEM
- 25 6" WHITE VINYL LETTERING (BUILDING ADDRESS)  
W/ CONTRASTING RECTANGULAR BACKGROUND
- 26 ELECTRIC METER
- 27 12" WHITE E.F.S. BAND  
COLOR: STO "MARBLE WHITE" 01008
- 28 STUCCO REVEAL, RE D4/A191
- 29 12" WHITE E.F.S. BAND  
COLOR: STO "MARBLE WHITE" 01008
- 30 STUCCO REVEAL, RE D4/A191
- 31 8' X 10' OVERHEAD DOOR



A2 South Elevation  
3/32" = 1'-0"  
0 2' 4' 12' < 98101A312EPC.DWG >



D2 East Elevation  
3/32" = 1'-0"  
0 2' 4' 12' < 98101A312EPC.DWG >



**GENERAL NOTES:**

1. INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
2. CROSS ACCESS EASEMENTS HAVE BEEN FILED ON OCTOBER 2nd, BK-A10, PG-7082.
3. CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
4. ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
5. UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
6. ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
7. ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
8. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
9. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)
10. AS REQUIRED BY TRANSPORTATION DEVELOPMENT SECTION, A COPY OF THE APPROVED TCL AS-BUILT WILL BE SUBMITTED BY THE DESIGNER OR ACCEPTABLE REPRESENTATIVE PARTY WHICH INCLUDES A LETTER OF CERTIFICATION STATING THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TCL. VERIFICATION OF TCL ACCEPTABILITY, TO INCLUDE RANDOM FIELD CHECKS, WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY CO. CONFIRMATION FROM HYDROLOGY, SUPPORTING THIS REQUIREMENT, WILL BE NEEDED PRIOR TO APPROVAL OF TCL BY TRANSPORTATION.
11. ALL SMALL CAR PARKING SHALL BE LABELED AS "COMPACT" OR EQUAL, PAINT ON ASPHALT.

**SHEET INDEX**

- C. OVERALL SITE PLAN
- C1. SITE PLAN FOR SUBDMISION
- C2. SITE PLAN FOR BUILDING PERMIT
- L1. LANDSCAPE PLAN
- C3. MASTER UTILITY PLAN
- C4. GRADING PLAN
- C5. DETAILS
- C6. DETAILS
- C7. DETAILS
- A11. ELEVATIONS, BUILDING 3
- A12. ELEVATIONS, BUILDING 3
- A311. ELEVATIONS, BUILDING 1
- A312. ELEVATIONS, BUILDING 1
- A321. ELEVATIONS, BUILDING 2
- A341. ELEVATIONS, BUILDING 4
- A371. ELEVATIONS, BUILDING 7 (FOR REFERENCE ONLY)
- A191. ELEVATIONS, DETAILS

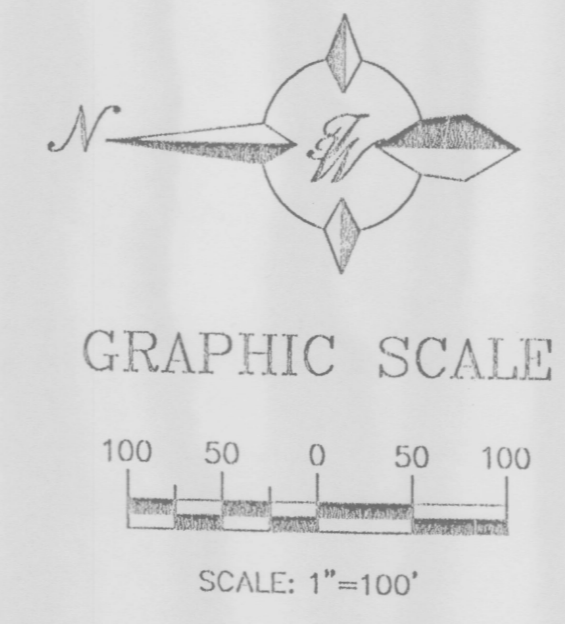
**LANDSCAPING TABLE**

TRACT	PAVING AREA (SF)	15% OF PAVING (REQUIREMENT)	LANDSCAPE PROVIDED (SF)	LANDSCAPE SURPLUS
1, 2, 3	152,796	30,559	58,764	28,205
4, 5	519,958	63,992	109,538	45,546
A-2021-A	13,783	1,098	6,418	5,318
10	70,258	10,539	18,229	7,690
11	48,777	7,316	9,952	2,635
12	38,124	5,719	6,997	1,278

**SITE DATA TABLE**

TRACT	BUILDING No.	AREA (AC)	APPROVED BLDG. AREA (SF)	ACTUAL BLDG. AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT	BUS CREDIT	PRKG. REQ.	APPROVED PRKG. PROV.	ACTUAL PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE SPACES REQ.
1		9.9922	1,51,024	110,000	RETAIL	SU-1 FOR C-2	0.25	45' SOLAR SETBACK		561	529	529	16	16	29
2		0.8197	4,200	4,537	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK		24	49	49	3	4	2
3		0.7026	3,773	5,273	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK		28	49	49	2	2	2
4		1.2510	9,801	5,771	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK		80	49	49	4	5	1
5		20.6083	270,000	211,712	REST.	SU-1 FOR C-2	0.24	45' SOLAR SETBACK		1100	1108	1108	21	24	25
A-2021-A	4	0.5991	3,636	3,636	REST.	C-2	0.21	45' SOLAR SETBACK	2	15	16	16	1	1	1
10	2,3,7	2.3869	-	16,138	7,637 REST./8,501 RET.	C-2	-	45' SOLAR SETBACK	12	108	-	128	8	8	3
11	1	1.8895	-	23,577	RETAIL	C-2	-	45' SOLAR SETBACK	12	106	-	120	4	4	4
12	1	1.4756	-	18,075	RETAIL	C-2	-	45' SOLAR SETBACK	-	90	-	103	4	4	4

**FOR REFERENCE ONLY**



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>WEST BLUFF RETAIL CENTER</b> <b>OVERALL SITE PLAN (FOR REFERENCE ONLY)</b>	DRAWN BY BDG DATE 11/27/01 OVERALL.DWG
	TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C</b> JOB # 980063

**SITE DATA TABLE**

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	BUS CREDIT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	SC MAX.	SC PROV.	BIKE RACKS REQ.	OWNERSHIP
A-2021-A	4	0.3991	3,646	REST.	C-2	45' SOLAR SETBACK	2	15	16	1	2	1	1	0	0	1	WEST BLUFF, LLC
10	2,3,7	2,3869	15,486	***8,588 REST./6,898 RET.	C-2	45' SOLAR SETBACK	12	108	128	8	8	1	3	34	11	3	WEST BLUFF, LLC
11	1A, 1B	1,8895	23,577	RETAIL	C-2	45' SOLAR SETBACK	12	106	120	4	4	1	1	30	7	4	CONWAY WEST BLUFF, LLC
12	1C	1,4756	18,075	RETAIL	C-2	45' SOLAR SETBACK	90	103	4	4	1	1	23	13	4	CONWAY WEST BLUFF, LLC	
TOTAL								319	367	14	18	3	5	85	31	8	

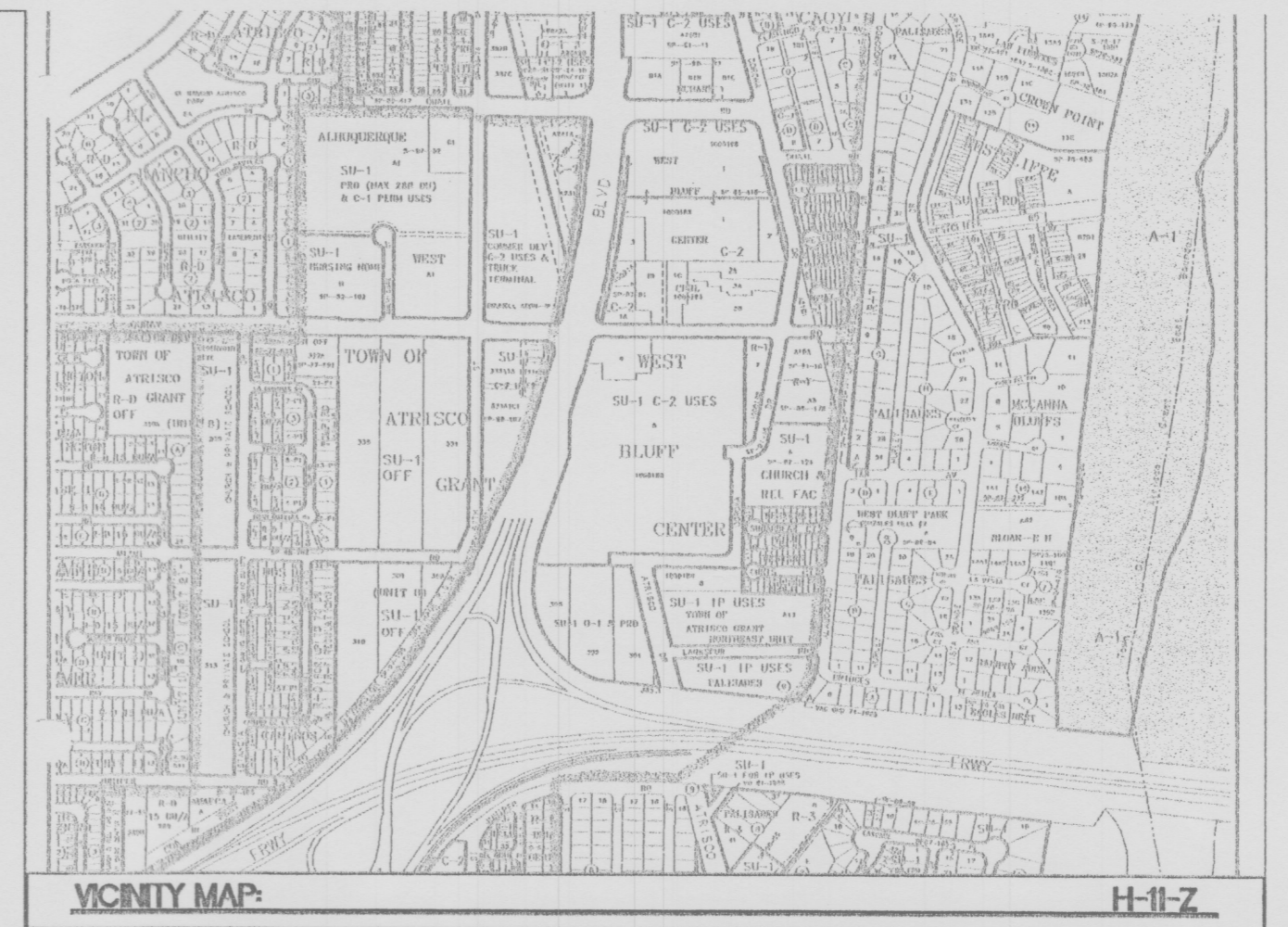
**LANDSCAPING TABLE**

TRACT	PAVING AREA (SF)	15% OF PAVING (REQUIREMENT)	LANDSCAPE PROVIDED (SF)	LANDSCAPE SURPLUS
A-2021-A	13,783	1,098	6,418	5,316
10	70,258	10,539	18,229	7,690
11	48,777	7,316	9,952	2,635
12	38,124	5,719	6,997	1,248

\* PARKING REQUIRED (BUILDING 4)  
1 PER 4 SEATS (68 SEATS) = 17

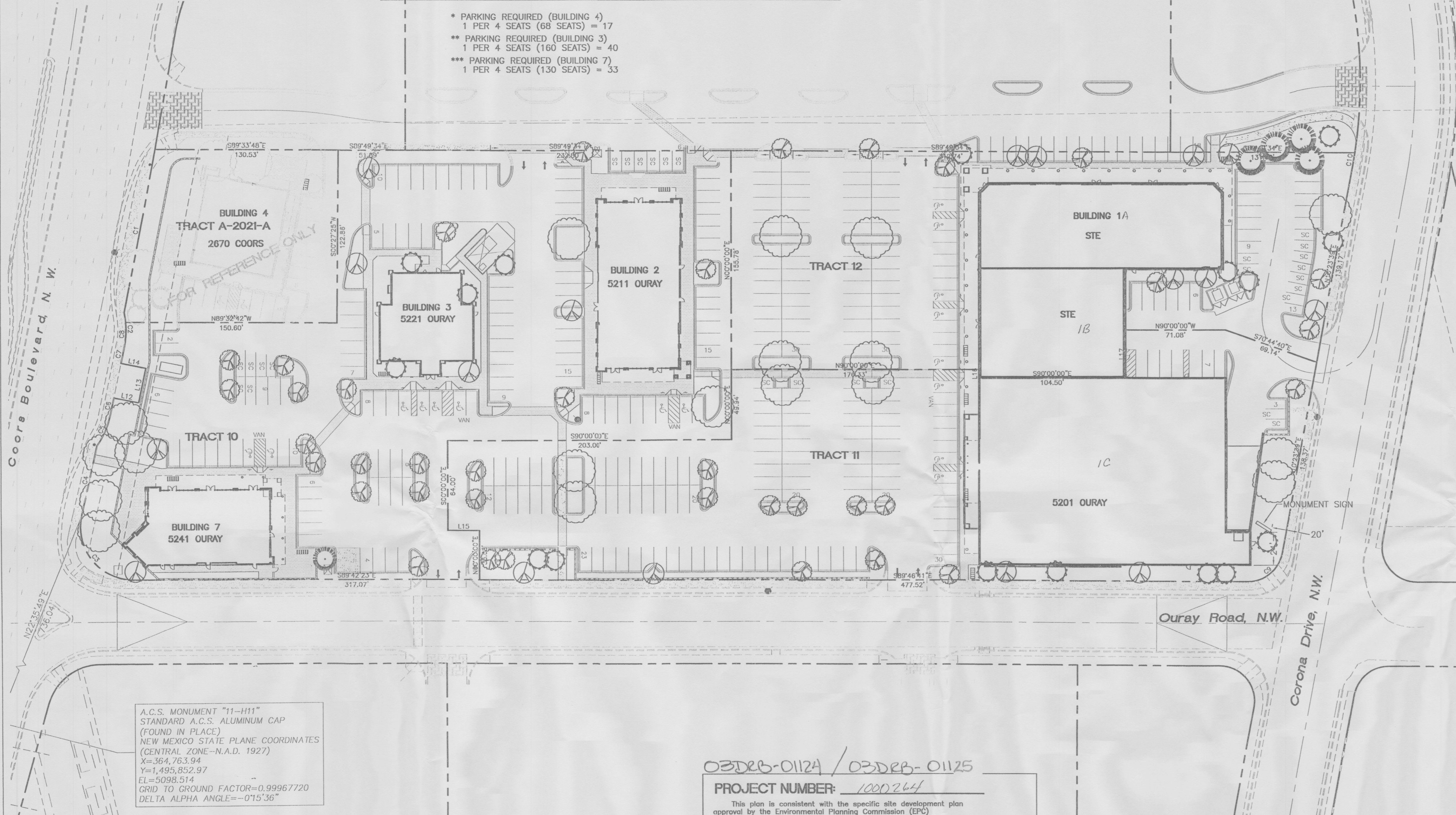
\*\* PARKING REQUIRED (BUILDING 3)  
1 PER 4 SEATS (160 SEATS) = 40

\*\*\* PARKING REQUIRED (BUILDING 7)  
1 PER 4 SEATS (130 SEATS) = 33



**LEGAL DESCRIPTION:**  
TRACT A-2021-A TOWN OF ATRISCO GRANT NORTHEAST UNIT AND TRACT 10, AND 11 OF WEST BLUFF

- GENERAL NOTES:**
- INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
  - CROSS ACCESS EASEMENTS HAVE BEEN FILED ON OCTOBER 2nd, BK-A10, PG-7082.
  - CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
  - ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
  - UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
  - AVERAGE HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
  - ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
  - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°. LIGHT POLE HEIGHT SHALL NOT EXCEED 20'.
  - LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)
  - ALL SMALL CAR PARKING SHALL BE LABELED AS "COMPACT" OR EQUAL, PAINT ON ASPHALT.
  - ANY SIGNAGE FOR TRACTS 1 THRU 5 OF WEST BLUFF CENTER SHALL NOT BE CONSIDERED OFF-PREMISE. ALL BUILDING SIGNAGE SHALL BE IN CONFORMANCE WITH THE COORS CORRIDOR PLAN AND ZONING CODES. TENANT SIGNAGE ON ELEVATIONS ARE FOR REFERENCE ONLY
  - SEE SHEET C6 FOR LIGHT POLE DETAILS.
  - SEE SHEET C5 FOR REFUSE ENCLOSURE DETAIL.
  - SEE SHEET C6 FOR BIKE RACK DETAIL.
  - SEE SHEET C6 FOR MONUMENT SIGN DETAIL.
  - EMPLOYEE BREAK AREAS SHALL BE PROVIDED W/EACH RETAIL SPACE WHERE MEALS CAN BE HANDLED TO REDUCE THE NEED FOR EMPLOYEES TO LEAVE THE SITE FOR LUNCHES AND DINNERS. PATIO AREAS MAY FULFILL THIS REQUIREMENT.



A.C.S. MONUMENT "11-H11"  
STANDARD A.C.S. ALUMINUM CAP  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
X=364,763.94  
Y=1,495,852.97  
EL=5098.514  
GRID TO GROUND FACTOR=0.99967720  
DELTA ALPHA ANGLE=-0'15.36"

**LINE TABLE**

LINE	LENGTH	BEARING
L12	18.01	N78°09'02"W
L13	25.00	S11°50'58"W
L14	18.01	S78°09'02"E
L15	22.58	N90°00'00"W
L16	5.83	S00°00'00"E
L17	33.99	N00°00'00"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	117.73	5807.58	58.87	1°09'41"	N10°50'05"E	117.73
C2	23.77	56.63	12.07	24°03'15"	N00°19'04"W	23.60
C3	68.15	38.00	47.56	102°45'24"	S38°34'50"E	59.38
C4	50.48	5807.58	25.24	0°29'53"	N12°35'04"E	50.48
C5	23.82	56.62	12.09	24°05'58"	N24°02'03"E	23.64
C6	12.47	5812.42	6.24	0°07'23"	N12°02'45"E	12.47
C7	12.47	5812.41	6.24	0°07'23"	N11°39'51"E	12.47
C8	16.66	56.63	8.39	16°51'21"	N03°16'53"E	16.60
C9	34.84	25.00	20.92	79°51'23"	N50°19'20"E	32.09
C10	11.34	341.00	5.67	1°54'21"	N09°26'29"E	11.34

03DB-01124 / 03DB-01125

**PROJECT NUMBER:** 1000264

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [ ] and that the findings and conditions in the Official Notice; Notification of Decision have been compiled with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	7/16/03
Christian Sanders	7/16/03
Parks & General Services Department	
Public Works, Water Utilities Division	7/16/03
Brad J. Bishop	7/16/03
City Engineer, Engineering Division / AMAFCA	
Solid Waste	4.14.00

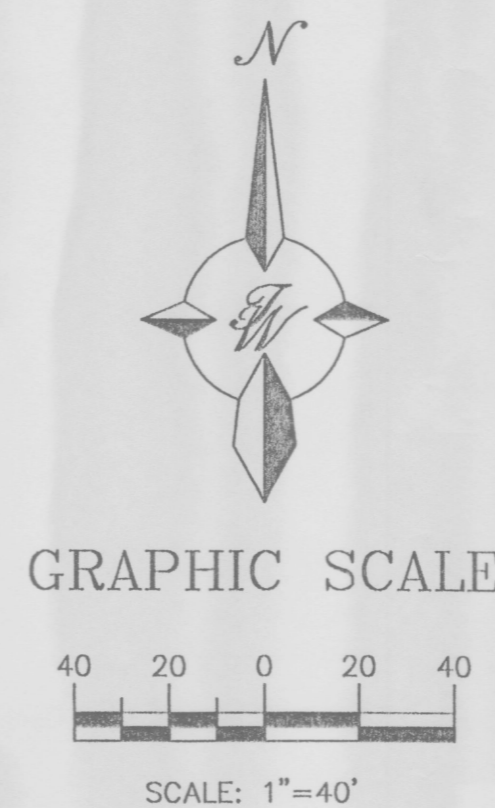
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Shera Matson  
City Planner, Albuquerque Bernalillo County Planning Division  
4/16/03

PLNz (10706) 4/96

**LEGEND**

---	BOUNDARY LINE
---	PROPOSED SIDEWALK
---	PROPOSED WALL
---	PROPOSED CONC.
---	30' WIDE SERVICE ROAD



	<b>TRACT 10, 11 AND 12 WEST BLUFF</b> <b>SITE PLAN FOR SUBDIVISION</b>	DRAWN BY: WCUJ DATE: 7-23-02 CBRL-SPS.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C1</b> JOB # 980063



**SITE DATA TABLE**

CT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	BUS CREDIT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	SC MAX.	SC PROV.	BIKE RACKS REQ.	OWNERSHIP
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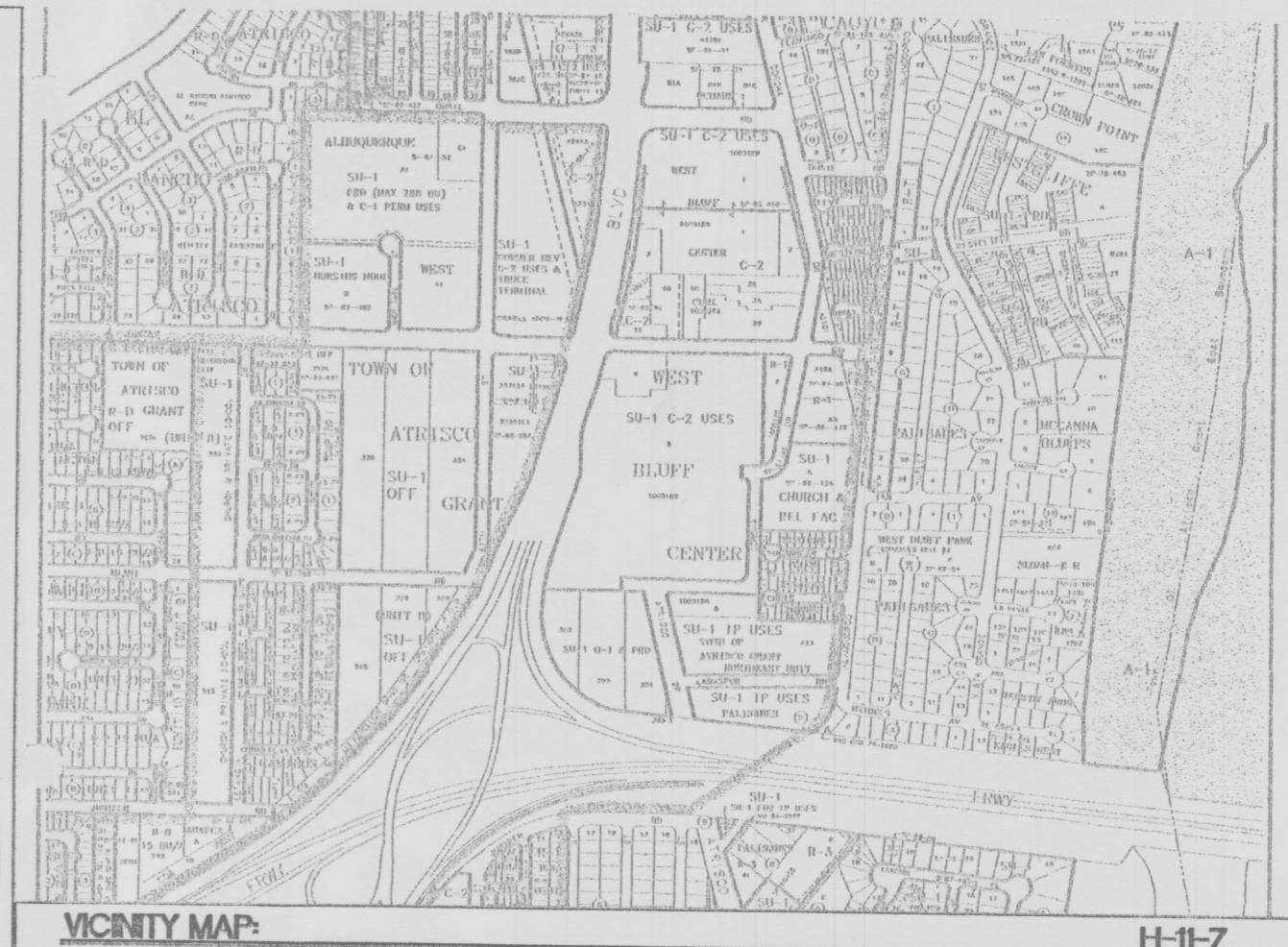
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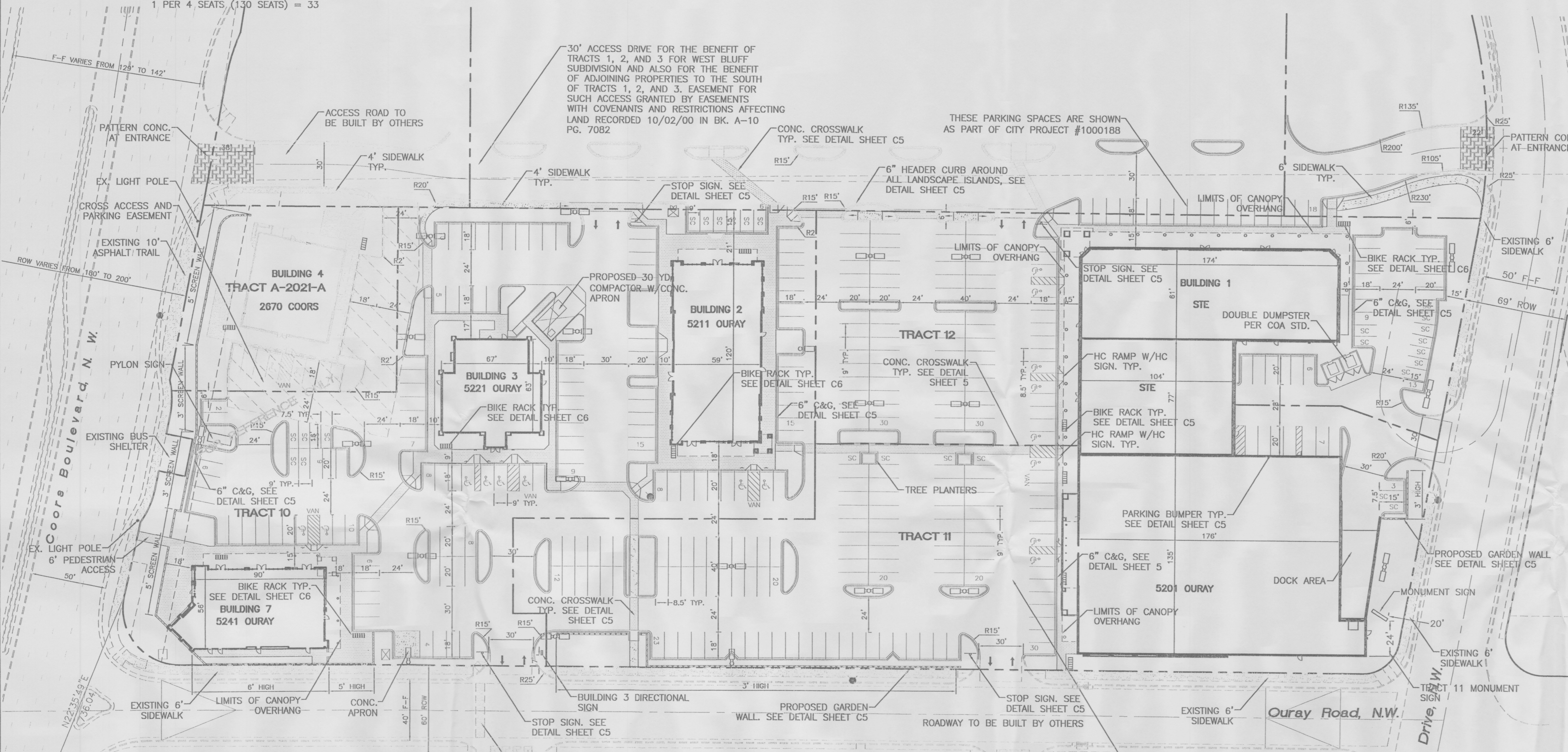
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  - ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
  - UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
  - ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
  - ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
  - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°. LIGHT POLE HEIGHT SHALL NOT EXCEED 20'.
  - LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)
  - ALL SMALL CAR PARKING SHALL BE LABELED AS "COMPACT" OR EQUAL, PAINT ON ASPHALT.
  - ANY SIGNAGE FOR TRACTS 1 THRU 5 OF WEST BLUFF CENTER SHALL NOT BE CONSIDERED OFF-PREMISE. ALL BUILDING SIGNAGE SHALL BE IN CONFORMANCE WITH THE COORS CORRIDOR PLAN AND ZONING CODES. TENANT SIGNAGE ON ELEVATIONS ARE FOR REFERENCE ONLY
  - SEE SHEET C6 FOR LIGHT POLE DETAILS.
  - SEE SHEET C5 FOR REFUSE ENCLOSURE DETAIL.
  - SEE SHEET C6 FOR BIKE RACK DETAIL.
  - SEE SHEET C6 FOR MONUMENT SIGN DETAIL.
  - ALL FIXTURES SHALL BE FULL CUT-OFF DESIGN TO MINIMIZE FUGITIVE LIGHT; FIXTURE LENSES SHALL NOT PROTRUDE BELOW THE FIXTURE HOUSING.



A.C.S. MONUMENT "11-H11"  
STANDARD A.C.S. ALUMINUM CAP  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
X=364,763.94  
Y=1,495,852.97  
EL=5098.514

03DRB-01124 / 03DRB-01125  
**PROJECT NUMBER: 1000264**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	7/16/03
Christina Landoval	Date
Parks & General Services Department	7/16/03
Public Works, Water Utilities Division	Date
Bradley D. Berman	7/16/03
City Engineer, Engineering Division / AMAFCA	Date
Sheran Matson	4/10/03
Solid Waste	Date

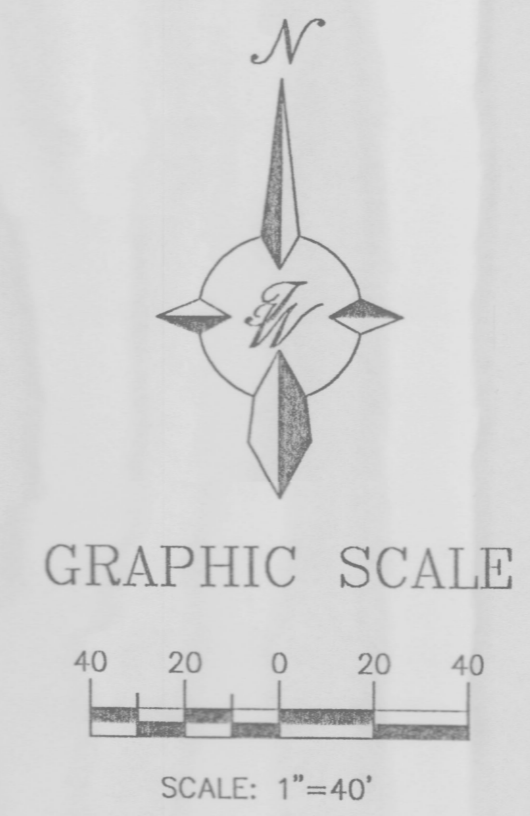
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Sheran Matson  
City Planner, Albuquerque Bernalillo County Planning Division  
Date: 4/10/03

PLNZ (10706) 4/96

CROSS ACCESS/PARKING IS PROVIDED BY COVENANTS & RESTRICTIONS AFFECTING LAND RECORDED 10/02/00 IN BK. A-10 PG. 7082

- LEGEND**
- BOUNDARY LINE
  - EASEMENT
  - PROPOSED SIDEWALK
  - PROPOSED WALL
  - PROPOSED CONC.
  - 30' WIDE SERVICE ROAD
  - PROPOSED PARKING LOT LIGHTING
  - SMALL CAR SPACE
  - PROPOSED TRANSFORMER
  - PROPOSED FIRE HYDRANT
  - PROPOSED BIKE RACK



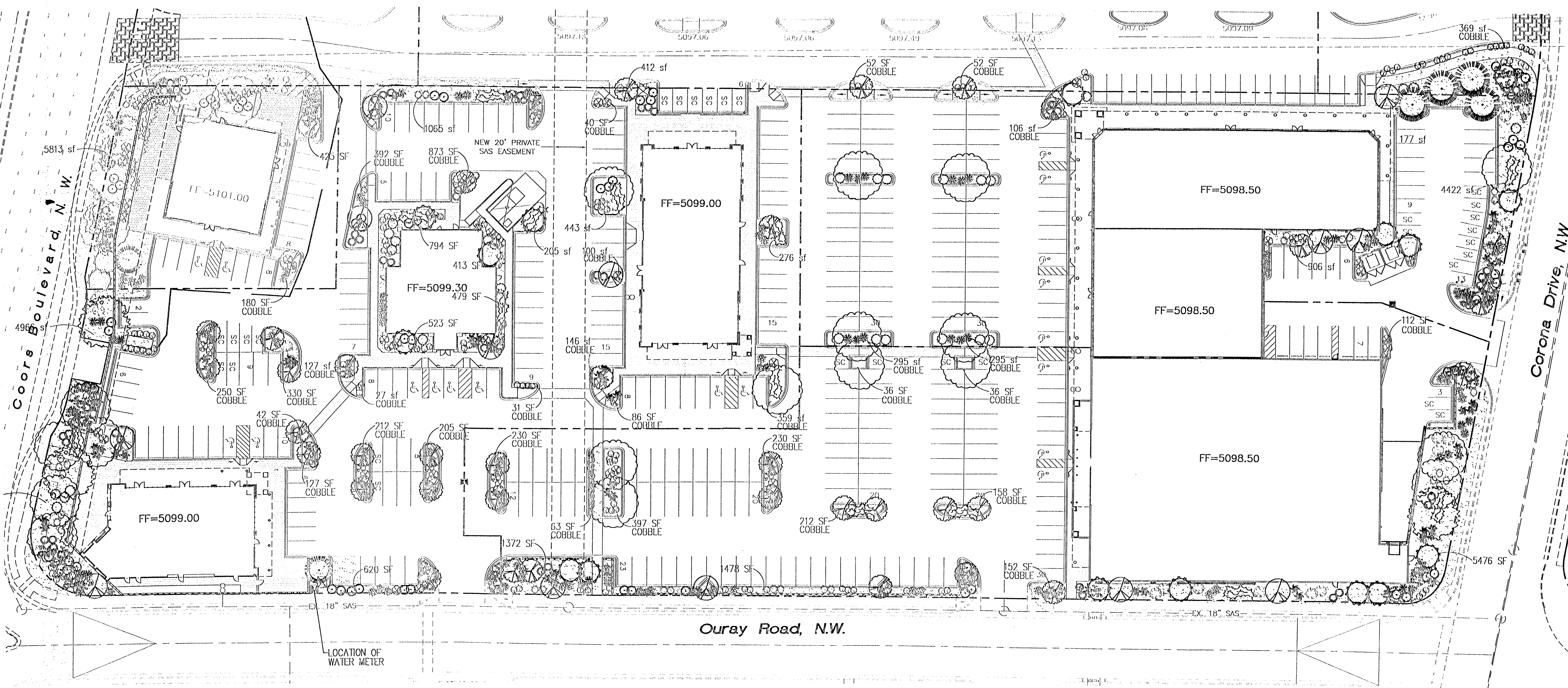
	<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY WCWJ
	<b>SITE PLAN FOR BUILDING PERMIT</b>	DATE 7-23-02
TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		CBRL-SPB3B.DWG
		SHEET # <b>C2</b>
		JOB # 980063

architect

engineer

project

**West Bluff**  
**Coors Blvd. N.W. & I-40**  
Albuquerque, New Mexico



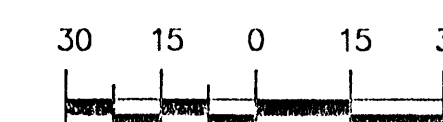
**PLANT LEGEND**

- ARIZONA ASH (M) 6  
Fraxinus velutina  
2" cal
- RAYWOOD ASH (M) 19  
Fraxinus oxycarpa raywood  
2" cal
- AUSTRIAN PINE (H) 6  
Pinus nigra  
6-8'
- CHITALPA (M) 17  
Chilopsis x Catalpa  
15 gal
- DESERT WILLOW (L) 19  
Chilopsis linearis  
15 gal
- WASHINGTON HAWTHORN (H) 38  
Crataegus phaenopyrum  
15 gal
- DWARF MAIDEN/SILVERGRASS (M) 76  
Miscanthus sinensis  
5 gal
- BUFFALO JUNIPER (L) 51  
Juniperus sabinia  
5 gal
- RED YUCCA (L) 48  
Hesperaloe parviflora  
5 gal
- REGAL MIST (M) 89  
Muhlenbergia rigida  
5 gal
- POWIS CASTLE SAGE (L) 54  
Artemisia x 'Powis Castle'  
5 gal
- APACHE PLUME (L) 60  
Fallugia paradoxa  
5 gal
- MAHONIA (M) 26  
Mahonia aquifolium  
5 gal.
- COYOTEBUSH (L) 66  
Baccharis Centennial  
5 gal
- ROSEMARY (M) 62  
Rosmarinus officianalis  
5 gal
- CHAMISA (L) 32  
Chrysolihannus nauseosus  
1 gal
- WILDFLOWER 178  
1 gal
- OVERSIZED GRAVEL  
& BOULDERS 28
- EARTH TONE (BROWN)  
CRUSHER FINES

LANDSCAPE CALCULATIONS				
TRACT	PAVED AREA	15% OF PAVING	LANDSCAPE PROVIDED	LANDSCAPE SURPLUS
A-2021-A	13,783 SF	1,098 SF	6,418 SF	5,318 SF
10	70,258 SF	10,539 SF	18,229 SF	7,690 SF
11	48,777 SF	7,316 SF	9,952 SF	2,635 SF
12	38,124 SF	5,719 SF	6,997 SF	1,278 SF

**L1 Landscape Plan**  
1" = 30'-0"

**GRAPHIC SCALE**



SCALE: 1"=30'

**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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**LANDSCAPE NOTES:**

- Landscape maintenance shall be the responsibility of the Property Owner.
- It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.
- Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
- All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
- Plant beds shall achieve 75% live ground cover at maturity.
- Earth Tone (Brown) Crusher Fines shall be placed in all landscape areas which are not designated to receive native seed.

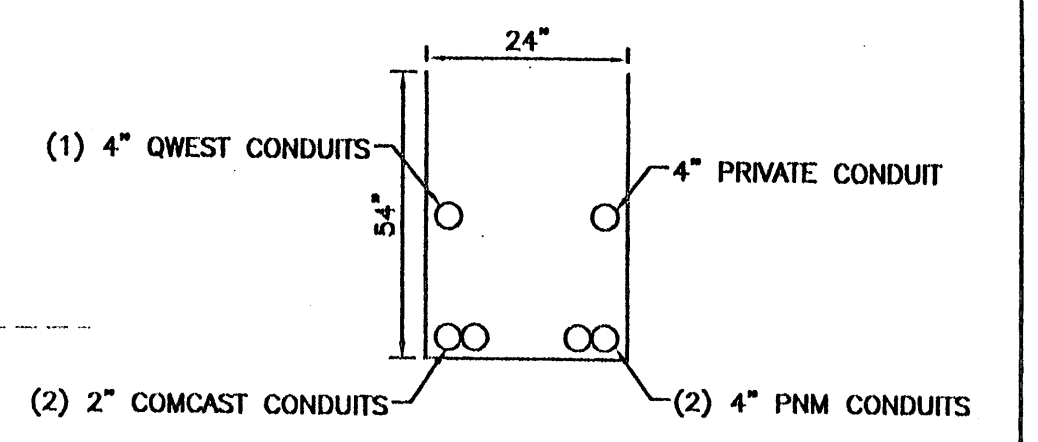
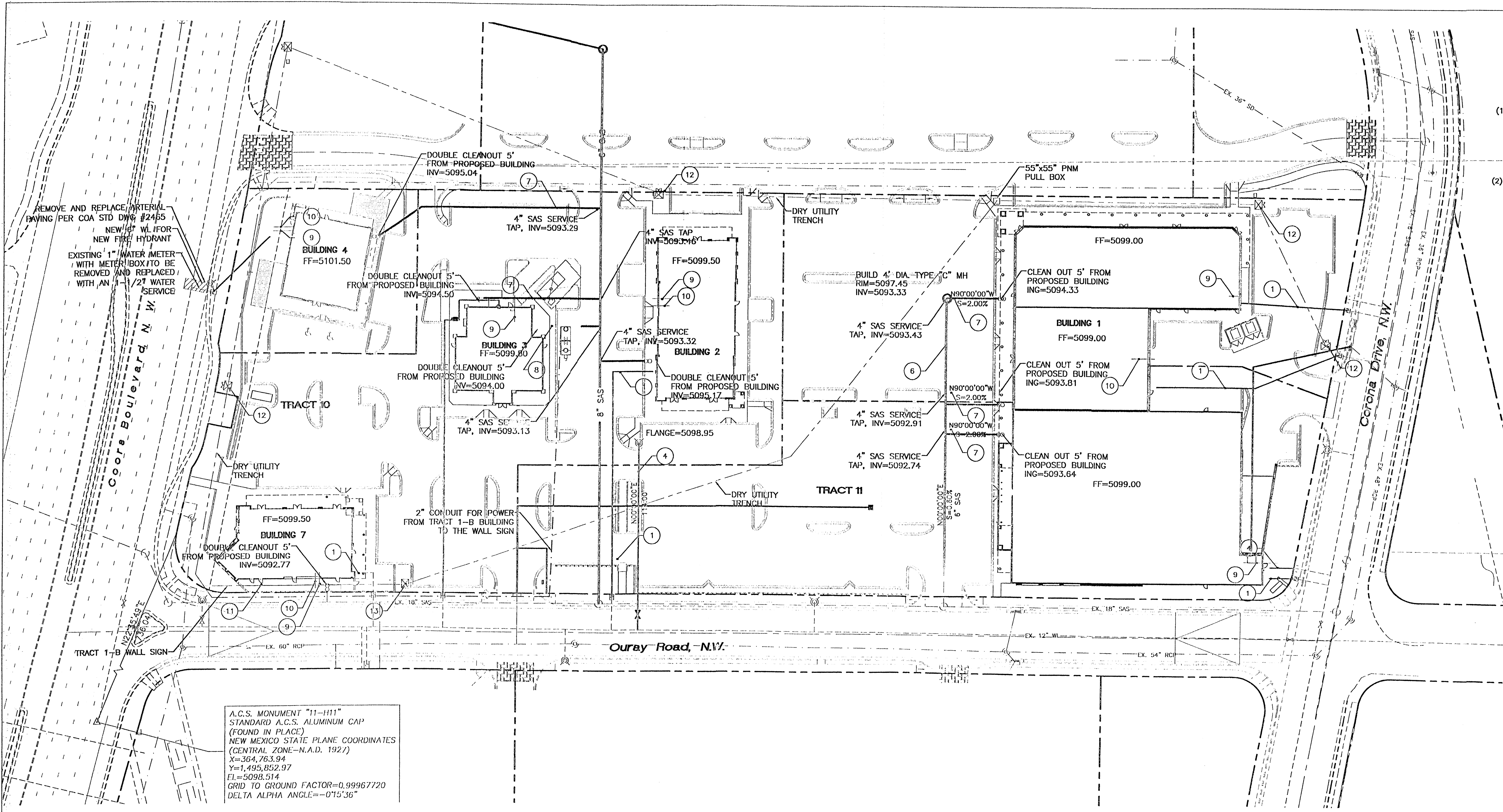
**IRRIGATION NOTES:**

- Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
- Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
- Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
- Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
- Irrigation maintenance shall be the responsibility of the Property Owner.

**STREET TREE REQUIREMENTS**

- Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
- Name of Street: COORS BLVD. NW  
Required #: 11 Provided #: 11

revisions	
△	
△	
△	
△	
plotted: x	
drawn by	FRW
reviewed by	JJD
date	9-20-01
project no.	98101002
drawing name	
sheet no.	L1



- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  5. ALL PIPE MATERIAL TO BE USED PER UPC.

A.C.S. MONUMENT "11-1111"  
 STANDARD A.C.S. ALUMINUM CAP  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=364,763.94  
 Y=1,495,852.97  
 EL=5098.514  
 GRID TO GROUND FACTOR=0.99967720  
 DELTA ALPHA ANGLE=-0°15'36"

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1905.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

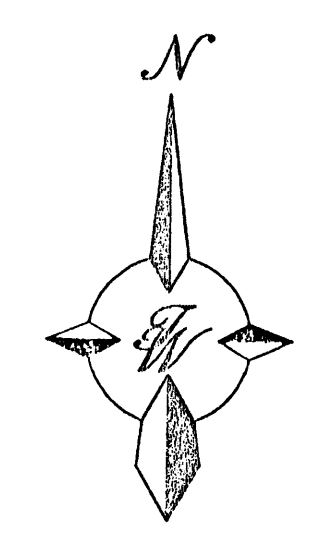
**KEYED NOTES:**

- 1 1-1/2" WATER SERVICE LINE
- 2 1" WATER SERVICE LINE
- 3 NOT USED
- 4 6" FIRE LINE
- 5 REMOVE AND REPLACE EXISTING ARTERIAL PAVING PER COA STD #2465
- 6 6" SAS
- 7 4" SAS SERVICE LINE
- 8 GREASE TRAP
- 9 GAS ENTRY
- 10 POWER ENTRY
- 11 MAIN ELECTRIC ROUTING WITH (2) 2" EMPTY CONDUITS (SEE PNM ROUTING LAYOUT)
- 12 TRANSFORMER
- 13 SWITCH GEAR

**LEGEND**

- ⊙ EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- ⊗ EXISTING METER
- ⊕ EXISTING VALVE W/BOX
- ⊗ EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- ⊕ PROPOSED DOUBLE CLEAN OUT
- EX. 6" SAS --- EXISTING SANITARY SEWER LINE
- EX. 18" WL --- EXISTING WATER LINE
- EX. 42" RCP --- EXISTING STORM SEWER LINE
- EX. 18" RCP --- EXISTING CURB & GUTTER
- 4" SD --- PROPOSED STORM SEWER LINE
- 6" SAS --- PROPOSED SANITARY SEWER LINE
- 6" WL --- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT
- MAIN ELECTRIC ROUTE

ADD PLANS CHECKING OFFICE  
 924-3811  
 APPROVED/DISAPPROVED  
 [Signature]  
 SIGNATURE & DATE

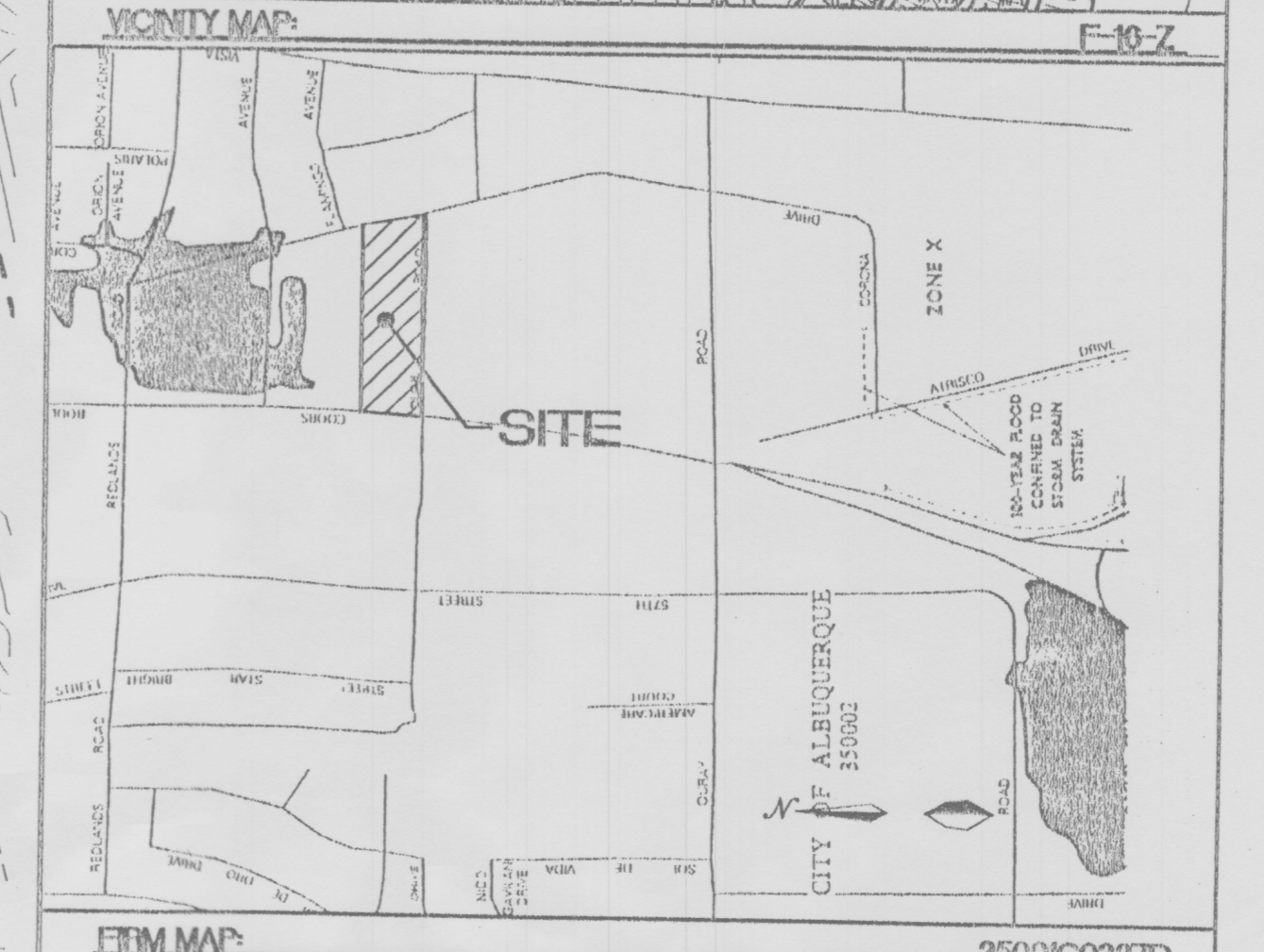
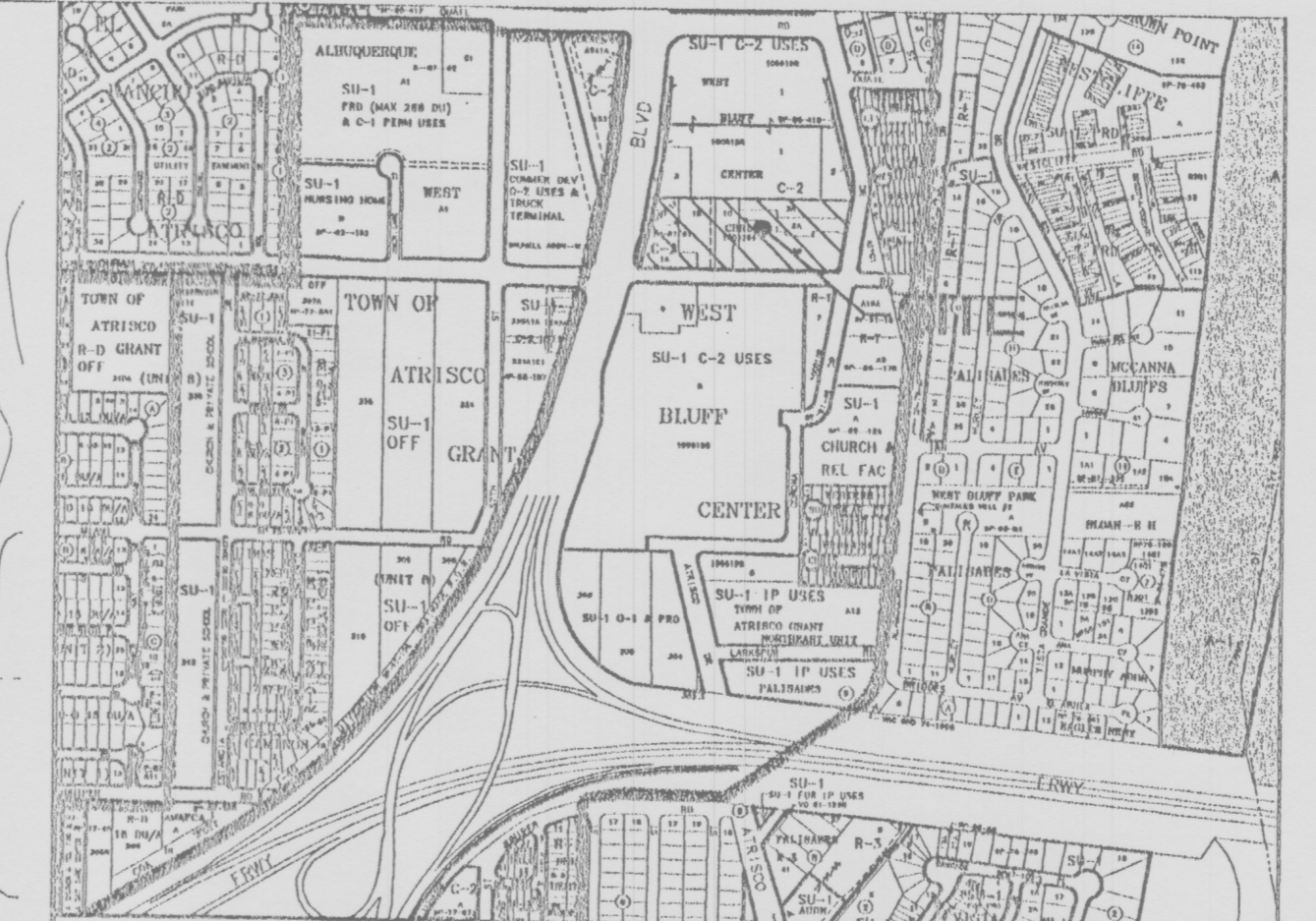
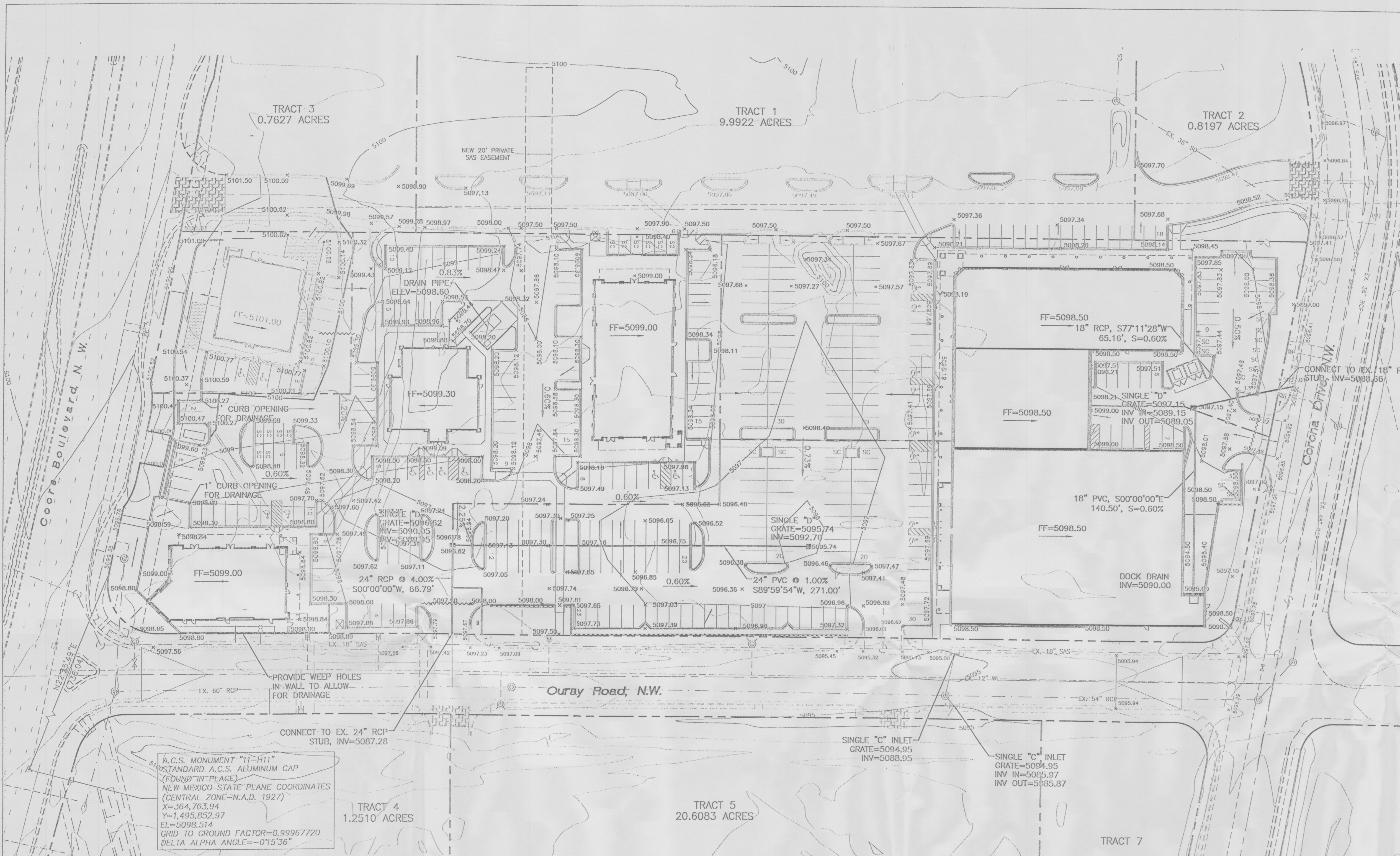


GRAPHIC SCALE

SCALE: 1"=50'

**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY BDG
	<b>MASTER UTILITY PLAN</b>	DATE 11/21/01
	TERMA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	CBRL-MU3.DWG
		SHEET # C3
		JOB # 980063



**NOTES**  
 1. ALL SPOT ELEVATION ARE FLOWLINE UNLESS OTHERWISE NOTED.

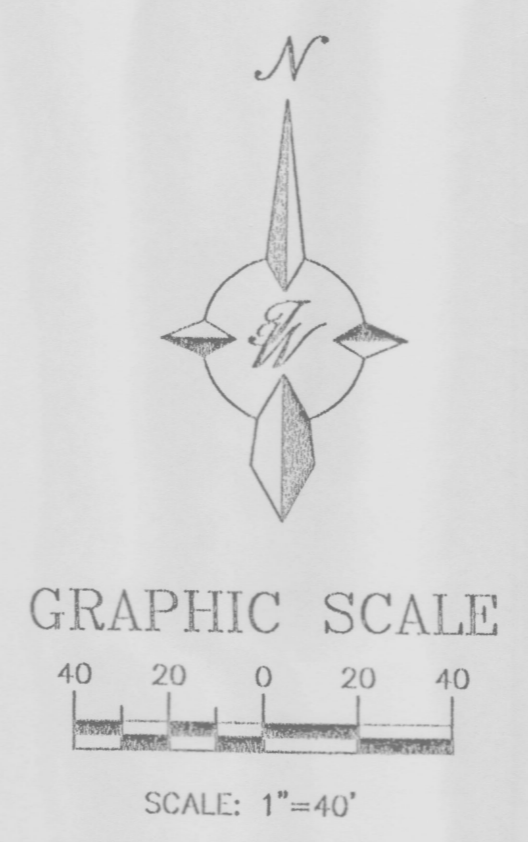
**LEGEND**

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	HEAVY CONCRETE AREA
	PATTERN CONCRETE AREA
	GRADE BREAK

A.C.S. MONUMENT "11-111"  
 STANDARD A.C.S. ALUMINUM CAP  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=364,763.94  
 Y=1,495,852.97  
 EL=5098.514  
 GRID TO GROUND FACTOR=0.99967720  
 DELTA ALPHA ANGLE=-0°15'36"

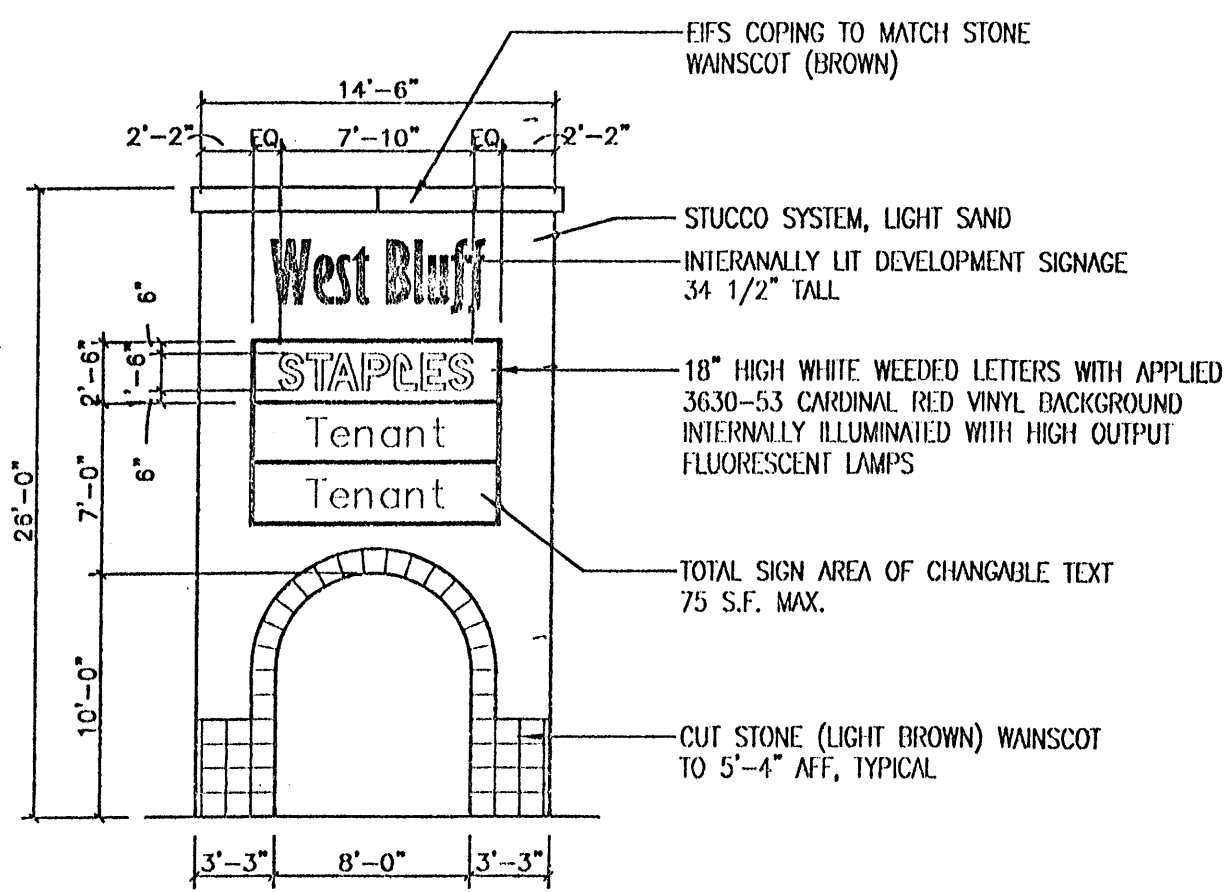
**EROSION CONTROL PLAN, NPDES PERMIT  
 AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE



ROUGH GRADING APPROVAL		DATE
 RONALD R. BOHANNAN P.E. #7868	<b>TRACT 10, 11 AND 12          WEST BLUFF</b>	DRAWN BY BDG
	<b>GRADING PLAN</b>	DATE 11/21/01
 <b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		CRBL-CR3.DWG
		SHEET # <b>C4</b>
		JOB # 980063

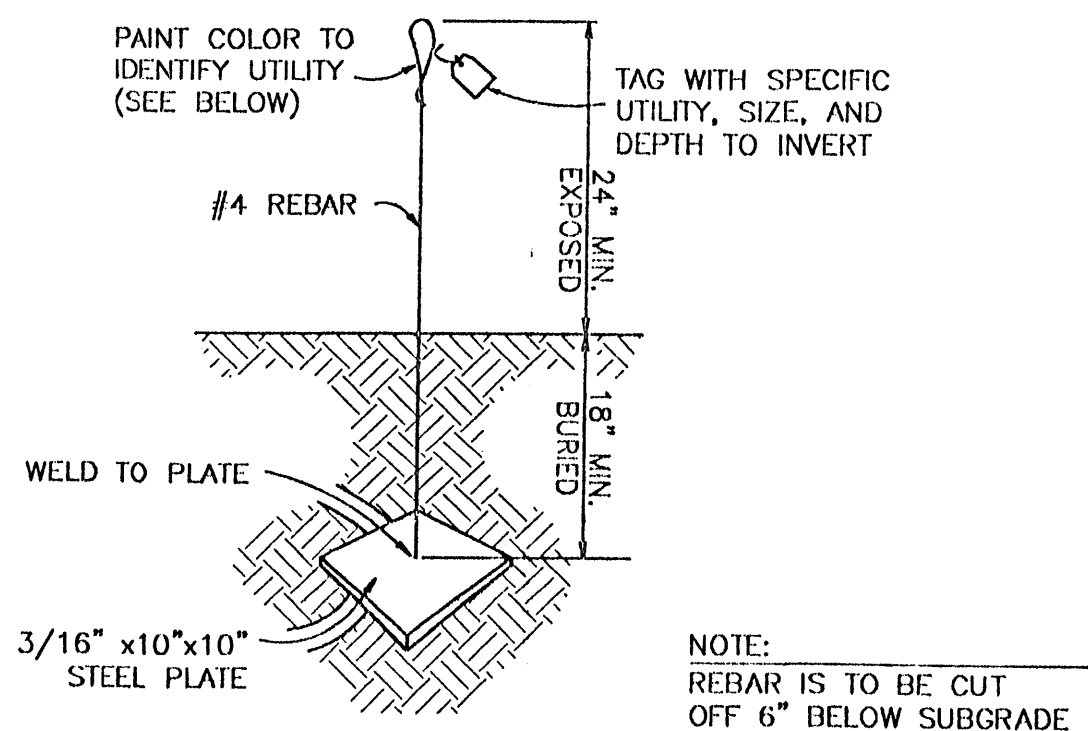




NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.

**PYLON SIGN DETAIL**

NTS

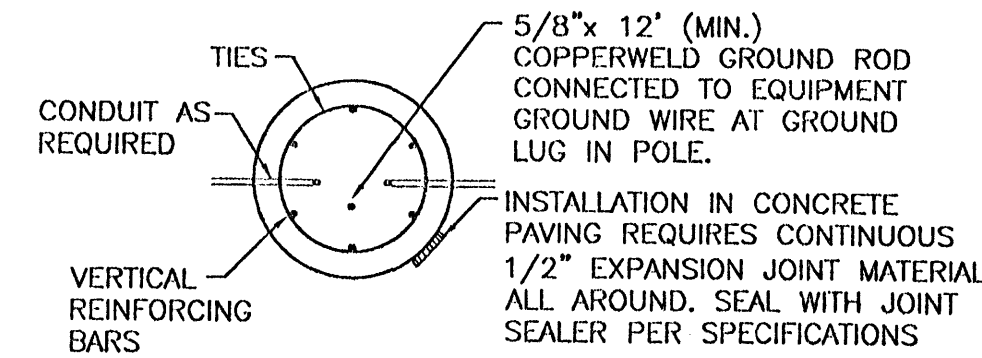


NOTE:  
REBAR IS TO BE CUT OFF 6" BELOW SUBGRADE AFTER UTILITY CONNECTION IS COMPLETED AND PRIOR TO PAVING

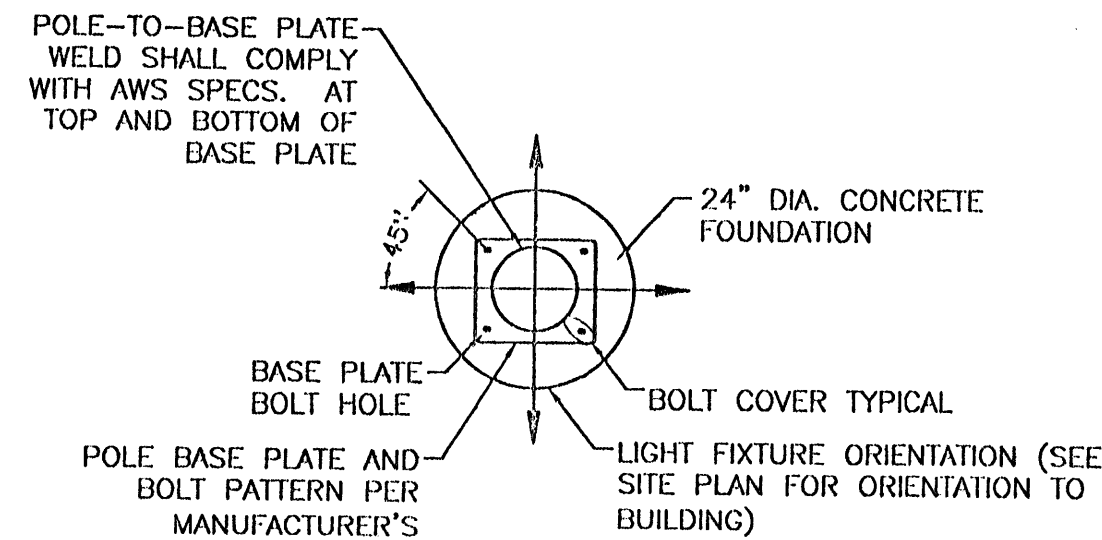
USE AT CAPPED END OF ALL UTILITY SERVICE CONNECTIONS TO/FROM SAM'S CLUB, WAL\*MART STORES & SUPERCENTERS

UTILITY	COLOR
SEWER	GREEN
WATER	BLUE
STORM DRAIN	WHITE
ELECTRICAL	RED
GAS	YELLOW
TELCO/CATV	ORANGE
FUTURE SITE LIGHTING	PINK
FIBER OPTIC (GAS STATION)	PURPLE

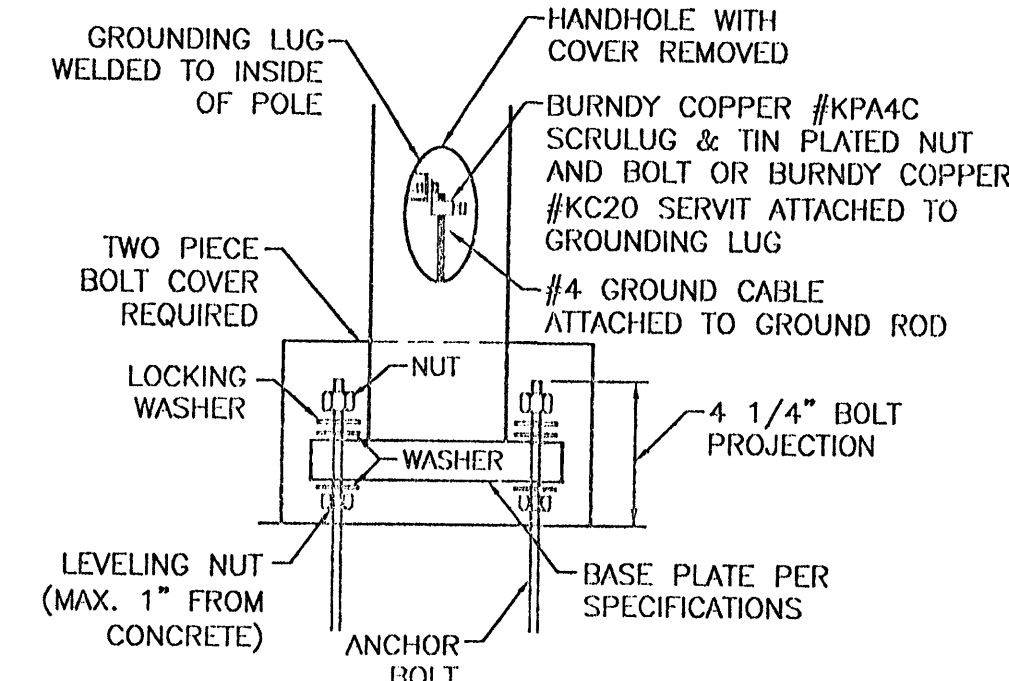
**TYPICAL UTILITY MARKER**



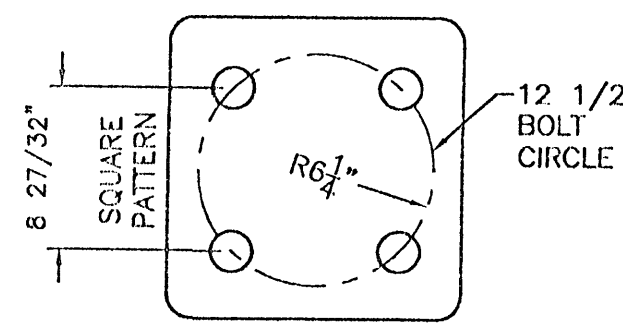
**SECTION "A-A"**



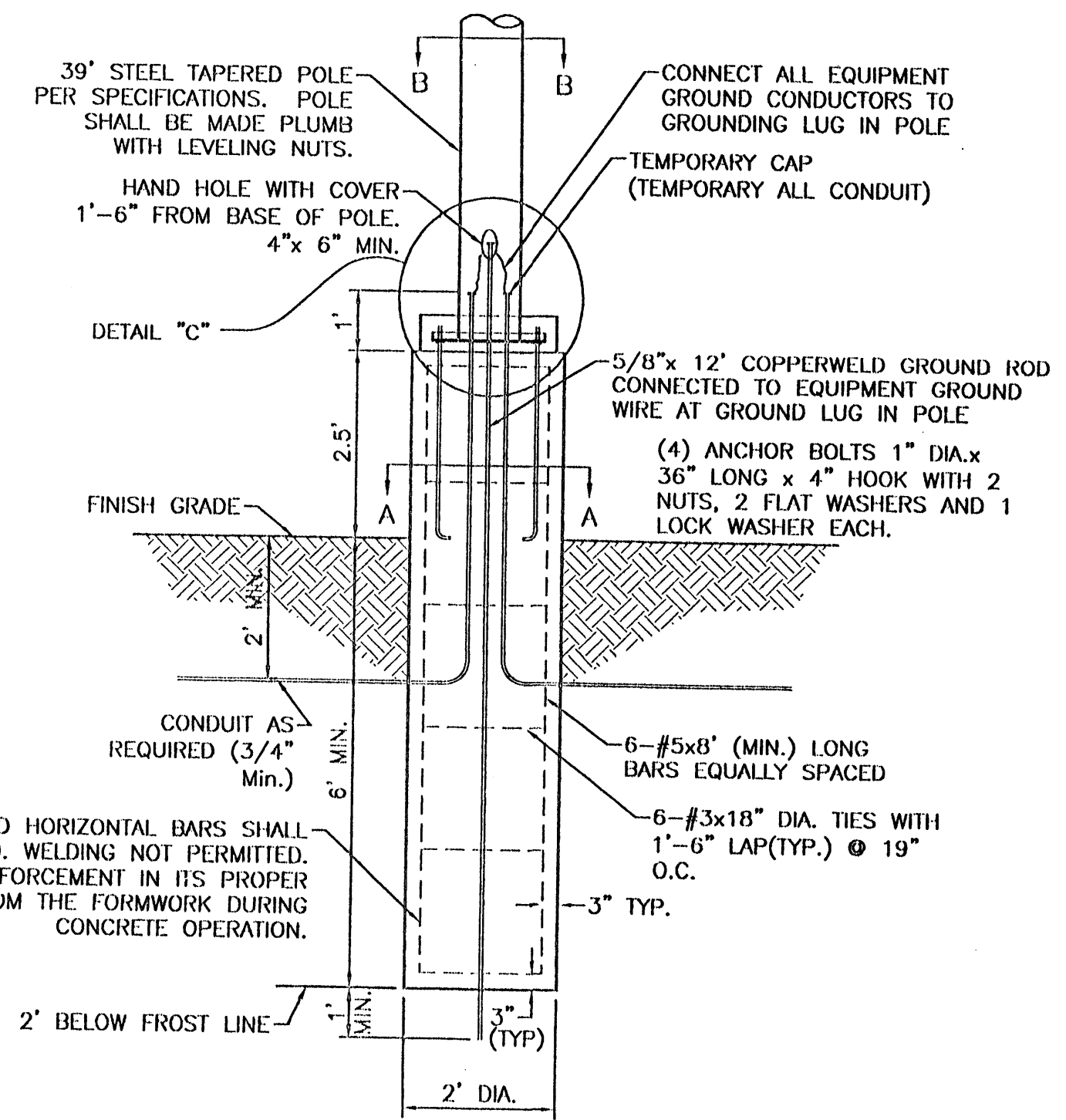
**SECTION "B-B"**



**DETAIL "C"**



**TYPICAL ANCHOR BOLT SPACING**



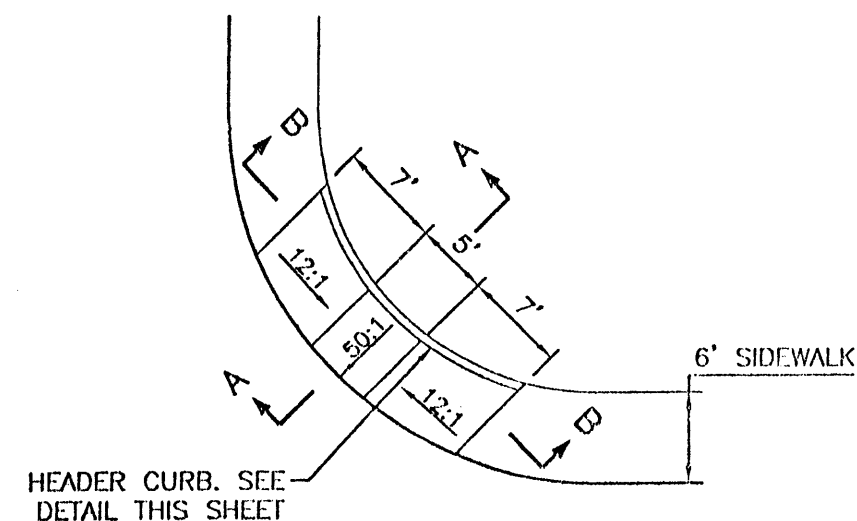
VERTICAL AND HORIZONTAL BARS SHALL BE FIELD TIED. WELDING NOT PERMITTED. SUPPORT REINFORCEMENT IN ITS PROPER LOCATION FROM THE FORMWORK DURING CONCRETE OPERATION.

NOTES:

- 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
- FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
- FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
- FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
- FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF. UTILIZING MSHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
- EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
- DETAIL FOR 39" POLE WITH MAX. FIXTURE EPA 4.6 SQ.FT.

**TYPICAL LIGHTING POLE BASE DETAIL**

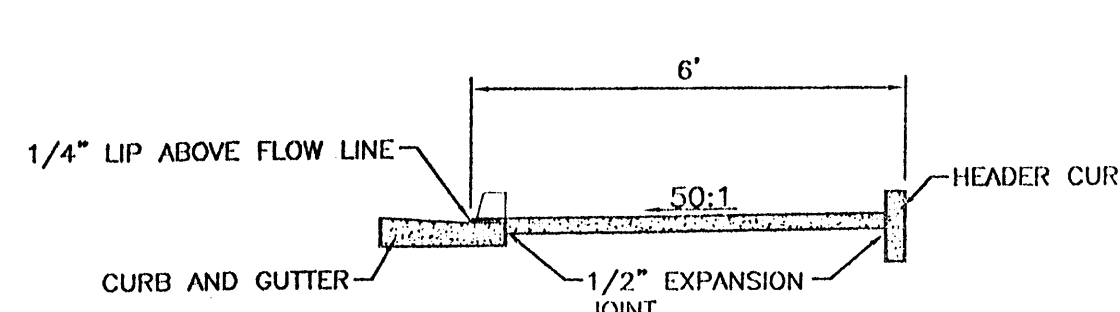
NTS



**WHEEL CHAIR RAMP DETAIL (TYP.)**

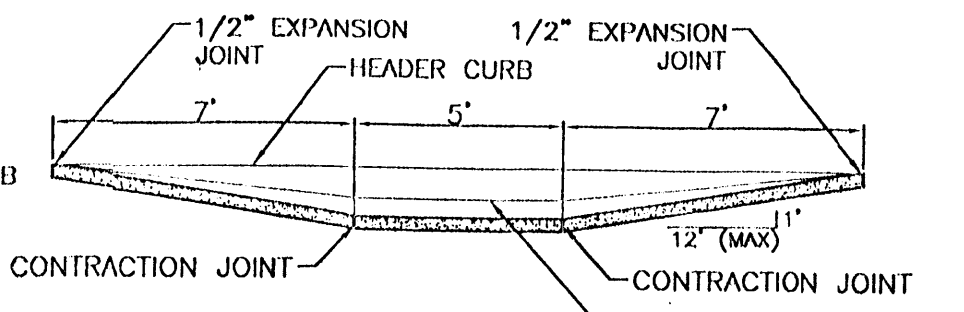
NTS

- GENERAL NOTES:
- SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
  - GUTTER FLOW LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
  - CONSTRUCT PER A.D.A. STANDARDS.



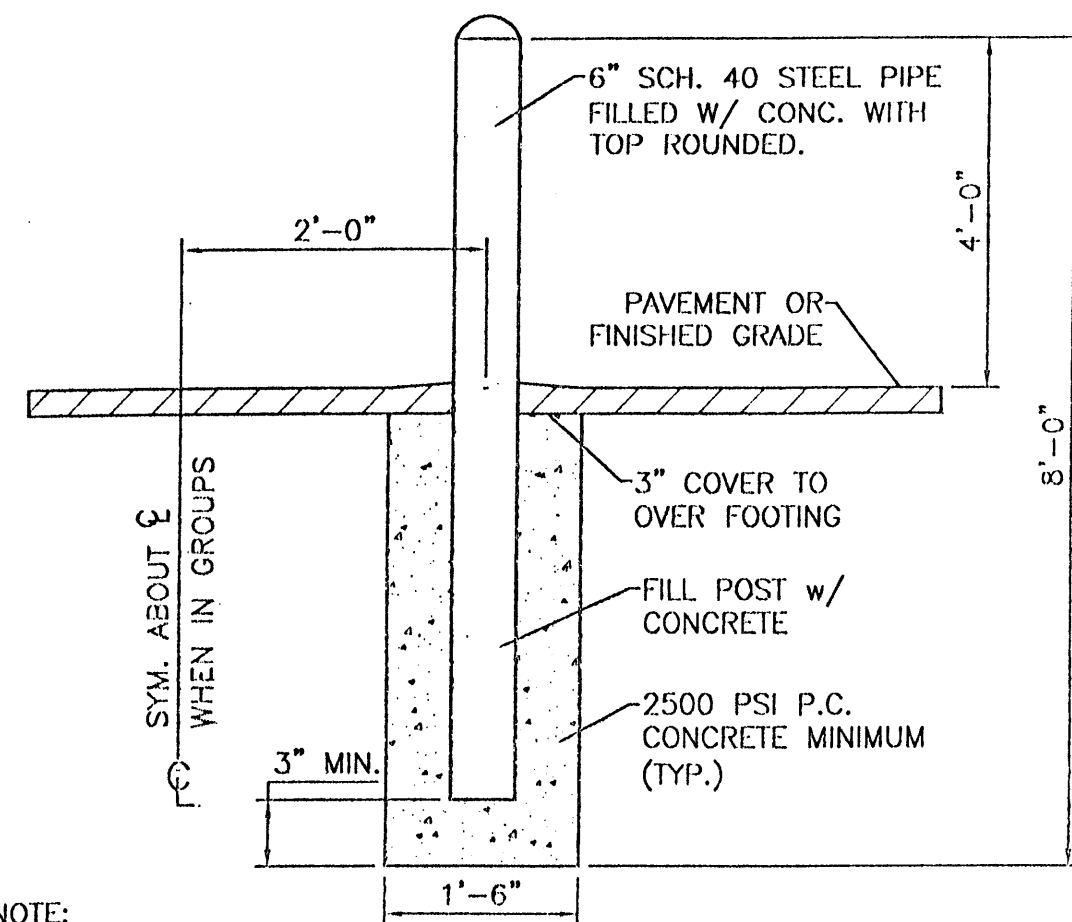
**SECTION A-A**

NTS



**SECTION B-B**

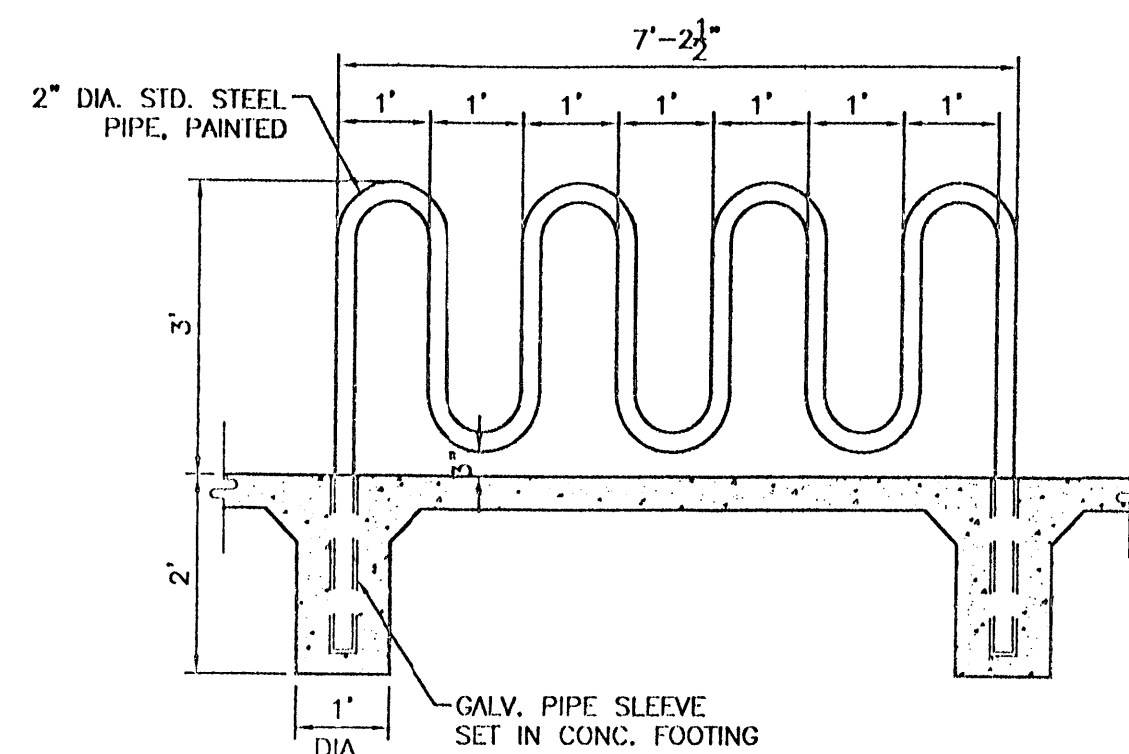
NTS



NOTE:  
ALL PIPES SHALL BE PAINTED TRAFFIC RED

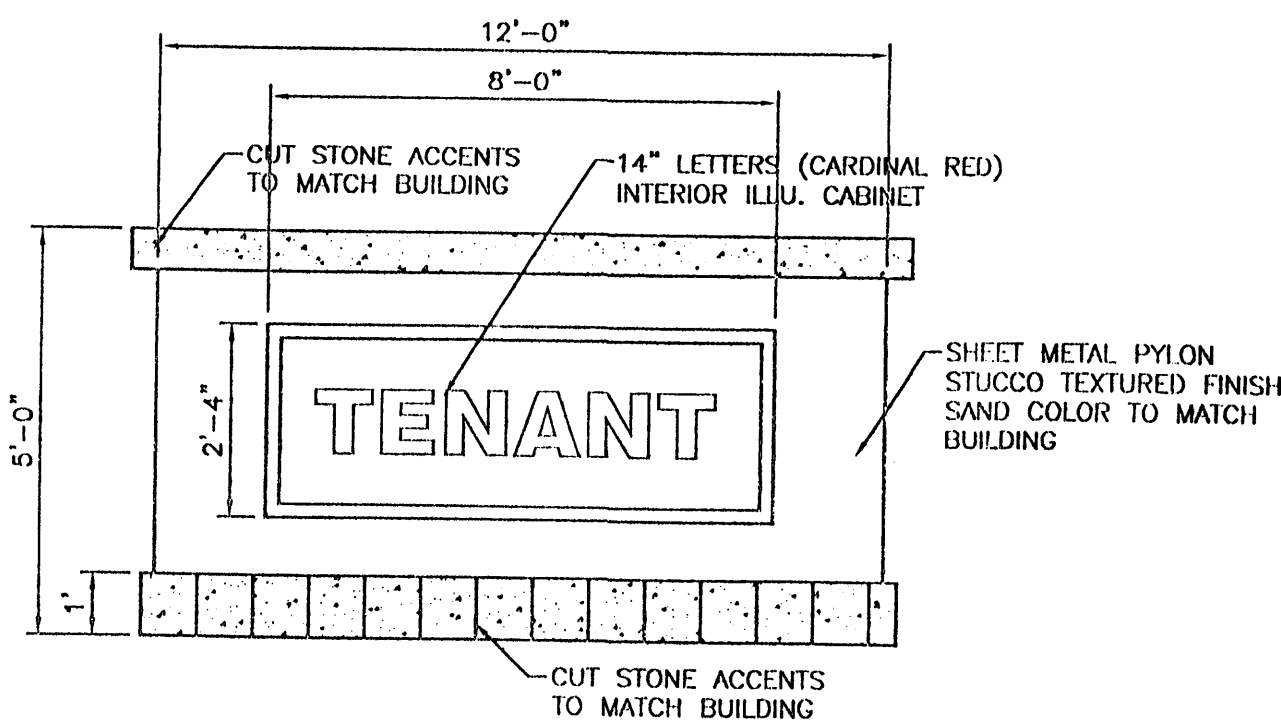
**BOLLARD DETAIL**

SCALE: NTS



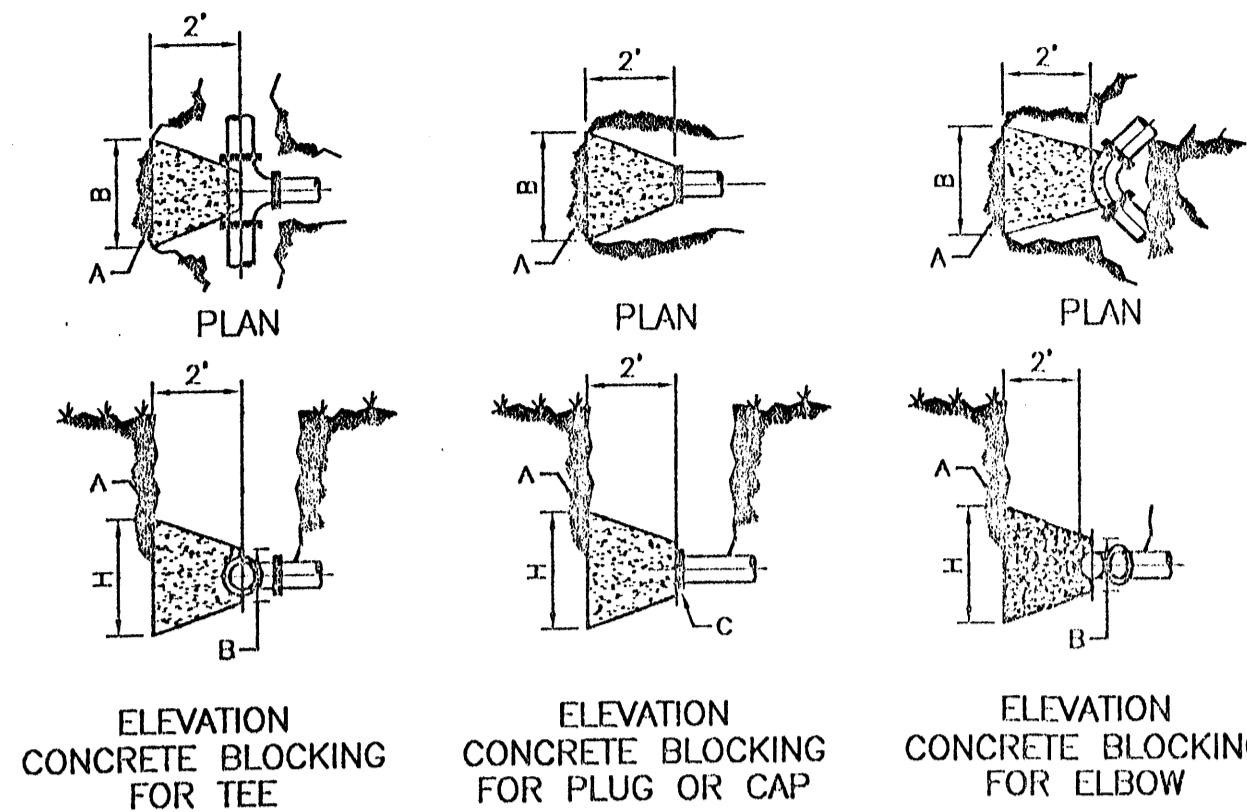
**BIKE RACK DETAIL**

SCALE: 1/2"=1'



**MONUMENT SIGN DETAIL**

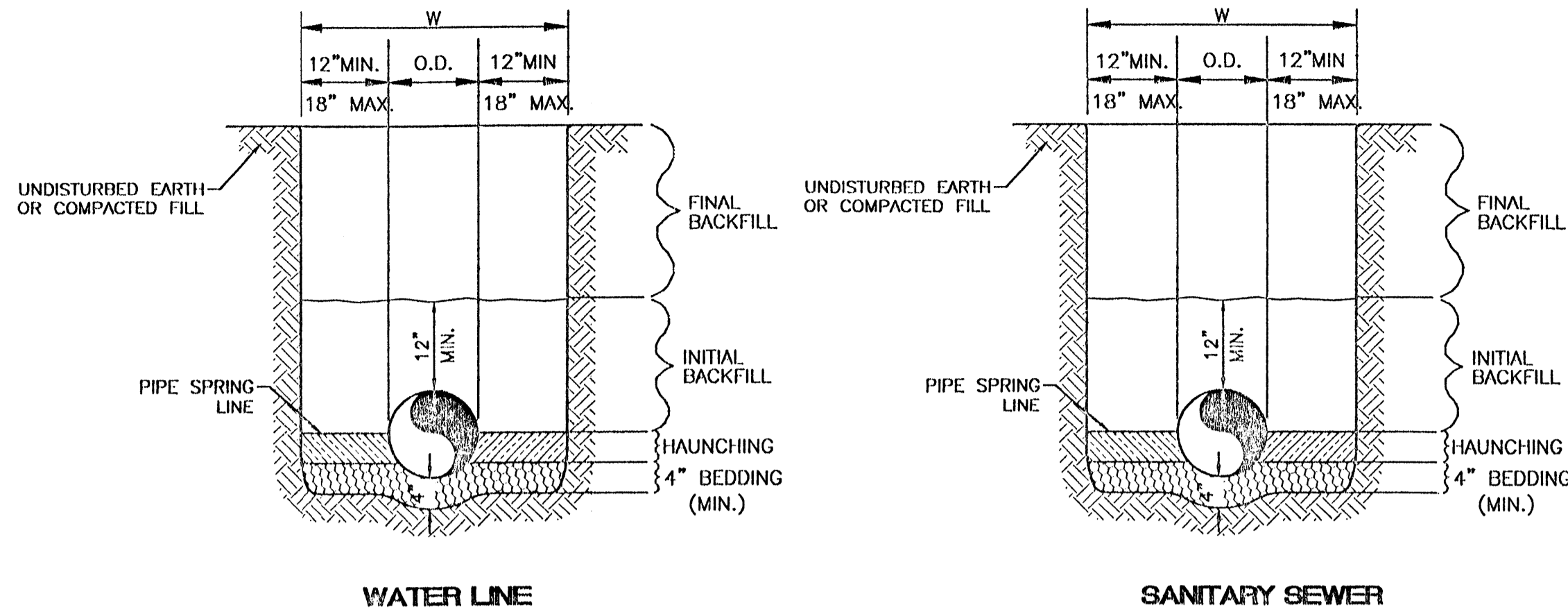
ENGINEER'S SEAL  RONALD R. BOHANNON P.E. #7868	<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY BUG
	<b>DETAILS</b>	DATE 09/25/01
THERIA WEST, I.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C6</b>	DETAILS.DWG
		JOB # 980063



PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°, 45°	2'	2'	2'	2'
4"	22.5°, 11.25°	2'	2'		
6"	90°, 45°	2'	2'	2'	2'
6"	22.5°, 11.25°	2'	2'		
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'		
8"	22.5°, 11.25°	2'	2'		
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'		
10"	22.5°, 11.25°	2'	2'		
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"		
12"	22.5°, 11.25°	2'	2'		
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"		
14"	22.5°, 11.25°	3'	3'		

CONSTRUCTION NOTE:  
 A. UNDISTURBED EARTH  
 B. O.D. OF PIPE +6"  
 C. O.D. OF CAP OR PLUG, MIN. 12"x12"

**CONCRETE BLOCKING DESIGN**  
 NTS PER COA STD DWG #2320

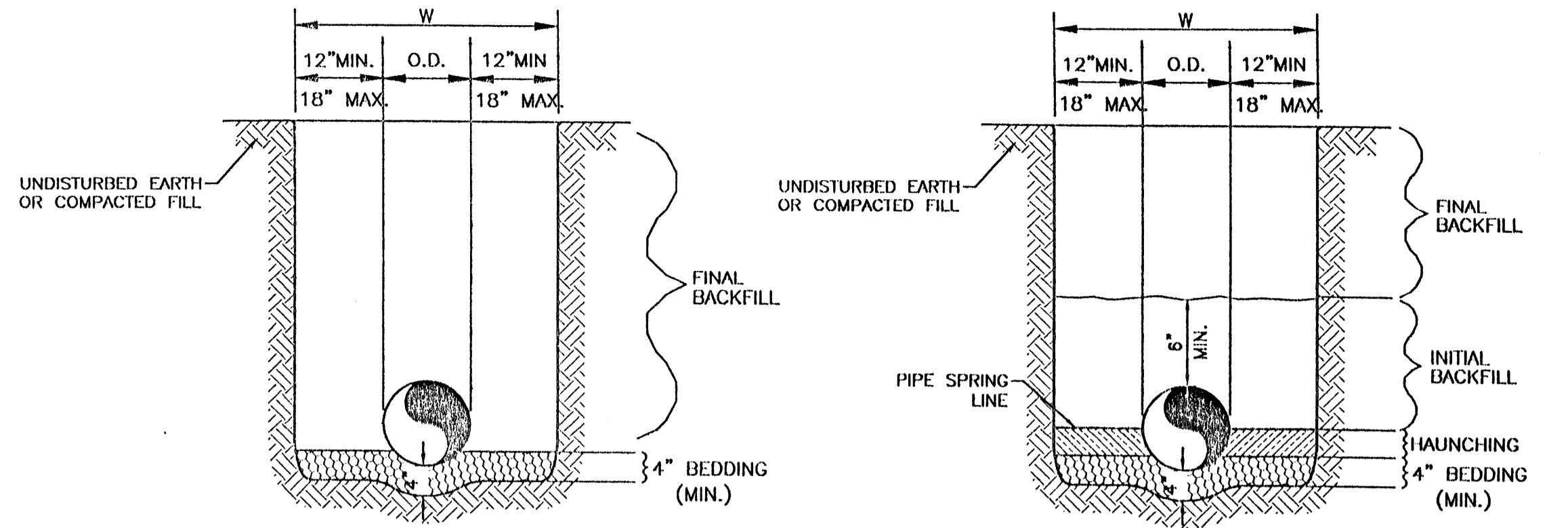


**WATER LINE**      **SANITARY SEWER**

**GENERAL NOTES**

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

**UTILITY TRENCH AND BEDDING DETAIL**  
 NTS



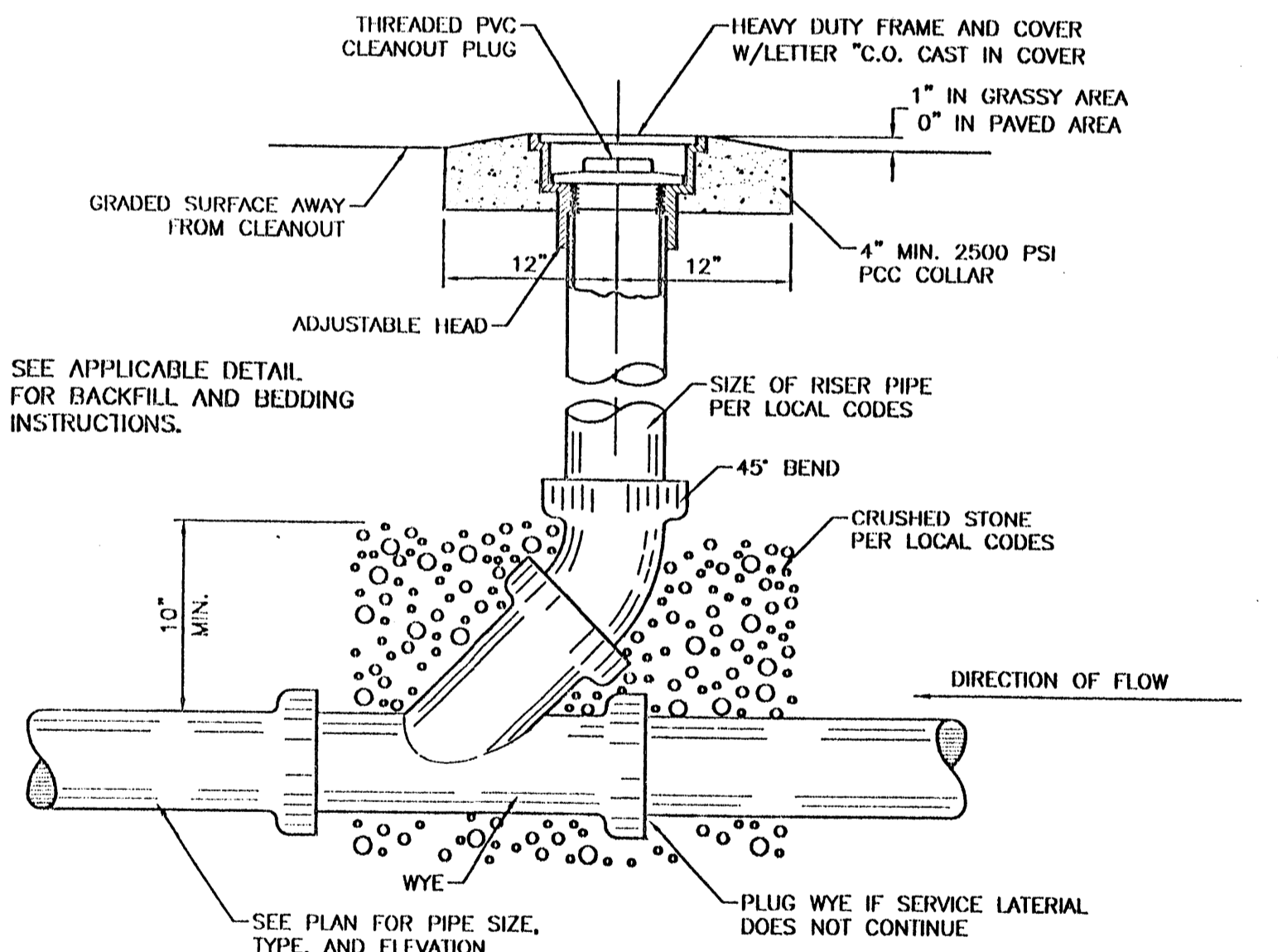
**REINFORCED CONCRETE PIPE (RCP) AND CONTECH SPIRAL RIB PIPE SMALLER THAN 60"**

**ALL OTHER PIPES INCLUDING CONTECH SPIRAL RIB PIPE 60" AND LARGER**

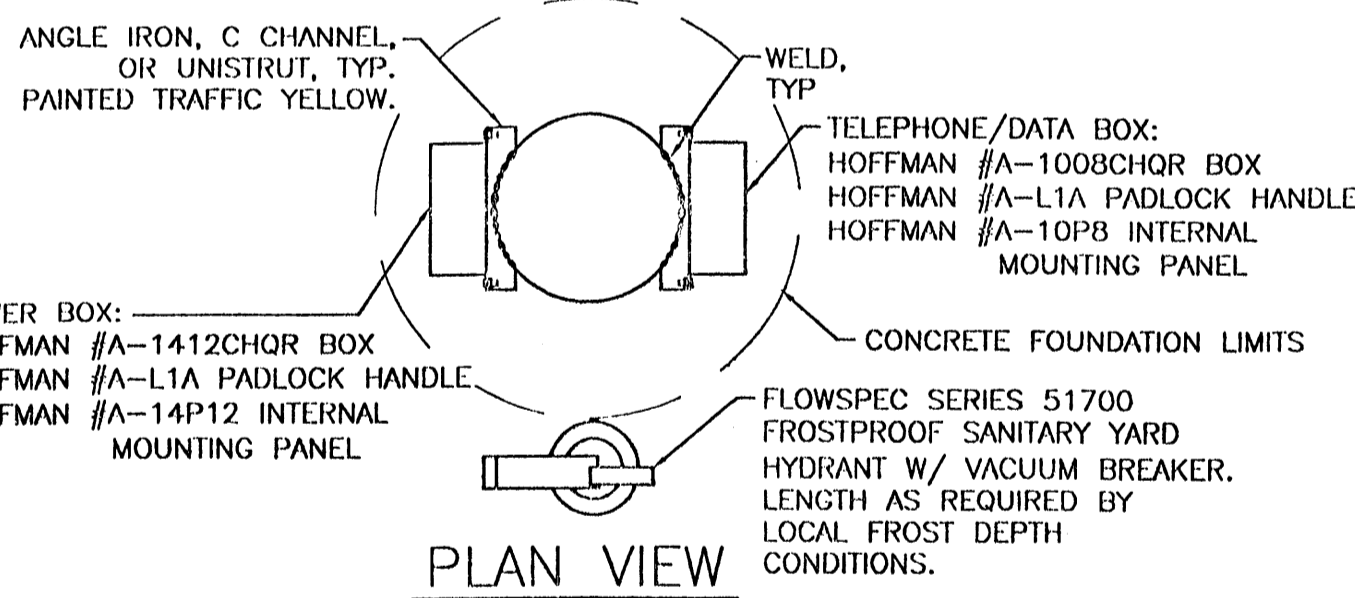
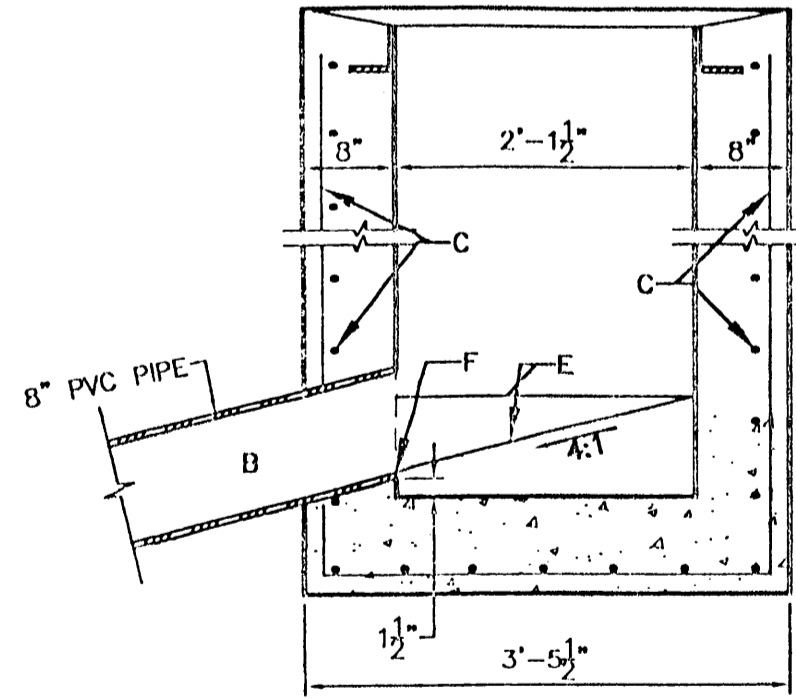
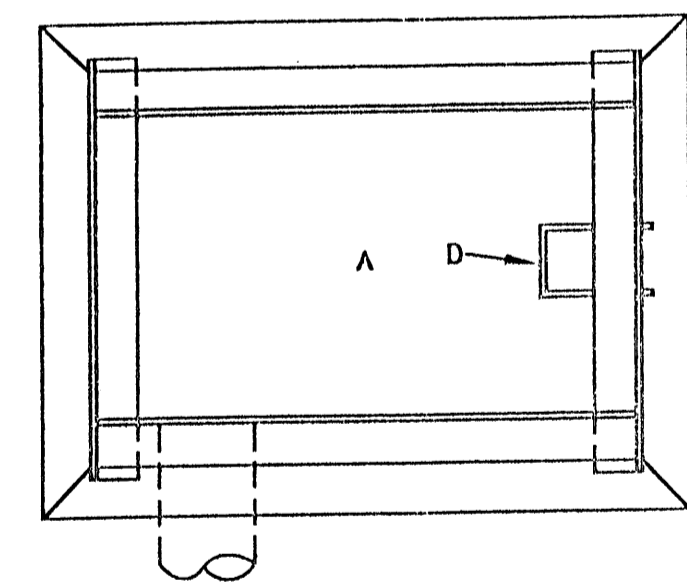
**GENERAL NOTES**

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

**STORM SEWER TRENCH AND BEDDING DETAIL**  
 NTS

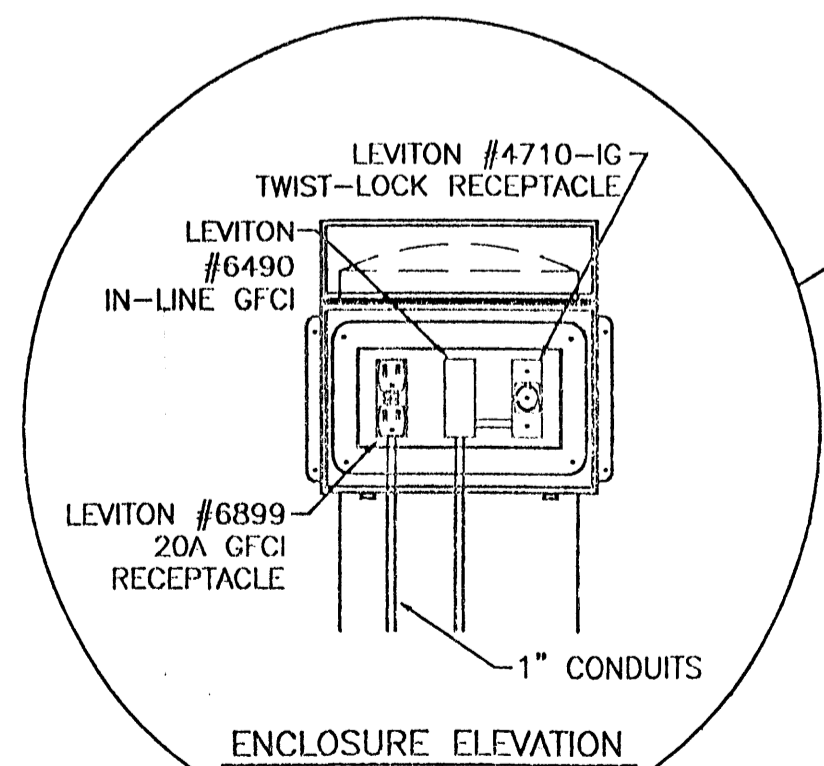


**SANITARY SEWER CLEAN-OUT**  
 NTS

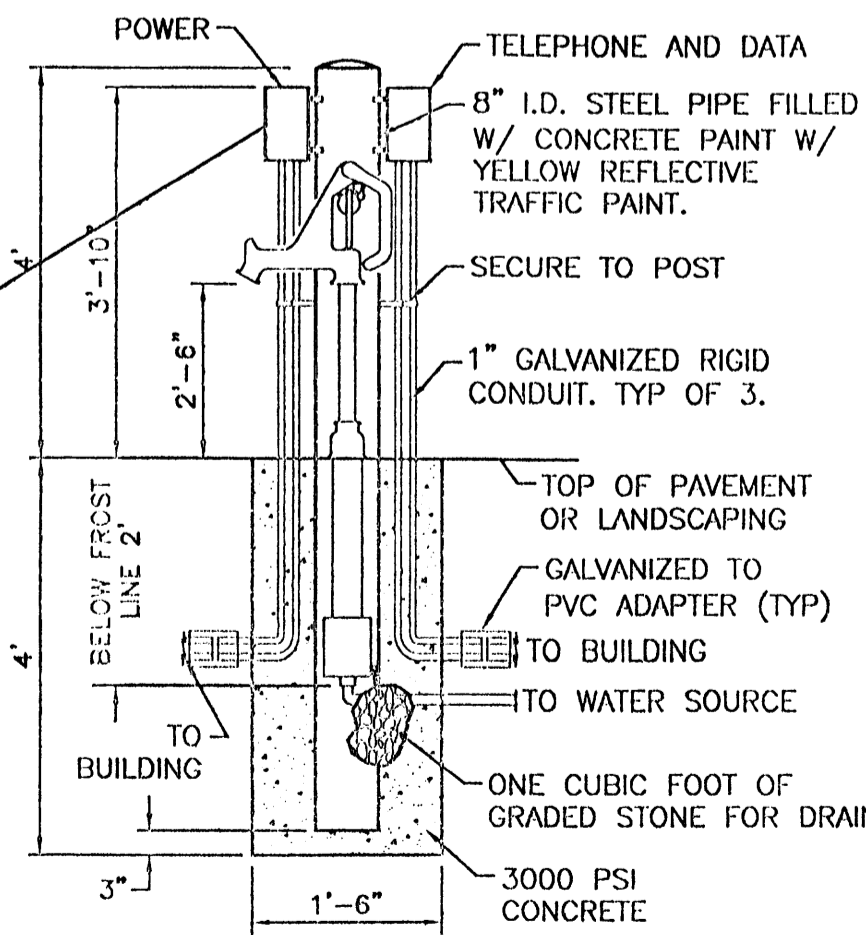


ANGLE IRON, C CHANNEL, OR UNISTRUT, TYP. PAINTED TRAFFIC YELLOW.
 WELD, TYP.  
 TELEPHONE/DATA BOX:  
 HOFFMAN #A-1008CHQR BOX  
 HOFFMAN #A-L1A PADLOCK HANDLE  
 HOFFMAN #A-10P8 INTERNAL MOUNTING PANEL  
 CONCRETE FOUNDATION LIMITS  
 POWER BOX:  
 HOFFMAN #A-1412CHQR BOX  
 HOFFMAN #A-L1A PADLOCK HANDLE  
 HOFFMAN #A-14P12 INTERNAL MOUNTING PANEL  
 FLOWSPEC SERIES 51700 FROSTPROOF SANITARY YARD HYDRANT W/ VACUUM BREAKER. LENGTH AS REQUIRED BY LOCAL FROST DEPTH CONDITIONS.

**PLAN VIEW**



**ENCLOSURE ELEVATION**



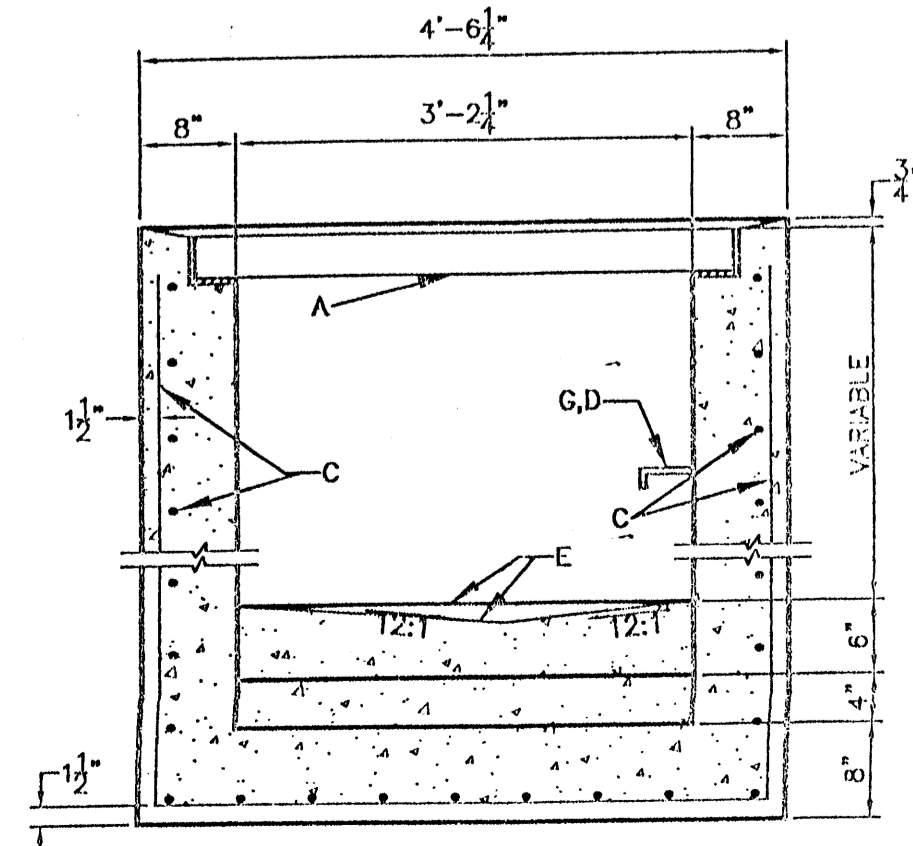
**REMOTE GARDEN CENTER UTILITIES BOLLARD DETAIL**

**GENERAL NOTES**

- STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
- OUTLET PIPE, PER DESIGN REQUIREMENT.

**CONSTRUCTION NOTES**

- FRAME & GRATE
- CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
- NO. 4 BARS @ 6" O.C. EACH WAY
- USE STANDARD STEPS.
- CONC. FILL.
- INVERT PER DESIGN
- INSTALL STEPS ON DOWNSTREAM FACE



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>TRACT 10, 11 AND 12 WEST BLUFF</b>	DRAWN BY BDG
	<b>DETAILS</b>	DATE 09/25/01
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DETAILS.DWG
		SHEET # <b>C7</b>
		JOB # 980063

# SHEET NOTES

- 1 EIFS COPING TO MATCH STONE WAINSCOT.
- 2 GALVANIZED METAL AWNING ON PAINTED STEEL CANOPY STRUCTURE.
- 3 PLASTER MEDALLION.
- 4 LINE OF ROOF DECK BEYOND.
- 5 DECK BELOW TOWER.
- 6 STUCCO SYSTEM, TYP.
- 7 NOT USED.
- 8 GALVANIZED METAL ROOF ON PAINTED STEEL RAFTERS.
- 9 ACCESSIBILITY SIGN.
- 10 DOUBLE GLAZED VINYL.
- 11 ALUMINUM STOREFRONT SYSTEM. COLOR: MATCH WINDOW COLOR FRAME.
- 12 SIGNAGE, VERIFY WITH IHOP FOR EXACT SIZE AND LOCATION.
- 13 WALL SCONCE LIGHT MOUNTED AT 9'-0" A.F.F. TO CENTER OF FIXTURE.
- 14 STUCCO OVER 2X10 TRIM.
- 15 ZINC WEEP SCREEN.
- 16 TRIM WITH WROUGHT IRON. SEE DETAIL 2/A18
- 17 ALUMINUM STOREFRONT DOOR. COLOR TO MATCH WINDOW FRAME.
- 18 STUCCO OVER 2X TRIM.
- 19 METAL RIDGE/HIP FLASHING. MATCH ROOFING COLOR.
- 20 NOT USED.
- 21 LOCATION OF "INTERNATIONAL HOUSE OF PANCAKES" SIGN WHERE OCCURS. TO BE COORDINATED WITH SIGN CONTRACTOR.
- 22 GRADE SHOWN HERE AS LEVEL BUT WILL ACTUALLY VARY BELOW THIS LINE AS SITE CONDITIONS REQUIRE. SEE SITE PLAN FOR ACTUAL GRADES.
- 23 NOT USED.
- 24 ROOF LIGHTS.
- 25 NOT USED.
- 26 NOT USED.
- 27 CUT STONE WAINSCOT, TYP.
- 28 NOT USED.

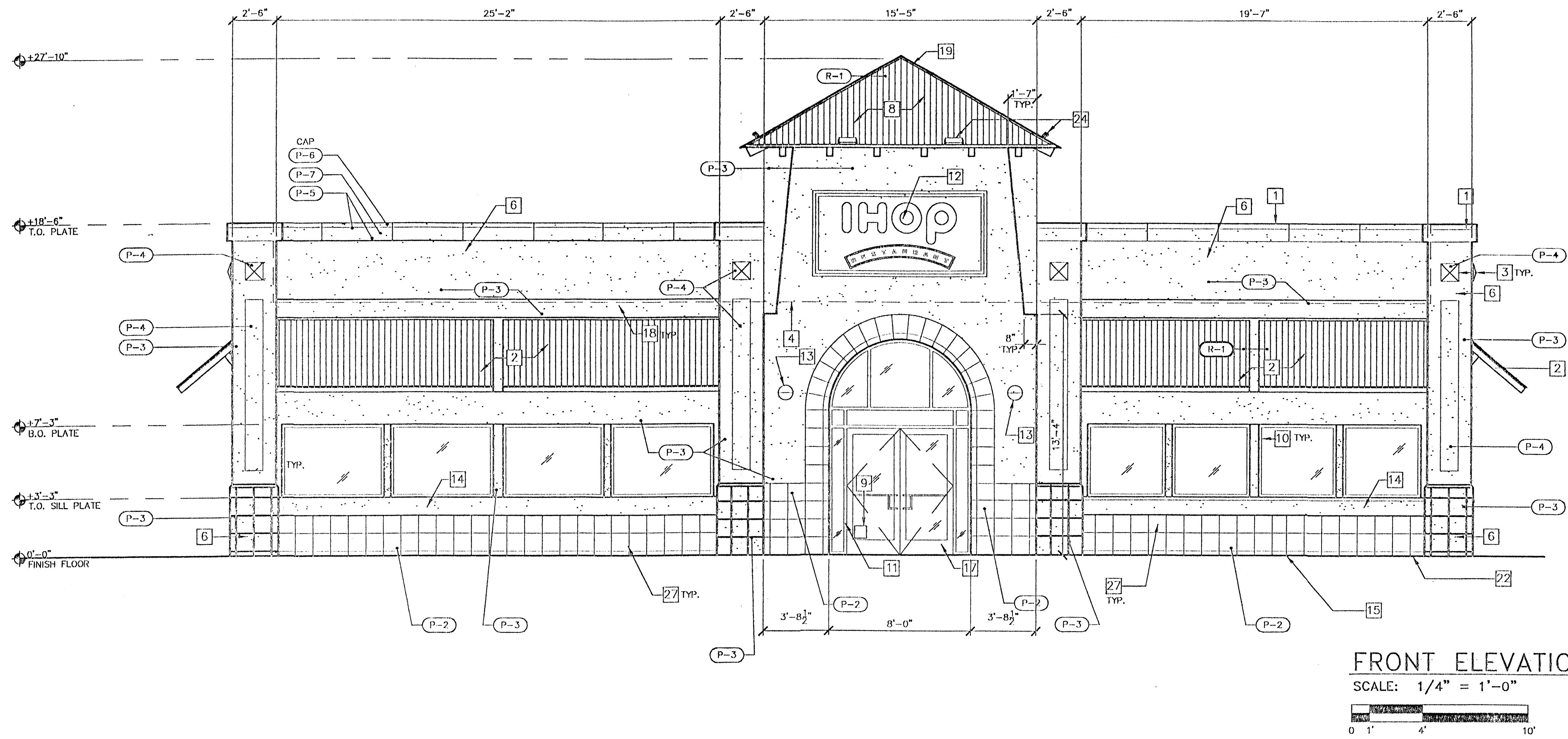
# GENERAL NOTES

- 1. CONTROL JOINTS (C.J.): KEENE #15, ZINC.

# COLOR LEGEND

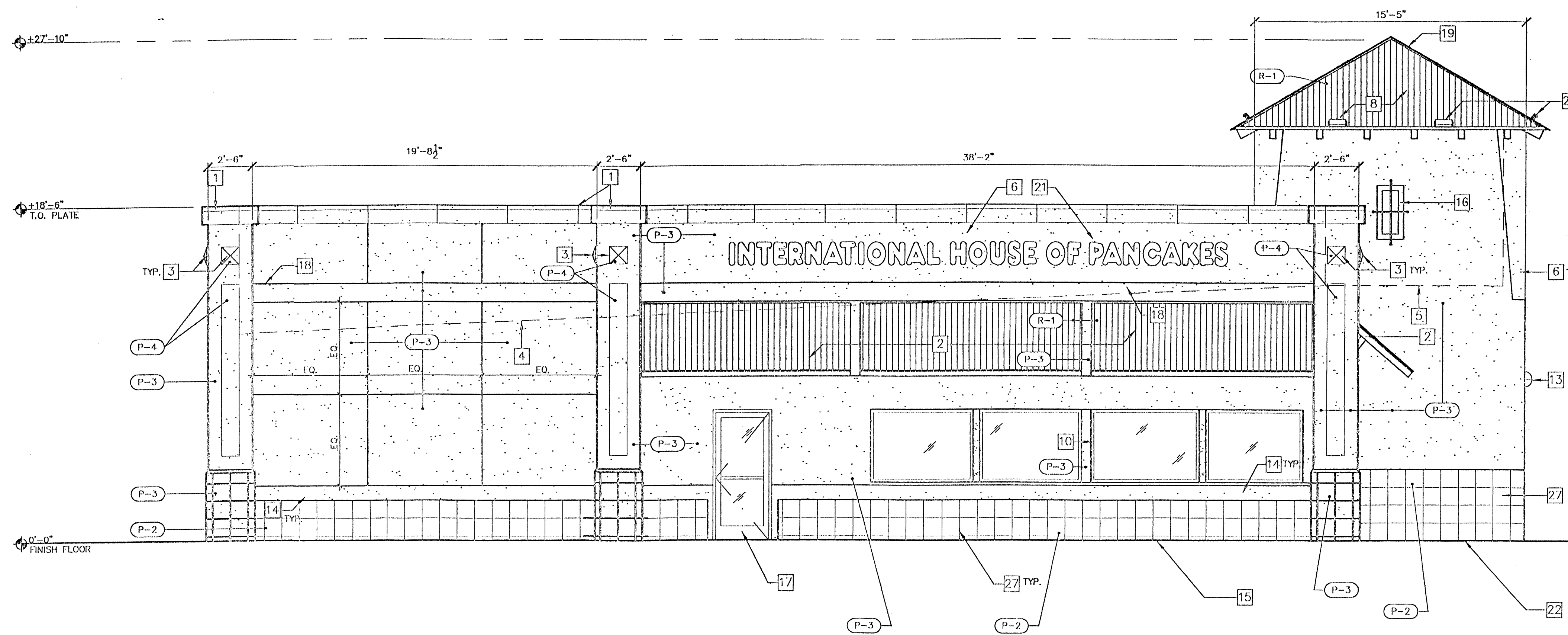
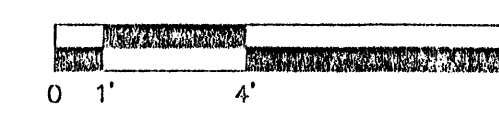
- (P-1) NOT USED.
- (P-2) WAINSCOT: ADOQUIN "CAFE 2". (BEIGE)
- (P-3) STUCCO FIELD COLOR: STO "PUEBLO". (TAN)
- (P-4) STUCCO ACCENT COLOR: STO "ADOBE". (BROWN)
- (R-1) BERRIDGE "R" PANEL, FINISH: GALVALUM.

EXTERIOR ELEVATIONS



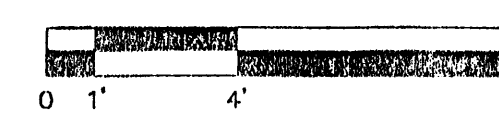
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

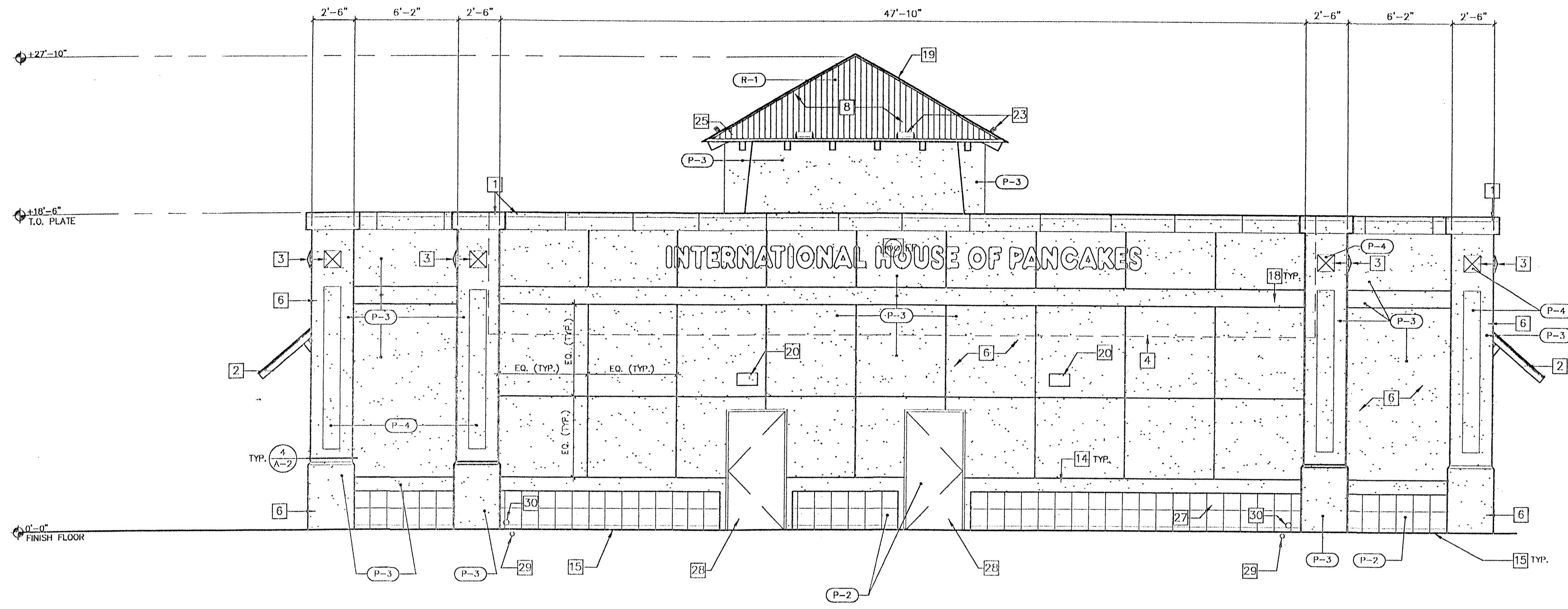


**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

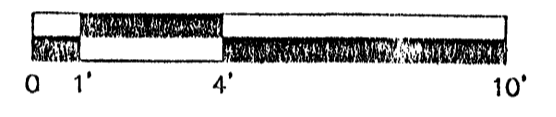






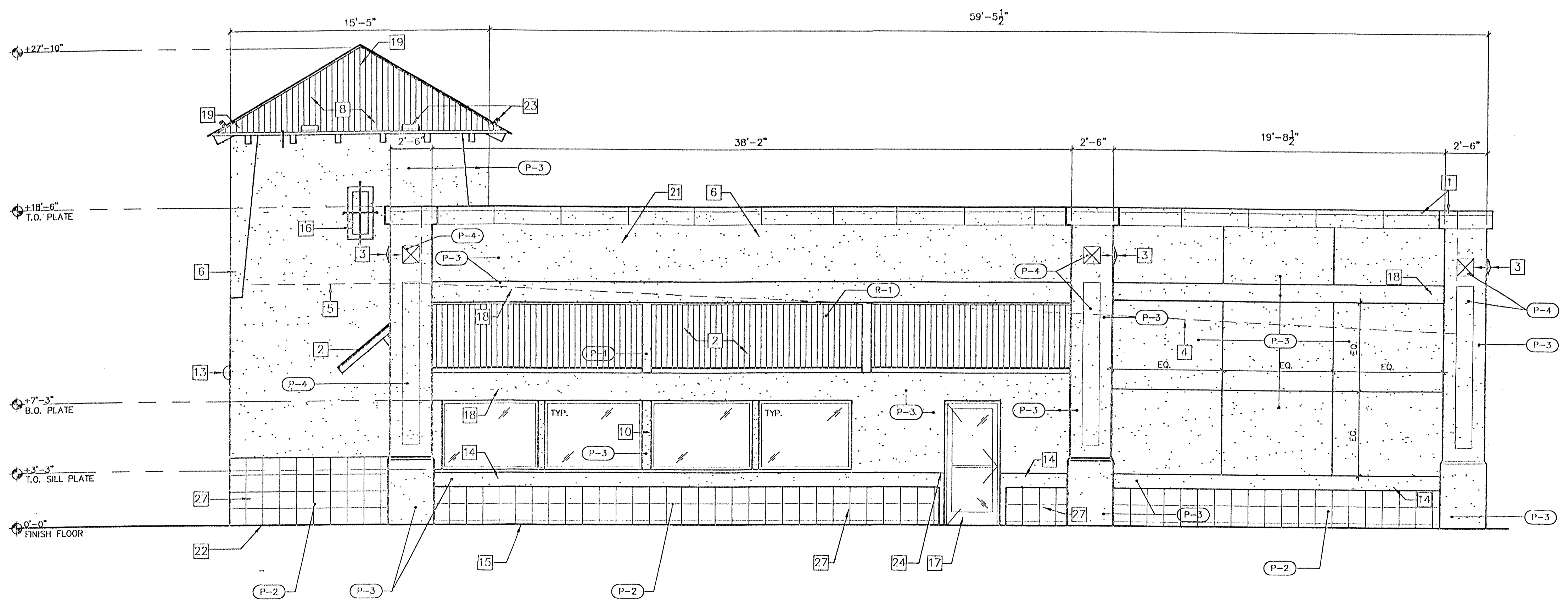
REAR ELEVATION

SCALE: 1/4" = 1'-0"



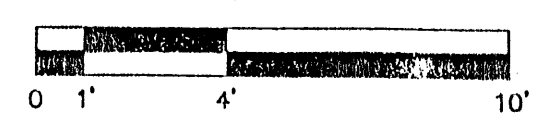
SHEET NOTES

- 1 EIFS COPING TO MATCH STONE WAINSCOT.
- 2 GALVANIZED METAL AWNING ON PAINTED STEEL CANOPY STRUCTURE.
- 3 PLASTER MEDALLION.
- 4 LINE OF ROOF DECK BEYOND.
- 5 DECK BELOW ROOF.
- 6 STUCCO SYSTEM, TYP.
- 7 NOT USED.
- 8 GALVANIZED METAL ROOF ON PAINTED STEEL RAFTERS.
- 9 NOT USED.
- 10 DOUBLE GLAZED VINYL.
- 11 NOT USED.
- 12 NOT USED.
- 13 WALL SCOUCIE LIGHT MOUNTED AT 9'-0" A.F.F. TO CENTER OF FIXTURE.
- 14 STUCCO OVER 2X10 TRIM.
- 15 CONTINUOUS ZINC WEEP SCREED.
- 16 TRIM WITH WROUGHT-IRON. SEE DETAIL 2/A18
- 17 ALUMINUM STOREFRONT DOOR. COLOR TO MATCH WINDOW FRAME.
- 18 STUCCO OVER 2X TRIM.
- 19 METAL RIDGE/HIP FLASHING. MATCH ROOFING COLOR.
- 20 HID WALL PACK MOUNTED AT 9'-0" A.F.F.
- 21 LOCATION OF "INTERNATIONAL HOUSE OF PANGAKES" SIGN WHERE OCCURS. TO BE COORDINATED WITH SIGN CONTRACTOR.
- 22 GRADE SHOWN HERE AS LEVEL. BUT WILL ACTUALLY VARY BELOW THIS LINE AS SITE CONDITIONS REQUIRE. SEE SITE PLAN FOR ACTUAL GRADES.
- 23 ROOF LIGHTS.
- 24 LINE OF PAINT COLOR CHANGE.
- 25 TOWER, BEYOND.
- 26 NOT USED.
- 27 CUT STONE WAINSCOT, TYP.
- 28 HOLLOW METAL DOOR.
- 29 ROOF DRAIN TO DAYLIGHT AT FACE OF CURB.
- 30 ROOF OVERFLOW DRAIN WITH SCREEN CAP.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES

1. CONTROL JOINTS (CJ): KEENE #15, ZINC.

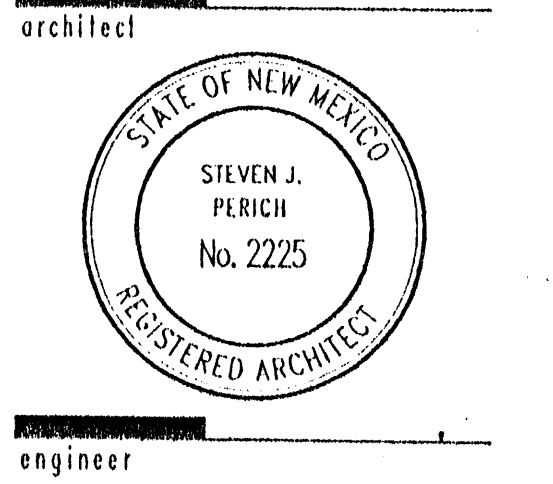
COLOR LEGEND

- (P-1) NOT USED.
- (P-2) WAINSCOT: ADOQUIN "CAFE 2", (BEIGE)
- (P-3) STUCCO FIELD COLOR: STO "PUEBLO", (TAN)
- (P-4) STUCCO ACCENT COLOR: STO "ADOBE", (BROWN)
- (R-1) BERRIDGE "R" PANEL, FINISH: GALVALUM.

EXTERIOR ELEVATIONS

# Dekker Perich Sabatini

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsobq.com



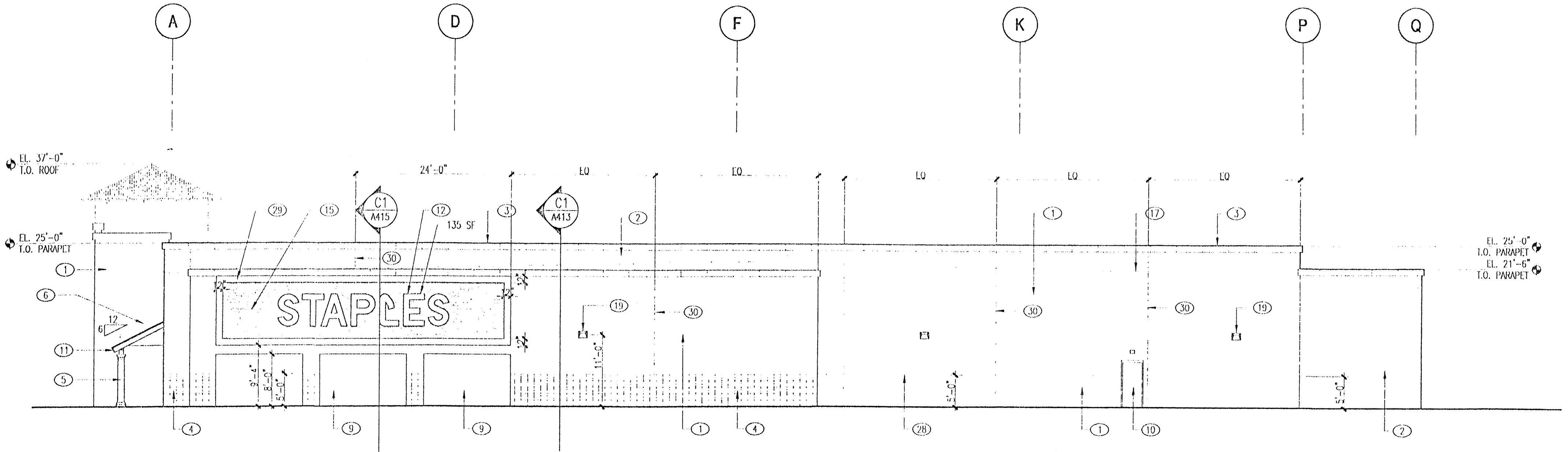
ISSUED FOR  
CONSTRUCTION

project

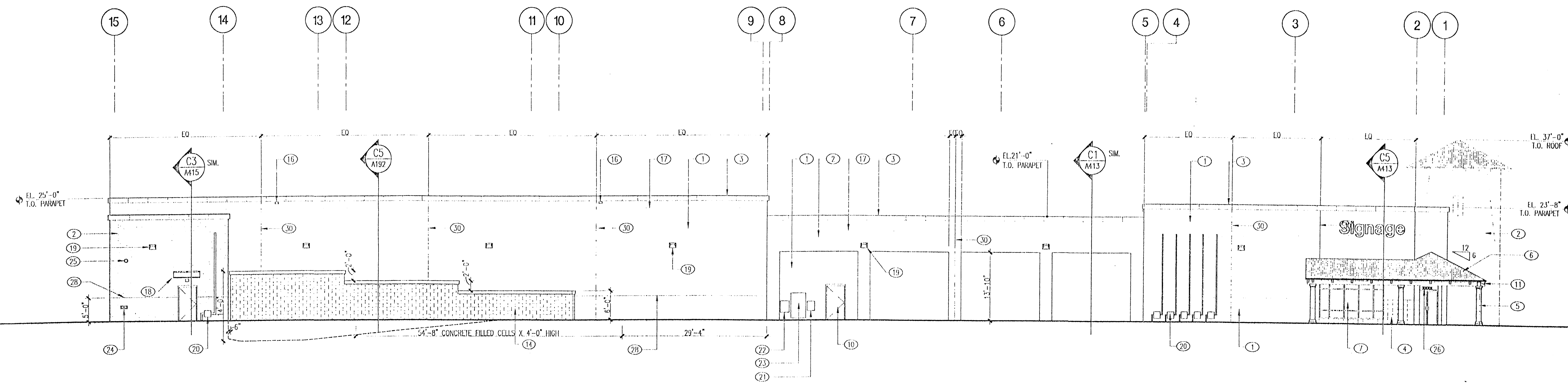
**West Bluff**  
Coors Blvd. N.W. & I-40  
Albuquerque, New Mexico

### Keyed Notes

- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "PUERLO" 0100S; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "AUBRE" BROWN 0100A; DARK TAN
- 3 E.F.S. COPING. FINISH: STO GRANITEX  
COLOR: SHALLOW WATER
- 4 E.F.S. WANSLOT. FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.F.S. COLUMN WRAP. FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING. SUPER LOK, 12" COVERAGE, 24 GA.  
FINISH: GALVALUM PLUS
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PAINT BARS "FLAT BLACK"
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED.  
COLOR: TO MATCH ADJACENT STUCCO. (PUERLO STO) BENJAMIN MOORE,  
"BROOKLINE BUG" #HC-47. (AUBRE BROWN STO) BENJAMIN MOORE,  
"JACKSON TAN" #HC-46
- 11 6" X 4" T.S. BRATER. PAINTED. COLOR: T.B.D.
- 12 SIGNAGE TO BE PROVIDED BY TENANT. G.C. TO PROVIDE  
POWER FOR LIGHTING
- 13 OVERHEAD DOOR, PAINTED TO MATCH ADJACENT STUCCO
- 14 SPLIT FACE CMU WALL
- 15 RED RIBBED METAL PANELS OVER 5/8" PLYWOOD
- 16 OVERFLOW SCUPPER
- 17 LINE OF ROOF BEYOND
- 18 ENTRY HOOD, PAINTED. COLOR: RED.
- 19 LIGHT FIXTURE. REFER TO ELECTRICAL.
- 20 GAS METER
- 21 TELEPHONE SWITCH PANEL
- 22 HOUSE PANEL
- 23 METERING SWITCH BOARD
- 24 SIAMENSE CONNECTION
- 25 ELECT. BELL FOR SPRINKLER SYSTEM
- 26 6" WHITE VINYL LETTERING (BUILDING ADDRESS)  
W/ CONTRASTING RECTANGULAR BACKGROUND
- 27 ELECTRIC METER
- 28 STUCCO BLEND BE DA/A191
- 29 12" WHITE E.F.S. BAND  
COLOR: STO "MARBLE WHITE" 0100B
- 30 STUCCO CONTROL JOINT



**A2** South Elevation  
3/32" = 1'-0"  
0 2' 4' 12' < 98101A.512.DWG >



**D2** East Elevation  
3/32" = 1'-0"  
0 2' 4' 12' < 98101A.512.DWG >

revisions

- 1 7/27/01 ASI #007
- 2
- 3
- 4

plotted:

drawn by: GWO

reviewed by: AMC

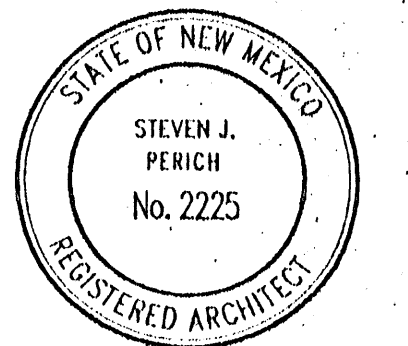
date: 5/23/01

project no.: 98101.002

drawing name:

Building 1  
Exterior Elevations

architect



engineer

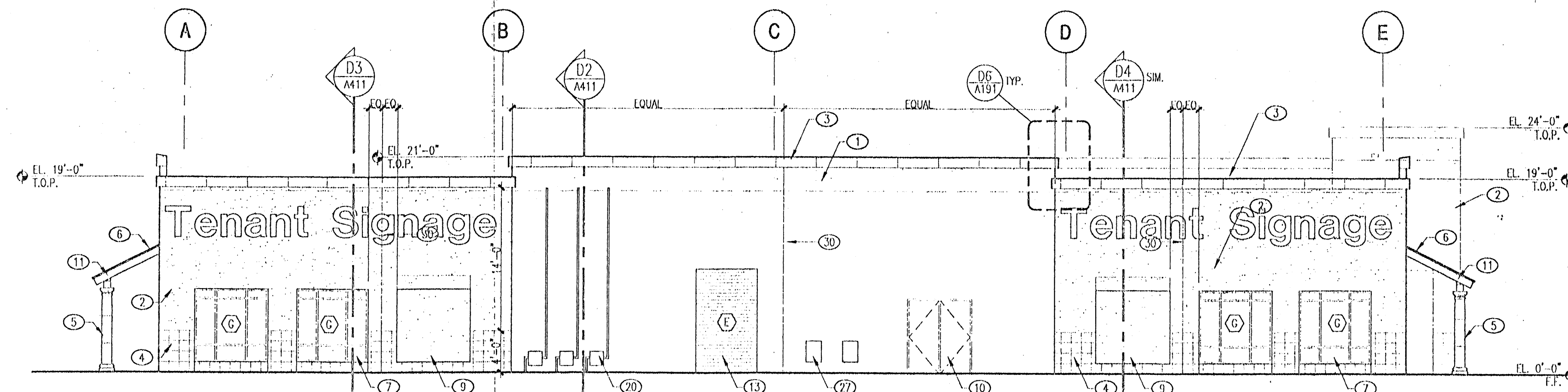
ISSUED FOR  
CONSTRUCTION

project

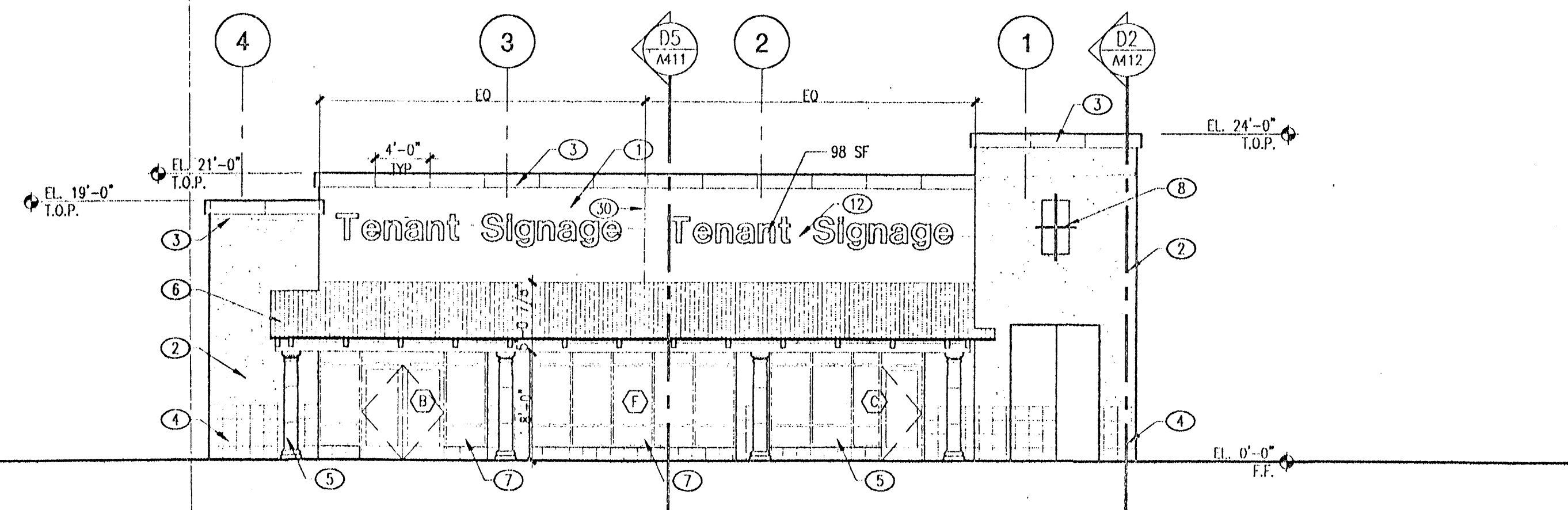
**West Bluff**  
Coors Blvd. N.W. & I-40  
Albuquerque, New Mexico

**Keyed Notes**

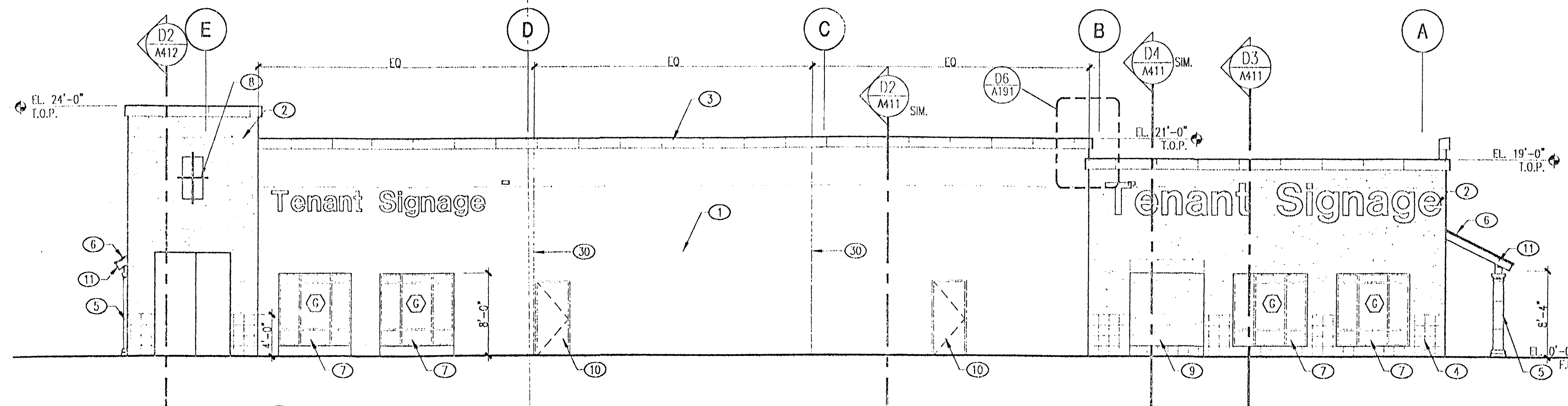
- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "PUEBLO" 0100S; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "ADOBE BROWN" 01004; DARK TAN
- 3 E.I.F.S. COPING, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER
- 4 E.I.F.S. WANSLOT, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.I.F.S. COLUMN WRAP, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING, SUPER LOK, 12" COVERAGE, 24 GA.  
FINISH: GALVALUM PLUS
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PAINT BARS "FLAT BLACK"
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED.  
COLOR: TO MATCH ADJACENT STUCCO. (PUEBLO STO) BENJAMIN MOORE,  
"BROOKLINE BEIGE" #HC-47. (ADOBE BROWN STO) BENJAMIN MOORE,  
"JACKSON TAN" #HC-46.
- 11 6" X 4" T.S. RAFTER, PAINTED, COLOR: T.B.D.  
REFER TO STRUCTURAL
- 12 SIGNAGE TO BE PROVIDED BY TENANT, G.C. TO PROVIDE  
POWER FOR LIGHTING
- 13 OVERHEAD DOOR, PAINTED TO MATCH ADJACENT STUCCO
- 14 SPLIT FACE CMU WALL
- 15 RED RIBBED METAL PANELS OVER 5/8" PLYWOOD
- 16 OVERFLOW SCUPPER
- 17 LINE OF ROOF BEYOND
- 18 ENTRY HOOD, PAINTED, COLOR: RED.
- 19 LIGHT FIXTURE, REFER TO ELECTRICAL.
- 20 GAS METER
- 21 TELEPHONE SWITCH PANEL
- 22 HOUSE PANEL
- 23 METERING SWITCH BOARD
- 24 SIMULS CONNECTION
- 25 ELECT. BELL FOR SPRINKLER SYSTEM.
- 26 6" WHITE VINYL LETTERING (BUILDING ADDRESS)  
W/ CONTRASTING RECTANGULAR BACKGROUND
- 27 ELECTRIC METER
- 28 STUCCO REVEAL, RE D4/A191
- 29 12" WHITE E.I.F.S. BAND  
COLOR: STO "MARBLE WHITE" 0100B
- 30 STUCCO CONTROL JOINT



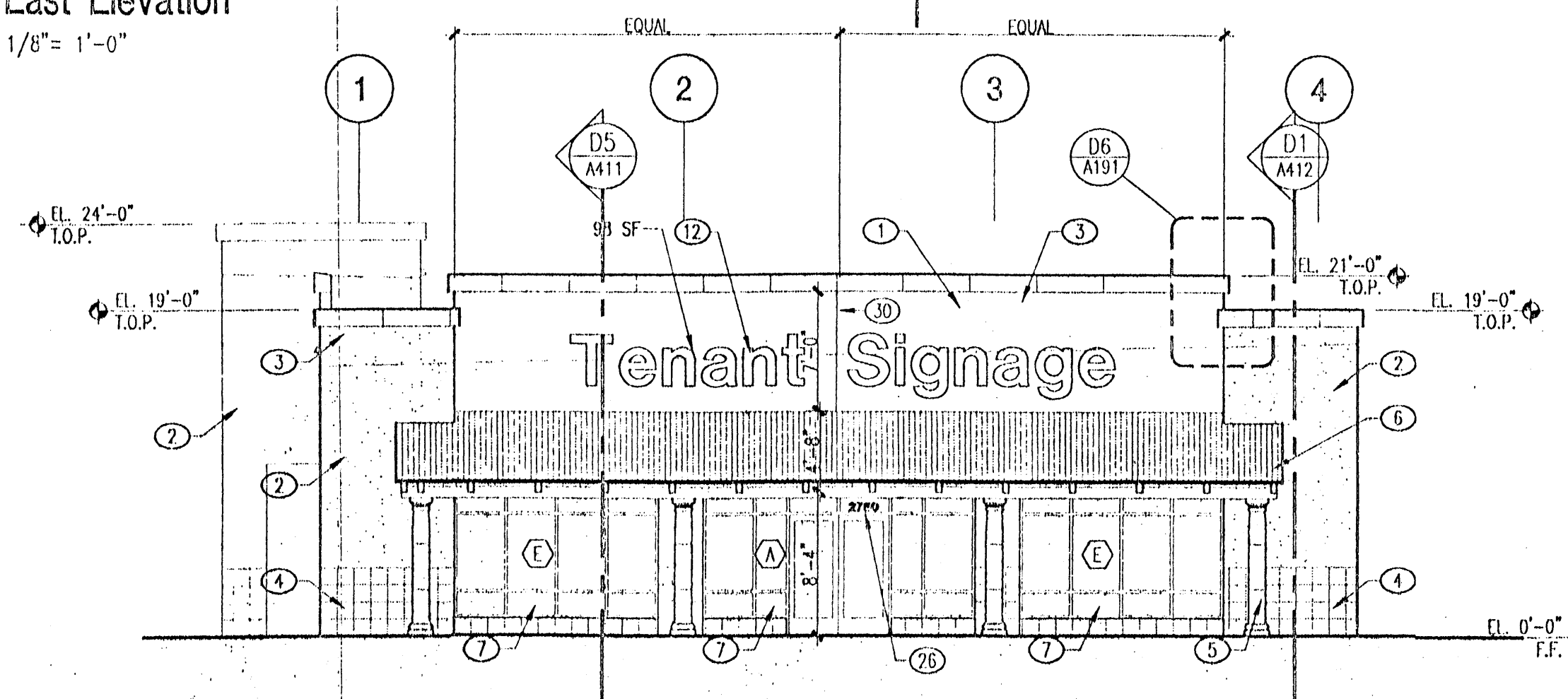
**(A2) West Elevation**  
1/8" = 1'-0"



**(B2) South Elevation**  
1/8" = 1'-0"



**(C2) East Elevation**  
1/8" = 1'-0"



**(D2) North Elevation**  
1/8" = 1'-0"

revisions

- △ 7/27/01 ASI #007
- △
- △
- △

plotted: 11-20-2001 9:36A

G:\98101\02\EXTERIOR\DWG 2\98101A21.DWG

drawn by GWO

reviewed by AMC

date 5/23/01

project no. 98101002

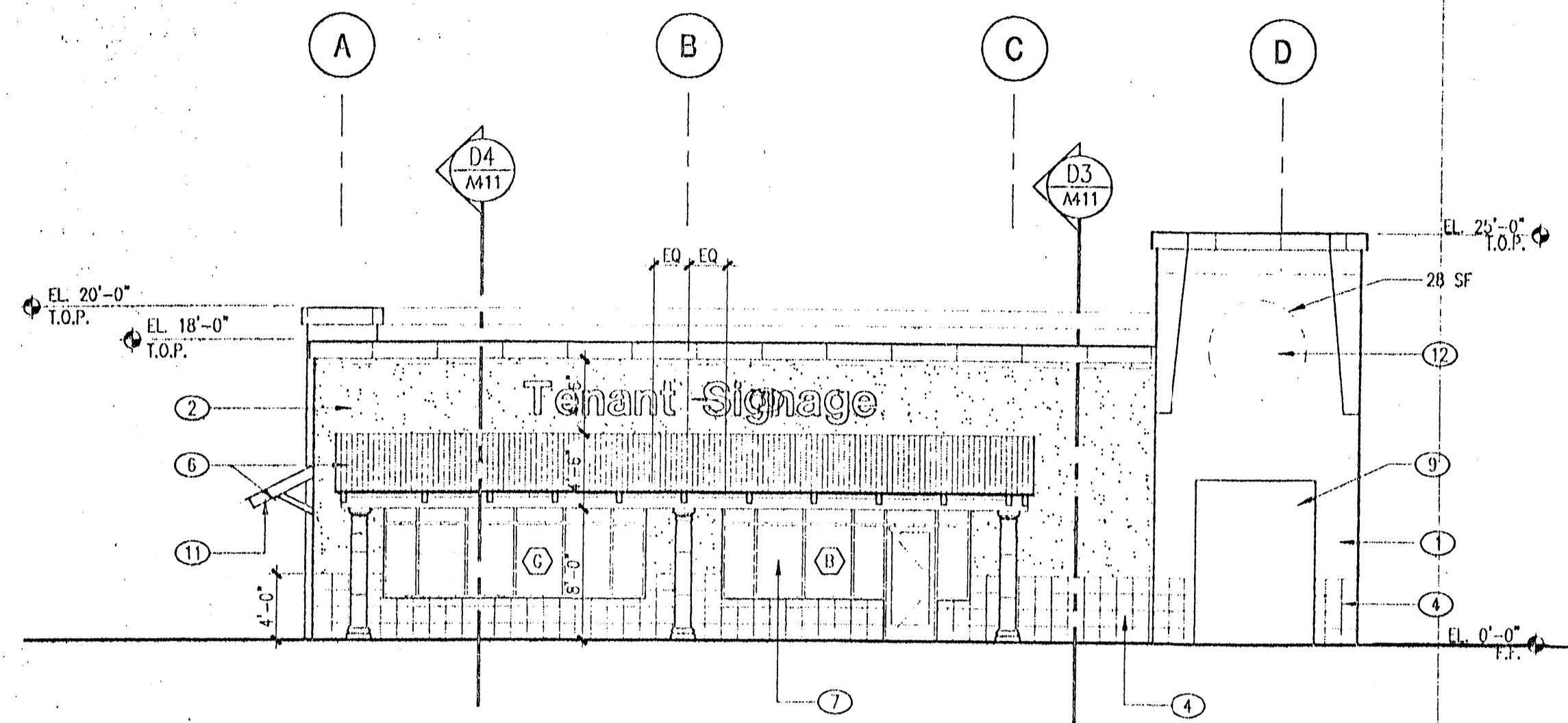
drawing name

Exterior Elevations  
Building 2

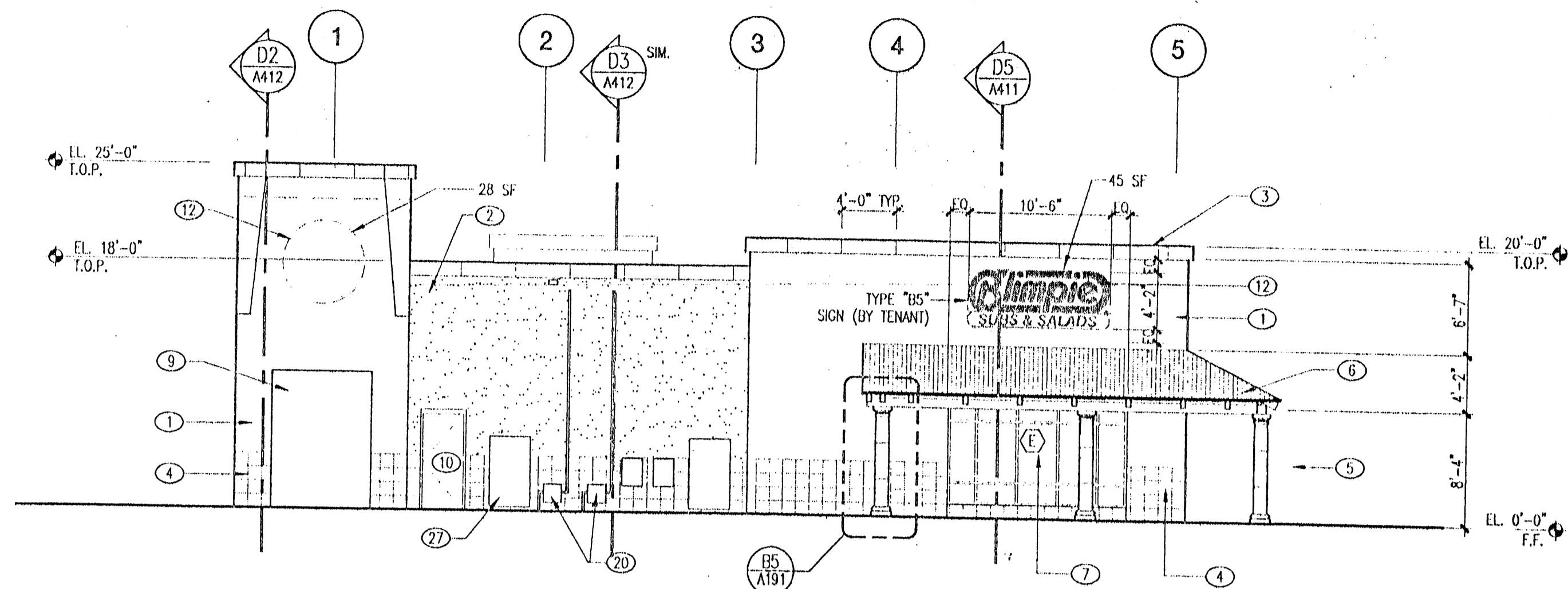
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**A321**

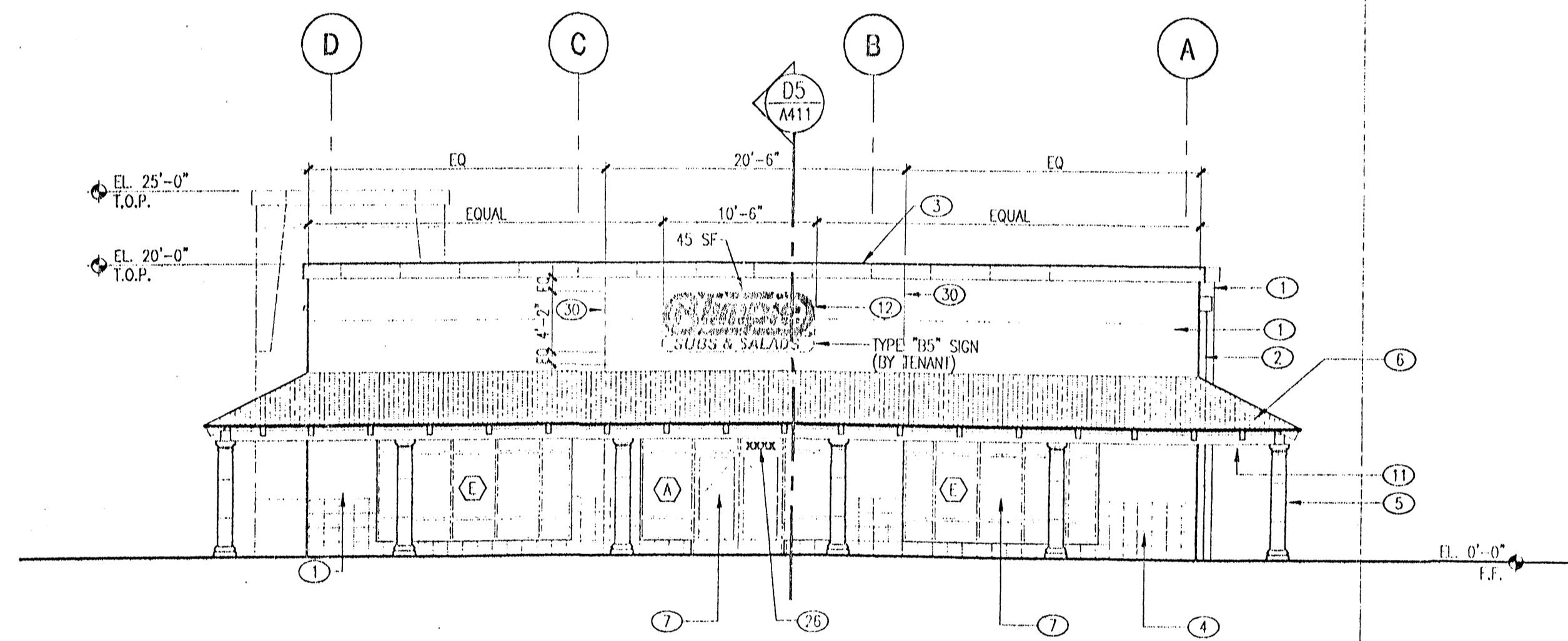
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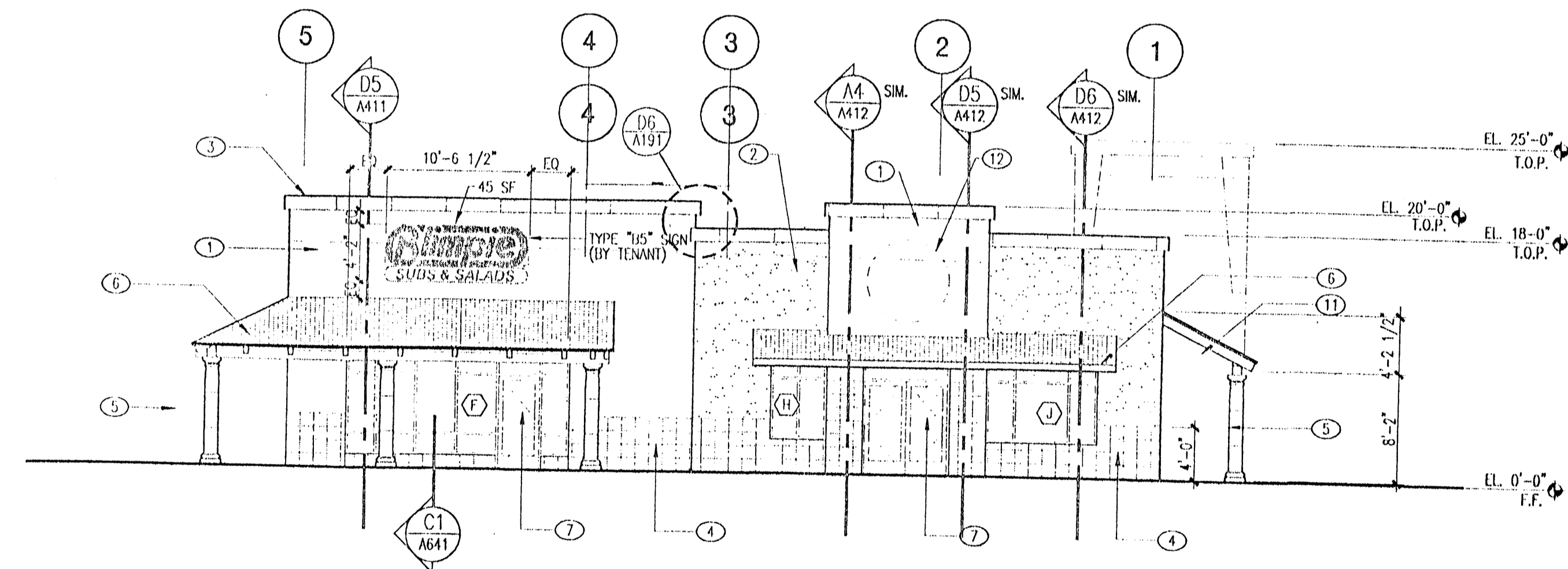
**A2** North Elevation  
1/8" = 1'-0"



**A4** West Elevation  
1/8" = 1'-0"



**C2** South Elevation  
1/8" = 1'-0"

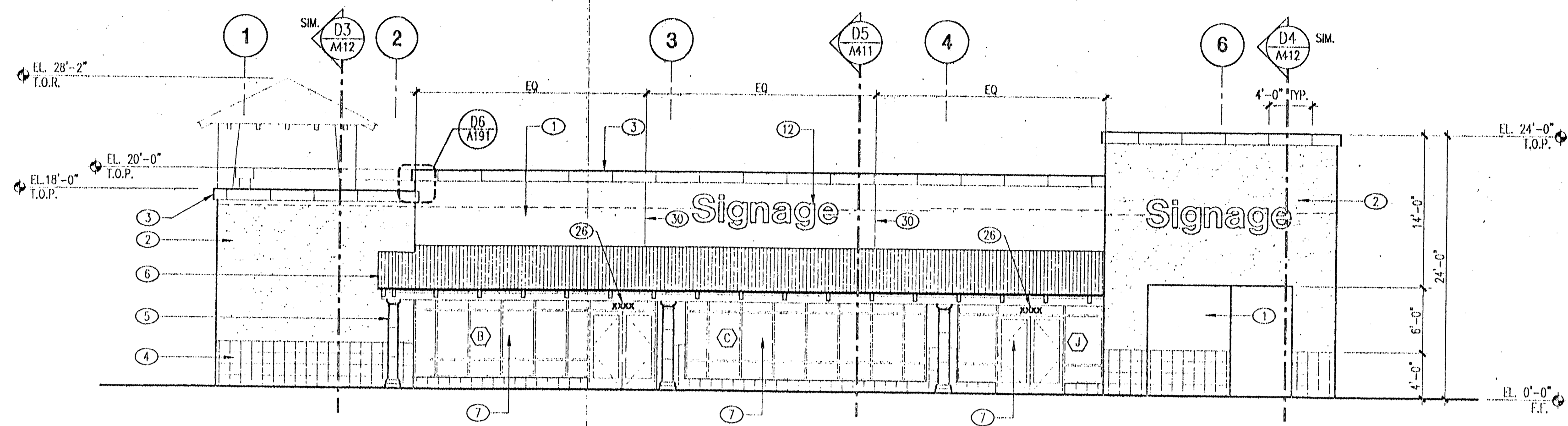


**C4** East Elevation  
1/8" = 1'-0"

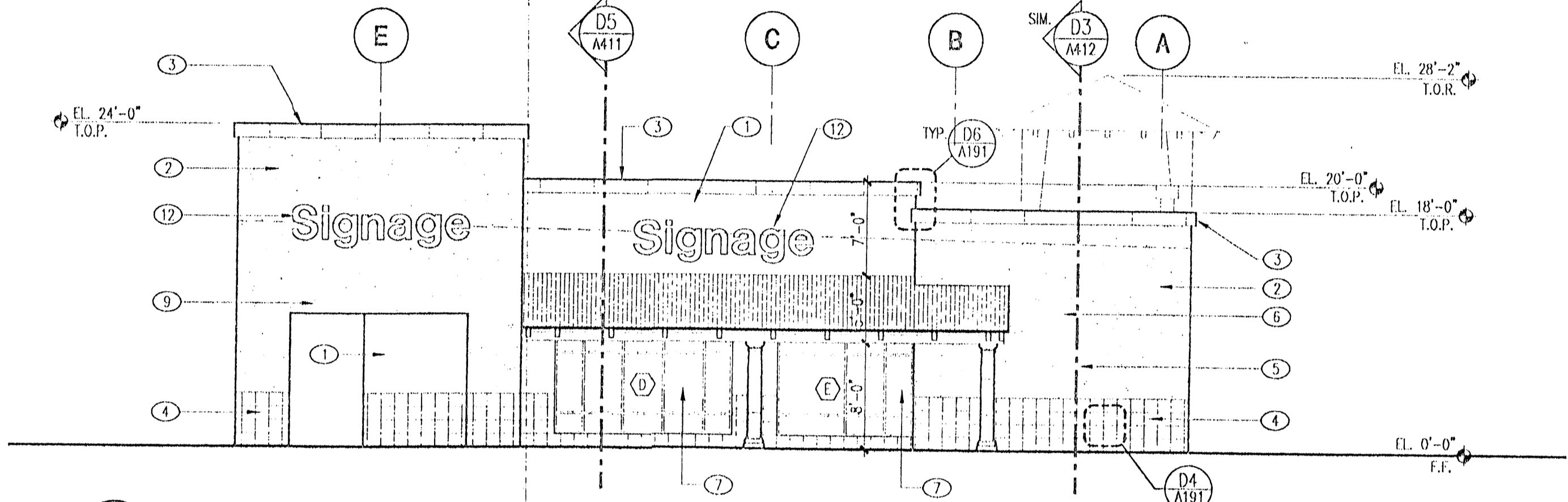
**Keyed Notes**

- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "PUEBLO" 01006; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "ADOBE BROWN" 01004; DARK TAN
- 3 E.I.F.S. COPING; FINISH: STO GRANITEX  
COLOR: SHALLOW WATER
- 4 E.I.F.S. WANSICOTE; FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.I.F.S. COLUMN WRAP; FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING, SUPER LOK, 12" COVERAGE, 24 GA.  
FINISH: GALVALUM PLUS
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PAINT BARS "FLAT BLACK"
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED.  
COLOR: TO MATCH ADJACENT STUCCO, (PUEBLO STO) BENJAMIN MOORE,  
"BROOKLINE BEIGE" #HC-47, (ADOBE BROWN STO) BENJAMIN MOORE,  
"JACKSON TAN" #HC-46.
- 11 6" X 4" T.S. TRAY, PAINTED, COLOR: T.B.D.  
REFER TO STRUCTURAL
- 12 SIGNAGE TO BE PROVIDED BY TENANT, G.C. TO PROVIDE  
POWER FOR LIGHTING
- 13 OVERHEAD DOOR, PAINTED TO MATCH ADJACENT STUCCO
- 14 SPLIT FACE CMU WALL
- 15 RED RIBBED METAL PANELS OVER 5/8" PLYWOOD
- 16 OVERFLOW SCUPPER
- 17 LINE OF ROOF BEYOND
- 18 ENTRY HOOD, PAINTED, COLOR: RED.
- 19 LIGHT FIXTURE, REFER TO ELECTRICAL.
- 20 GAS METER
- 21 TELEPHONE SWITCH PANEL
- 22 HOUSE PANEL
- 23 METERING SWITCH BOARD
- 24 SWANSE CONNECTION
- 25 ELECT. BELL FOR SPRINKLER SYSTEM.
- 26 6" WHITE VINYL LETTERING (BUILDING ADDRESS)  
W/ CONTRASTING RECTANGULAR BACKGROUND
- 27 ELECTRIC METER
- 28 STUCCO REVEAL, RE D4/A191
- 29 12" WHITE E.I.F.S. BAND  
COLOR: STO "MARBLE WHITE" 01008
- 30 STUCCO CONTROL JOINT

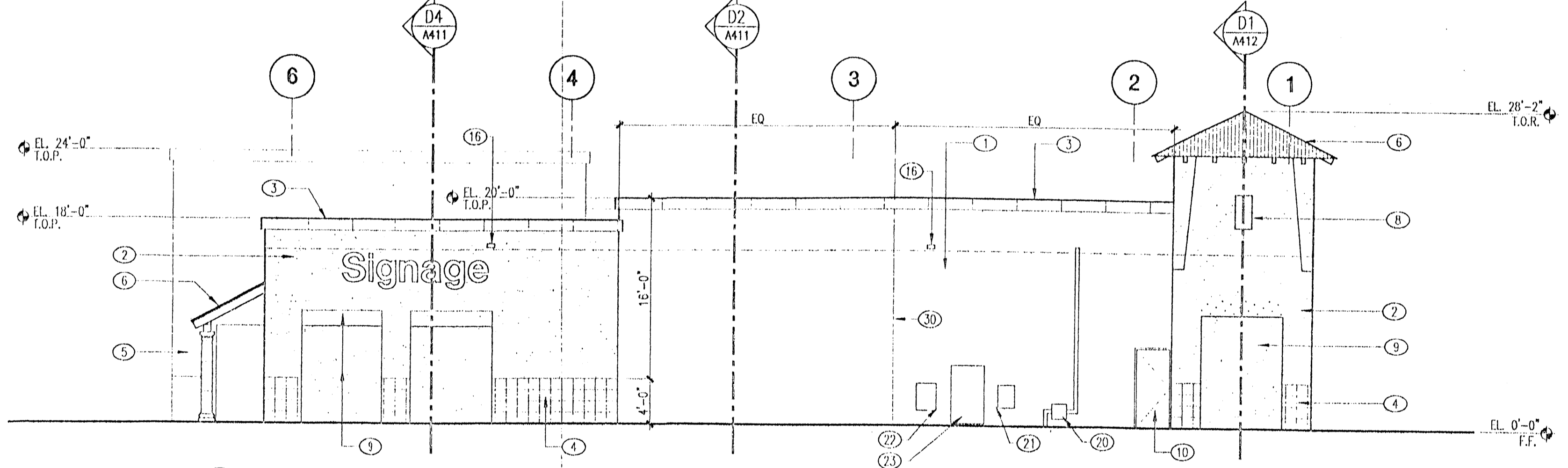
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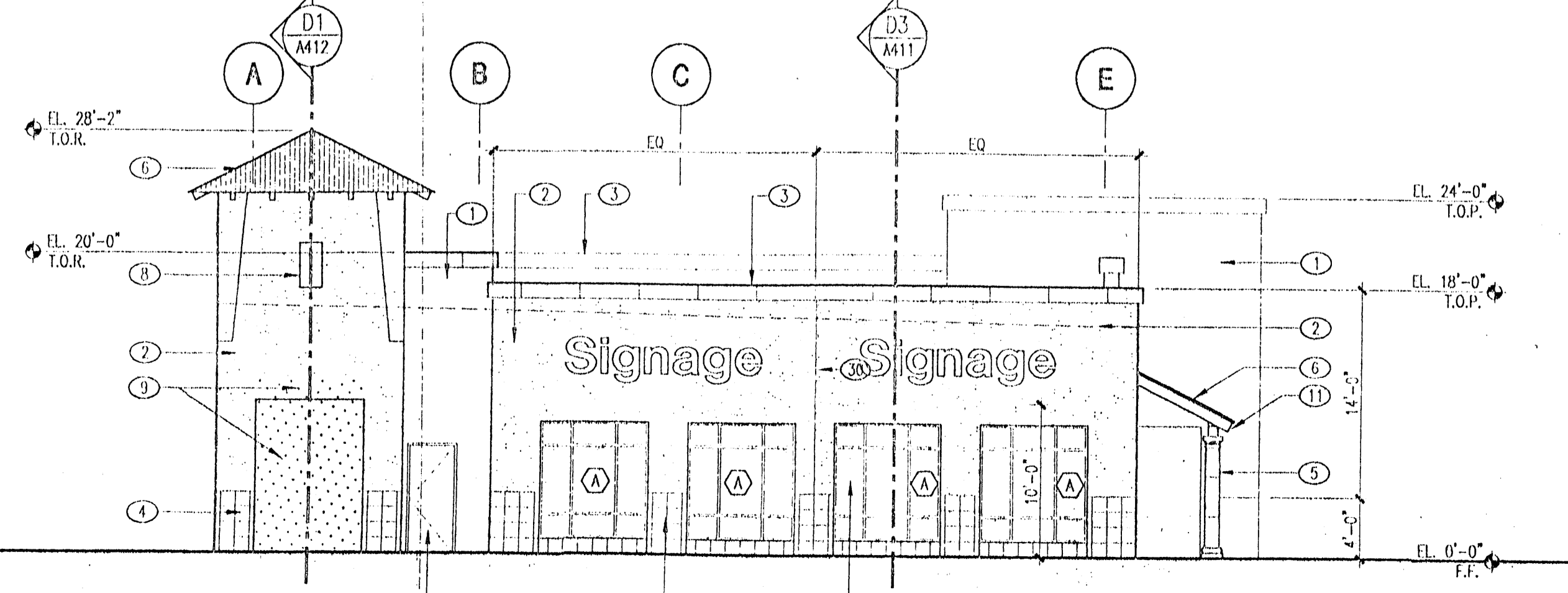
**A2** South Elevation  
1/8" = 1'-0"



**B2** East Elevation  
1/8" = 1'-0"



**C2** North Elevation  
1/8" = 1'-0"



**D2** West Elevation  
1/8" = 1'-0"

**Keyed Notes**

- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STU "PUEBLO" 01005; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STU "ADOBE BROWN" 01004; DARK TAN
- 3 E.L.F.S. COPING. FINISH: STU GRANITEX  
COLOR: SHALLOW WATER
- 4 E.L.F.S. WAINSCOT. FINISH: STU GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.L.F.S. COLUMN WRAP. FINISH: STU GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING. SUPER LOK, 12" COVERAGE, 24 GA.  
FINISH: GALVALUM PLUS
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PAINT BARS "FLAT BLACK"
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED.  
COLOR: TO MATCH ADJACENT STUCCO. (PUEBLO STU) BENJAMIN MOORE,  
"BROOKLINE BUCH" #HC-47. (ADOBE BROWN STU) BENJAMIN MOORE,  
"JACKSON TAN" #HC-46.
- 11 6" x 4" T.S. RAFTER, PAINTED. COLOR: T.B.D.  
REFER TO STRUCTURAL
- 12 SIGNAGE TO BE PROVIDED BY TENANT. G.C. TO PROVIDE  
POWER FOR LIGHTING
- 13 OVERHEAD DOOR, PAINTED TO MATCH ADJACENT STUCCO
- 14 SPLIT FACE CMU WALL
- 15 RED RIBBED METAL PANELS OVER 5/8" PLYWOOD
- 16 OVERFLOW SCUPPER
- 17 LINE OF ROOF BEYOND
- 18 ENTRY HOOD, PAINTED. COLOR: RED.
- 19 LIGHT FIXTURE. REFER TO ELECTRICAL
- 20 GAS METER
- 21 TELEPHONE SWITCH PANEL
- 22 HOUSE PANEL
- 23 METERING SWITCH BOARD
- 24 SIAMISE CONNECTION
- 25 ELEC. BELL FOR SPRINKLER SYSTEM
- 26 6" WHITE VINYL LETTERING (BUILDING ADDRESS)  
W/ CONTRASTING RECTANGULAR BACKGROUND
- 27 ELECTRIC METER
- 28 STUCCO REVEAL, RE D4/A191
- 29 12" WHITE E.L.F.S. BAND  
COLOR: STU "MARBLE WHITE" 01008
- 30 STUCCO CONTROL JOINT

architect



engineer

ISSUED FOR  
CONSTRUCTION

project

**West Bluff**  
Coors Blvd. N.W. & I-40  
Albuquerque, New Mexico

revisions	
△	7/27/01 ASI #007
△	
△	
△	

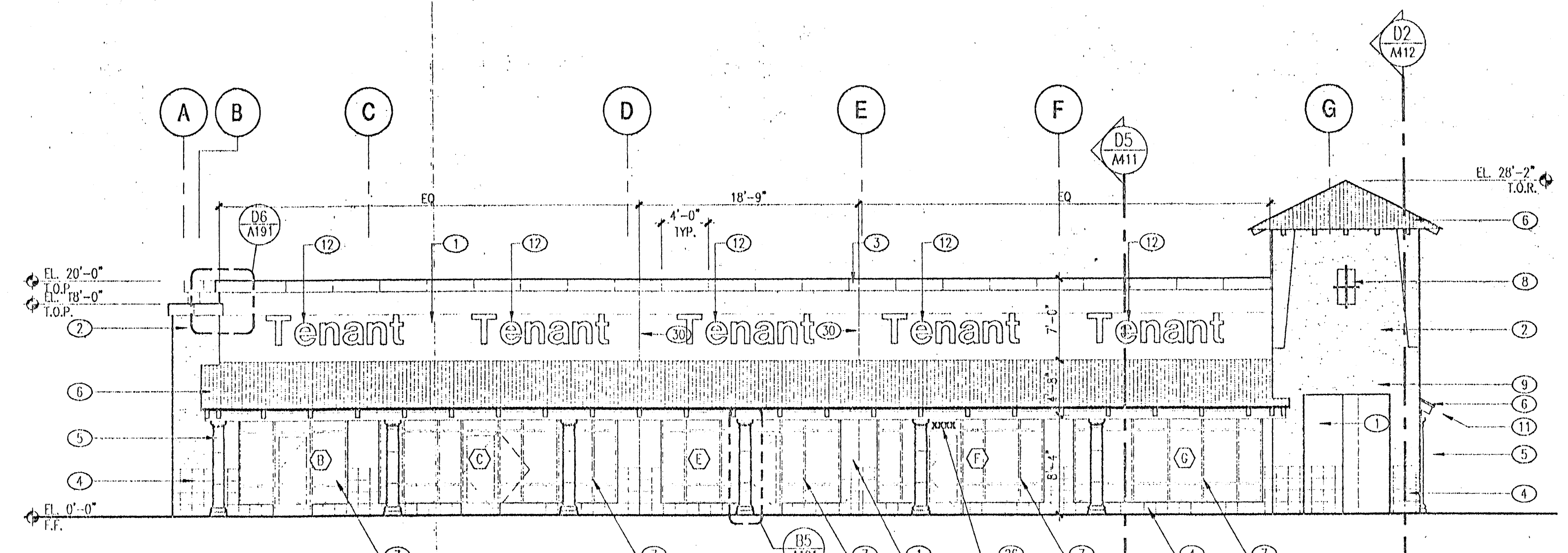
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drawn by	GWO
reviewed by	AMC
date	5/23/01
project no.	98101002
drawing name	

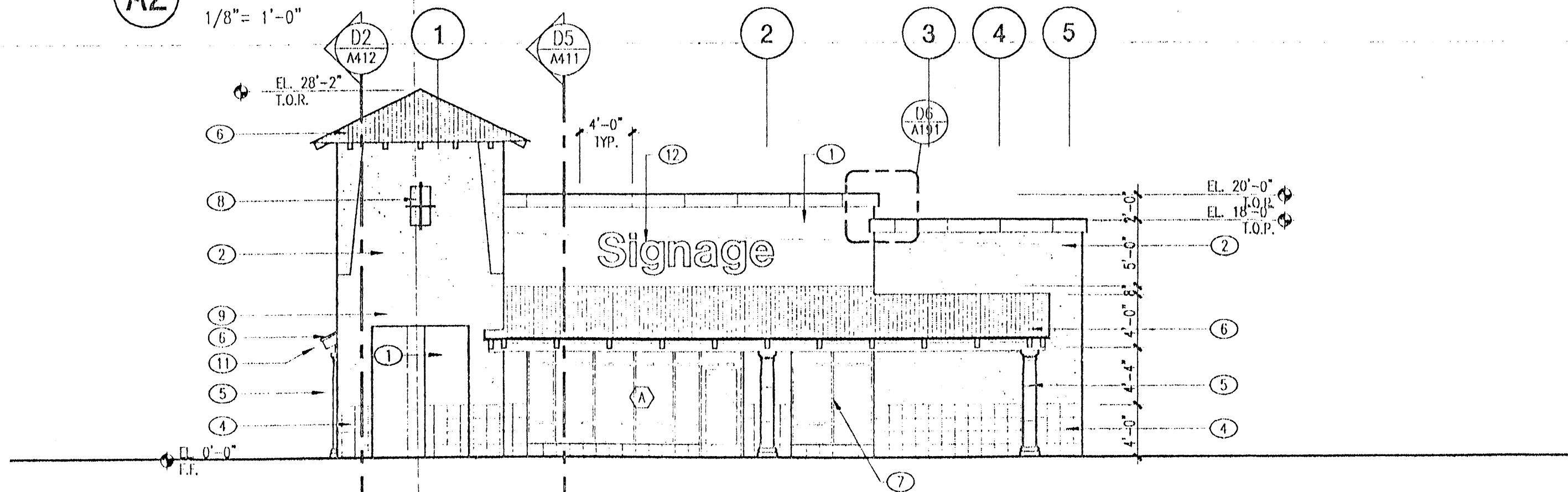
Exterior Elevations  
Building 5

sheet no.

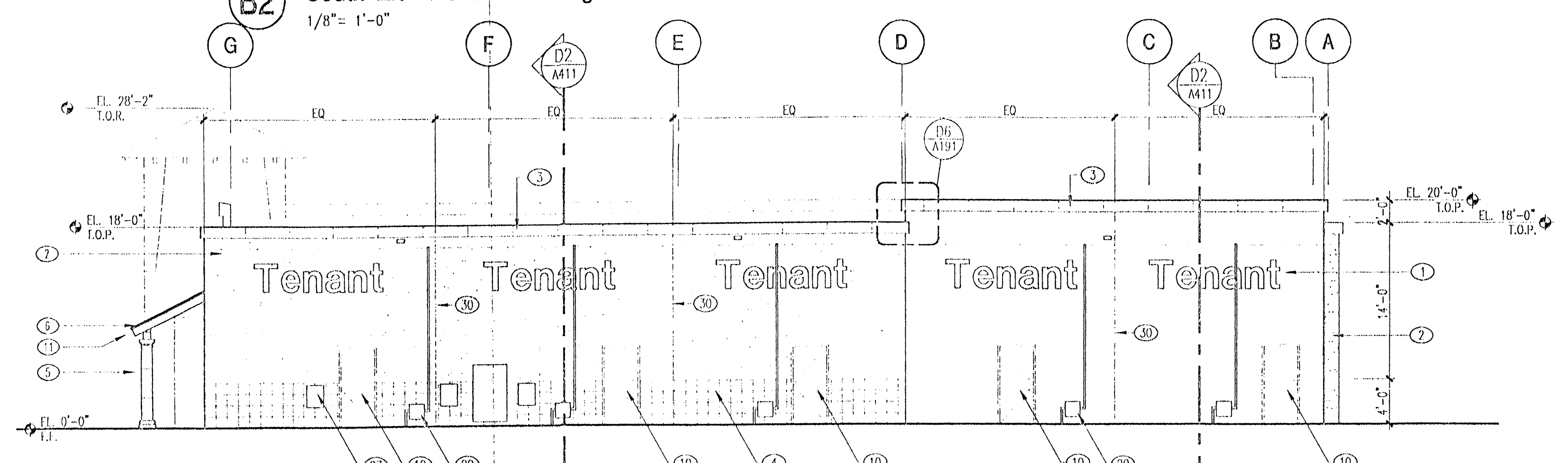
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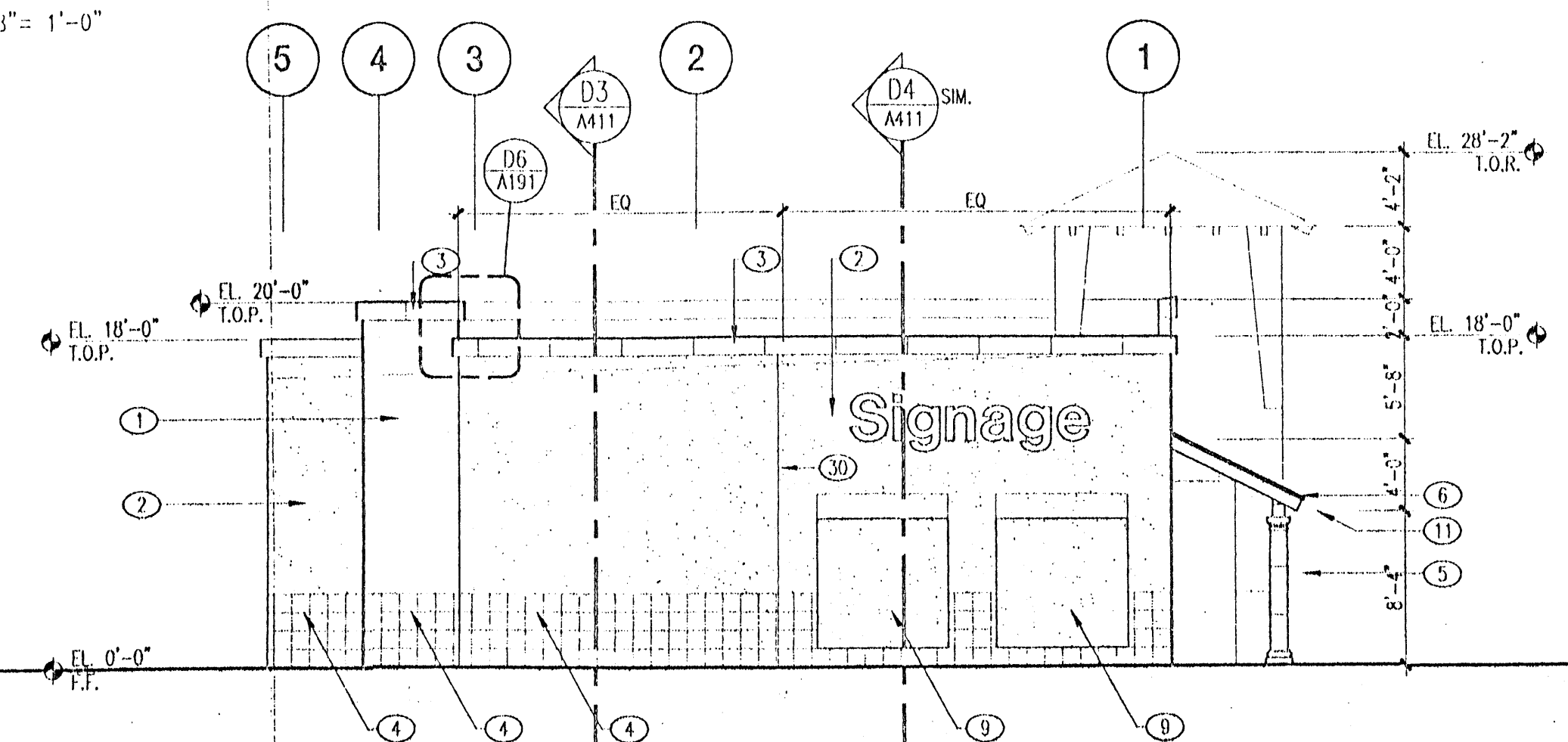
**A2** West Elevations - Building 6  
1/8" = 1'-0"



**B2** South Elevations - Building 6  
1/8" = 1'-0"



**C2** East Elevations - Building 6  
1/8" = 1'-0"



**D2** North Elevations - Building 6  
1/8" = 1'-0"

**Keyed Notes**

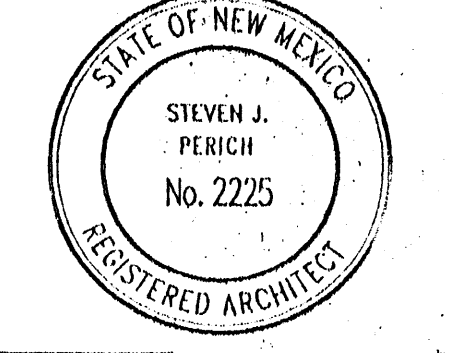
- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "PUEBLO" 01008; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "ADOBE BROWN" 01004; DARK TAN
- 3 E.L.F.S. COPING, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER
- 4 E.L.F.S. WAINSCOT, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.L.F.S. COLUMN WRAP, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING, SUPER LOK, 12" COVERAGE, 24 GA.  
FINISH: GALVALUM PLUS
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PANT BARS: FLAT BLACK
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED.  
COLOR: TO MATCH ADJACENT STUCCO, (PUEBLO STO) BENJAMIN MOORE,  
"BROOKLINE BEIGE" JHC-47, (ADOBE BROWN STO) BENJAMIN MOORE,  
"JACKSON TAN" JHC-46.
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REFER TO STRUCTURAL
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POWER FOR LIGHTING
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- 17 LINE OF ROOF BEYOND
- 18 ENTRY HOOD, PAINTED, COLOR: RED.
- 19 LIGHT FIXTURE. REFER TO ELECTRICAL.
- 20 GAS METER
- 21 TELEPHONE SWITCH PANEL
- 22 HOUSE PANEL
- 23 METERING SWITCH BOARD
- 24 SIAMESE CONNECTION
- 25 ELECT. BELL FOR SPRINKLER SYSTEM.
- 26 6" WHITE VINYL LETTERING (BUILDING ADDRESS)  
W/ CONTRASTING RECTANGULAR BACKGROUND
- 27 ELECTRIC METER
- 28 STUCCO REVEAL, RE: D4/A191
- 29 12" WHITE E.L.F.S. BAND  
COLOR: STO "MARBLE WHITE" 01008
- 30 STUCCO CONTROL JOINT

architecture  
interiors  
planning  
engineering

**Dekker  
Perich  
Sabatini**

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsabq.com

architect



engineer

**ISSUED FOR  
CONSTRUCTION**

project

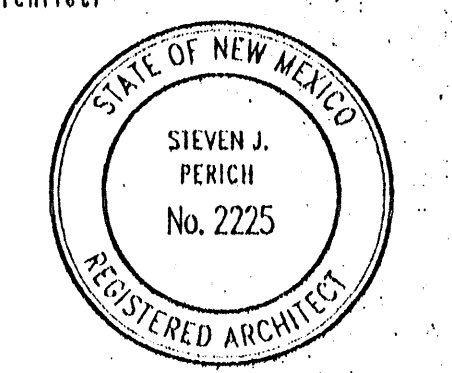
**West Bluff**  
Coors Blvd. N.W. & I-40  
Albuquerque, New Mexico

revisions	
△	7/27/01 ASI #007
△	
△	
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plotted:	10-06-2001 3:29P
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drawn by	GWO
reviewed by	AMC
date	5/23/01
project no.	98101002
drawing name	

Exterior Elevations  
Building 6

sheet no. **A361**  
of



engineer

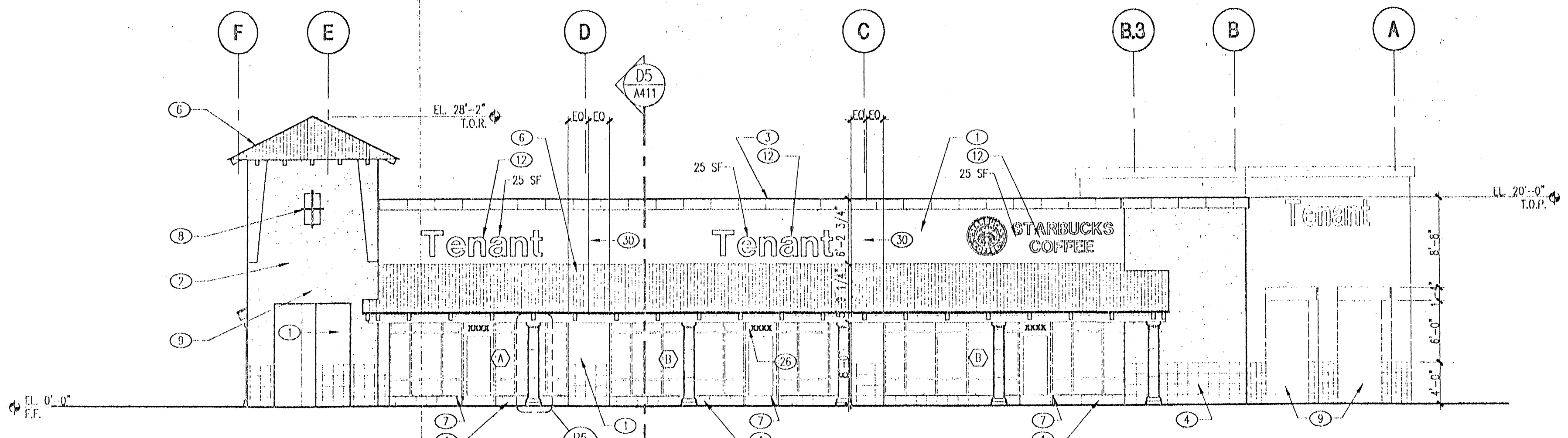
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CONSTRUCTION

project

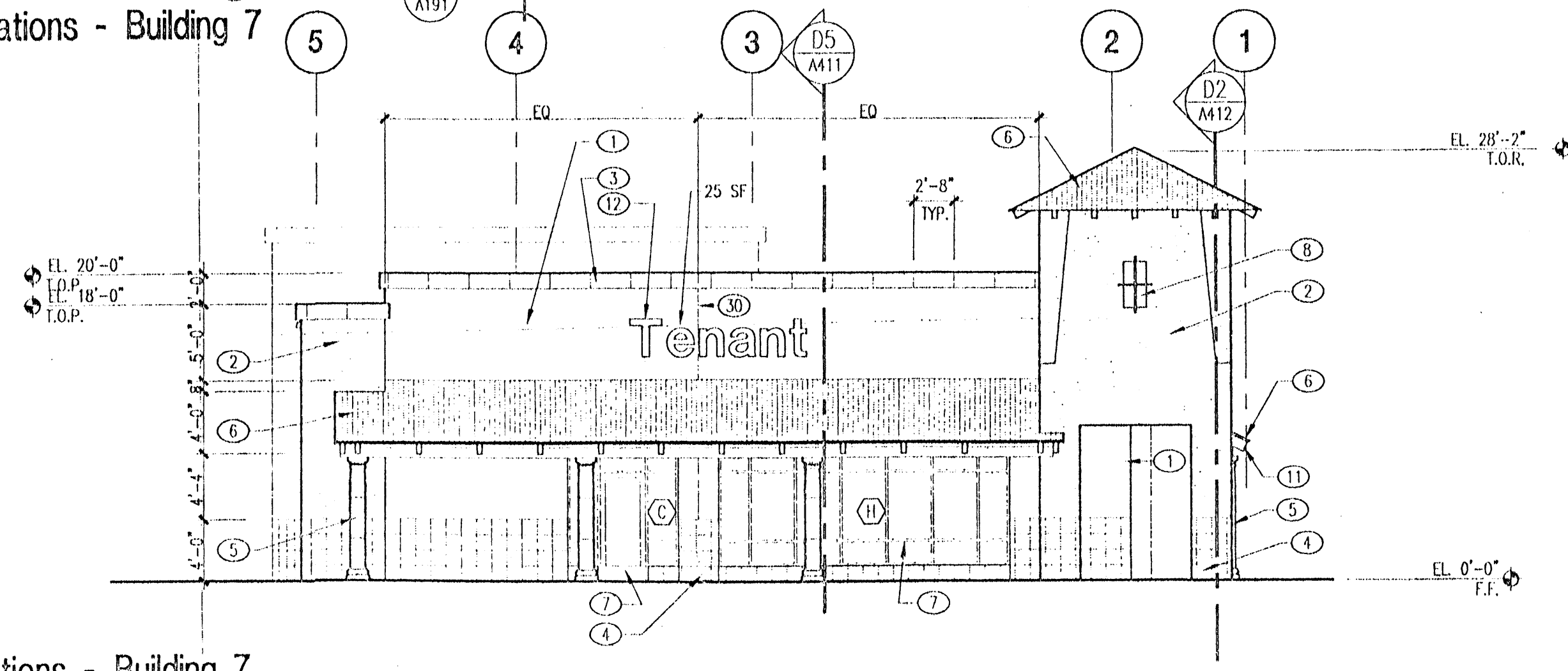
**West Bluff**  
Coors Blvd. N.W. & I-40  
Albuquerque, New Mexico

**Keyed Notes**

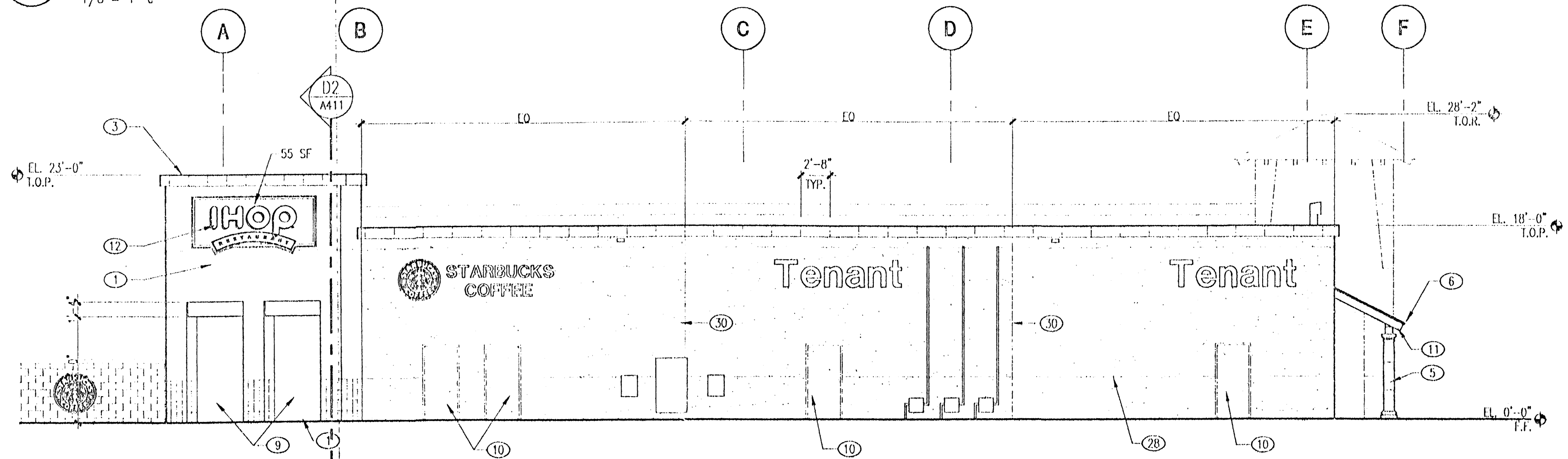
- 1 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "PUEBLO" 01008; TAN
- 2 2 COAT STUCCO SYSTEM W/ SYNTHETIC FINISH  
COLOR: STO "ADOBE BROWN" 01004; DARK TAN
- 3 E.L.F.S. COPING, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER
- 4 E.L.F.S. WINGS/OUT, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN-GRAY
- 5 E.L.F.S. COLUMN WRAP, FINISH: STO GRANITEX  
COLOR: SHALLOW WATER; BROWN GRAY
- 6 METAL ROOFING, SUPER LOK, 12" COVERAGE, 24 GA.  
FINISH: GALVALUM PLUS
- 7 ALUMINUM STOREFRONT W/ INSULATED GLASS  
FINISH: CLEAR ANODIZED ALUMINUM
- 8 RECESSED STUCCO INSET W/ ORNAMENTAL METAL BARS  
PAINT BARS "FLAT BLACK"
- 9 RECESSED STUCCO INSET
- 10 HOLLOW METAL DOOR AND FRAME, PAINTED.  
COLOR: TO MATCH ADJACENT STUCCO. (PUEBLO STO) BENJAMIN MOORE, architect  
"BROOKLINE BEIGE" #HC-47, (ADOBE BROWN STO) BENJAMIN MOORE,  
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- 24 S-WAY CONNECTION
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- 29 12" WHITE E.L.F.S. BAND  
COLOR: STO "MARBLE WHITE" 01008
- 30 STUCCO CONTROL JOINT



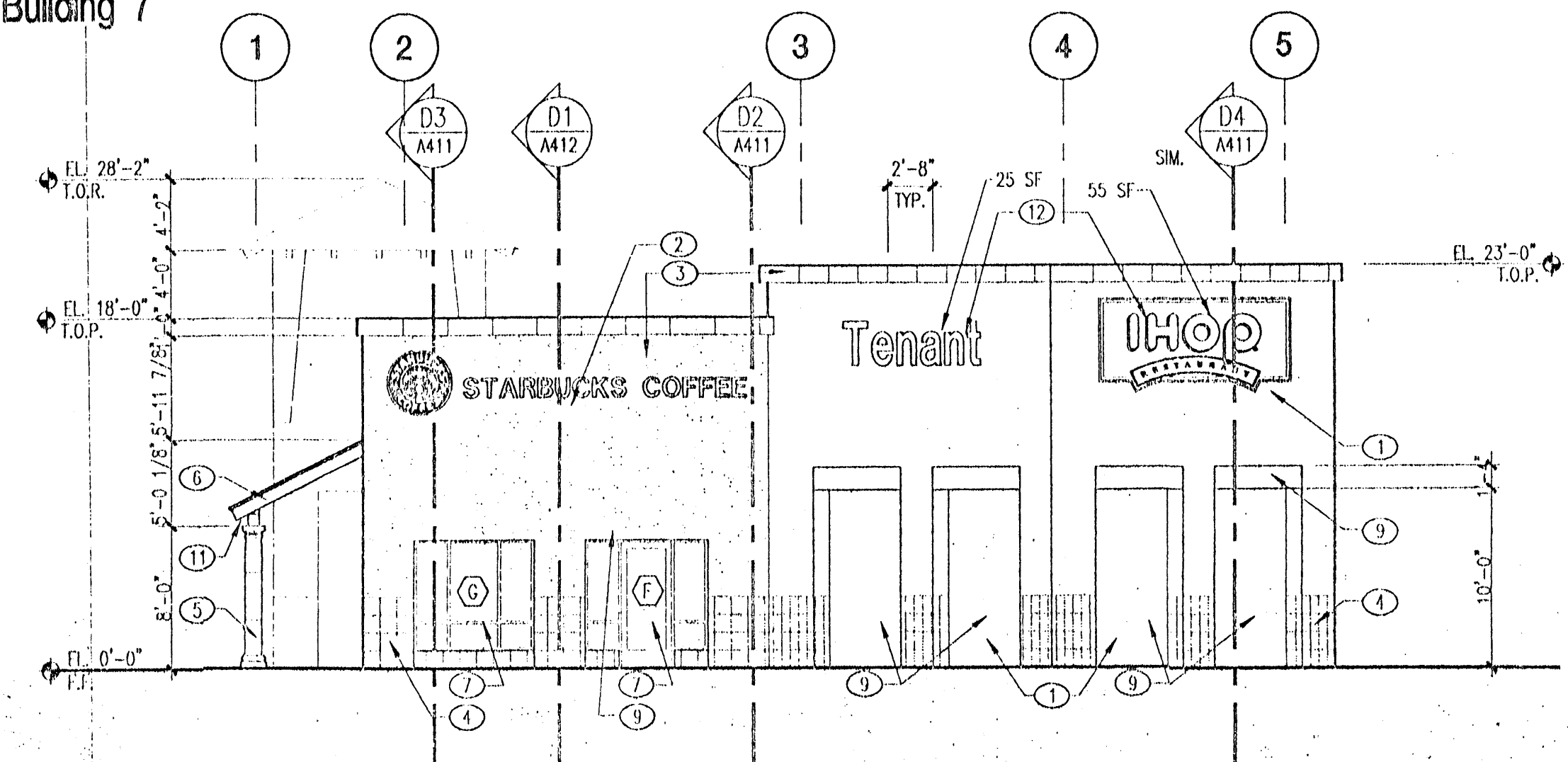
**A2 North Elevations - Building 7**  
1/8" = 1'-0"



**B2 East Elevations - Building 7**  
1/8" = 1'-0"



**C2 South Elevations - Building 7**  
1/8" = 1'-0"



**D2 West Elevations - Building 7**  
1/8" = 1'-0"

revisions

1	7/21/01	ASH #007
2		
3		
4		

plotted:	10-06-2001 3:25P
drawn by:	GWO
reviewed by:	AMC
date:	6/23/01
project no.:	98101002
drawing name:	

Exterior Elevations  
Building 7