

**SITE DATA**

**PHASE I**

PROPOSED USAGE:	WENDY'S RESTAURANT (AS-BUILT) APPROVED DRB #96-242
LOT AREA:	44,242 SF (1.0157 ACRES)
BUILDING AREA:	3,061 SF
PAVEMENT/SIDEWALK:	25,563 SF ±
LANDSCAPE AREA	15,584 SF ±
LANDSCAPING REQUIRED:	6,177 SF ±
PARKING PROVIDED:	36 SPACES
PARKING REQUIRED:	15 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	1 SPACES VAN ACCESSIBLE

**PHASE II**

PROPOSED USAGE:	PANDA EXPRESS RESTAURANT
LOT AREA:	30,429 SF (0.6986 ACRE)
BUILDING AREA:	2,395 SF
PAVEMENT/SIDEWALK:	21,258 SF ±
LANDSCAPE AREA	6,776 SF ±
LANDSCAPING REQUIRED:	2,829 SF ±
PARKING PROVIDED:	29 SPACES
PARKING REQUIRED:	17 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES
	1 SPACES VAN ACCESSIBLE

**TOTAL ALL PHASES**

PROPOSED USAGE:	RETAIL/OFFICE BUILDINGS
LOT AREA:	283,882 SF (6.5170 ACRES)
BUILDING AREA:	36,756 SF
PAVEMENT/SIDEWALK:	182,120 SF ±
LANDSCAPE AREA	64,981 SF ±
LANDSCAPING REQUIRED:	37,069 SF ±
PARKING PROVIDED:	355 SPACES
PARKING REQUIRED:	189 SPACES
HC PARKING PROVIDED:	14 SPACE
HC PARKING REQUIRED:	12 SPACE
	7 SPACE VAN ACCESSIBLE

**PHASE III**

PROPOSED USAGE:	ARBY'S RESTAURANT (AS-BUILT) APPROVED DRB #96-242
LOT AREA:	36,940 SF (0.8482 ACRE)
BUILDING AREA:	2,952 SF
PAVEMENT/SIDEWALK:	25,690 SF ±
LANDSCAPE AREA	8,307 SF ±
LANDSCAPING REQUIRED:	5,100 SF ±
PARKING PROVIDED:	39 SPACES
PARKING REQUIRED:	15 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	1 SPACE
	1 SPACE VAN ACCESSIBLE

**PHASE IV (FUTURE DEVELOPMENT)**

PROPOSED USAGE:	OFFICE BUILDING
LOT AREA:	172,271 SF (3.9548 ACRES)
BUILDING AREA:	28,348 SF
PAVEMENT/SIDEWALK:	109,609 SF ±
LANDSCAPE AREA	34,314 SF ±
LANDSCAPING REQUIRED:	21,588 SF ±
PARKING PROVIDED:	251 SPACES
PARKING REQUIRED:	142 SPACES
HC PARKING PROVIDED:	8 SPACES
HC PARKING REQUIRED:	8 SPACES
	4 SPACES VAN ACCESSIBLE

**SHEET INDEX**

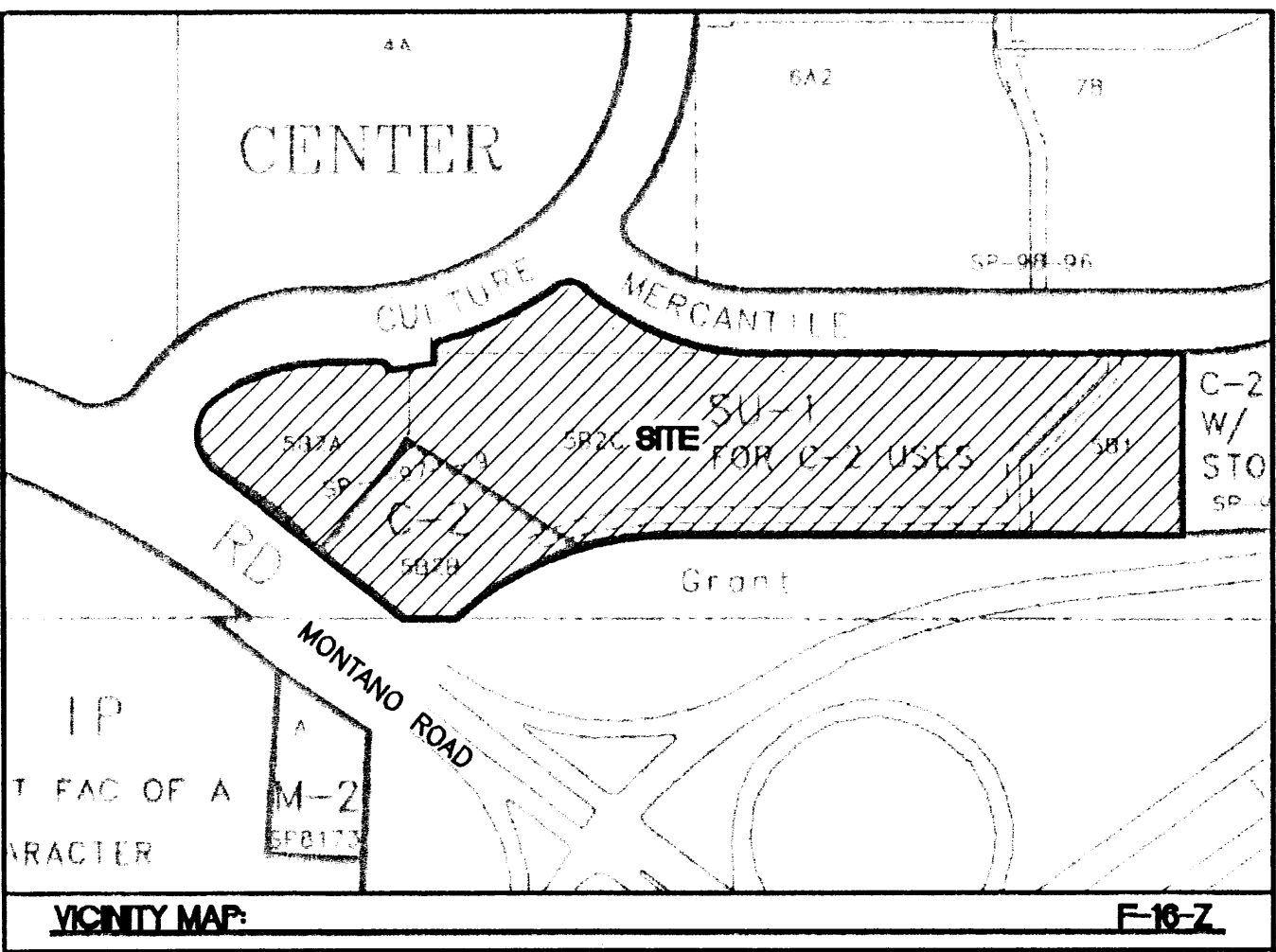
1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. OVERALL LANDSCAPE PLAN
4. SITE SPECIFIC LANDSCAPE PLAN
5. OVERALL GRADING AND DRAINAGE PLAN
6. SITE SPECIFIC GRADING AND DRAINAGE PLAN
7. BUILDING ELEVATIONS
8. SIGN ELEVATIONS

**LEGEND**

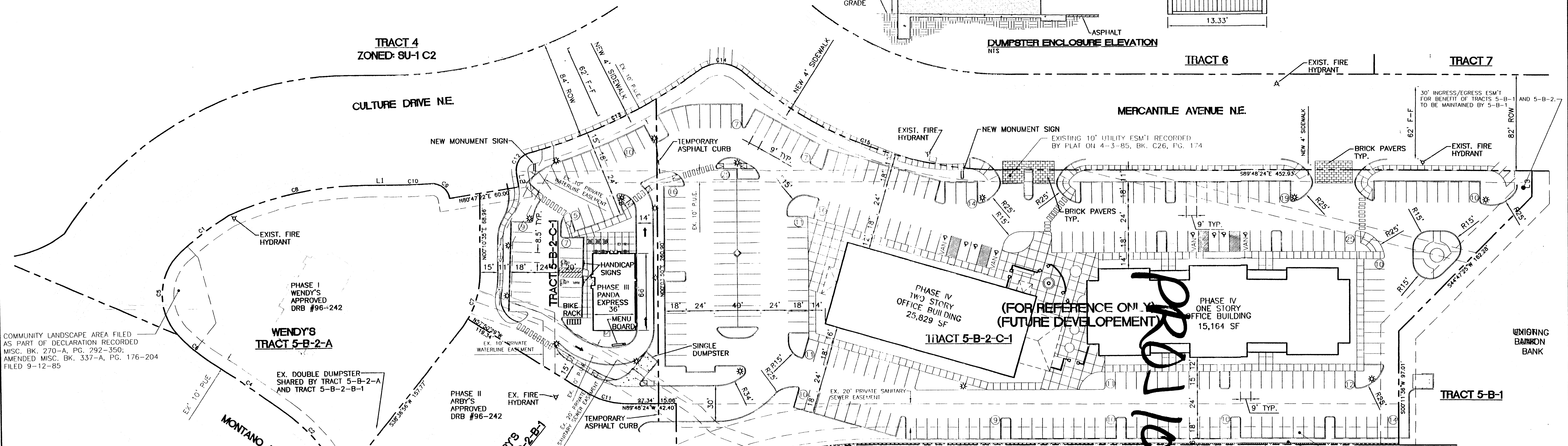
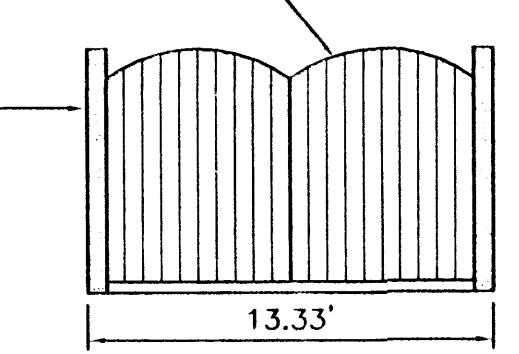
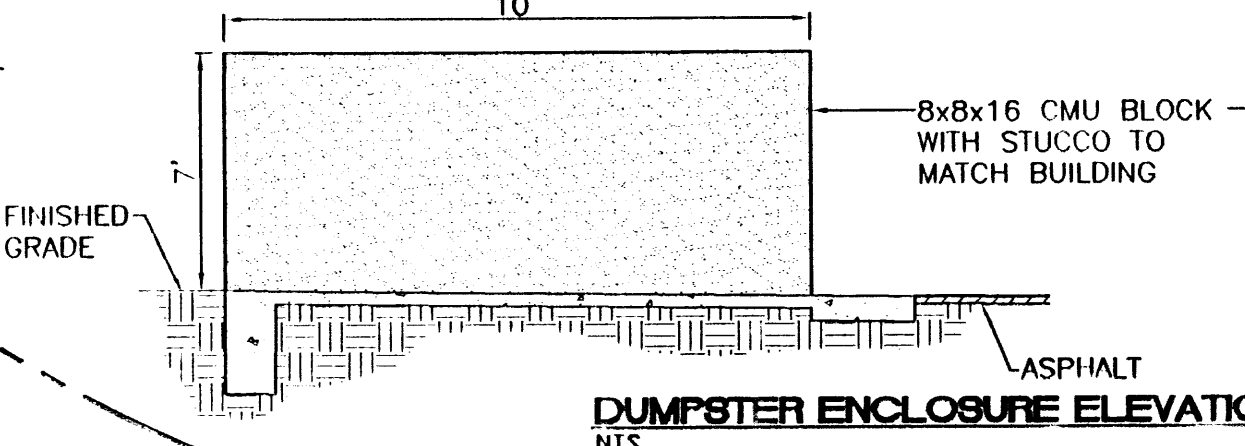
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RETAINING WALL
- PROPOSED SIDEWALK
- NEW FIRE HYDRANTS
- EXISTING FIRE HYDRANTS
- LIGHT POLE

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	52.46	259.00	26.32	11°36'22"
C2	56.90	160.00	28.75	20°22'32"
C3	14.35	1493.40	7.18	00°33'03"
C4	76.02	1502.40	38.02	02°53'57"
C5	78.42	50.00	49.88	89°51'37"
C6	36.12	140.00	18.16	14°47'03"
C7	50.32	75.00	26.15	38°26'21"
C8	120.80	290.00	61.29	23°51'57"
C9	22.12	15.00	13.62	84°28'56"
C10	30.73	453.00	15.37	03°53'10"
C11	36.26	65.00	18.62	31°57'55"
C12	22.08	15.00	13.59	84°20'12"
C13	163.21	441.00	82.55	21°12'16"
C14	40.49	30.00	24.01	77°20'05"
C15	244.39	341.00	127.71	41°03'47"
C16	306.62	407.82	160.96	43°04'39"

LINE TABLE		
LINE	LENGTH	BEARING
L1	25.80	S89°48'24"E
L2	12.06	N09°12'38"W
L3	22.01	S00°11'36"W



**LEGAL DESCRIPTION:**  
TRACT 5-B-2-A, 5-B-2-B AND 5-B-2-C OF NORTH RENAISSANCE CENTER



- GENERAL NOTES:**
1. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PROPOSED WILL BE REQUIRED FOR THE PROPOSED TRACT 5 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
  2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF EACH LOT OWNER TO INCLUDE THE PUBLIC RIGHT OF WAY ADJACENT TO THE LOT.
  4. CROSS PARKING ACCESS & DRAINAGE EASEMENT FOR ALL PARALLELS HAS BEEN GRANTED WITH THE SITE PLAN AND THE REPLAT.
  5. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
  6. ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN.
  7. LIGHT FIXTURES SHALL BE A MAXIMUM OF 24 FEET HIGH AND A MAXIMUM OF 16 FEET HIGH WITHIN 300 FEET OF RESIDENTIAL USE OR ZONE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE FULL CUT OFF TYPE TO PREVENT FUGITIVE LIGHT; NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.

**PROJECT NUMBER:** 1000219

This plan is consistent with the specific site development plan approved by the Development Review Board (DRB) on 12/12/00 and that the findings and conditions in the Official Notice of Decision have been complied with: Application #00420-00000-0174

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	12-06-00
Parks & Community Services Department	12-06-00
Public Works, Water Utilities Division	12-06-00
City Engineer, Engineering Division / AMAFCA	12/6/00
Solid Waste	1-9-01

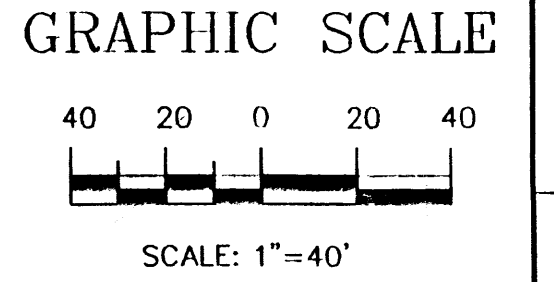
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division

PLNZ (10706) 4/96

INTERSTATE HIGHWAY NO.25 (I-25)  
(FRONTAGE ROAD)

PROJ 1000219  
 569



ENGINEER'S SEAL

RONALD R. BOHANNAN  
P.E. #7868

**TRACT 5 RENAISSANCE CENTER**

**SITE PLAN FOR SUBDIVISION PURPOSES**

TERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

DRAWN BY: BDG  
DATE: 12-06-00  
20550V.DWG  
SHEET #: 1 OF 8  
JOB #: 200055

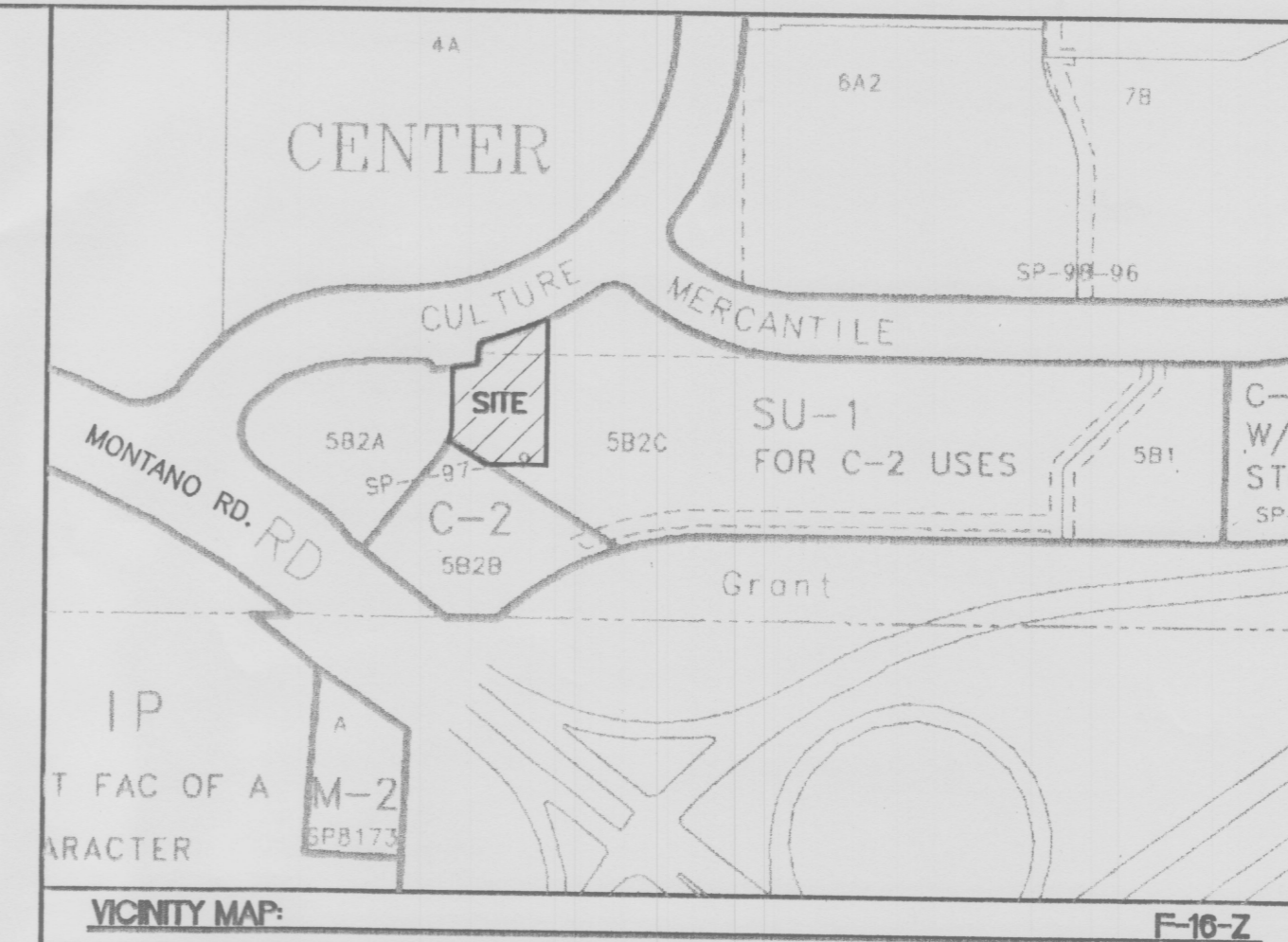
**LEGEND**

- EXISTING CURB & GUTTER
- EXISTING TEMPORARY ASPHALT CURB
- NEW TEMPORARY ASPHALT CURB
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED FIRE HYDRANT
- \* PROPOSED LIGHT

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	118.83	441.00	15°26'18"	59.78	N67°28'15"E	118.47
C2	22.08	15.00	84°20'12"	13.59	S33°01'18"W	20.14
C3	40.30	75.00	30°47'10"	20.65	N15°38'00"E	39.82
C4	36.26	65.00	31°57'55"	18.62	S73°45'36"E	35.79

**GENERAL NOTES:**

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE ADJACENT PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT 5B2C1 AND/OR ASSIGNS AND TRANSFERS.
3. CROSS PARKING, ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS HAVE BEEN GRANTED WITH THE SITE PLAN AND THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
5. ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. SEE SHEET 8 FOR ALL SIGNAGE DETAILS.
6. ALL MECHANICAL AND ELECTRICAL EQUIPMENT (GROUND OR BUILDING MOUNTED) MUST BE SCREENED FROM PUBLIC VIEW.
7. A 20' LANDSCAPE SETBACK IS REQUIRED ALONG MONTANO BLVD. STARTING FROM THE BACK OF THE CURB.
8. USE OF REFLECTIVE GLASS IS DISCOURAGED.
9. BUYER (PANDA EXPRESS) OF TRACT 5-B-2-C-1 WILL PAY CITY OF ALBUQUERQUE UEC FEES AT THE CURRENT PUBLISHED RATE. (\$2526 FOR WATER AND \$2134 FOR SEWER)
10. LIGHT FIXTURES SHALL BE A MAXIMUM OF 24 FEET HIGH AND A MAXIMUM OF 16 FEET HIGH WITHIN 300 FEET OF RESIDENTIAL USE OR ZONE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE FULL CUT OFF TYPE TO PREVENT FUGITIVE LIGHT; NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
11. ROOF-MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT AND APPARATUS WILL MINIMIZED AND LOCATED IN AN ORDERLY PATTERN. ALL EQUIPMENT AND APPARATUS WILL BE PAINTED TO MATCH THE COLOR OF THE ROOF AGGREGATE AND WILL BE MAINTAINED AS SUCH. SCREENING ARCHITECTURALLY COMPATIBLE WITH THE DESIGN OF THE BUILDING SHALL BE PROVIDED TO SCREEN ALL EQUIPMENT AND APPARATUS FROM VIEW FROM ADJACENT STREETS AND FROM MONTANO AND CHAPPEL ROADS.
12. BUILDING, PARKING AND PEDESTRIAN AREA ILLUMINATION SHALL BE INDIRECT IN CHARACTER (NO LAMP SHALL BE DIRECTLY VISIBLE) AND LOCATED IN A WHITE LIGHT SOURCE AND SHALL BE DIRECTED AWAY FROM ADJACENT SINGLE FAMILY AREAS. SITE LIGHTING FOR PARKING AREAS OF LOTS SHALL BE DESIGNED IN SUCH A MANNER AS TO PROVIDE A MINIMUM AVERAGE ILLUMINATION LEVEL WITH A UNIFORMITY LEVEL OF 3 TO 1 (AVERAGE TO MINIMUM) WITH A MAINTAINED AVERAGE OF 1 FOOT CANDLE AND A MINIMUM OF .3 FOOT CANDLE.

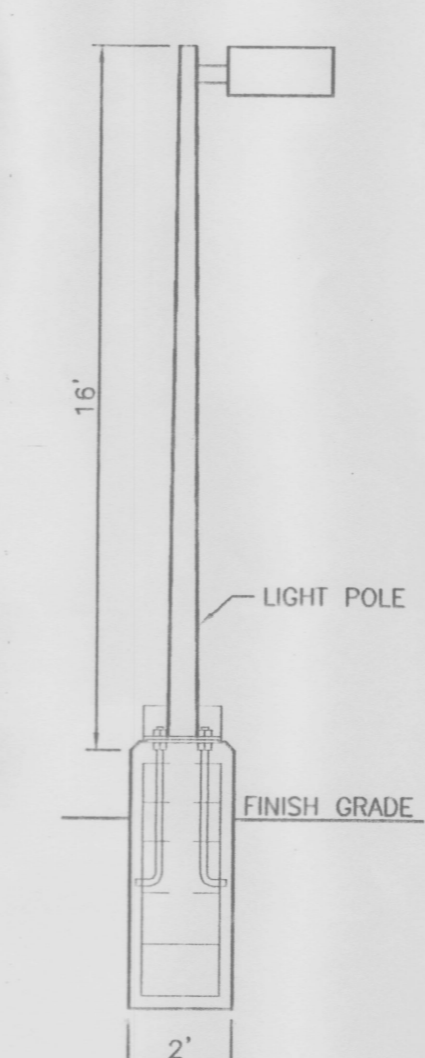
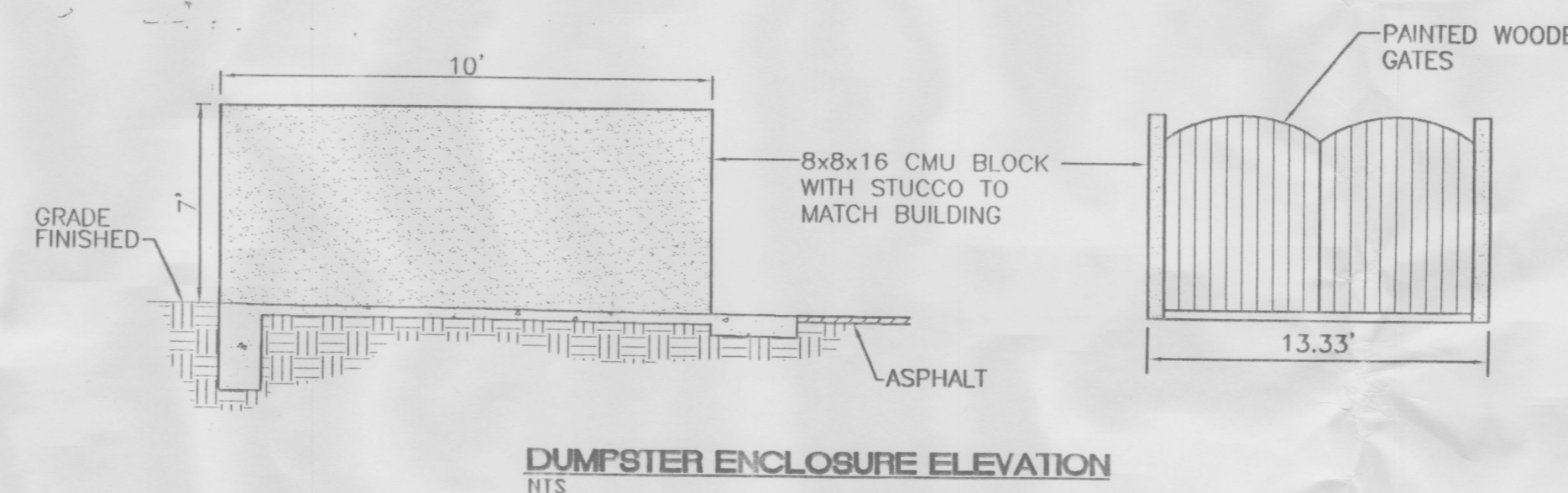


**LEGAL DESCRIPTION**

TRACT 5-B-2-B-1 OF NORTH RENAISSANCE CENTER

**ACS BENCHMARK**

ACS Z-F16; STANDARD ACS BRASS TABLET ON TOP OF CONCRETE POST PROJECTING 0.2 FT. ABOVE GROUND & LOCATED 0.4 MILES WEST OF I-25 IN THE MEDIAN OF MONTANO ROAD N.E.  
 Y=1504671.78  
 X=390920.06  
 ELEV.= 5062.02'



**PROJECT NUMBER: 1000 269**

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on 12/4/2000 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with: Application # 00420-00000-01434

**SITE DEVELOPMENT PLAN**

*Richard Douke* 12-06-00  
 Traffic Engineer, Transportation Division Date

*Bluene E. Conelance* 12-06-00  
 Parks & General Services Department Date

*Ronald Green* 12-6-00  
 Public Works, Water Utilities Division Date

*Ken L. Mc...* 2/8/01  
 City Engineer, Engineering Division / AMAFCA Date

*Shirley...* 2-9-01  
 Solid Waste Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual. 2/22/01 Date

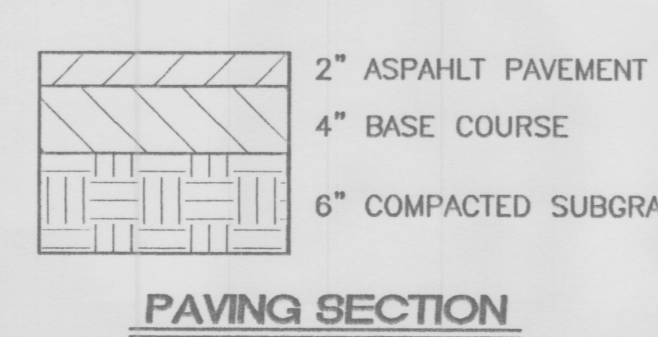
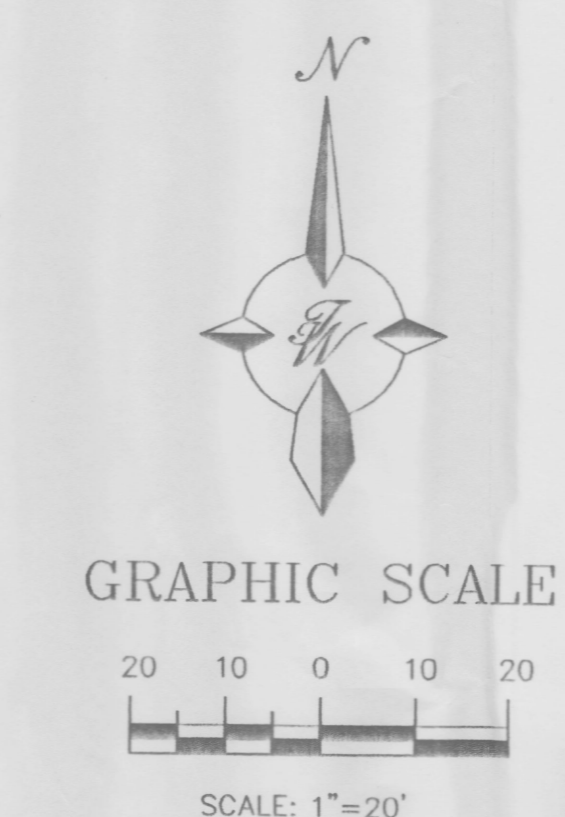
City Planner, Albuquerque / Bernalillo  
 County Planning Division

PLNZ (10706) 4/96

**SITE DATA**

PROPOSED USAGE:	PANDA EXPRESS RESTAURANT
ZONING:	SU-1 FOR C-2 USES
LOT AREA:	30,413 SF (0.6982 ACRE)
BUILDING AREA:	2,395 SF
PAVEMENT/SIDEWALKS:	21,258 SF ±
LANDSCAPE AREA	6,776 SF ±
LANDSCAPING REQUIRED:	2,829 SF ±
PARKING PROVIDED:	33 SPACES
PARKING REQUIRED:	13 SPACES (BUILDING w/ 53 SEATS) 6 SPACES (OUTDOOR w/ 24 SEATS) 19 SPACES TOTAL
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACE 1 SPACE VAN ACCESSIBLE

UNION PENSION TRANSACTION TRUST 93-2 NM	Date
NORTH RENAISSANCE ASSOCIATION	Date
PANDA EXPRESS RESTAURANTS	Date
TIERRA WEST, LLC	Date
ARCHITECT	Date
CONTRACTOR	Date



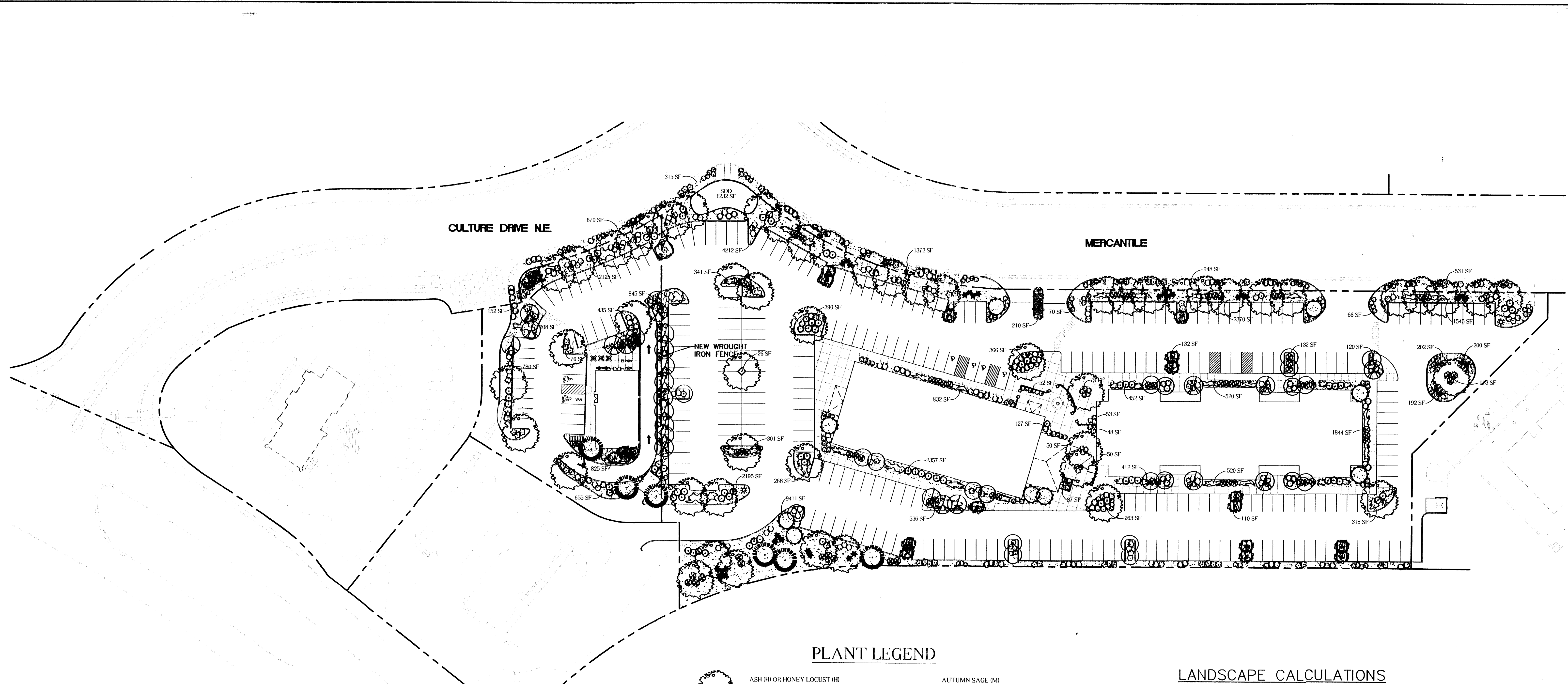
ENGINEER'S SEAL: RONALD R. BOHANNAN P.E. #7868

**PANDA EXPRESS RENAISSANCE CENTER**

**SITE PLAN FOR BUILDING PERMIT**

TIERRA WEST, LLC  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

DRAWN BY: BDG  
 DATE: 12-06-00  
 2055SP.DWG  
 SHEET # 2 OF 8  
 JOB # 200055



**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Shrubs shall screen vehicular parking from adjacent streets and shall be maintained at a minimum height of 18" and maximum height of 42" from tip of curb of the adjacent parking area.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**PLANT LEGEND**

- ASH (H) OR HONEY LOCUST (H)  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2 Gal.
- FLOWERING PEAR (H)  
*Pyrus calleryana*  
1 1/2 Gal.
- PURPLE LEAF PLUM (M)  
*Prunus saccifera*  
1 1/2 Gal.
- AUSTRIAN PINE (M)  
*Pinus nigra*  
6'-8'
- PALM YUCCA (L)
- DESERT WILLOW (L)  
*Chilopsis linearis*  
15 Gal.
- WASHINGTON HAWTHORN (H)  
*Crataegus phaenopynum*  
15 Gal.
- NANDINA (H)  
*Nandina domestica*  
5 Gal.
- MAIDEN GRASS (M)  
*Miscanthus sinensis*  
5 Gal.
- AUTUMN SAGE (M)  
*Salvia greggii*  
5 Gal.
- POTENTILLA (M)  
*Potentilla fruticosa*  
5 Gal.
- BLUE MIST (M)  
*Caryopteris x elaeagnis*  
5 Gal.
- SILVERBERRY (M)  
*Elaeagnus pungens*  
5 Gal.
- TAM JUNIPER (M)  
*Juniperus sabina*  
5 Gal.
- WILDFLOWER  
1 Gal.
- OVERSIZED GRAVEL & BOULDERS
- 3/4" SANTA ANA TAN W/ FILTER FABRIC
- SOD
- COMMERCIAL GRADE STEEL EDGING

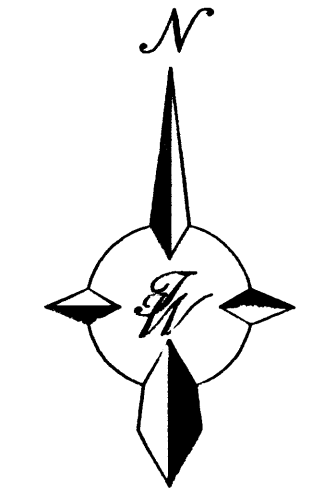
**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	
TOTAL LOT AREA	202,702 square feet
TOTAL BUILDINGS AREA	29,655 square feet
OFFSITE AREA	3,836 square feet
NET LOT AREA	169,211 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	25,382 square feet
TOTAL LANDSCAPE PROVIDED	42,808 square feet
TOTAL BED PROVIDED	41,576 square feet
TOTAL SOD PROVIDED	1,232 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

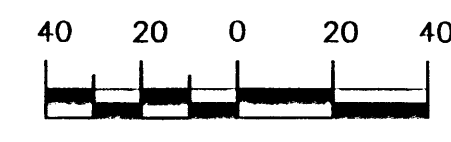


LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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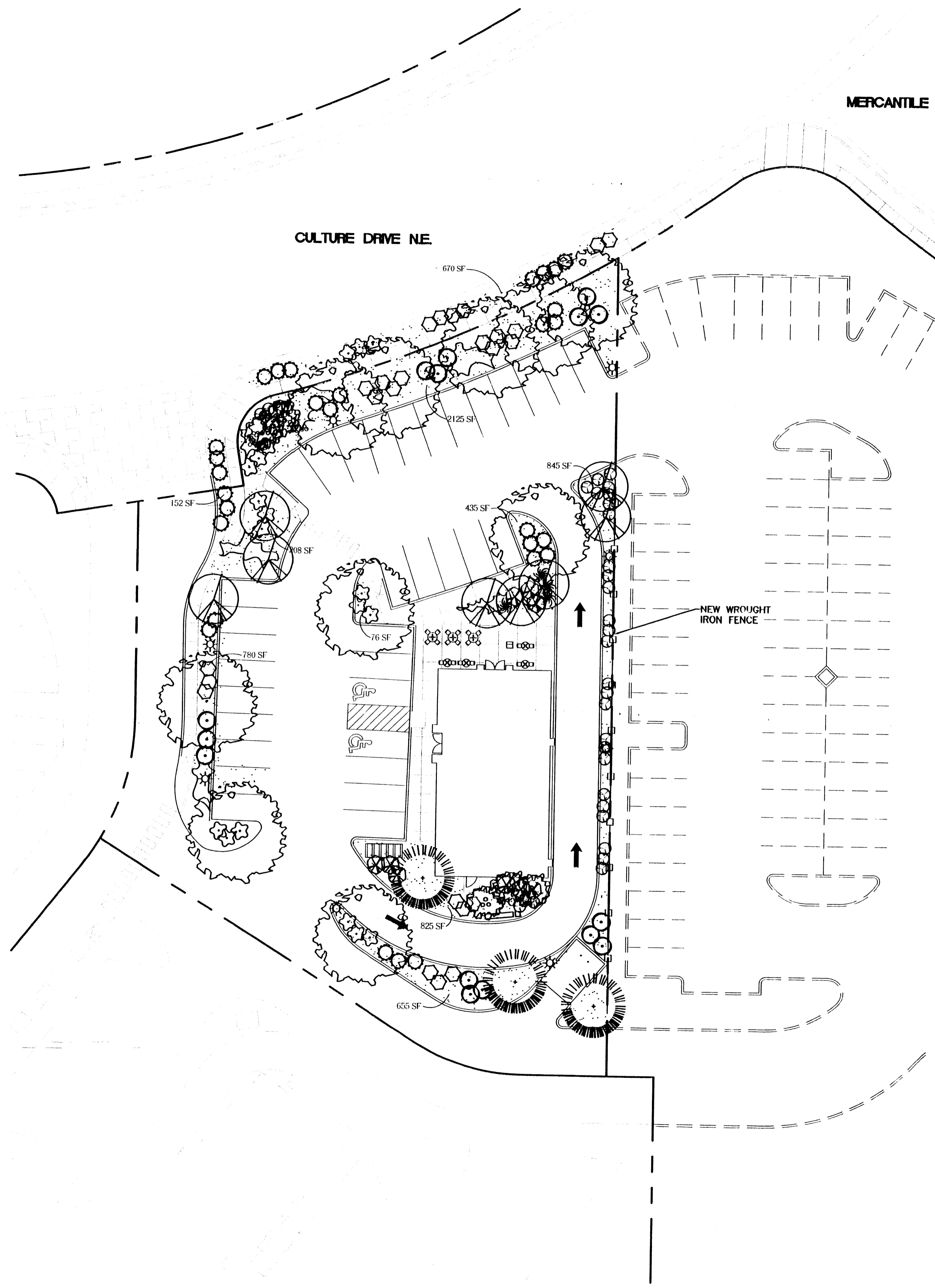


**GRAPHIC SCALE**

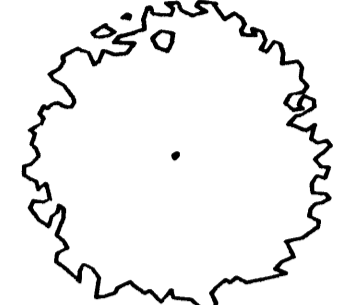

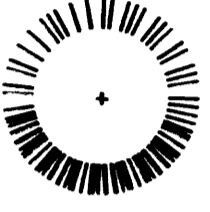
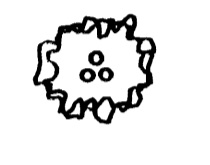


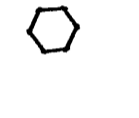





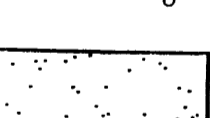



SCALE: 1"=40'

 LANDSCAPE ARCHITECT'S SEAL JAMES DE FLON	<b>TRACT 5 RENAISSANCE CENTER</b> <b>OVERALL LANDSCAPING PLAN</b>	DRAWN BY BDG DATE 11-20-00 20550VLP.DWG SHEET #
		JOB # 200055



**PLANT LEGEND**

-  ASH (H) OR HONEY LOCUST (H) 10  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2' Cal.
-  PURPLE LEAF PLUM (M) 6  
*Prunus saracifera*  
1 1/2' Cal.
-  AUSTRIAN PINE (M) 3  
*Pinus nigra*  
6'-8'
-  WASHINGTON HAWTHORN (H) 5  
*Crataegus phaenopyrum*  
15 Gal.
-  NANDINA (H) 9  
*Nandina domestica*  
5 Gal.
-  MAIDEN GRASS (M) 4  
*Miscanthus sinensis*  
5 Gal.
-  AUTUMN SAGE (M) 22  
*Salvia greggii*  
5 Gal.
-  POTENTILLA (M) 16  
*Potentilla fruticosa*  
5 Gal.
-  BLUE MIST (M) 21  
*Caryopteris x claudensis*  
5 Gal.
-  SILVERBERRY (M) 15  
*Eleagnus pungens*  
5 Gal.
-  TAM JUNIPER (M) 18  
*Juniperus sabina*  
5 gal
-  WILDFLOWER 32  
1 Gal.
-  OVERSIZED GRAVEL & BOULDERS
-  3/4" SANTA ANA TAN W/ FILTER FABRIC

**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA

TOTAL LOT AREA	30,316	square feet
TOTAL BUILDINGS AREA	2,395	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	27,921	square feet
LANDSCAPE REQUIREMENT	15	percent
TOTAL LANDSCAPE REQUIREMENT	4,188	square feet
TOTAL LANDSCAPE PROVIDED	6,838	square feet
TOTAL BED PROVIDED	6,838	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

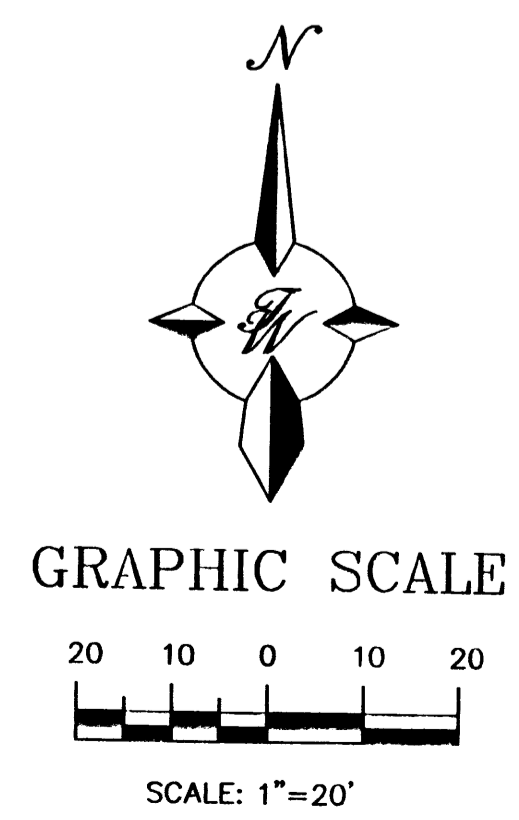
Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.


3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Shrubs shall screen vehicular parking from adjacent streets and shall be maintained at a minimum height of 18" and maximum height of 42" from tip of curb of the adjacent parking area.



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

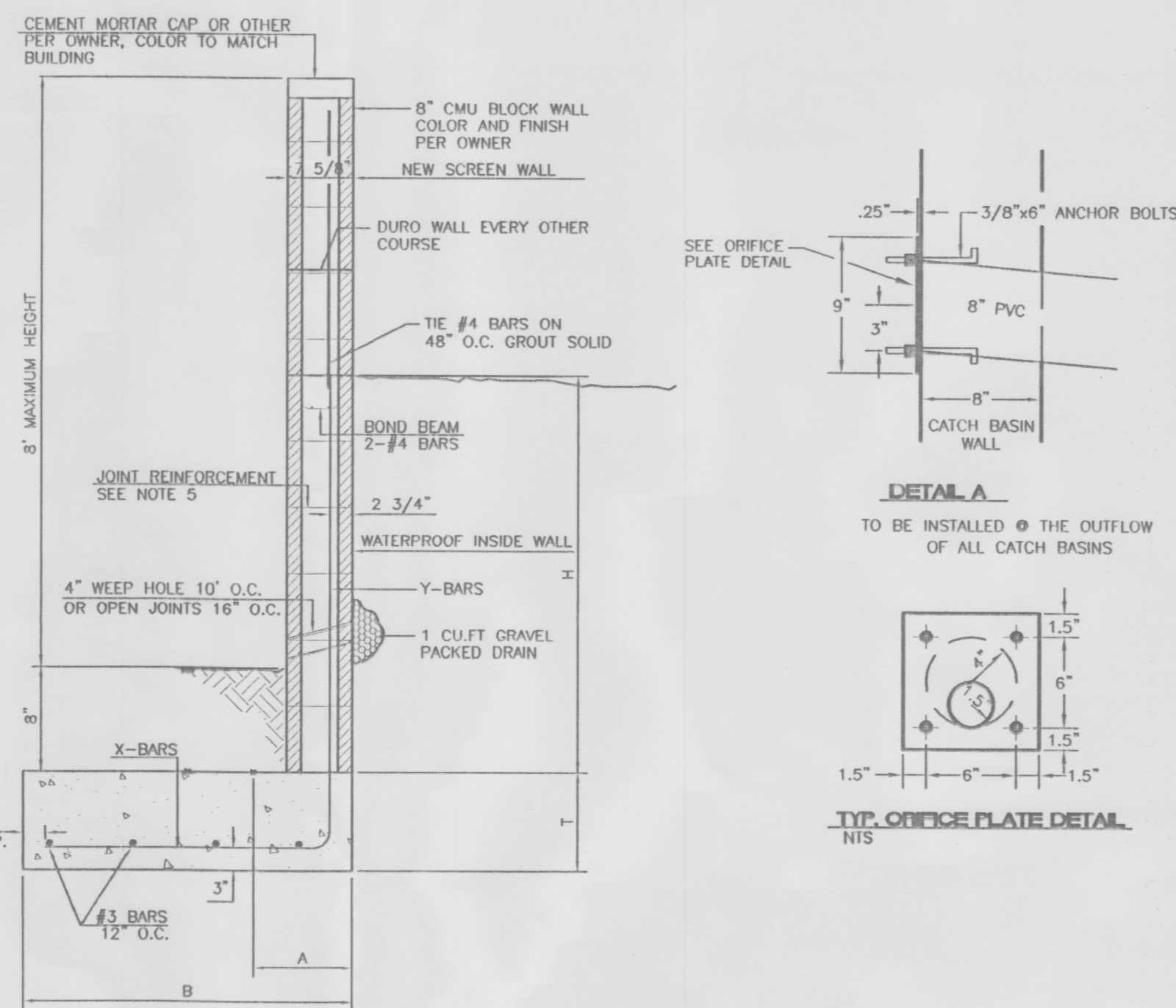
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 LANDSCAPE ARCHITECT'S SEAL JAMES DE FLON	<b>PANDA EXPRESS RENAISSANCE CENTER</b>	DRAWN BY: BDG DATE: 11-20-00 2055LP.DWG
	<b>LANDSCAPE PLAN</b>	SHEET #  JOB # 200055

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 12'.
  7. 30 EMB DIAMETER LAPS TYPICAL.
  8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
  9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
  10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
  11. SOLID MASONRY CAP COURSE TYPICAL.
  12. WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-0"	1'-0"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-0"	9"	#4 @ 24" O.C.	
3'-4"	2'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.



**TEMPORARY BENCHMARK**

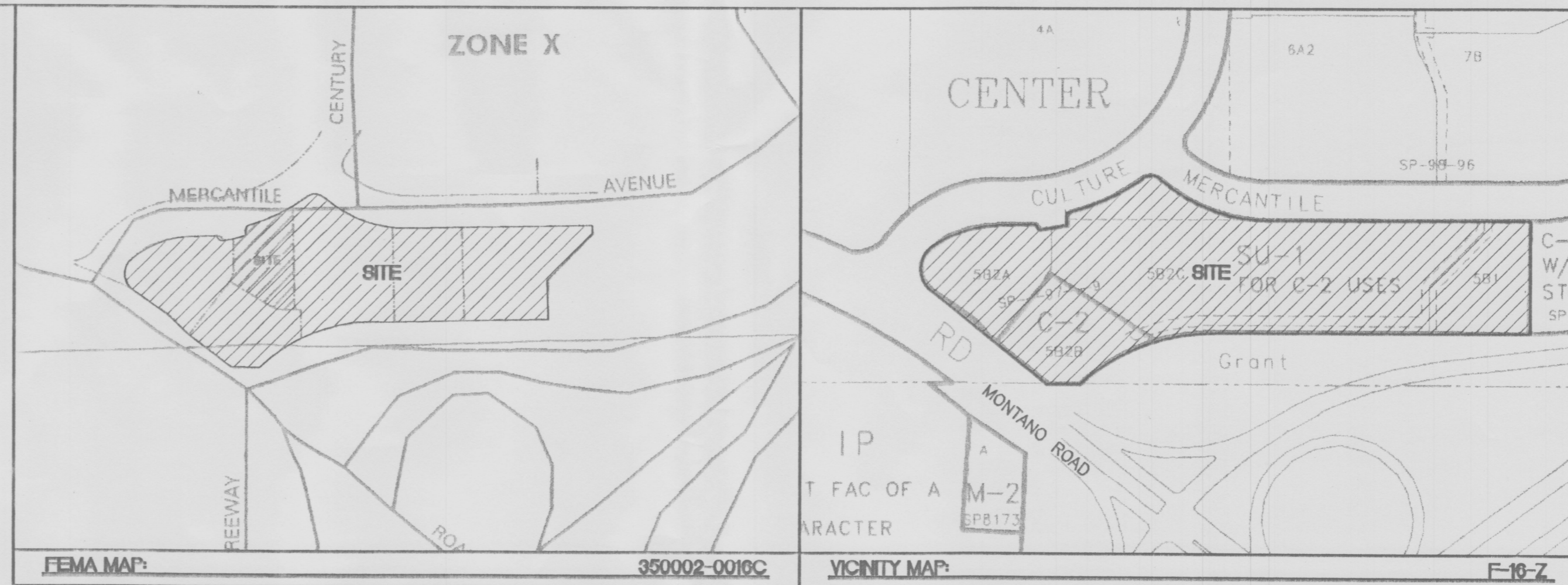
STORM SEWER MANHOLE AS SHOWN - PAINTED ORANGE RIM=5089.22

**ACS BENCHMARK**

ACS Z-F116; STANDARD ACS BRASS TABLET ON TOP OF CONCRETE POST PROJECTING 0.2 FT. ABOVE GROUND & LOCATED 0.4 MILES WEST OF I-25 IN THE MEDIAN OF MONTANO ROAD N.E.

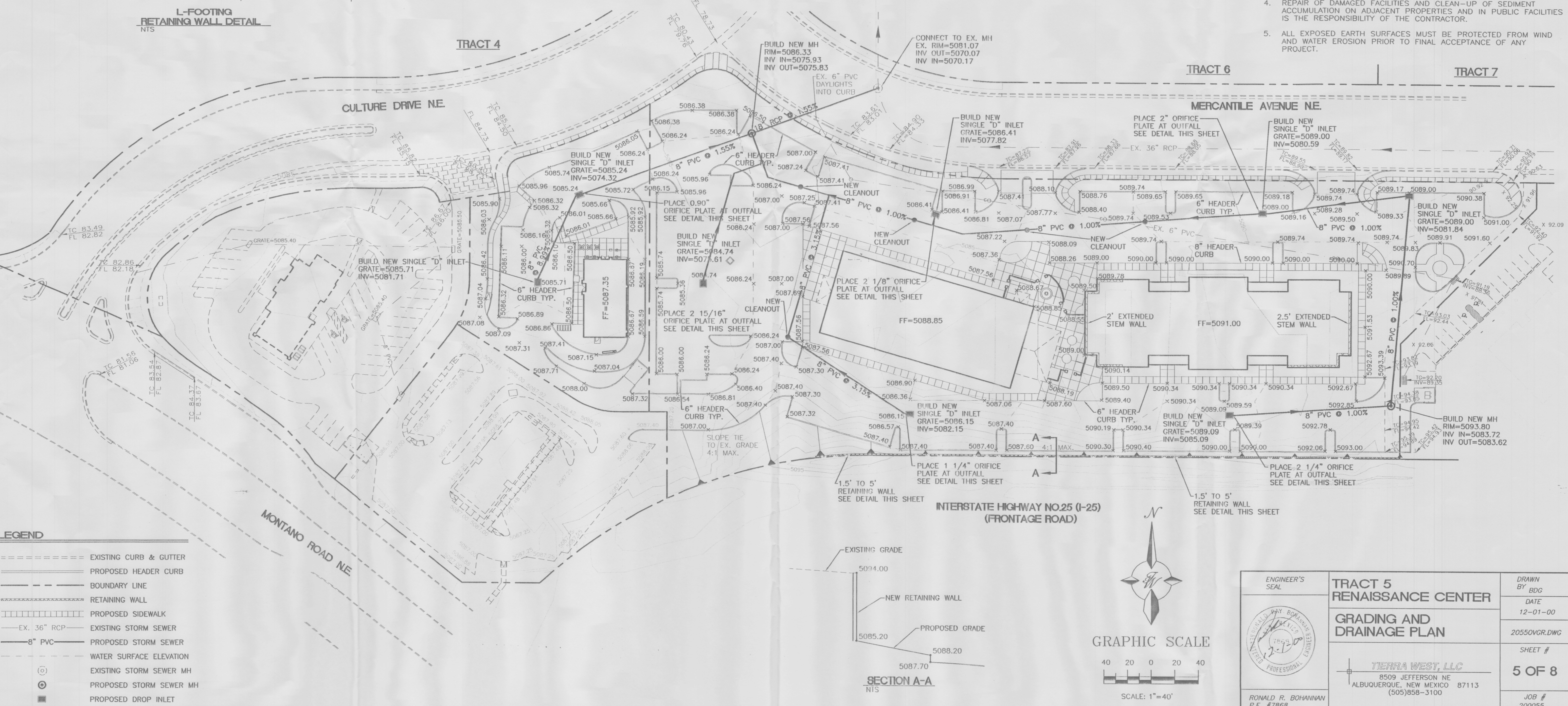
Y=1504671.78  
X=390920.06  
ELEV.= 5062.02'

- GENERAL NOTES:**
1. CROSS DRAINAGE EASEMENT GRANTED BY PLAT FILED JANUARY 8, 1997, VOL. 97C, FOLIO 12.
  2. ALL WHEELCHAIR RAMPS TO BE BUILT PER COA STD DWG #2441.
  3. ALL 6" HEADER CURB AND GUTTER TO BE BUILT PER COA STD DWG #2415.
  4. ALL TEMPORARY ASPHALT CURB TO BE BUILT PER COA STD DWG #2415.
  5. BUILD TYPE "D" DROP INLET PER COA STD DWG #2206.



**EROSION CONTROL PLAN NOTES**

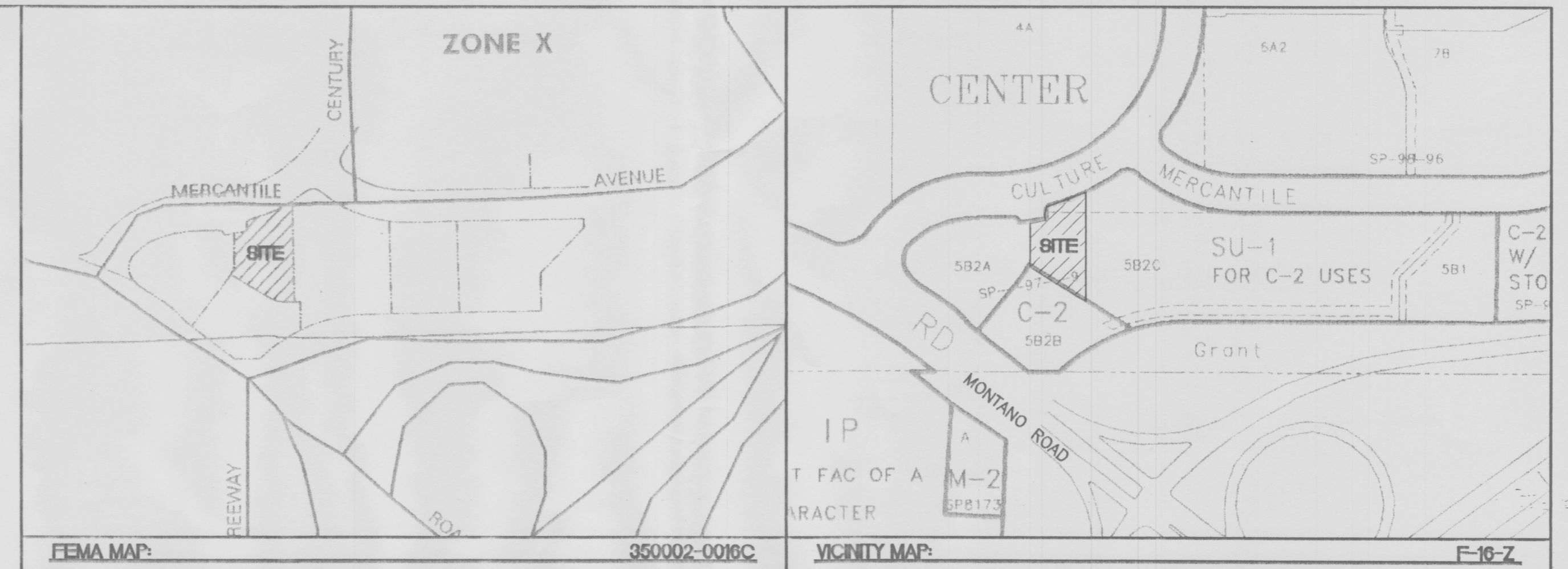
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**LEGEND**

- EXISTING CURB & GUTTER
- PROPOSED HEADER CURB
- BOUNDARY LINE
- RETAINING WALL
- PROPOSED SIDEWALK
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER SURFACE ELEVATION
- EXISTING STORM SEWER MH
- PROPOSED STORM SEWER MH
- PROPOSED DROP INLET

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p><b>TRACT 5 RENAISSANCE CENTER</b></p> <p><b>GRADING AND DRAINAGE PLAN</b></p>	<p>DRAWN BY: BDG</p> <p>DATE: 12-01-00</p> <p>20550VGR.DWG</p>
	<p>TIERRA WEST, LLC</p> <p>8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>SHEET #</p> <p><b>5 OF 8</b></p> <p>JOB #</p> <p>200055</p>



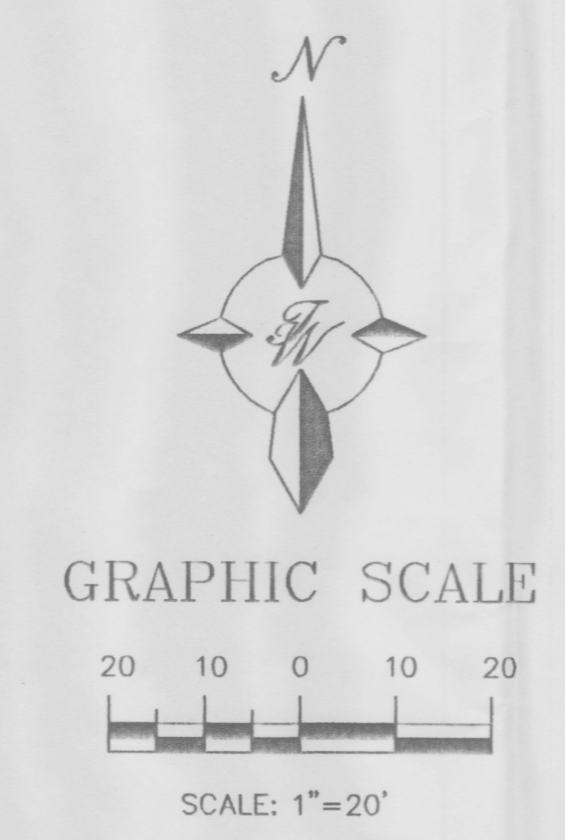
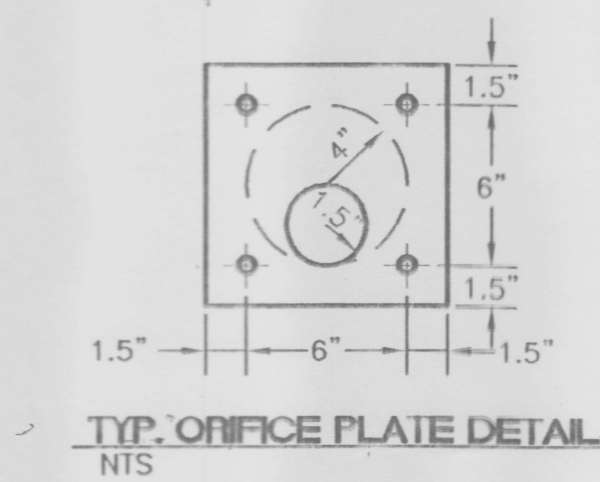
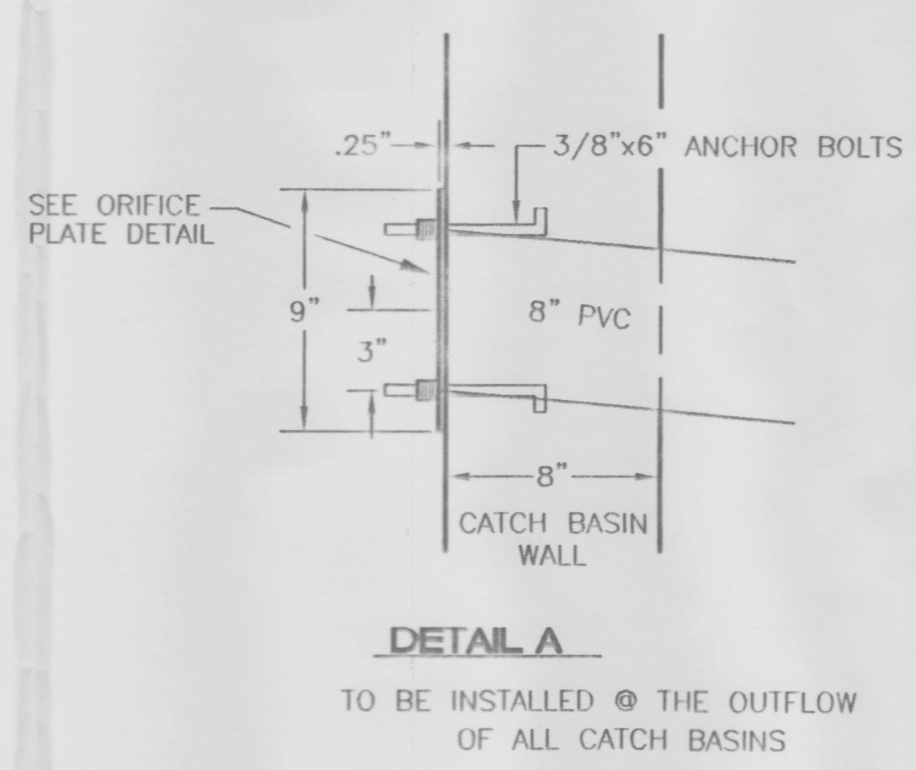
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**TEMPORARY BENCHMARK**  
 STORM SEWER MANHOLE AS SHOWN - PAINTED ORANGE  
 RIM=5089.22

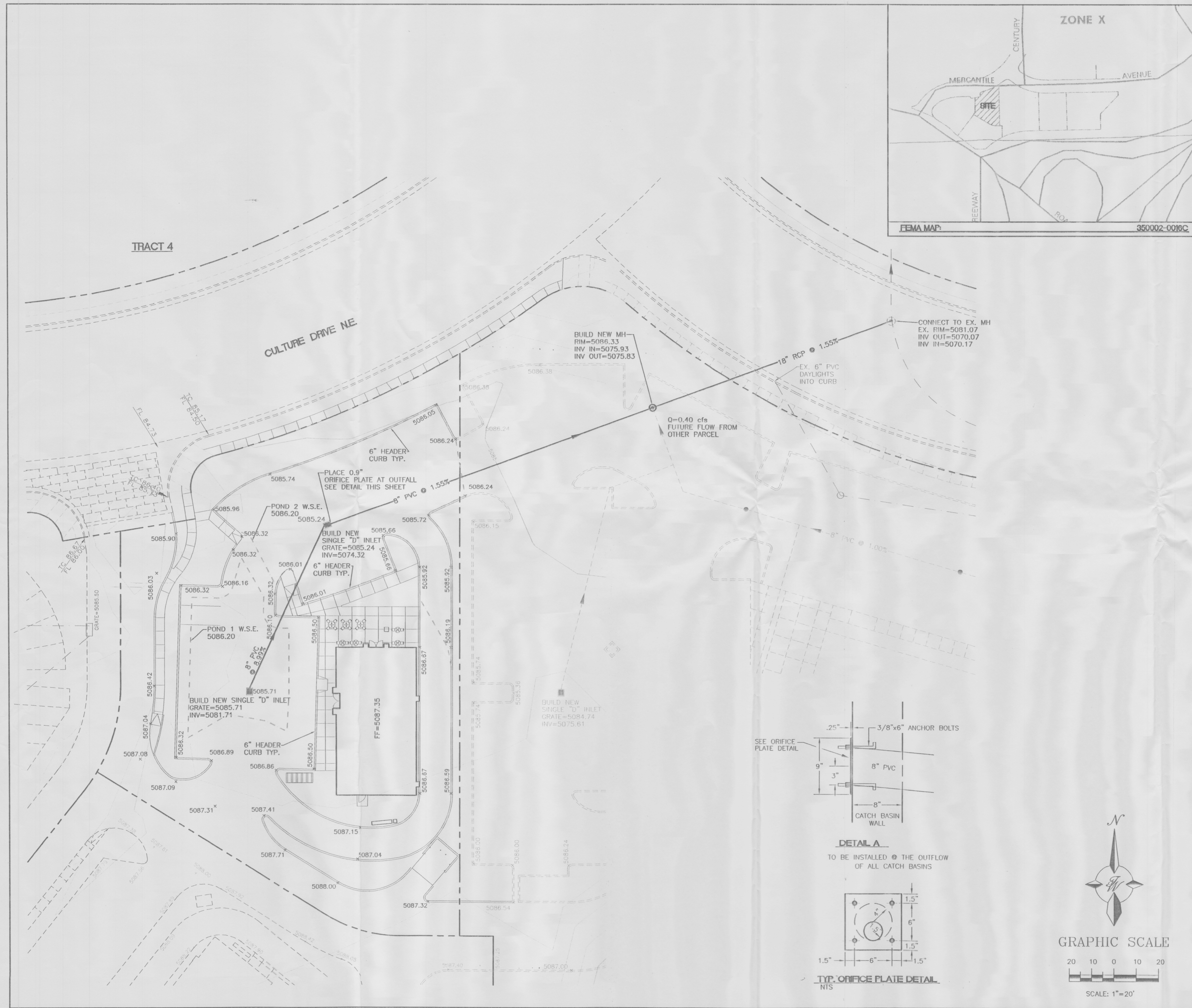
**ACS BENCHMARK**  
 ACS Z-F16; STANDARD ACS BRASS TABLET ON TOP OF CONCRETE POST PROJECTING 0.2 FT. ABOVE GROUND & LOCATED 0.4 MILES WEST OF 1-25 IN THE MEDIAN OF MONTANO ROAD N.E.  
 Y=1504671.78  
 X=390920.06  
 ELEV.= 5082.02'

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- LEGEND**
- EXISTING CURB & GUTTER
  - ===== PROPOSED HEADER CURB
  - BOUNDARY LINE
  - ===== RETAINING WALL
  - PROPOSED SIDEWALK
  - EX. 36" RCP EXISTING STORM SEWER
  - 8" PVC PROPOSED STORM SEWER
  - WATER SURFACE ELEVATION
  - ⊙ EXISTING STORM SEWER MH
  - ⊙ PROPOSED STORM SEWER MH
  - PROPOSED DROP INLET



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>PANDA EXPRESS RENAISSANCE CENTER</b>	DRAWN BY BDG
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 12-01-00
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	20550VGR.DWG
		SHEET # <b>6 OF 8</b>
		JOB # 200055



ALL SIGNS UNDER SEPARATE PERMIT

PANDA EXPRESS EXTERIOR PAINT SCHEDULE

NO.	MANUFACTURER	MFG #	COLOR	FINISH	COLOR TONE
(21-3)	DUNN EDWARDS	SP 2490	CANYONLAND	FLAT	LIGHT BEIGE
(22-3)	DUNN EDWARDS	SP 2450	COPPER DUST	FLAT, SEMI-GLOSS	SAND
(23-3)	DUNN EDWARDS	SP 2350	MOENKOPI	FLAT	MEDIUM BROWN
(24-3)	DUNN EDWARDS	SP 2630	SHAGGY BARKED	SEMI-GLOSS	GRAYISH GREEN
(25-3)	DUNN EDWARDS	SP 875	CRIMSON	SEMI-GLOSS	DARK RED

(5) SAFETY GLAZING (COMPLY W/U.B.C. SECT. 5406)  
12x12 TILE (T-10B) TO BE LIGHT BEIGE.



PANDA EXPRESS INC.  
899 El Centro Street  
South Pasadena, California  
91030

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REVISIONS:


ISSUE DATE:  
1ST SUBMIT 06-06-00

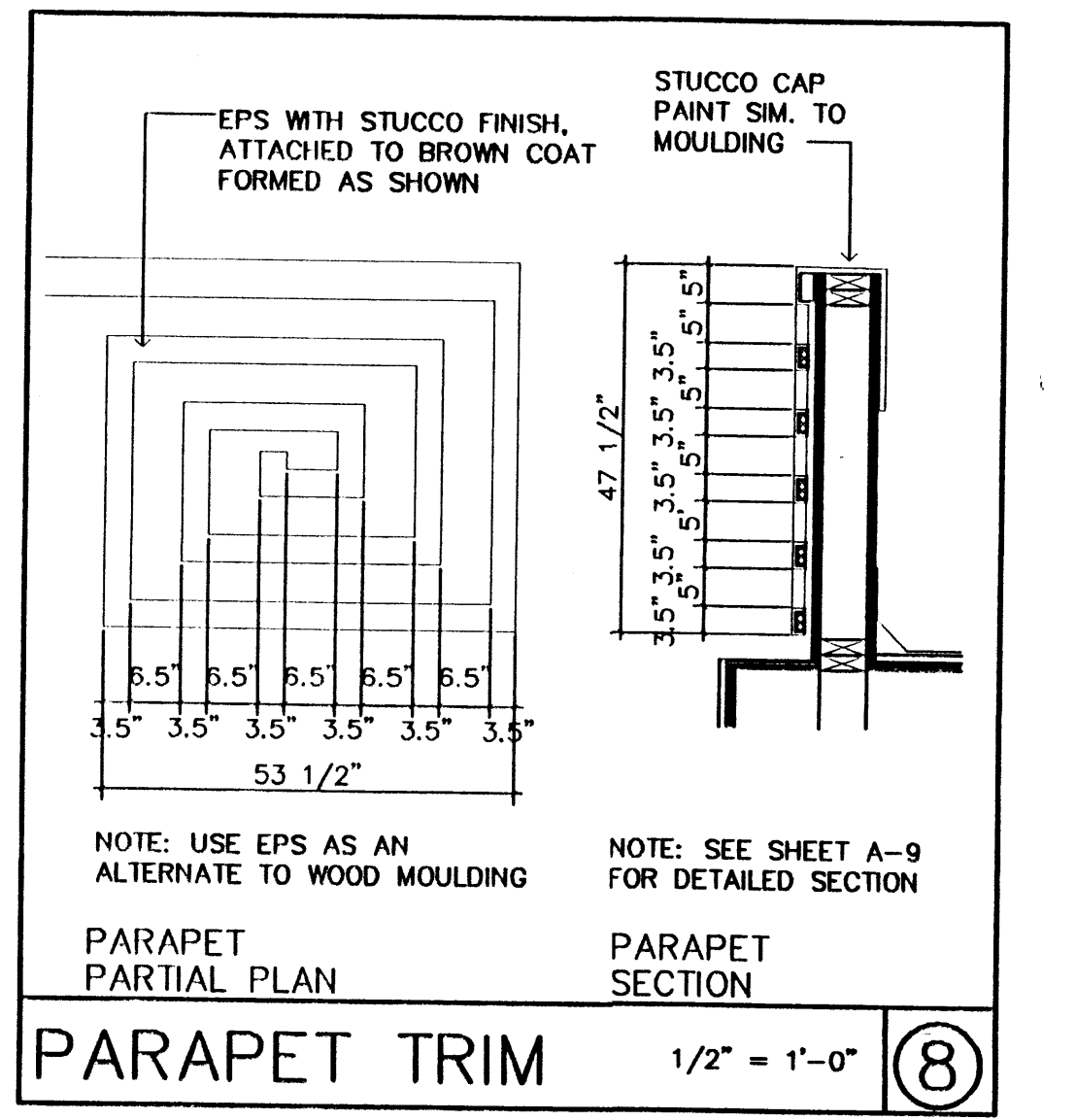
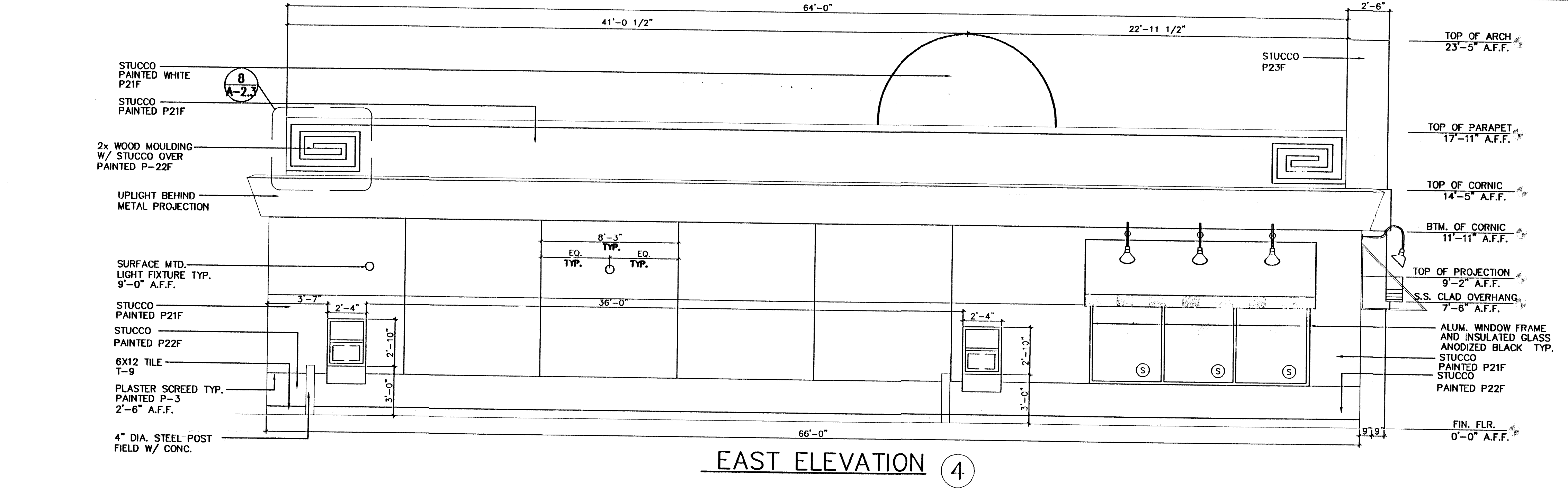
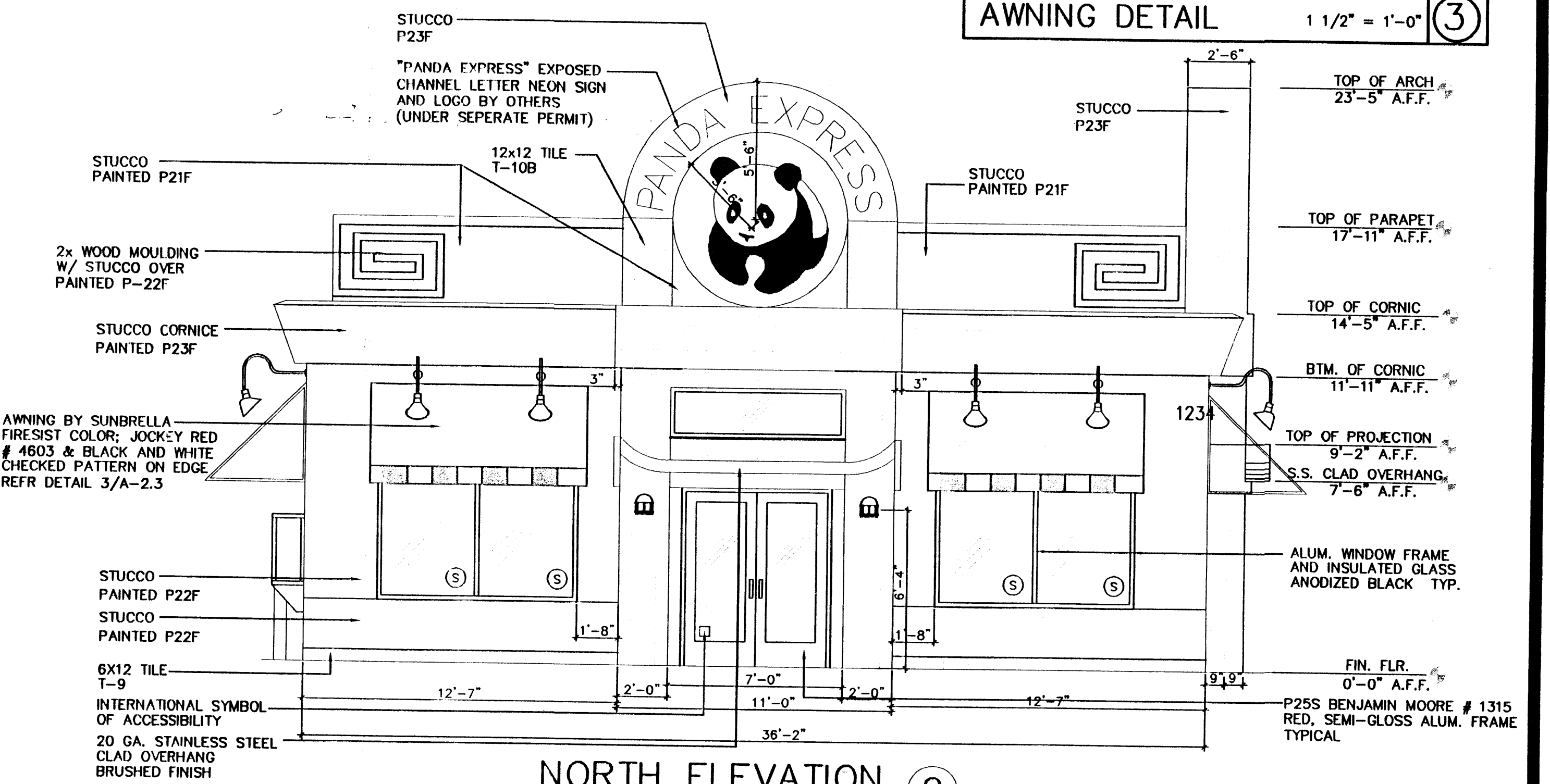
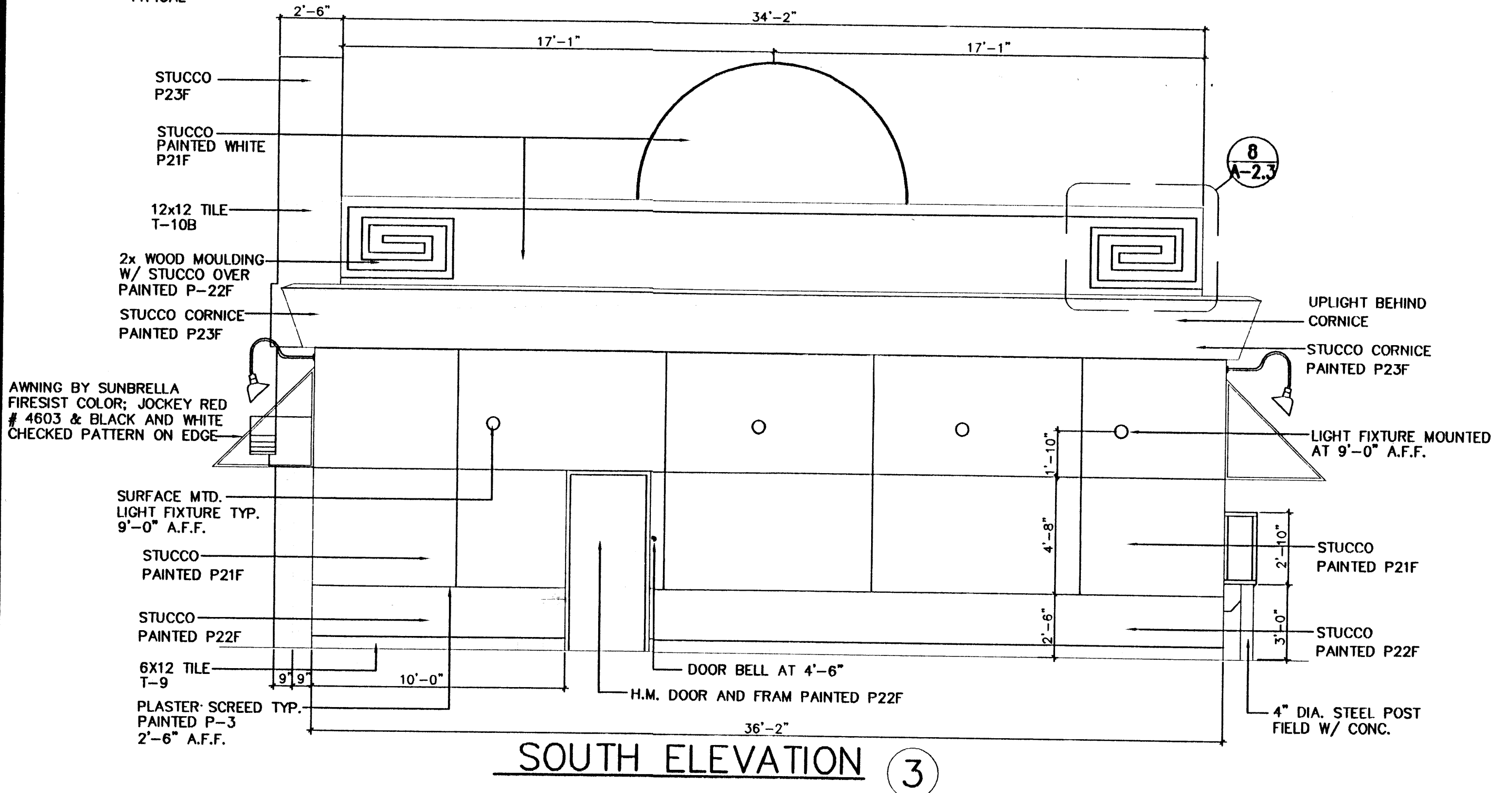
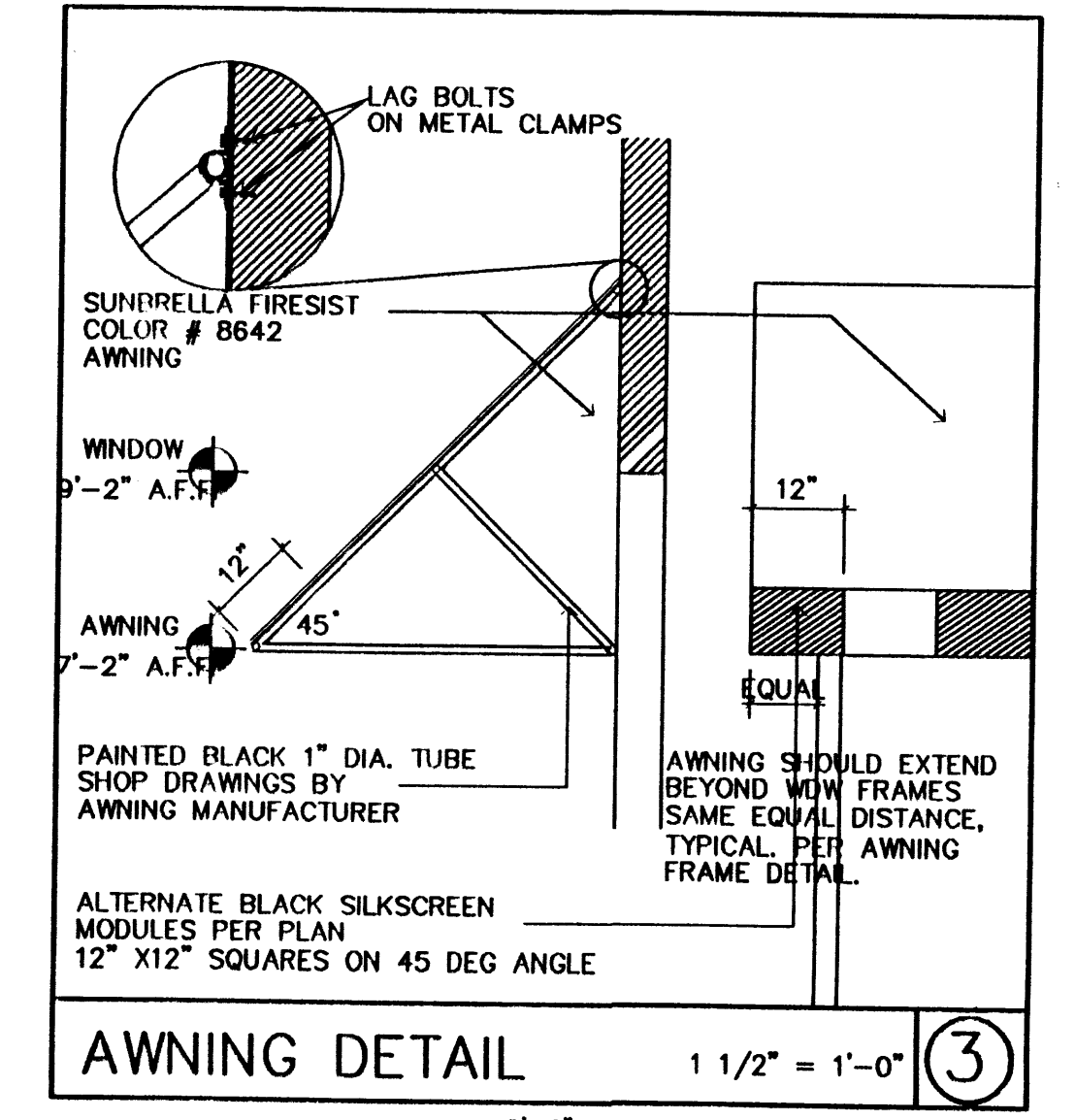
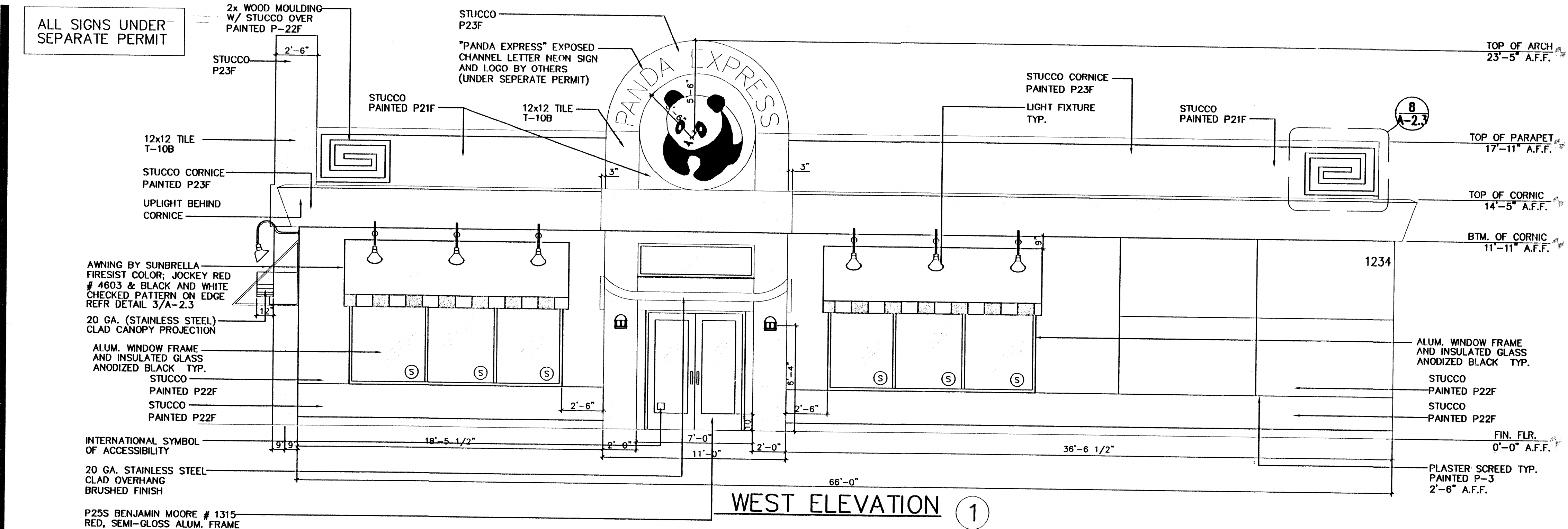
DRAWN BY:  
PANDA PROJECT #:  
ARCH PROJECT #: 00021

DESIGNER:  
**PNW**  
PINEWAVE  
DESIGN AND ENGINEERING  
21017 GARDNER PIKE DRIVE, SUITE 200  
IRVINE, CA 92614  
TEL: (949) 858-8777 FAX: (949) 858-8778

STAMP:

PANDA EXPRESS  
MERCANTILE AVE.  
NEW MEXICO

A-2.3  
EXTERIOR ELEVATION





PANDA EXPRESS INC.  
899 El Centro Street  
South Pasadena, California  
91030

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ARCH PROJECT #: 00021

DESIGNER:

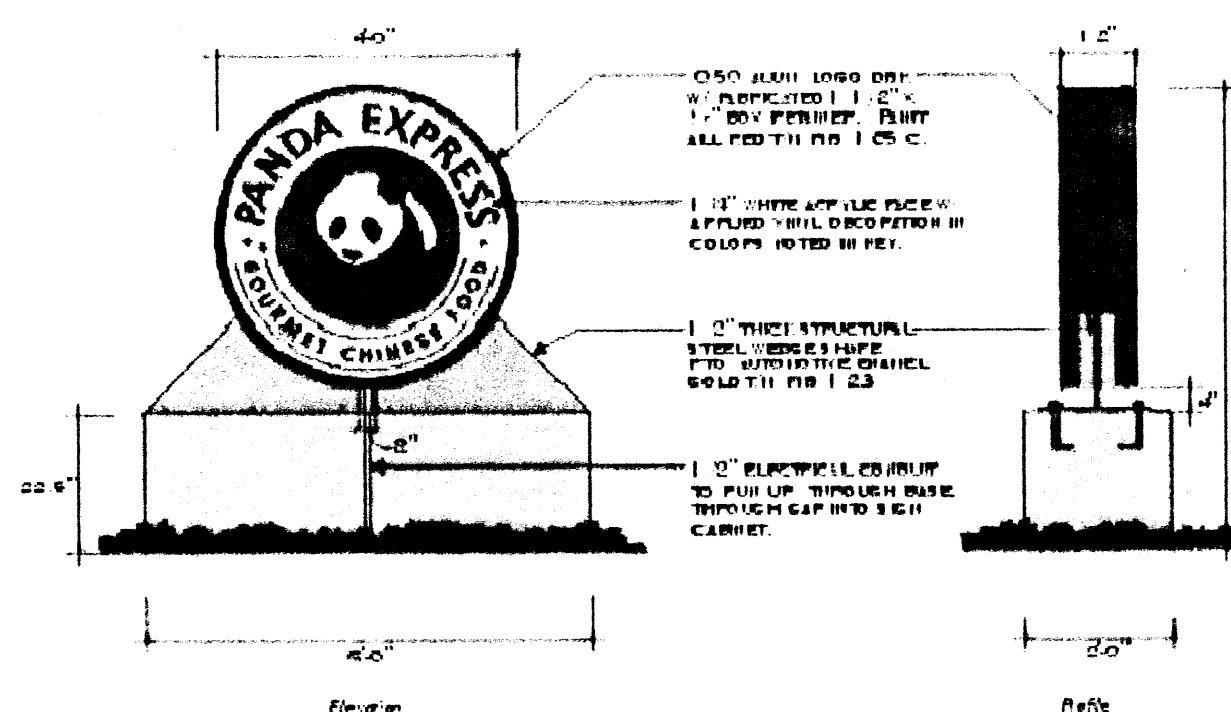
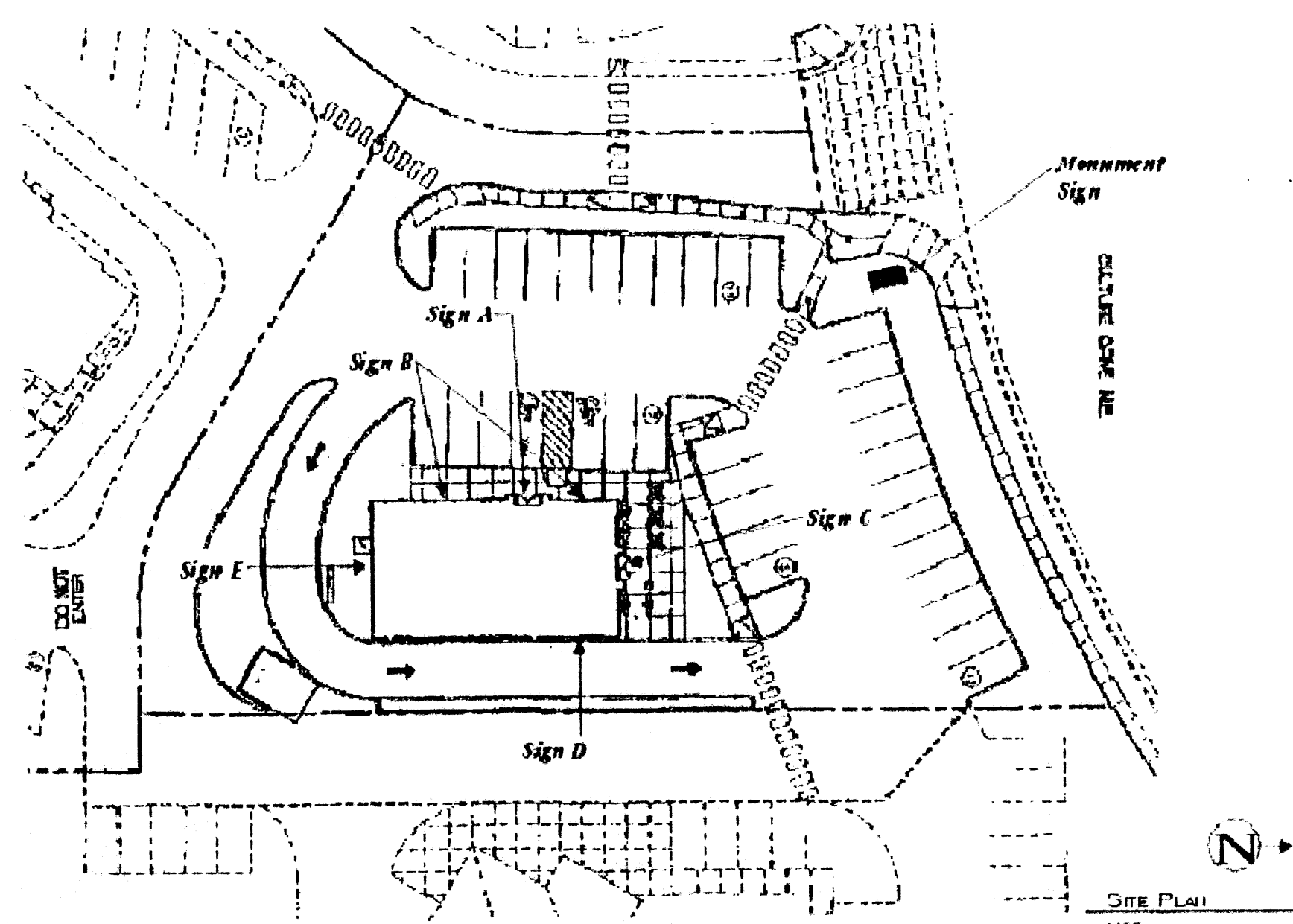


PINE WAVE  
DESIGN AND ENGINEERING  
21077 COLUMBIA FORDWAY DRIVE,  
DUNSMITH CA., 91750  
TEL: (909) 800-0777 FAX: (909) 800-0770

STAMP:

PANDA EXPRESS

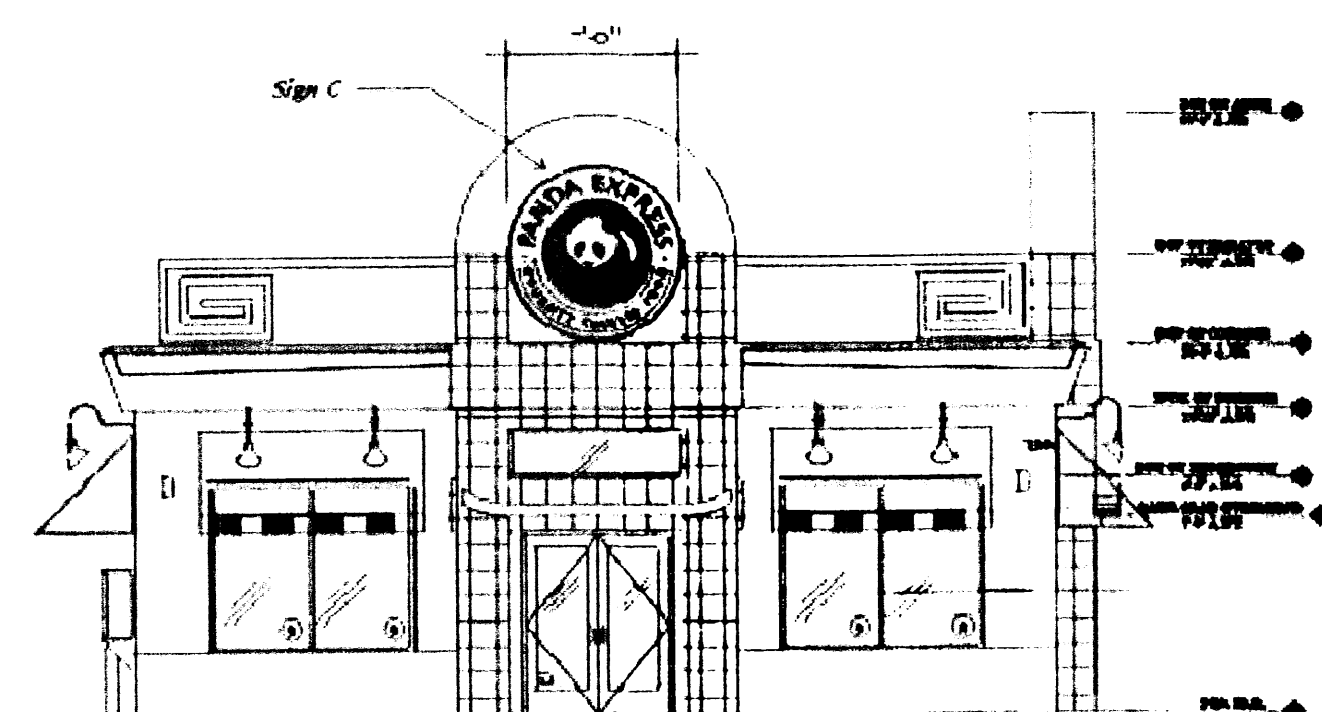
MERCANTILE AVE.  
NEW MEXICO



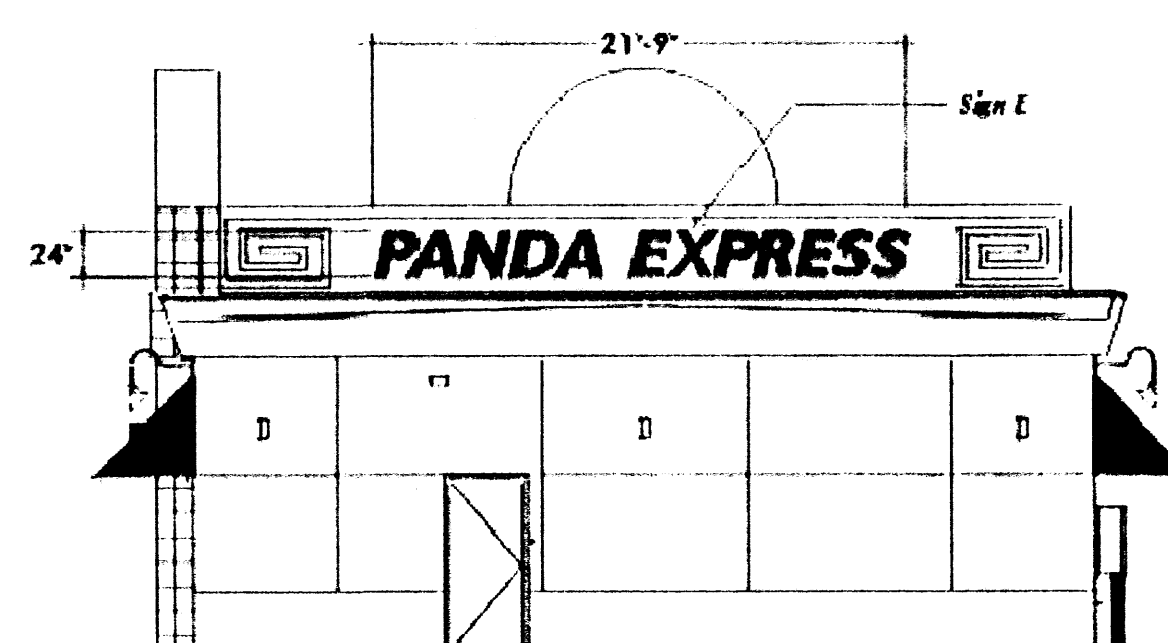
D.F. Internally Illustrated Measure of Sign

Sign 44 is fabricated in 1/2" thick structural steel with a 1/4" thick aluminum face. Welds and flange plates to be painted silver metallic enamel per 100 part 123. Sign 44 is to be mounted on a 2" deep concrete base.

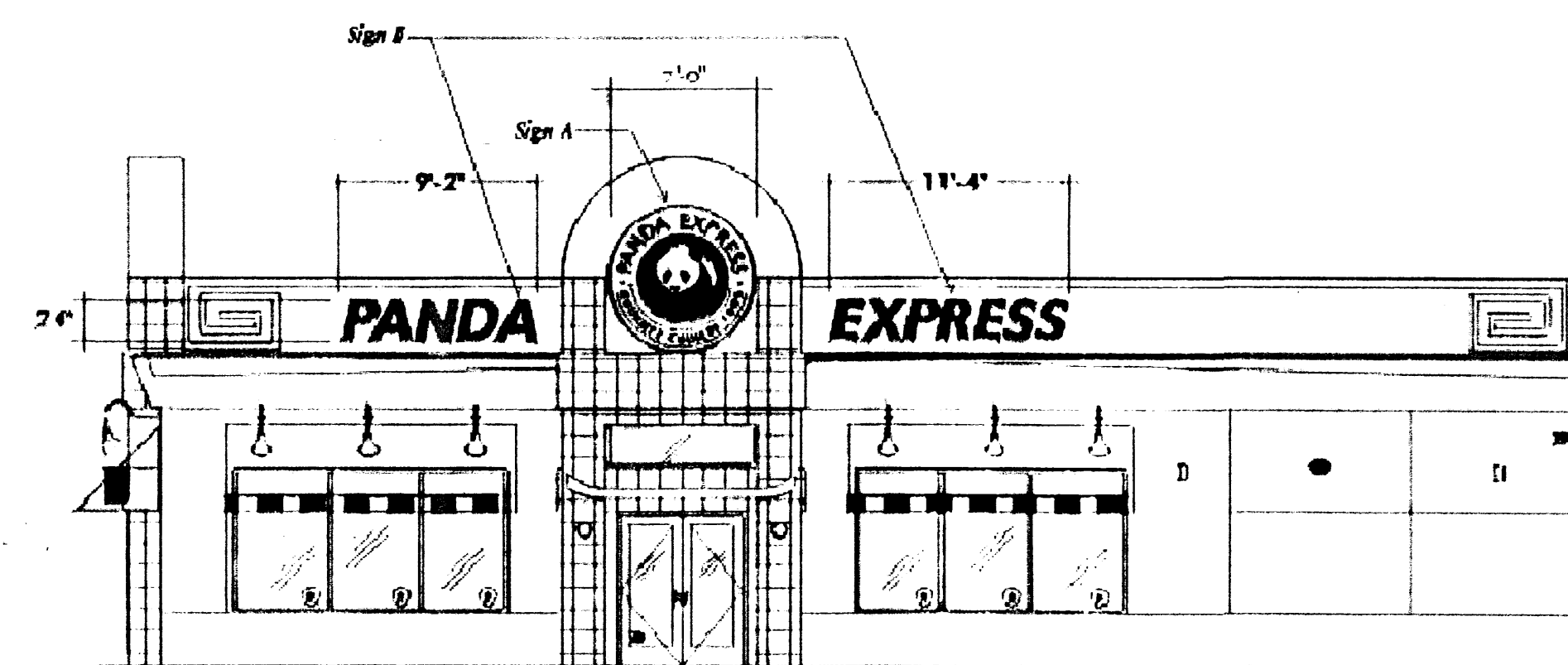
Insert 10" Dia. x 1/2" Thick concrete base through hole.



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



WEST ELEVATION  
SCALE: 1/4" = 1'-0"