

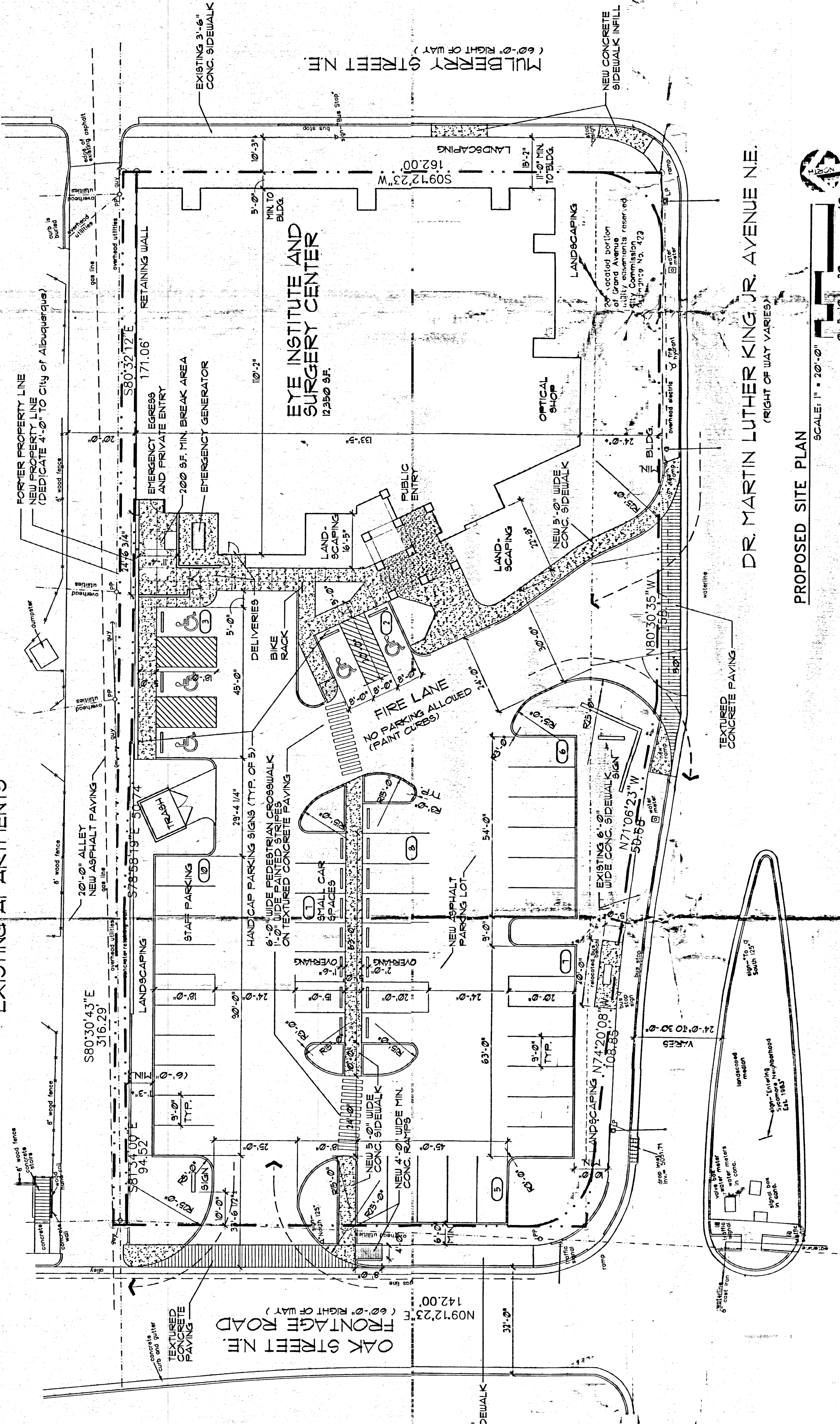
PARKING REQUIREMENTS

REQUIRED	PROVIDED
Medical Clinics: 5 spaces per doctor	Regular Spaces: 36
4 doctors x 5 = 20 spaces	Small Car Spaces: 1
Handicap Spaces: 5	Handicap Spaces: 5
800/200 = 4 spaces	
Total:	49 spaces
Required Handicap Spaces	Required Handicap Spaces
5% of 49 = 4.5 or 5 spaces	5% of 49 = 4.5 or 5 spaces
Allowed Small Car Spaces	Allowed Small Car Spaces
5% of 49 = 15 or 16 spaces	5% of 49 = 15 or 16 spaces
Required Bicycles Spaces	Provided Bicycles Spaces
24 / 20 = 1.2 or 2 spaces required	4 spaces provided

KEYED NOTES

- CONCRETE PAVING w/ WELDED WIRE FABRIC THRUOUT.
- 1/2" EXPANSION JOINT MATERIAL FULL DEPTH OF CONCRETE.
- CHU WALL WITH STUCCO FINISH
- FOUNDATION PAVING FOR GROUND COVER
- DUR-O-WALL AT 18" O.C. GROUTED CELLS
- 4" AT 31" O.C. w/ ALTERNATING BANDS
- METAL GATES, 6'-0" HIGH (OLIVE)

EXISTING APARTMENTS



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



DR. MARTIN LUTHER KING JR. AVENUE NE.
(RIGHT OF WAY VARIES)

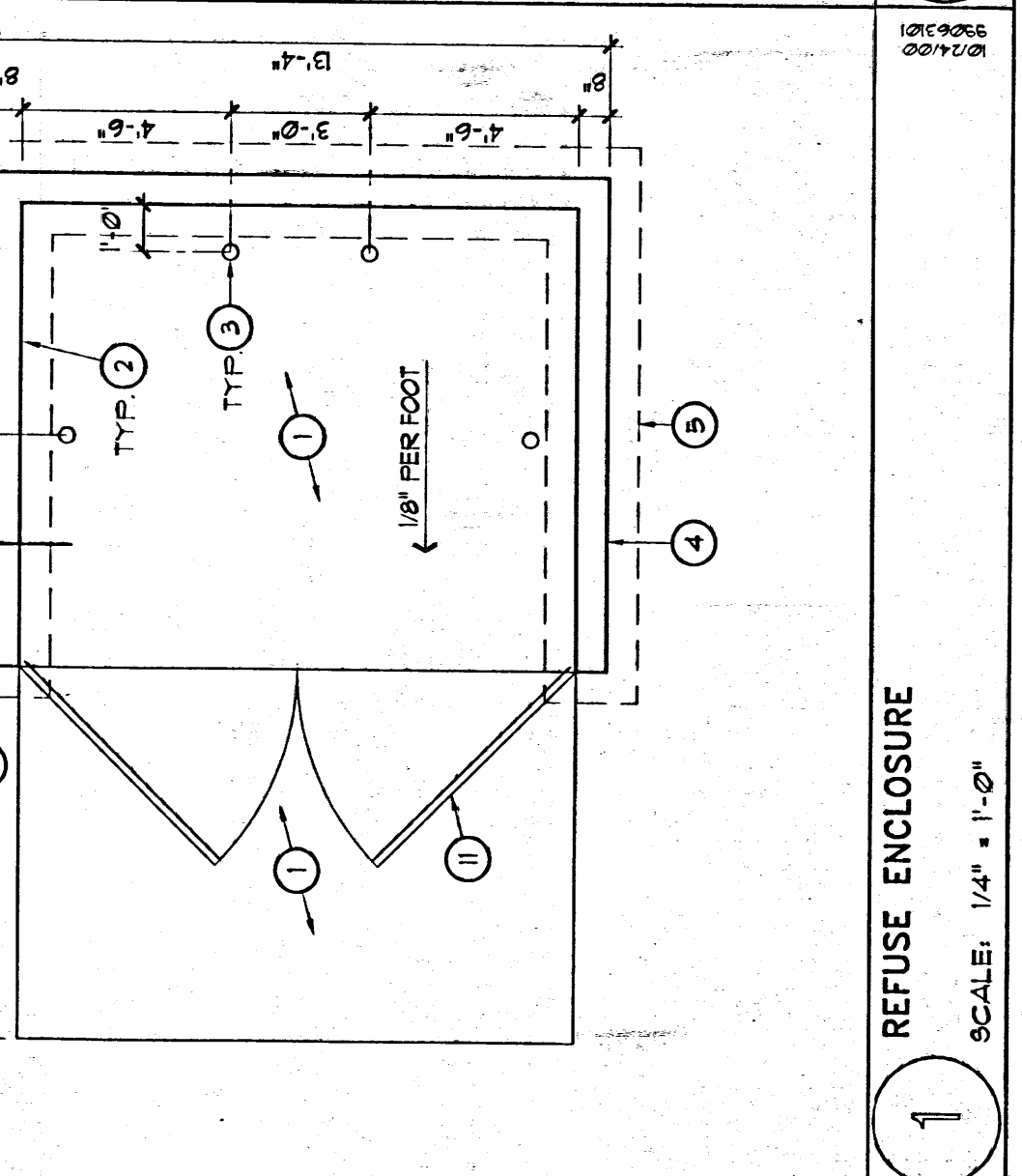
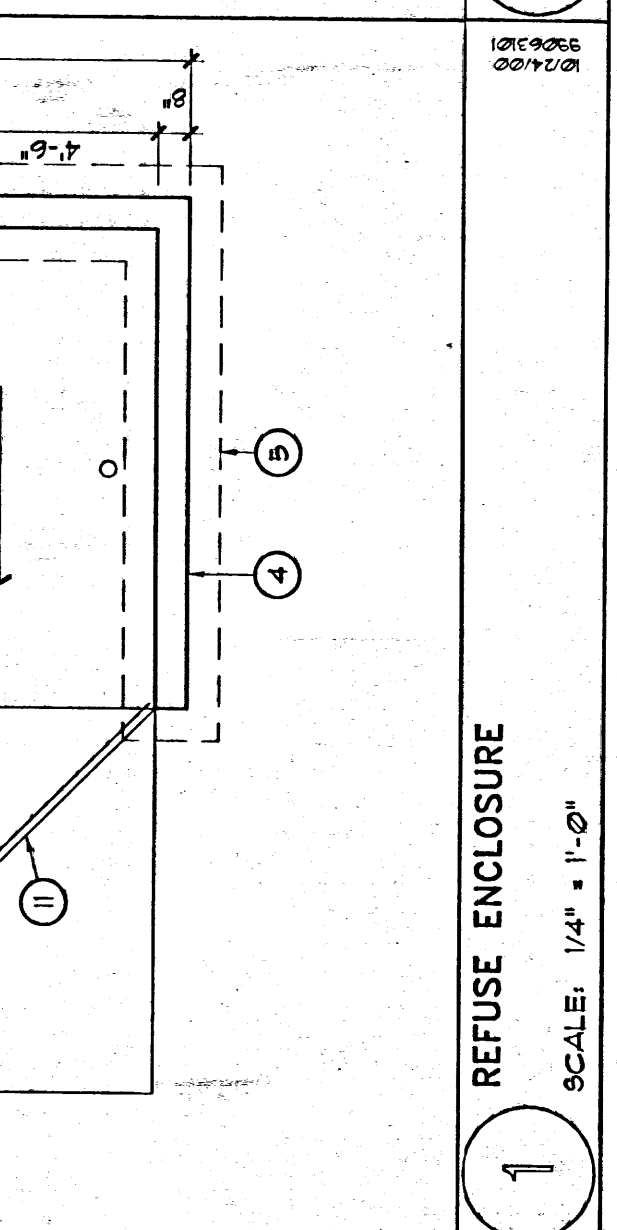
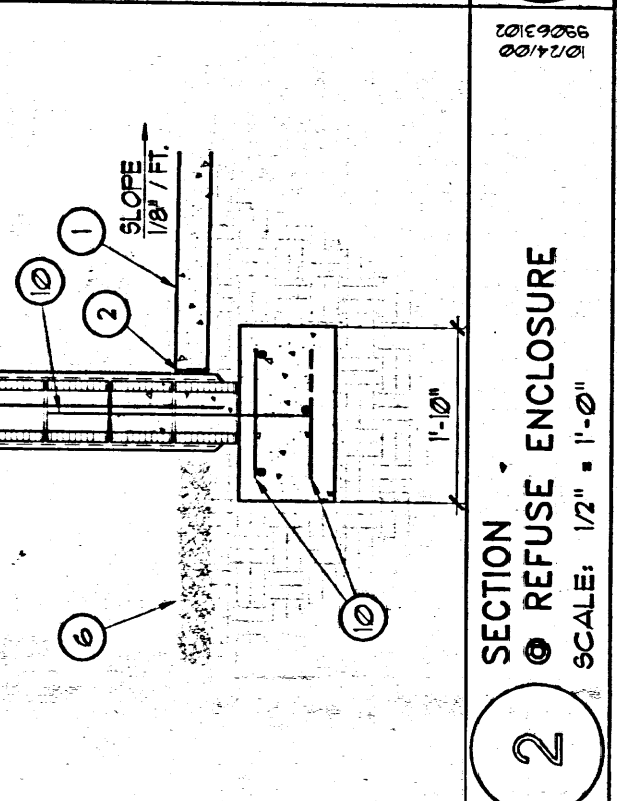
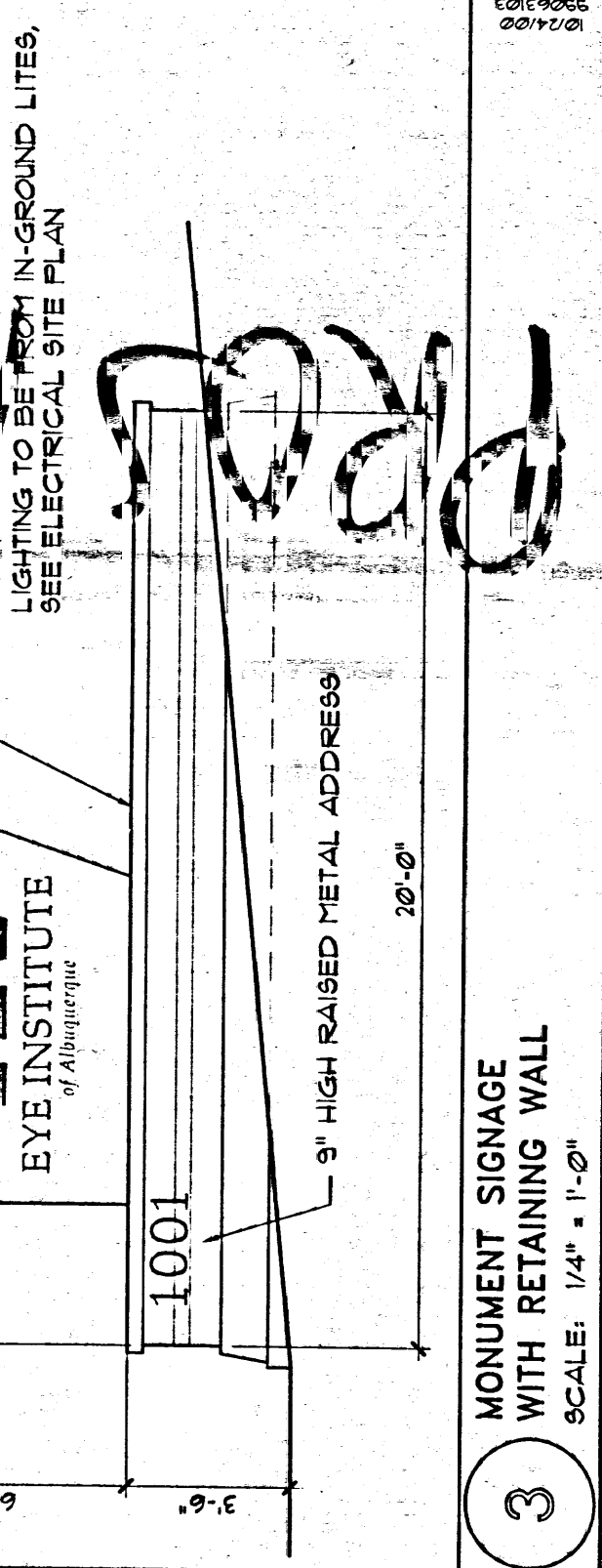
1000272

SITE DEVELOPMENT PLAN

PROJECT No.: 1000272
CASE NUMBER: 00128-00000-01521
APPROVED FOR THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON DECEMBER 21, 2000. MODIFICATIONS IN THIS VERSION NOTIFICATION OF REVISIONS HAS BEEN COMPLETED.

DATE: 3/15/01
DATE: 12/04/00
DATE: 2/17/01
DATE: 2/17/01

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL
SOLID WASTE DEPARTMENT
3.22.01 DATE



INDEX OF DRAWINGS

NO.	DESCRIPTION
C31	SITE PLAN
C31	GRADING & DRAINAGE PLAN
LU	LANDSCAPE PLAN
AU	FLOOR PLAN
A41	BUILDING ELEVATIONS
E1	ELECTRICAL SITE PLAN
E2	ELECTRICAL DETAILS AND SCHEDULES

C31

ALBUQUERQUE EYE INSTITUTE AND SURGERY CENTER
Martin Luther King Jr. Ave.
Albuquerque, New Mexico

PROJ. NO. 9908
ACCD. NO. 990431
DATE: 11-01

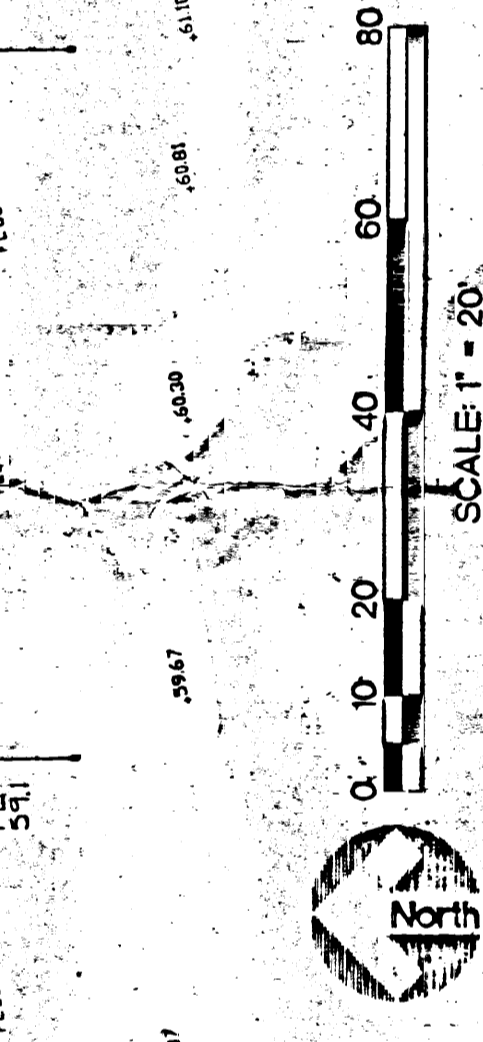
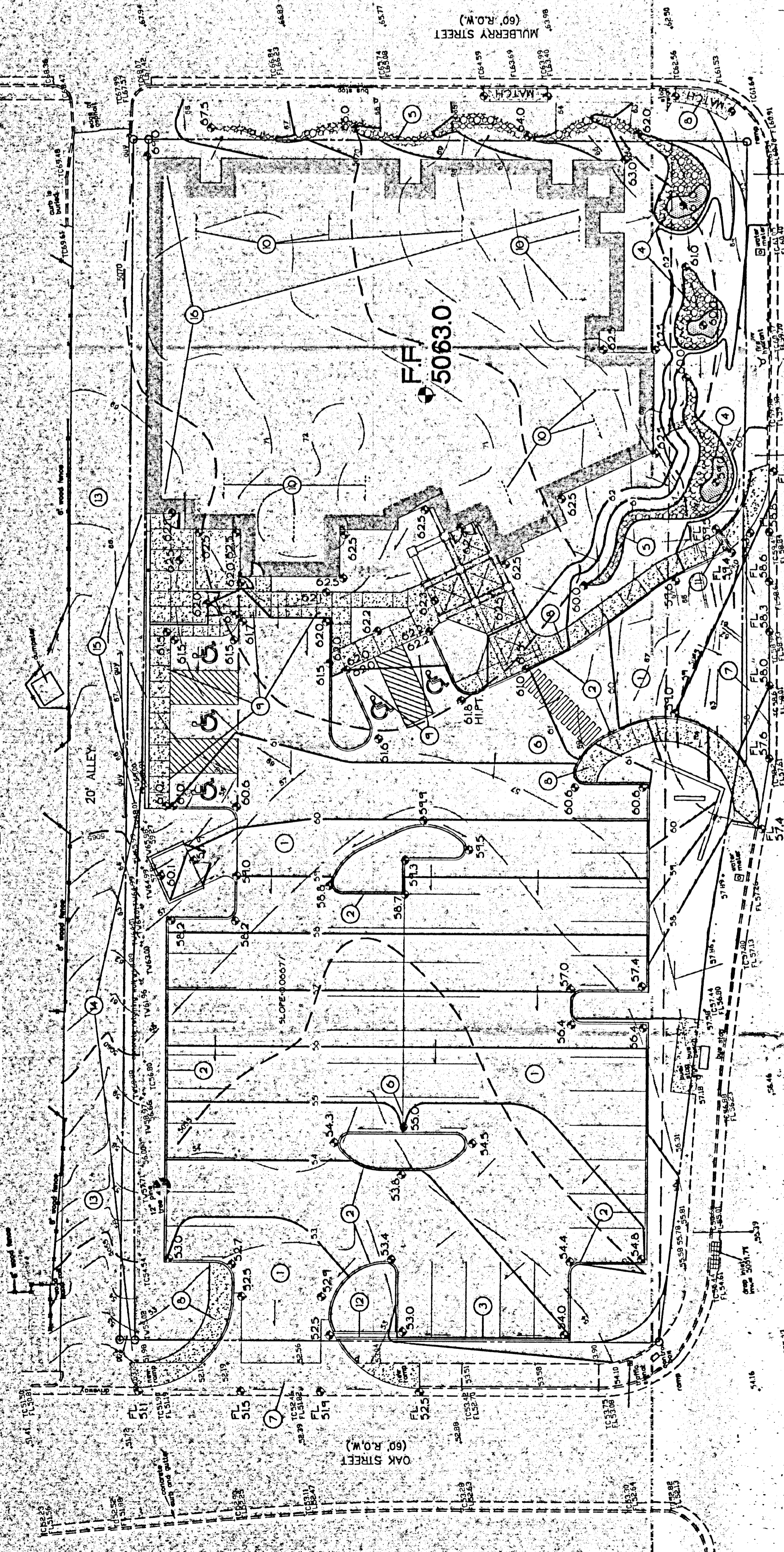
SITE PLAN
SCHEMATIC DESIGN

Gregory T. Hicks & Assoc., P.C.
ARCHITECTS • PLANNERS
The Sunrise Building
Albuquerque, New Mexico 87102
(505) 243-7492 FAX (505) 243-1100

Gregory T. Hicks & Assoc., P.C.
No. 1230
No. 1310
SINCE 1960

designing today... designing tomorrow.

EXISTING AT-RISK MEN'S



SCALE 1" = 20'

SCOPE
 The proposed improvements include an approx. 12,000 sq. ft. Commercial building with associated asphalt paving.
 The site is a previously developed commercial property located at the corner of Martin Luther King Ave. (to the west) and Oak Street (to the south) in Albuquerque, New Mexico. Mulberry Street borders the property to the east and an existing alley / apartment complex borders the property to the north. The previous development has been demolished and removed except for a retaining wall which borders the alley to the north.

DRAINAGE PLAN CONCEPT
 On the basis of the proposed improvements, this property was approximately 90% residential, with gas utility and sewer service. The site is currently zoned R-1 (Residential Single-Family) and the property was defined as 50% Treatment 'P' and 50% Treatment 'D'. The site is currently zoned R-1 (Residential Single-Family) and the increase does not take into account the proposed water harvesting area located within the landscaping which will serve to lower the total discharge to less than previously developed discharge rates.

The site will have drainage flows to adjacent street with the majority of flows directed west to Oak Street (approx. 4 cfs) to enter existing storm drain inlets north of the site and the remainder draining south to Martin Luther King Ave. (approx. 0.7 cfs) to an existing storm drain inlet located at the southwest corner of the property.

The intent of this plan is to show:
 • Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate the construction of the proposed improvements, including buildings, walks and pavement.
 • The flow route of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.
 • The proposed improvements with existing neighboring property to insure an orderly transition between proposed and surrounding areas.

GENERAL NOTES
 1. ALL IMPROVEMENTS SHALL BE IN ACCORD WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
 2. ALL IMPROVEMENTS SHALL BE IN ACCORD WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
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 13. ALL IMPROVEMENTS SHALL BE IN ACCORD WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.

GENERAL NOTES

1. ALL SPOT ELEVATIONS REFERENCE TOP OF FINISHED GRADE UNLESS OTHERWISE NOTED ON THIS PLAN.
2. SEE ARCHITECTURAL PLANS FOR ALL MANDATORY RAIN LOCATIONS.
3. SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION INFORMATION.
4. ALL RIP-RAP TO BE MIN. 6" DIA. ANGULAR RIP-RAP.

KEYNOTES

1. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING PARKING LAYOUT.
2. CONSTRUCT CONCRETE LEADER CURB AS NOTED. SEE ARCHITECTURAL FOR DETAIL.
3. CONSTRUCT STANDARD CURB AND GUTTER WHERE FLOWS DETAIL.
4. CONSTRUCT WATER HARVESTING AREA INTEGRATED WITH EXISTING LANDSCAPE. SEE ARCHITECTURAL FOR DETAIL. NOTE: DO NOT LOCATE WITHIN 10' OF PROPOSED BUILDING. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
5. PROVIDE 12" WIDE 2" COBBLER LINED SWALES WITHIN HARVESTING AREAS AS SHOWN. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
6. PAVING 7' LANDSCAPING HIGH POINT THIS AREA.
7. CONSTRUCT SITE ENTRANCE PER COA. STANDARDS. MATCH EXISTING PAVING. CONSTRUCT CONCRETE ALLEY GUTTER. PROVIDE 12" WIDE 2" COBBLER LINED SWALES WITHIN HARVESTING AREAS AS SHOWN. SEE ARCHITECTURAL FOR DETAIL.
8. CONSTRUCT CONCRETE WALK THIS AREA AT GRADES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
9. PAVING THIS AREA PER ARCHITECTURAL WITH ASPHALT FINISH. PROVIDE 12" WIDE 2" COBBLER LINED SWALES WITHIN HARVESTING AREAS AS SHOWN. SEE ARCHITECTURAL FOR DETAIL.
10. CONSTRUCT 12" WIDE U-SHAPED CONCRETE CHANNEL TO SHOW CONSTRUCT PER COA. DETAILS / SPECIFICATIONS THIS SHEET.
11. CONSTRUCT 12" WIDE U-SHAPED CONCRETE CHANNEL TO SHOW CONSTRUCT PER COA. DETAILS / SPECIFICATIONS THIS SHEET.
12. PROPOSED ALLEY GUTTERS WILL BE SUBMITTED TO COA. EXISTING GUTTERS IN ALLEY WILL BE LEFT IN PLACE. EXISTING GUTTERS TO BE DEMOLISHED AND RECONSTRUCTED PER COA. STANDARDS.
13. EXISTING RETAINING WALL TO REMAIN.
14. EXISTING RETAINING WALL TO REMAIN. PROVIDE 12" WIDE 2" COBBLER LINED SWALES WITHIN HARVESTING AREAS AS SHOWN. SEE ARCHITECTURAL FOR DETAIL.
15. EXISTING RETAINING WALL TO REMAIN. PROVIDE 12" WIDE 2" COBBLER LINED SWALES WITHIN HARVESTING AREAS AS SHOWN. SEE ARCHITECTURAL FOR DETAIL.

LEGEND

NORMAL CURB AND GUTTER EXISTING, PROPOSED

PROPOSED PAVED DRIVE

BUILDING EXISTING, PROPOSED

PROPERTY LINE

EXISTING CONTOUR

PROPOSED SPOT ELEVATION

PROPOSED CONTOUR

PROPOSED EXISTING

PROPOSED ROOF

LANDSCAPED AREA

TOP OF GRADE WALL 1' x 8" HIGH

TOP OF RETAINING WALL 1' x 8" HIGH

TOP OF ASPHALT

TOP OF CURB

FLOW LINE

FINISHED FLOOR

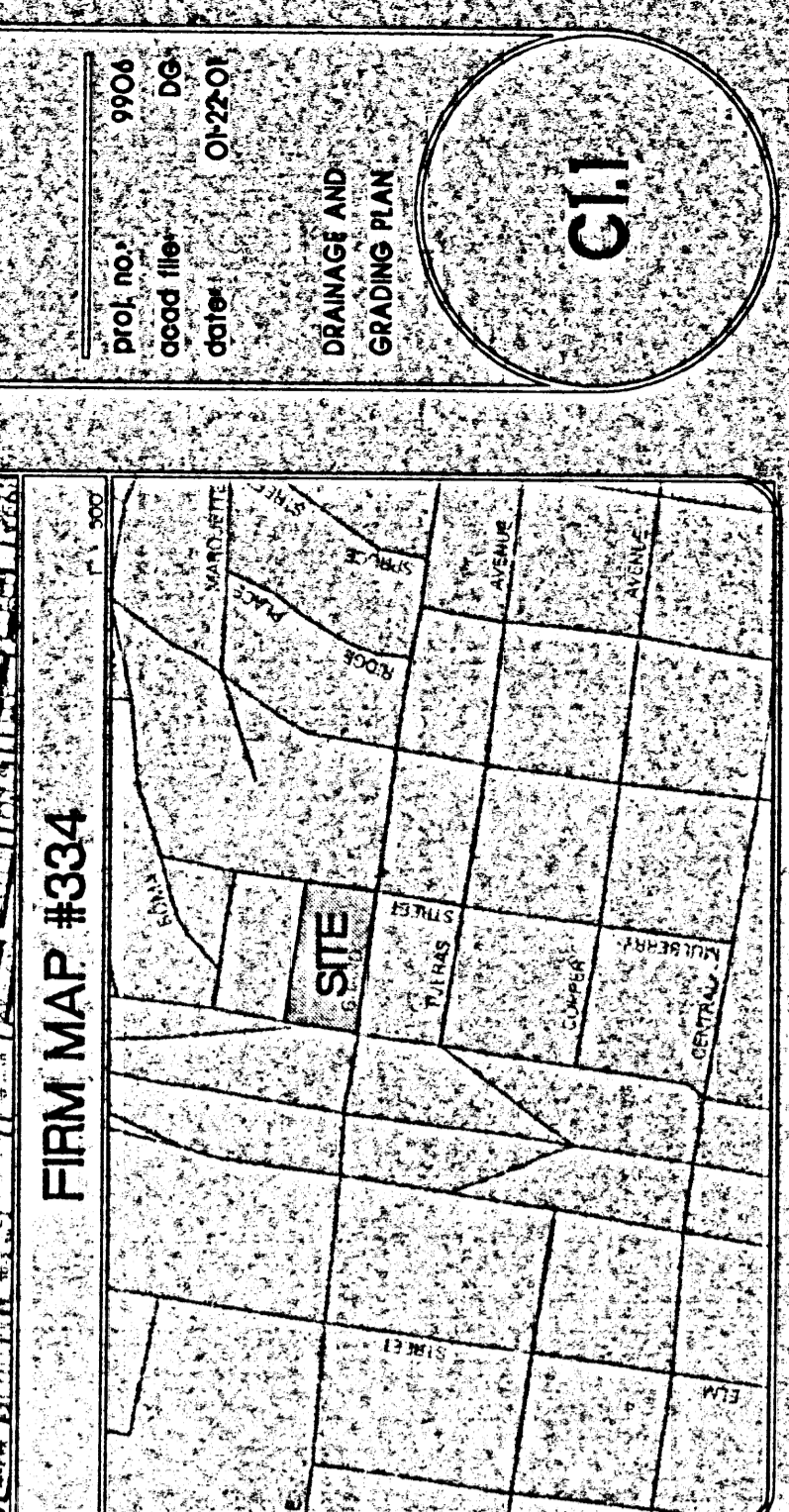
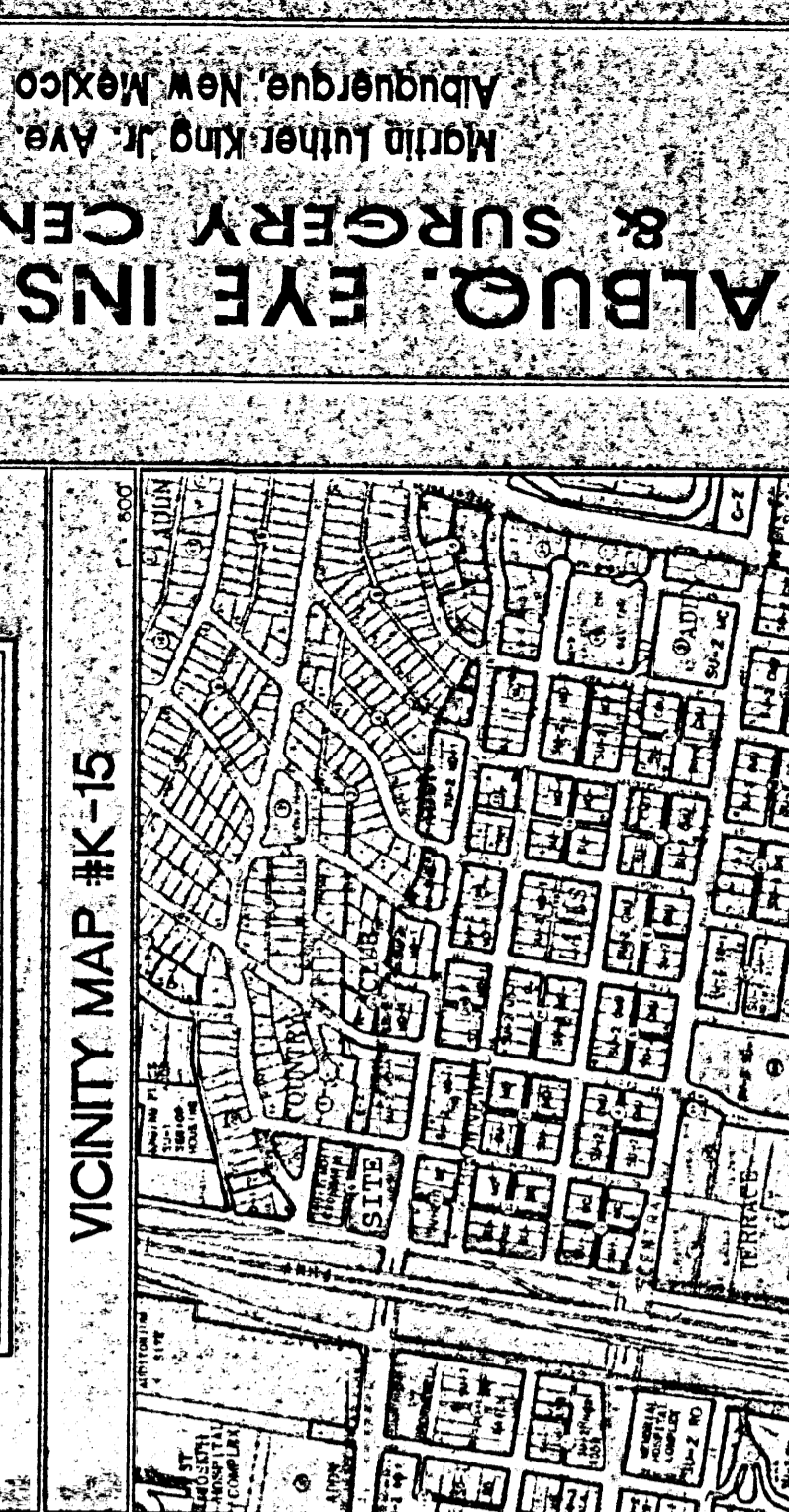
RIGHT OF WAY

PROPERTY LINE

POWER POLE

ENTRY / EXIT LOCATION

PRELIMINARY DRAWINGS FOR REVIEW ONLY



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ALBUQ. EYE INSTITUTE
 & SURGERY CENTER
 Martin Luther King Jr. Ave.
 Albuquerque, New Mexico



PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO
 GREGORY K. HICKS
 LICENSE NO. 12121

PROJECT NO. 9904
 SHEET NO. 01-23-D
 DATE 01-23-01

DRAINAGE AND GRADING PLAN
 G11

CALCULATIONS: Exc. Curtis, Dr. Lorenz, D1-23-D
 Calculations are based on the Drainage Manual, Chapter 10, City of Albuquerque, Section 10.2.2.1, 10.2.2.2, 10.2.2.3, 10.2.2.4, 10.2.2.5, 10.2.2.6, 10.2.2.7, 10.2.2.8, 10.2.2.9, 10.2.2.10, 10.2.2.11, 10.2.2.12, 10.2.2.13, 10.2.2.14, 10.2.2.15, 10.2.2.16, 10.2.2.17, 10.2.2.18, 10.2.2.19, 10.2.2.20, 10.2.2.21, 10.2.2.22, 10.2.2.23, 10.2.2.24, 10.2.2.25, 10.2.2.26, 10.2.2.27, 10.2.2.28, 10.2.2.29, 10.2.2.30, 10.2.2.31, 10.2.2.32, 10.2.2.33, 10.2.2.34, 10.2.2.35, 10.2.2.36, 10.2.2.37, 10.2.2.38, 10.2.2.39, 10.2.2.40, 10.2.2.41, 10.2.2.42, 10.2.2.43, 10.2.2.44, 10.2.2.45, 10.2.2.46, 10.2.2.47, 10.2.2.48, 10.2.2.49, 10.2.2.50, 10.2.2.51, 10.2.2.52, 10.2.2.53, 10.2.2.54, 10.2.2.55, 10.2.2.56, 10.2.2.57, 10.2.2.58, 10.2.2.59, 10.2.2.60, 10.2.2.61, 10.2.2.62, 10.2.2.63, 10.2.2.64, 10.2.2.65, 10.2.2.66, 10.2.2.67, 10.2.2.68, 10.2.2.69, 10.2.2.70, 10.2.2.71, 10.2.2.72, 10.2.2.73, 10.2.2.74, 10.2.2.75, 10.2.2.76, 10.2.2.77, 10.2.2.78, 10.2.2.79, 10.2.2.80, 10.2.2.81, 10.2.2.82, 10.2.2.83, 10.2.2.84, 10.2.2.85, 10.2.2.86, 10.2.2.87, 10.2.2.88, 10.2.2.89, 10.2.2.90, 10.2.2.91, 10.2.2.92, 10.2.2.93, 10.2.2.94, 10.2.2.95, 10.2.2.96, 10.2.2.97, 10.2.2.98, 10.2.2.99, 10.2.2.100.

AREA OF SITE		ON-SITE		OFF-SITE	
Area	12.00 SF	Area	100.00 SF	Area	100.00 SF
Permeable	12.00 SF	Permeable	100.00 SF	Permeable	100.00 SF
Impermeable	0.00 SF	Impermeable	0.00 SF	Impermeable	0.00 SF
Total Area	12.00 SF	Total Area	100.00 SF	Total Area	100.00 SF

PREVIOUSLY DEVELOPED FLOWS:
 On-Site Developed Land Condition
 Area = 12.00 SF
 Area = 12.00 SF
 Area = 12.00 SF
 Total Area = 36.00 SF

EXCESS PRECIPITATION:
 Precip. Zone 2
 Ex = 0.32
 Ex = 0.32
 Ex = 0.32
 Ex = 0.32
 Total Area = 1.28 SF

PROPOSED DEVELOPED FLOWS:
 On-Site Developed Land Condition
 Area = 12.00 SF
 Area = 12.00 SF
 Area = 12.00 SF
 Total Area = 36.00 SF

ON-SITE WEIGHTED AVERAGE PRECIPITATION (Q) (See Table 10.2.2.1)
 Weighted Ex = 0.32
 Area = 12.00 SF
 Proposed Ex = 0.32
 Area = 12.00 SF
 Total Area = 24.00 SF

ON-SITE PEAK DISCHARGE RATE (Q) (See Table 10.2.2.2)
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Total Area = 24.00 SF

ON-SITE PEAK DISCHARGE RATE (Q) (See Table 10.2.2.3)
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Total Area = 24.00 SF

ON-SITE PEAK DISCHARGE RATE (Q) (See Table 10.2.2.4)
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Total Area = 24.00 SF

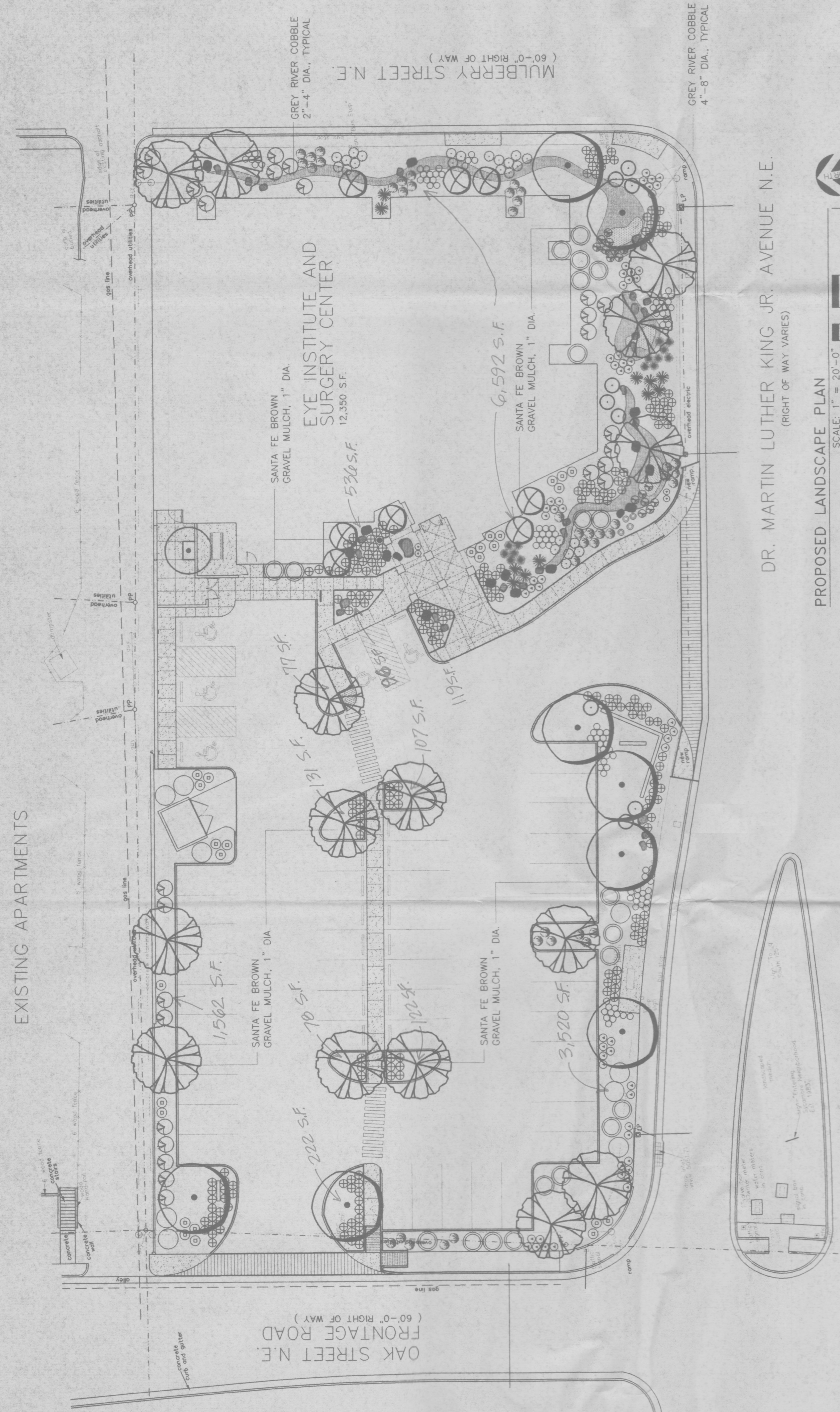
ON-SITE PEAK DISCHARGE RATE (Q) (See Table 10.2.2.5)
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Peak Precipitation Rate = 0.32
 Area = 12.00 SF
 Total Area = 24.00 SF

LANDSCAPE AREA REQUIREMENTS
 PROPERTY: APPROX. 81,000 SF BUILDINGS: APPROX. 12,500 SF
 LANDSCAPED AREA REQUIRED: 7,650 SF (12% OF PROPERTY GROUNDS)
 LANDSCAPED AREA PROVIDED: 13,530 SF (26.5% OF PROPERTY)

LANDSCAPED AREAS

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	0 SF (0% OF LANDSCAPED AREA)
LOW WATER USE (NATIVE GRASS) TURF	0 SF (0% OF LANDSCAPED AREA)
GRAVEL SHRUB BEDS	13,530 SF (100% OF LANDSCAPED AREA)
NONIRRIGATED NATIVE PLANT MEADOW	0 SF (0% OF LANDSCAPED AREA)

IRRIGATION SYSTEM NARRATIVE
 ALL PLANTING IMPROVEMENTS ARE TO BE SUSTAINED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL TREES ARE TO BE WATERED BY LOW PRECIPITATION WATER BUBBLER HEADS. DRIP EMITTERS - TREES ARE TO RECEIVE 0.25 TO 1.0 GPH. 1/2" O.D. DRIP EMITTERS ARE TO BE USED. THE IRRIGATION SYSTEM WILL BE Laid OUT DEPENDING ON SEASONS. THE IRRIGATION SYSTEM WILL BE Laid BY ONE POINT OF CONNECTION, WITH BACKFLOW PREVENTION. THE IRRIGATION SYSTEM WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER AND POWER SOURCE TO BE DETERMINED BY THE CONTRACTOR. THE IRRIGATION SYSTEM WILL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE ALBUQUERQUE WATER WASTE ORDINANCE. IRRIGATION MAINTENANCE TO BE PROVIDED BY THE PROPERTY OWNER.



PROPOSED LANDSCAPE PLAN
 SCALE: 1" = 20'-0"
 (RIGHT OF WAY VARIES)

GENERAL PLANTING NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF AND AVOID DAMAGE TO ALL UNDERGROUND UTILITIES.
- ANY PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS NOT TO INSTALL PLANT MATERIAL AS SHOWN ON PLANS IF EVIDENT THAT FIELD CONDITIONS EXIST THAT WERE NOT CONSIDERED IN THE DESIGN. SUCH CONDITIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION TO GIVE SUCH NOTIFICATION. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- PLANT MATERIAL TO BE PLANTED AS SOON AS POSSIBLE FOLLOWING DELIVERY TO THE SITE. BACKFILL ALL PLANTS WITH CLEAN NATIVE SOIL. REMOVE ALL STONE OVER 1" DIAMETER FROM BACKFILL SOIL. LANDSCAPE ARCHITECT TO PROVIDE PLANTING SPECIFICATIONS FOR TREE AND SHRUB SPECIES, PLANTING DATES, PLANTING LOCATIONS, PLANTING METHODS, AND PLANTING TO LANDSCAPE ARCHITECT.
- PLANTING AREAS ARE NOT TO STAND BARE FOR LONGER THAN NEEDED FOR REMOVALS AND CONSTRUCTION.
- WHEN ALL SHRUBS PLANTED WITH 1" CENTRAL CLEAN MULCH. MULCH TO BE AS NOTED ON PLANS. PROVIDE SAMPLE OF MULCH TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. FILTER FABRIC TO BE INSTALLED BENEATH ALL GRAVEL AND COBBLE MULCH IN ALL AREAS. STONE MULCH WITH ORBITAL SAND OR DIRT ABOVE. THE FILTER FABRIC WILL BE REJECTED AT FINAL INSPECTION.
- ALL VITEY SPECIMENS TO BE MULTI-TRUNKED TREE FORMS.
- ALL LANDSCAPE MAINTENANCE TO BE PROVIDED BY THE PROPERTY OWNER.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. PLANTING RESTRICTION APPROACH.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL REQUIRED LANDSCAPED AREAS 30" x 6" IN SIZE OR UNDER SHALL BE COVERED UP USING DEGRADATIVE MATERIAL.
- THE SQUARE FOOTAGES ARE NOTED ON THE LANDSCAPE PLAN, REFER TO SITE PLAN C.3.1 FOR DIMENSIONS.
- ALL LANDSCAPINGS SHALL COMPLY WITH THE LANDSCAPING REGULATIONS IN THE ZONE 2-22-01 MSH CODE.

SHRUB & PERENNIAL SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
⊙	HARRY HUMBREDO TRUMPET	GALLIOLA GRANDIFLORA 'CORBIN'	1 GAL	14
⊙	FOUNTAIN GRASS	PENNISETUM ALPESCURIOIDES	1 GAL	16
⊙	ARTER'S BEARD	CENTAUREUS RUBER 'GANT'	1 GAL	24
⊙	SPRING ANEMONE	CLEMENS MONTANA 'ELIZABETH'	1 GAL	1
⊙	SUPERB PRISTINE WINE	PERSTEMON SUPERBUM 'SPECIABIS'	1 GAL	4
⊙	SLAVY THREAD GRASS	STIPA TENUIFLORA	1 GAL	99
⊙	TEXAS HUMMINGBIRD WHT	AGASTACHE CAN.	1 GAL	56
⊙	ENGLISH LAVENDER	LANCULIA ANGIUSTIFOLIA	1 GAL	209
⊙	MADONNA GRASS	MISCANTHUS SIKENSIS 'SIBERTEDER'	5 GAL	11
⊙	CHAMISA	PEROVSKIA ATRIPLICIFOLIA	5 GAL	26
⊙	RUSSIAN SAGE	BADDEIA DAVON 'NANHOENS'	5 GAL	8
⊙	OWAR BUTTERFLY BUSH	ELEGANIS PUNENS	5 GAL	21
⊙	SILVERBERRY	VITEY AGNUS-CASTUS	5 GAL	9
⊙	VITEY		15 GAL	8
⊙	BOULDER			SEE DETAIL X 44

TREE SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE & TYPE	QUANTITY
⊙	IDAHO LOCUST	ROBINIA AMBICIA 'IDHOENSIS'	2 1/2" CAL CONTAINER	15
⊙	LONDON PLANE TREE	PLATANUS ACERIFOLIA	2 1/2" CAL CONTAINER	8
⊙	KOELUTERIA PANICULATA	GOLDEN RAIN TREE	2 1/2" CAL CONTAINER	1

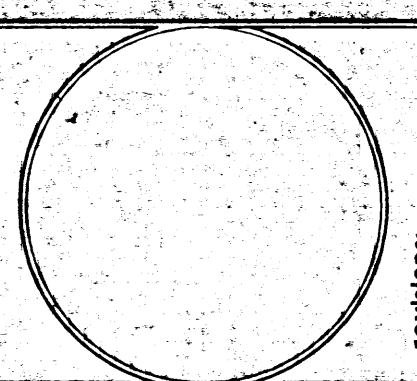
NOTE: CONTRACTOR TO MAKE OWN QUANTITY TAKE-OFF OF ALL PLANTS FROM PLAN

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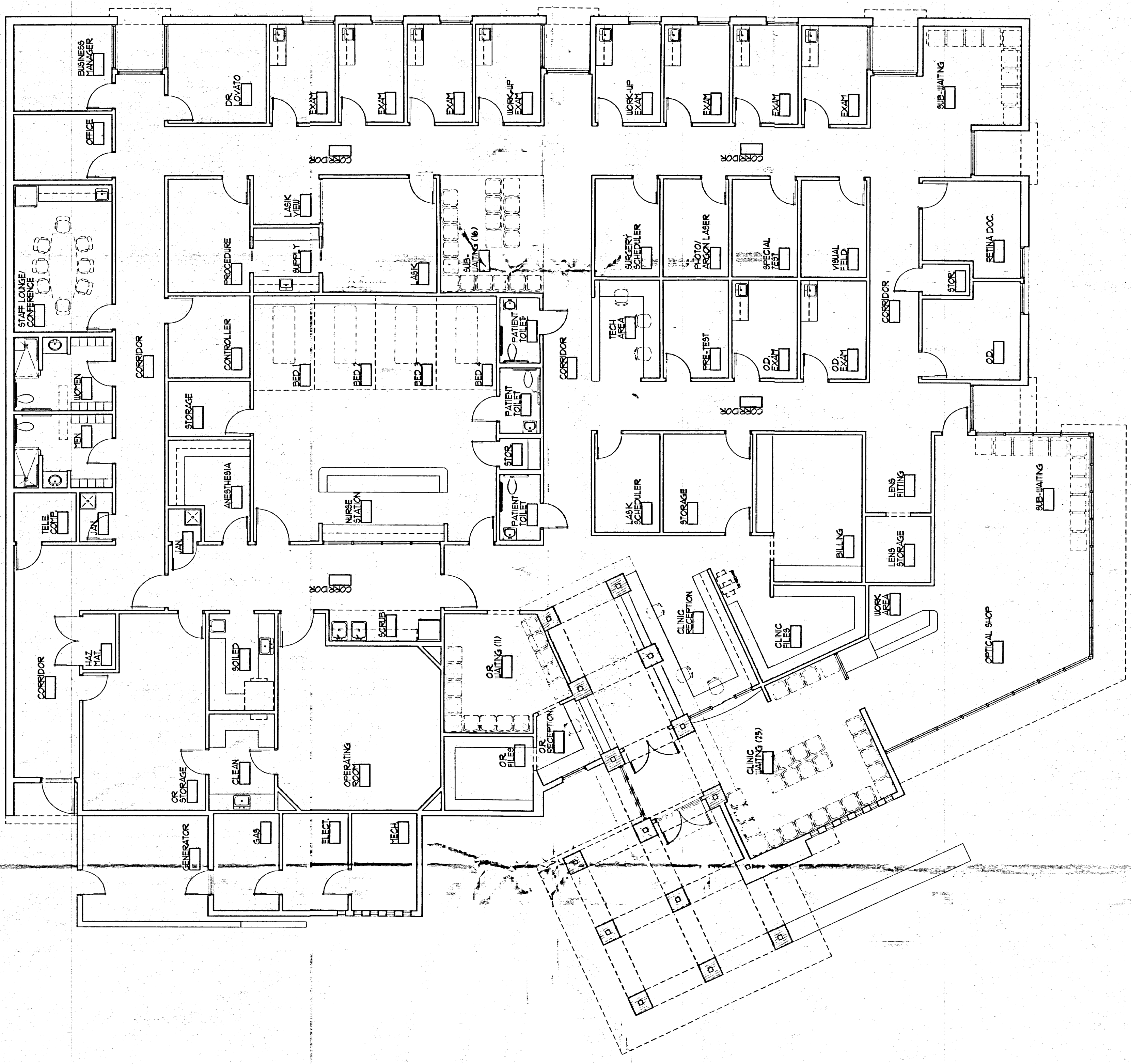
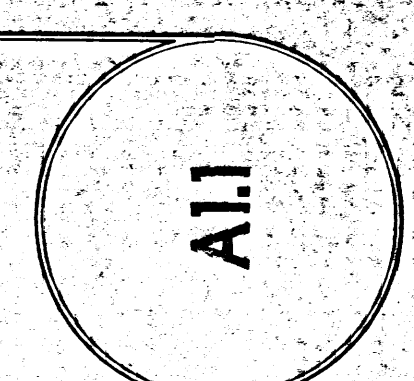


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**ALBUQUERQUE EYE INSTITUTE
 AND SURGERY CENTER**
 Martin Luther King Jr. Ave.
 Albuquerque, New Mexico

Prof. No. 9904
 Acc'd. No. 9904A1
 Date 10-25-00
 FLOOR PLAN
 SCHEMATIC DESIGN

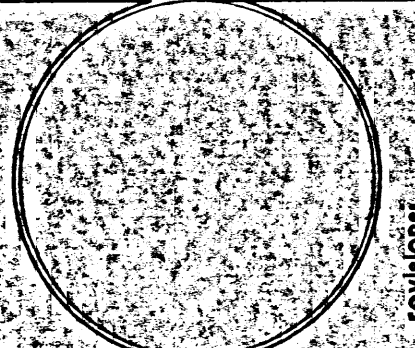


FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 1 2 3 4 5 6 8 10 12 14 16

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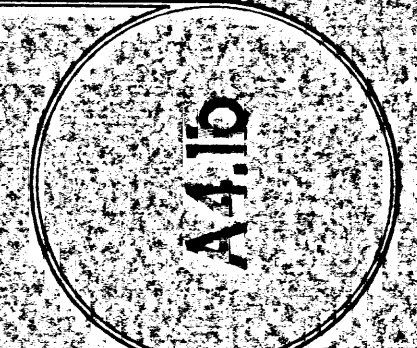


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ALBUQUERQUE EYE INSTITUTE
 & SURGERY CENTER
 Martin Luther King Jr. Ave.
 Albuquerque, New Mexico

DATE: 10/03
 DRAWN BY: MCH
 CHECKED BY: JLD
 PROJECT NO.: 01/00/00
 BUILDING DEPARTMENT
 SUBMITTAL NUMBER

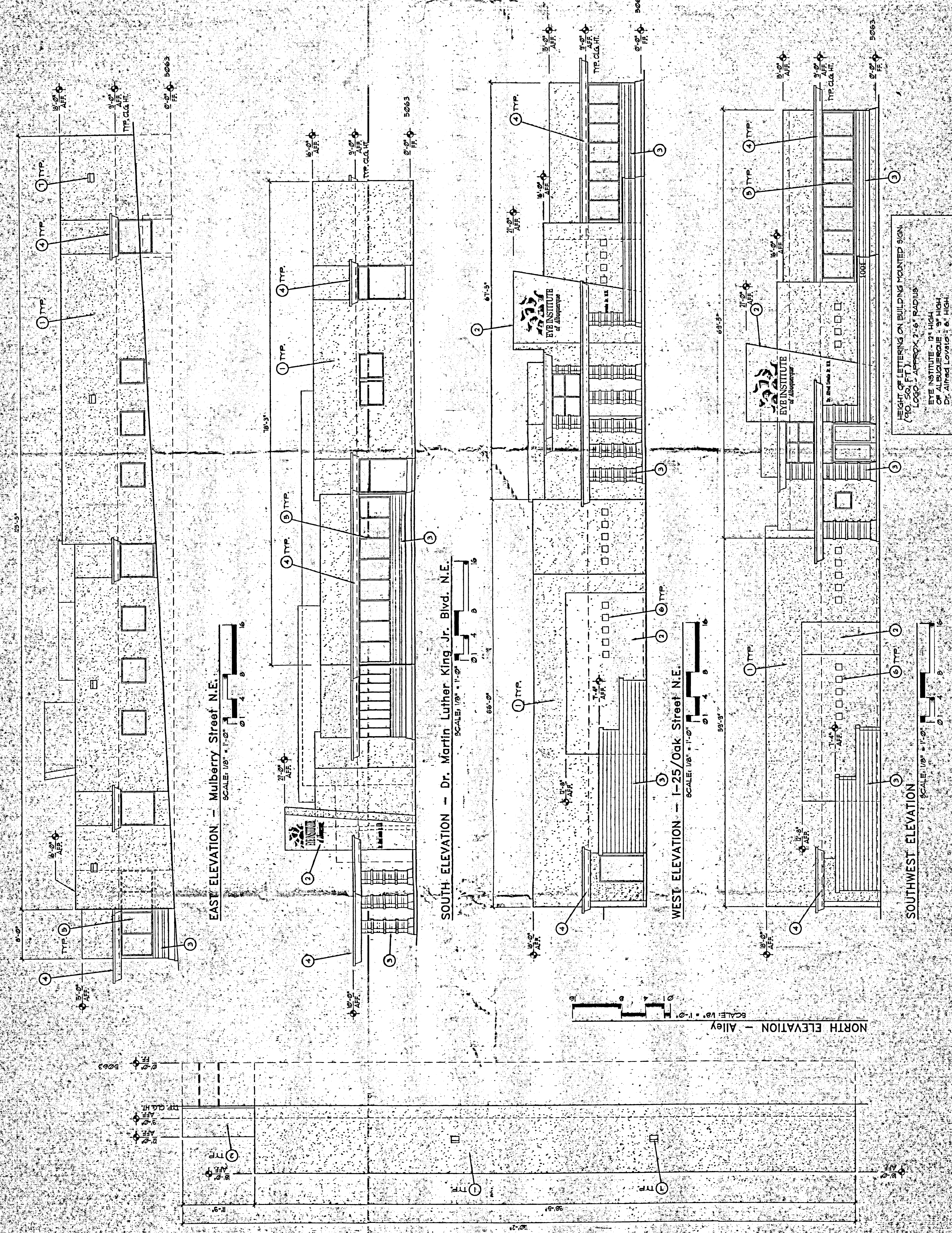


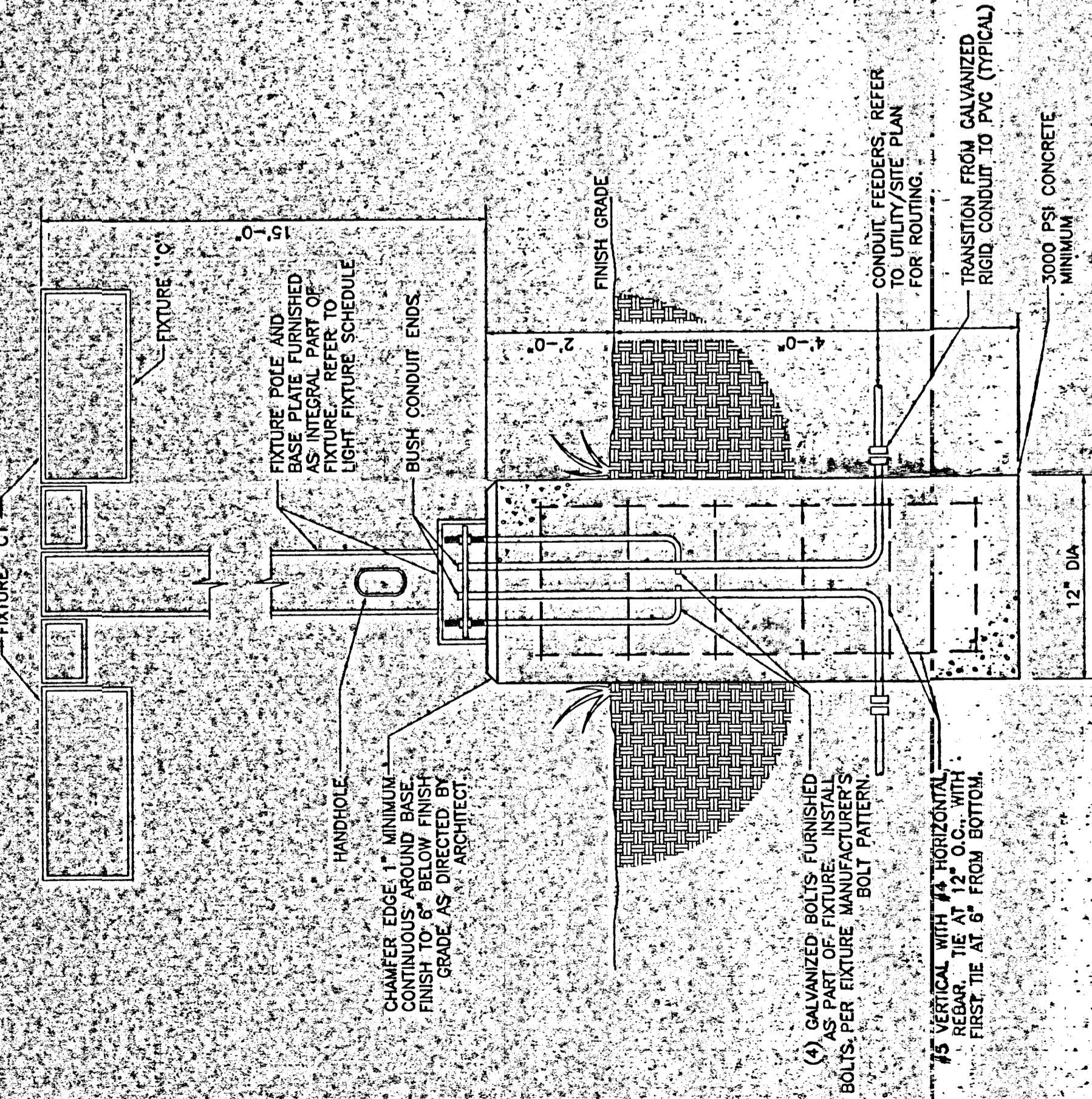
KEYED NOTES:

1. COAT STUCCO - FIELD COLOR, LIGHT BROWN
2. COAT STUCCO - ACCENT COLOR, DUNE GREEN
3. COAT STUCCO - ACCENT COLOR, DUNE GREEN
4. COAT STUCCO - ACCENT COLOR, DUNE GREEN
5. METAL FACIA - COLOR, OLIVE
6. EXTERIOR LIGHT FIXTURES - DUNE BROWN
7. WALL MOUNTED SECURITY LIGHT W/ CUT-OFF

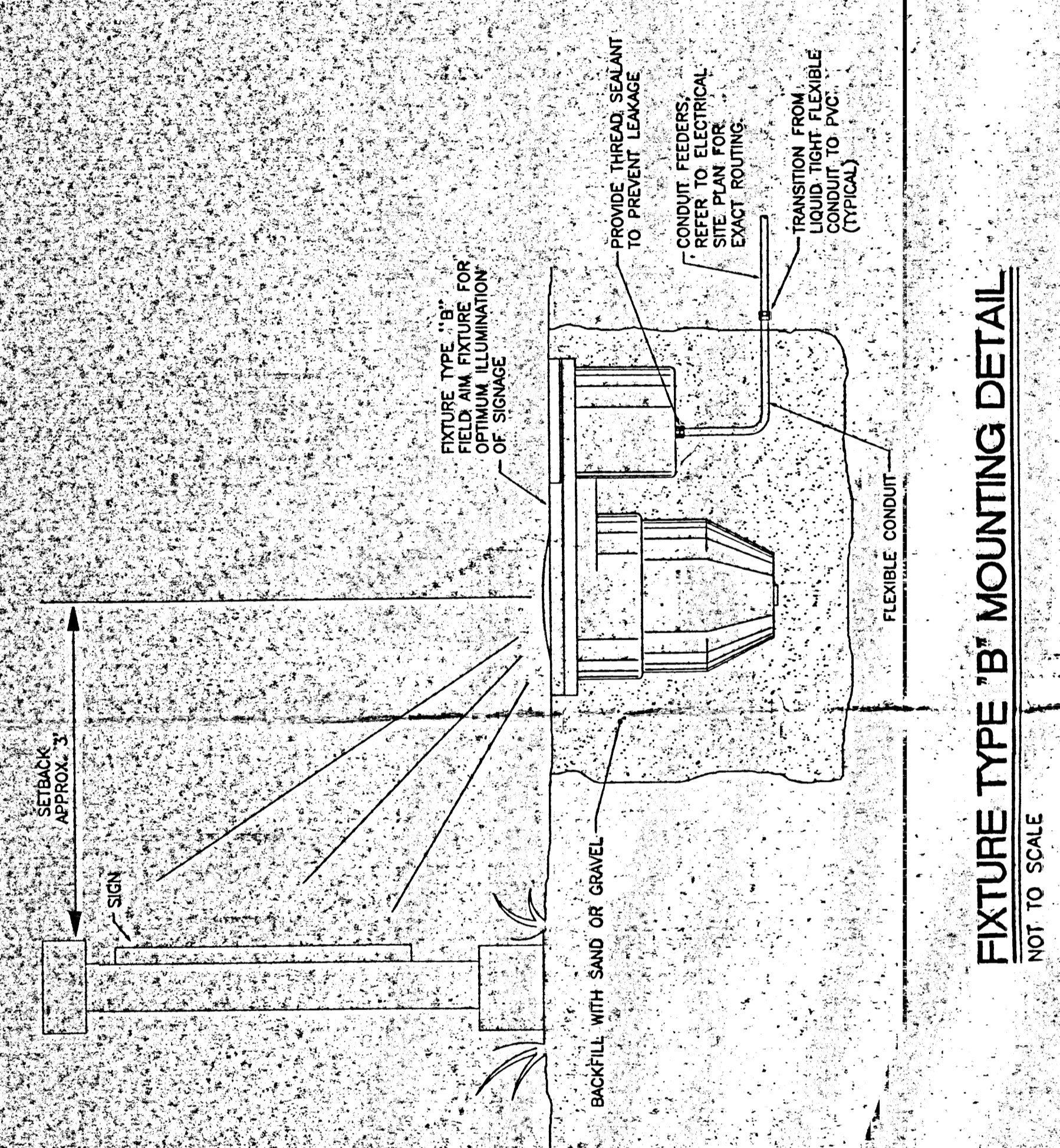
GENERAL NOTES:

- A. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE EITHER BELOW THE TOP OF PARAPET OR SCREENED FROM VIEW FROM THE PROPERTY LINE OR SCREENED FROM VIEW FROM THE TOP OF SCREEN WALL.
- B. NO PLASTIC OR VINYL BUILDING PANELS, AWNINGS OR CANOPIES SHALL BE PERMITTED.
- C. ANTENNA SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

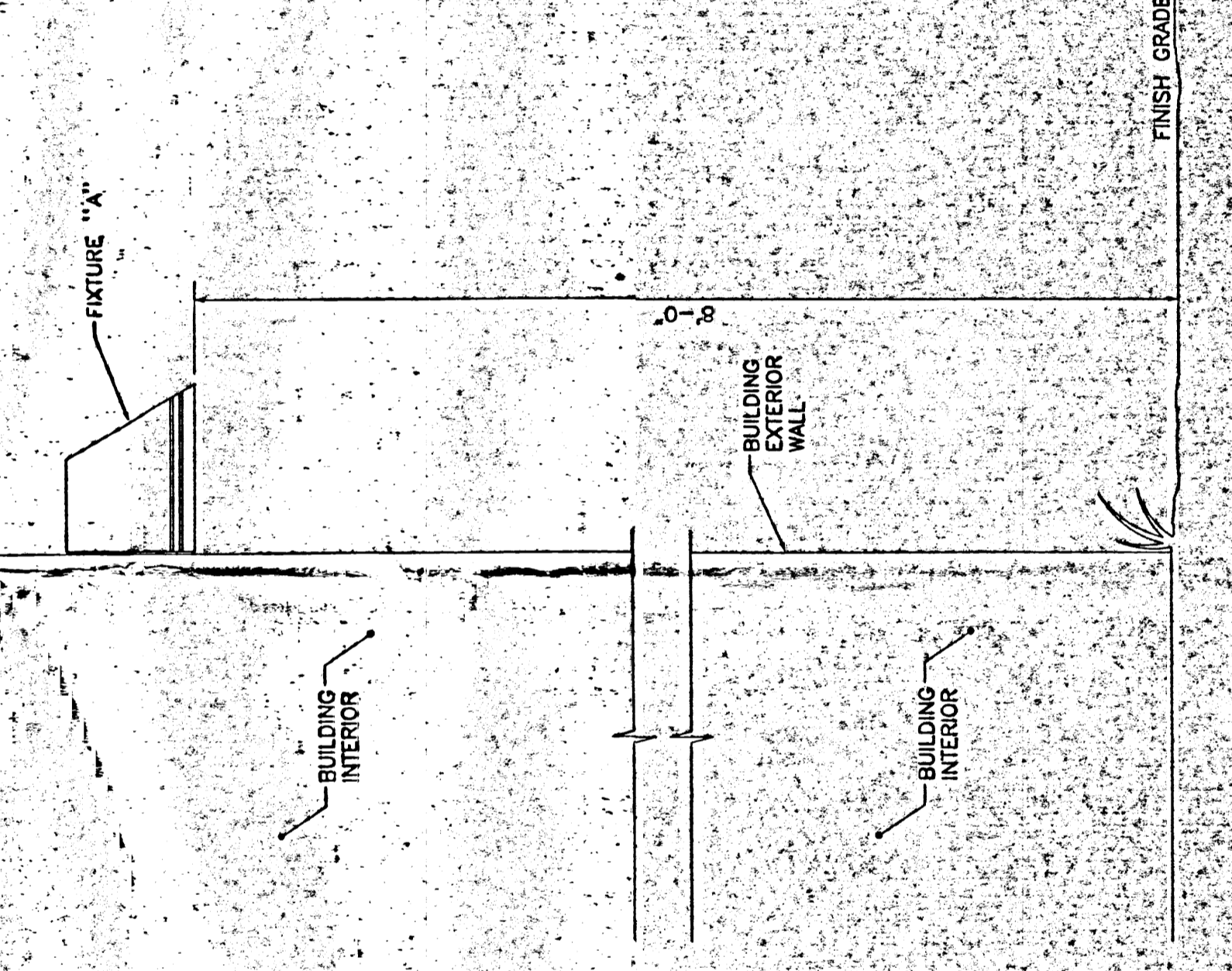




FIXTURE TYPE 'C' AND 'C1' MOUNTING DETAIL
NOT TO SCALE



FIXTURE TYPE 'B' MOUNTING DETAIL
NOT TO SCALE



FIXTURE TYPE 'A' MOUNTING DETAIL
NOT TO SCALE

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
□	WALL OUTLET AND RECESSED FIXTURE
○	POLE MOUNTED FIXTURE
○	EXTERIOR OUTLET IN GRADE
○	BRANCH CIRCUIT CONCEALED UNDER FLOOR OR UNDERCARET WITH CONDUCTORS AS INDICATED. NEUTRAL, HOT, SWITCH LEG AND GROUND RESPECTIVELY.
○	HOME RIM TO PANELBOARD WITH BRANCH CIRCUIT NUMBERS INDICATED.
○	UNLESS NOTED OTHERWISE

NOTES: * LIGHTING FIXTURES ARE OF TYPE AS INDICATED ON LIGHT FIXTURE SCHEDULE UNLESS OTHERWISE NOTED.
* ALL MOUNTING HEIGHTS ARE TO CENTERLINE OF DEVICE UNLESS OTHERWISE NOTED.
* ANY SPECIFIC DETAILS ABOVE (MOUNTING HEIGHTS, PART NUMBERS, CONNECTIONS, ETC.) ARE TO REMAIN AS SHOWN ON THE LIGHT FIXTURE SCHEDULE. DETAILS NOT SPECIFICALLY MODIFIED REMAIN AS SHOWN ABOVE.

LIGHT FIXTURE SCHEDULE

TYPE	FIXTURE DESCRIPTION	LAMPS	MOUNTINGS
A	EXTERIOR WALL SOURCE, HD. FORWARD THRU DISTRIBUTION ALUMINUM HOUSING, BRONZE FINISH. WET LISTED.	1-20W 1-250W HPS	WALL SEC. AND DETAIL THIS SHEET
B	IN GRADE OUTLET, HD. VARIABLE FLOOR, BRONZE FINISH. WET LISTED.	1-20W 1-250W HPS	IN GRADE BASE MTG SEE M.T.G. THIS SHEET
C	15' POLE FIXTURE, HD. SINGLE HEAD, COLOR BY ARCHITECT. SEE M.T.G.	1-20W 1-250W HPS	SEE POLE BASE MTG DETAIL THIS SHEET
C1	15' POLE FIXTURE, HD. DOUBLE HEAD, COLOR BY ARCHITECT. SOURCE STEEL POLE.	1-20W 1-250W HPS	SEE POLE BASE MTG DETAIL THIS SHEET



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