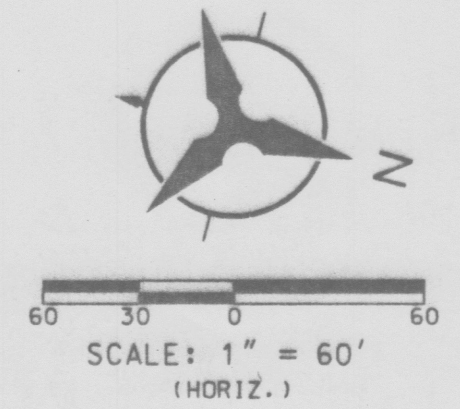
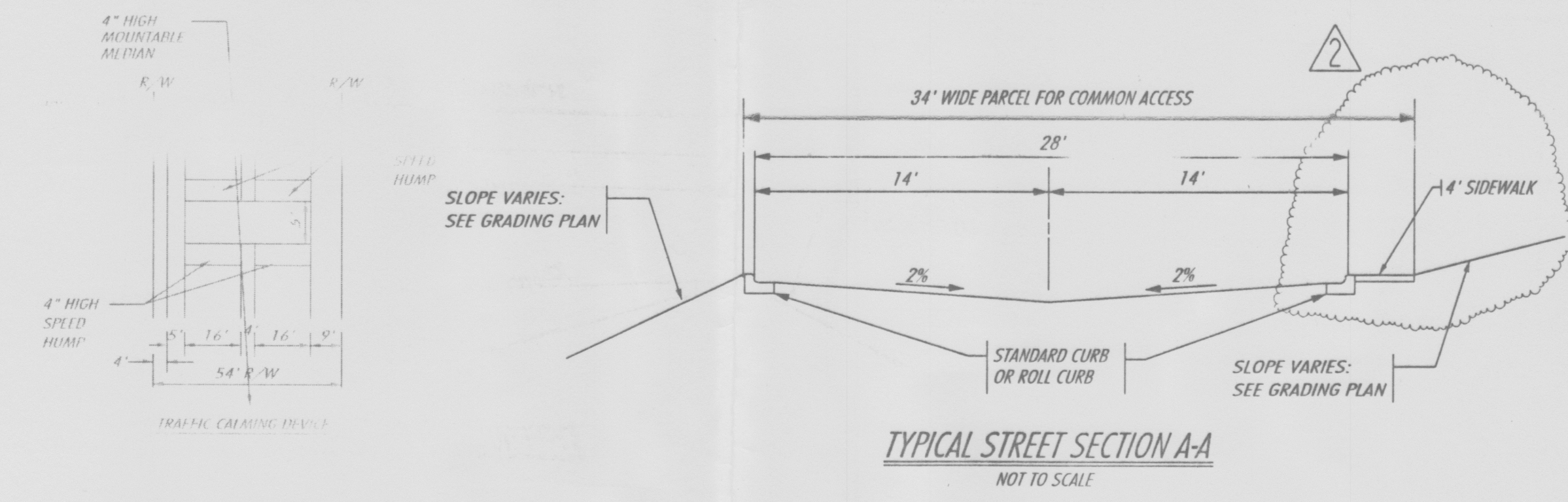
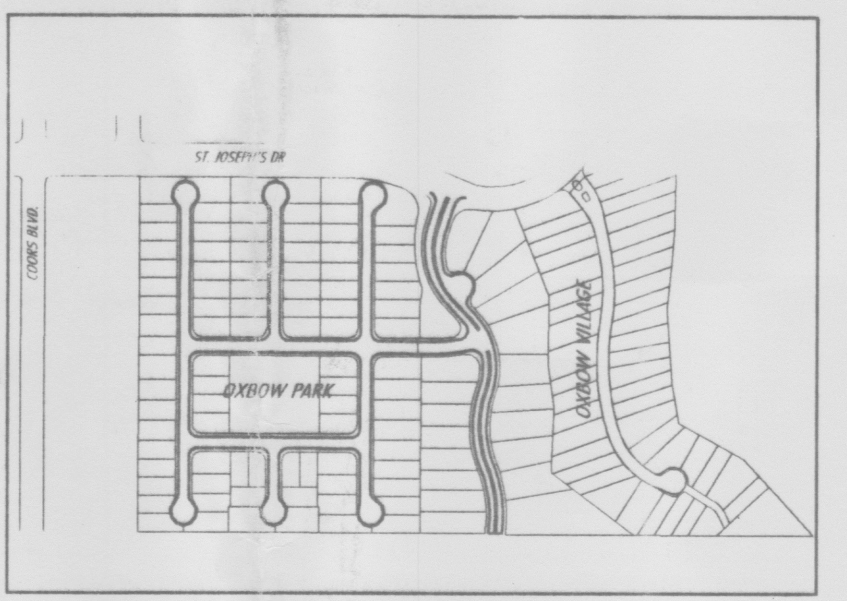


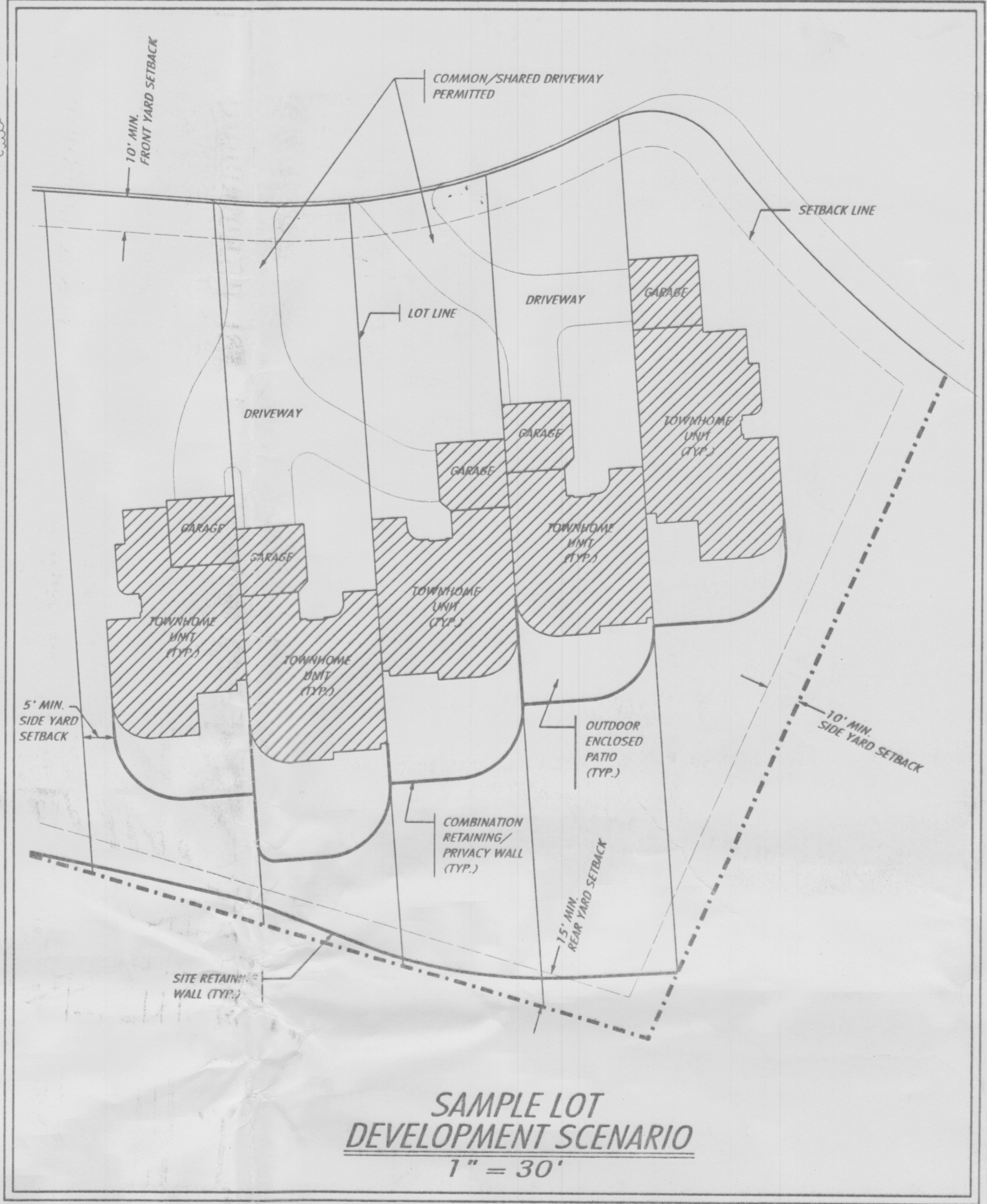
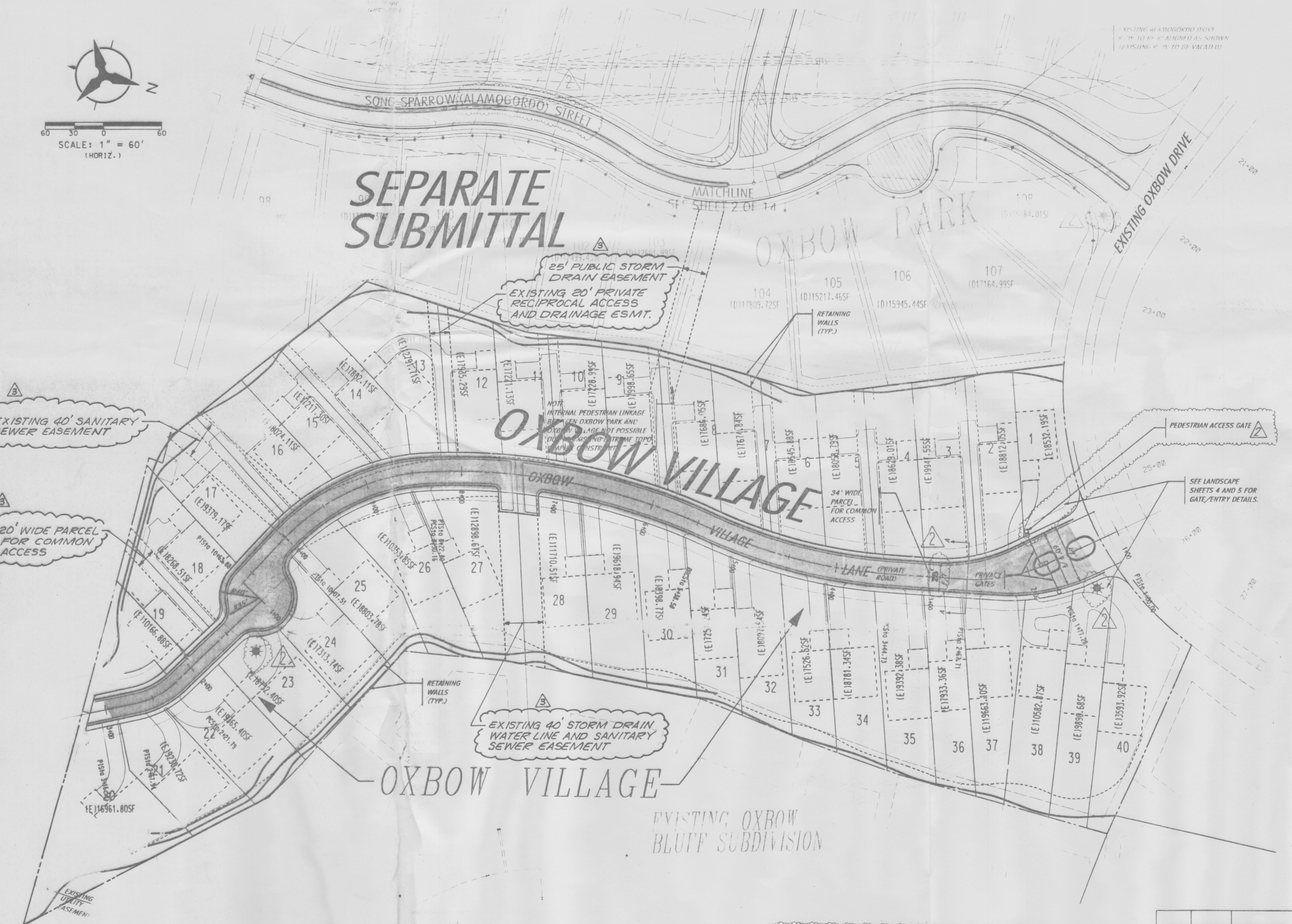
PROJ 1000296

CASE NUMBER DRB-99-293 / Project # 1000296-00460 0000 00307  
 SITE DEVELOPMENT PLAN APPROVAL: 2-97-103-1  
 THE PLAN IS CONSISTENT WITH THE ORIGINAL OXBOW SUBDIVISION PLAN APPROVED BY THE PLANNING COMMISSION ON AUGUST 19, 1999

PLANNING DIRECTOR: [Signature] 3/7/00  
 DATE: 3-7-00  
 PLANNING DEPARTMENT: [Signature] 11-10-99  
 TRANSPORTATION DEVELOPMENT  
 [Signature] 3/2/00  
 [Signature] 11-10-99  
 CITY ENGINEER / AMATCA

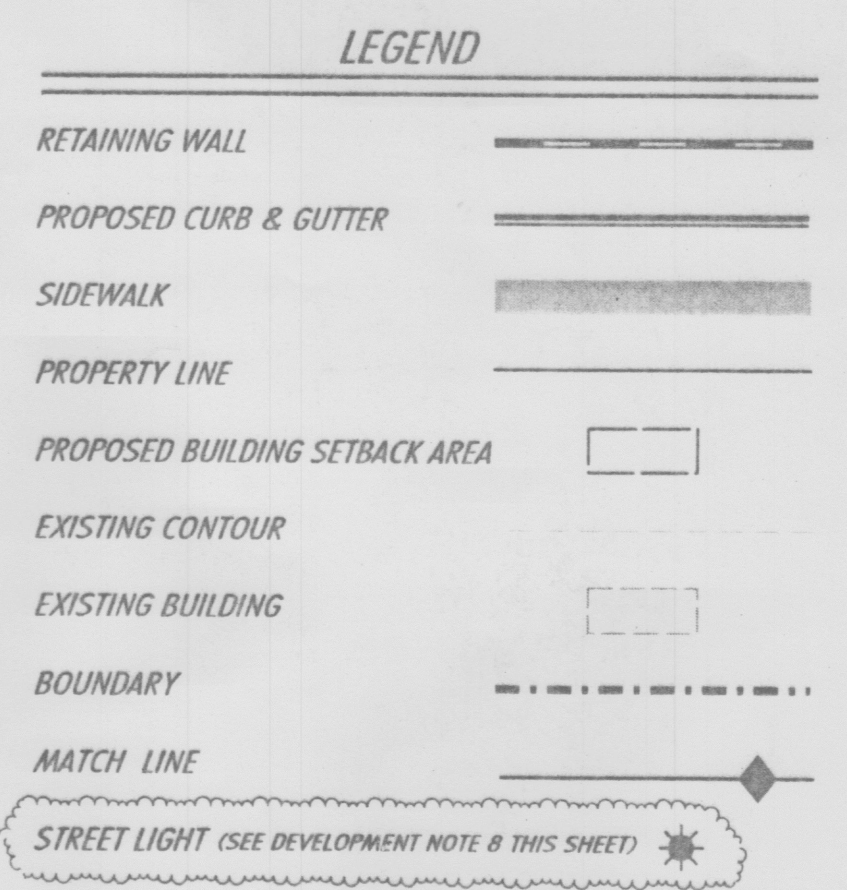


**SEPARATE SUBMITTAL**



**OXBOW VILLAGE DEVELOPMENT NOTES**

- OXBOW VILLAGE WILL BE DEVELOPED WITH TOWNHOME UNITS IN CLUSTERS OF TWO TO EIGHT UNITS. INTERMEDIATE SINGLE FAMILY DETACHED UNITS OF SIMILAR STYLE MAY ALSO BE INCORPORATED.
- LOT LAYOUT, SIZE, AND ORIENTATION MAY BE ADJUSTED TO CAPTURE VIEWS AND TAKE ADVANTAGE OF TOPOGRAPHIC CONSTRAINTS.
- COMMON/SHARED DRIVEWAY ACCESS POINTS ARE PERMITTED IN OXBOW VILLAGE.
- OXBOW VILLAGE IS A GATED, PRIVATE COMMUNITY. OXBOW VILLAGE LANE IS A PRIVATE ROAD, TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- DWELLING UNITS WILL BE A COMBINATION OF ONE AND TWO STORY UNITS, NOT TO EXCEED 26' IN THE RESIDENTIAL GUIDELINES (SHEET 6 OF 8).
- TOTAL NUMBER OF DWELLING UNITS IN OXBOW VILLAGE WILL NOT EXCEED 44. FEWER UNITS ARE PERMITTED, WHICH CAN BE ACHIEVED BY COMBINING ONE OR MORE LOTS.
- DUE TO TOPOGRAPHIC CONSTRAINTS, A SIDEWALK IS PROPOSED WITHIN OXBOW VILLAGE ON ONE SIDE ONLY.
- STREET LIGHT POLES SHALL NOT EXCEED 20' IN HEIGHT, AND SHALL CONTAIN CUT-OFF DEVICES TO MINIMIZE FUGITIVE LIGHT.



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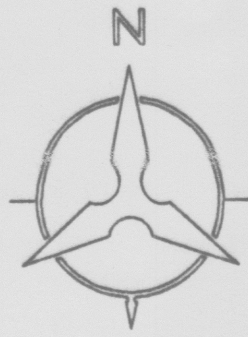
**OXBOW SUBDIVISION TRACTS B AND E**  
 (FORMERLY KNOWN AS PARCELS C,D,E & a PORTION OF F)  
**SITE PLAN FOR BUILDING PERMIT PURPOSES**

3	2/00	DRB CONDITIONS	KGP
2	10/99	EPC CONDITIONS	DRG
1	7/99	PRE EPC COMMENTS	
NO.	DATE	REVISIONS	BY

AST NO. Z-97-103-1  
 ZONE MAP NO. F-11 & G-11  
 SHEET 1 OF 8

NOTE: LOT CONFIGURATION, ROADWAY ALIGNMENT, ROADWAY WIDTH, ETC MODIFIED TO CONFORM TO EPC CONDITIONS



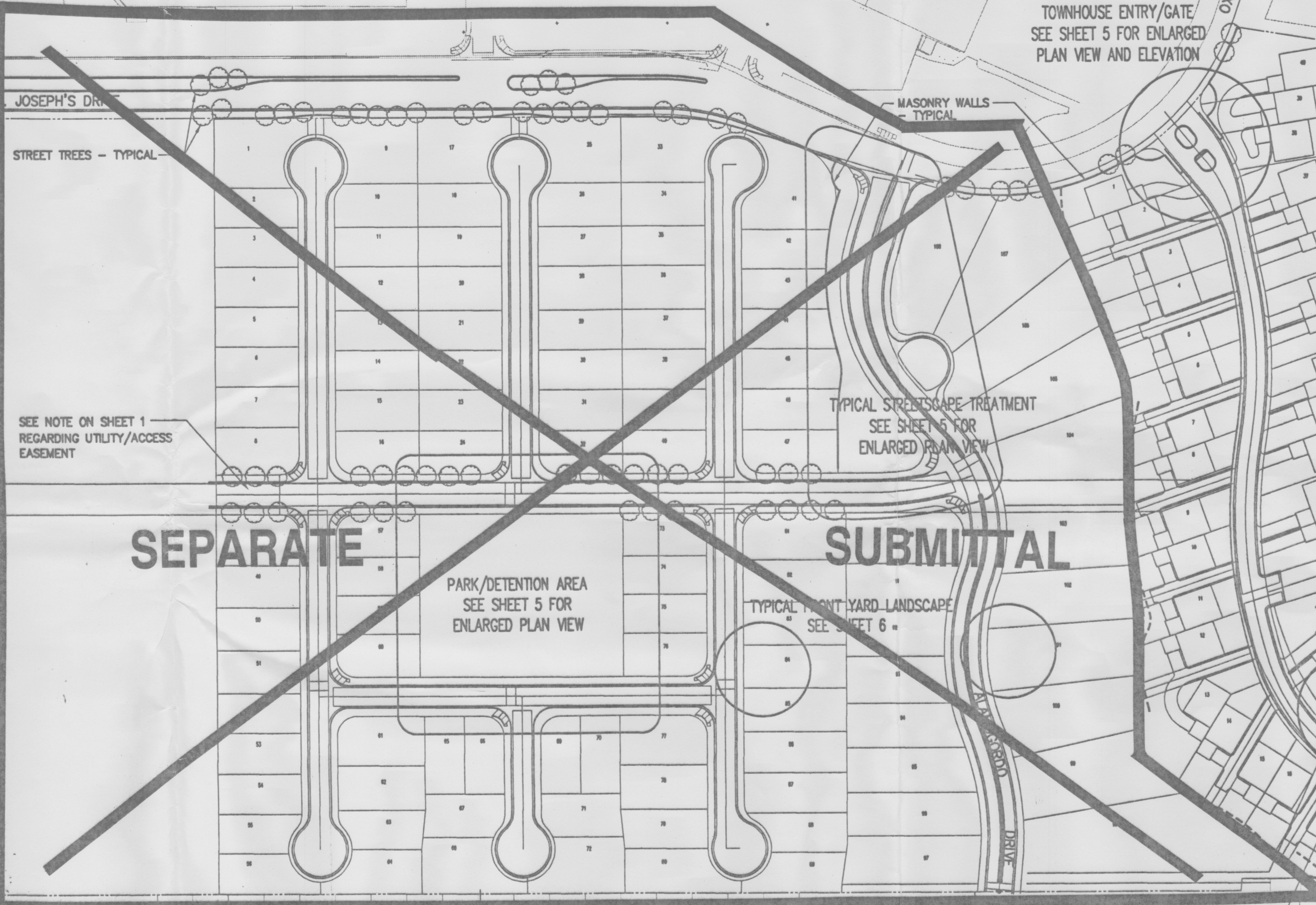


SCALE: 1" = 100'

ST. PIUS HIGH SCHOOL

TOWNHOUSE ENTRY/GATE  
SEE SHEET 5 FOR ENLARGED  
PLAN VIEW AND ELEVATION

OXBOW BLUFF



STREET TREES - TYPICAL

MASONRY WALLS  
- TYPICAL

TYPICAL STREETSCAPE TREATMENT  
SEE SHEET 6 FOR  
ENLARGED PLAN VIEW

RETAINING WALLS  
- TYPICAL

SEE NOTE ON SHEET 1  
REGARDING UTILITY/ACCESS  
EASEMENT

40' WIDE UTILITY  
EASEMENT

SEPARATE

SUBMITTAL

PARK/DETENTION AREA  
SEE SHEET 5 FOR  
ENLARGED PLAN VIEW

TYPICAL FRONT YARD LANDSCAPE  
SEE SHEET 6

TYPICAL FRONT YARD LANDSCAPE  
SEE SHEET 6

15' WIDE UTILITY  
EASEMENT

COUNTY ZONED R-1

EXISTING ZONING F-U-1

**GENERAL**  
The design and provision of landscape for the Oxbow Subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**STREET TREE REQUIREMENTS**  
Street trees along St. Joseph's Drive shall be provided per the requirements of the City of Albuquerque Street Tree Ordinance. Twenty-five (25) trees have been provided as required, and will be placed in informal massings. Street trees are also included along the main east-west street within the subdivision.

**GENERAL PLANT PALETTE**  
This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

**Evergreen Trees (6' Min. Height)**  
Austrian Pine, Scotch Pine, Pinon Pine

**Large Canopy Trees (2" Caliper Min.)**  
Modesto Ash, Skyline Honeylocust, Chinese Pistache, Cottonwood

**Accent Trees (1 1/2" Caliper Min.)**  
Bradford Pear, Eastern Redbud, Flowering Locust, Desert Willow, New Mexico Olive, Chitalpa, Smoke Tree, Chaste Tree

**Shrubs and Groundcovers (1 & 5 Gallon)**  
Juniper Species, Potentilla, Chamisa, Artemisia Species, Red Yucca, Apache Plume, Dalea Species, Barberry, Penstemon Species, Cotoneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species, Hall's Honeysuckle, Virginibower, Virginia Creeper, Rosemary, Santolina, Coyotebush, Evening Primrose, Dwarf Fountain Grass

**Turf Grasses (Seed or Sod)**  
Kentucky Bluegrass (Max. 20% of landscape area)  
Fescue (Max. 20% of landscape area)  
Buffalo/Blue Grama Grass

**Annual Color (4" Pots)**  
By Season

**Mulches**  
Crusher Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch

**Boulders (5' Max. Dimension)**  
Moss Rock and/or Granite

**IRRIGATION SYSTEM**  
Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system shall be the responsibility of Homeowner's Association to be established for the Oxbow Subdivision.

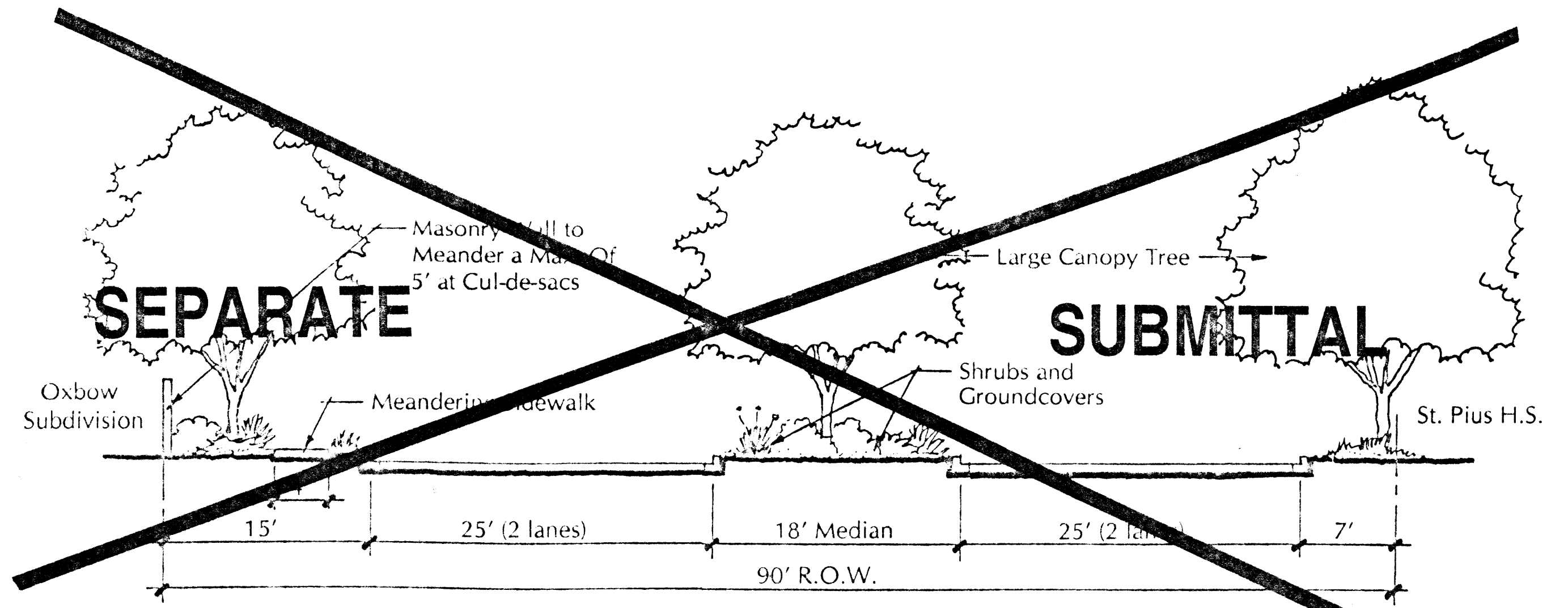
 **CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

# OXBOW SUBDIVISION CONCEPTUAL LANDSCAPE PLAN

REVISION  DRB CONDITIONS

E.P.C. CASE NO. ZONE MAP NO. SHEET 2 OF 8  
F-11 & G-11





Typical Section @ St. Joseph's Drive  
1/8" = 1'-0"

**GENERAL PLANT PALETTE**  
This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

**Evergreen Trees (6' Min. Height)**  
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**Large Canopy Trees (2" Caliper Min.)**  
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**Accent Trees (1 1/2" Caliper Min.)**  
Bradford Pear, Eastern Redbud, Flowering Locust, Desert Willow, New Mexico Olive, Chitalpa, Smoke Tree, Chaste Tree

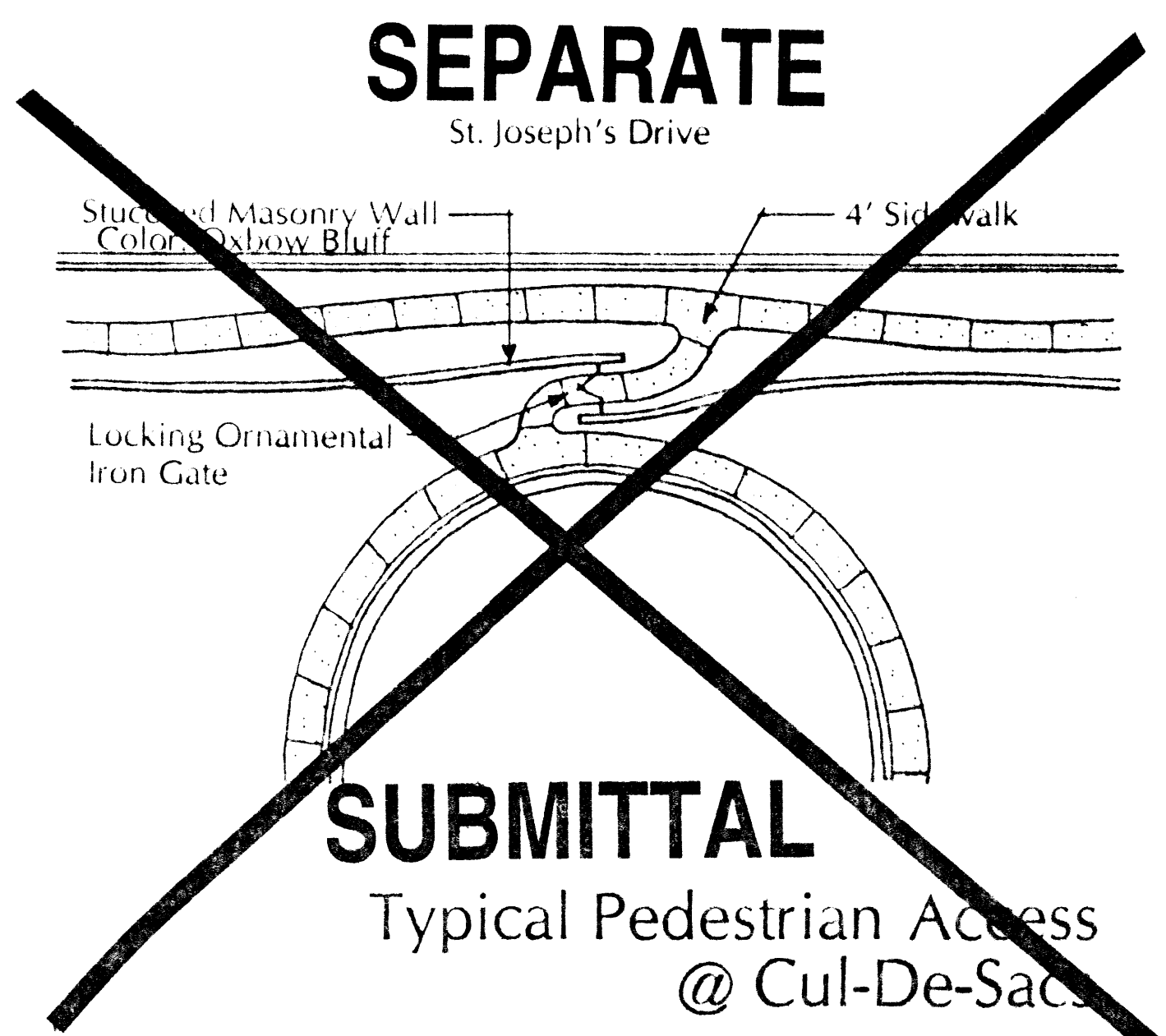
**Shrubs and Groundcovers (1 & 5 Gallon)**  
Juniper Species, Potentilla, Chamisa, Artemisia Species, Red Yucca, Apache Plume, Dalea Species, Barberry, Penstemon Species, Cotoneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species, Hall's Honeysuckle, Virginsbower, Virginia Creeper, Rosemary, Santolina, Coyotebush, Evening Primrose, Dwarf Fountain Grass

**Turf Grasses (Seed or Sod)**  
Kentucky Bluegrass (Max. 20% of landscape area)  
Fescue (Max. 20% of landscape area)  
Buffalo/Blue Grama Grass

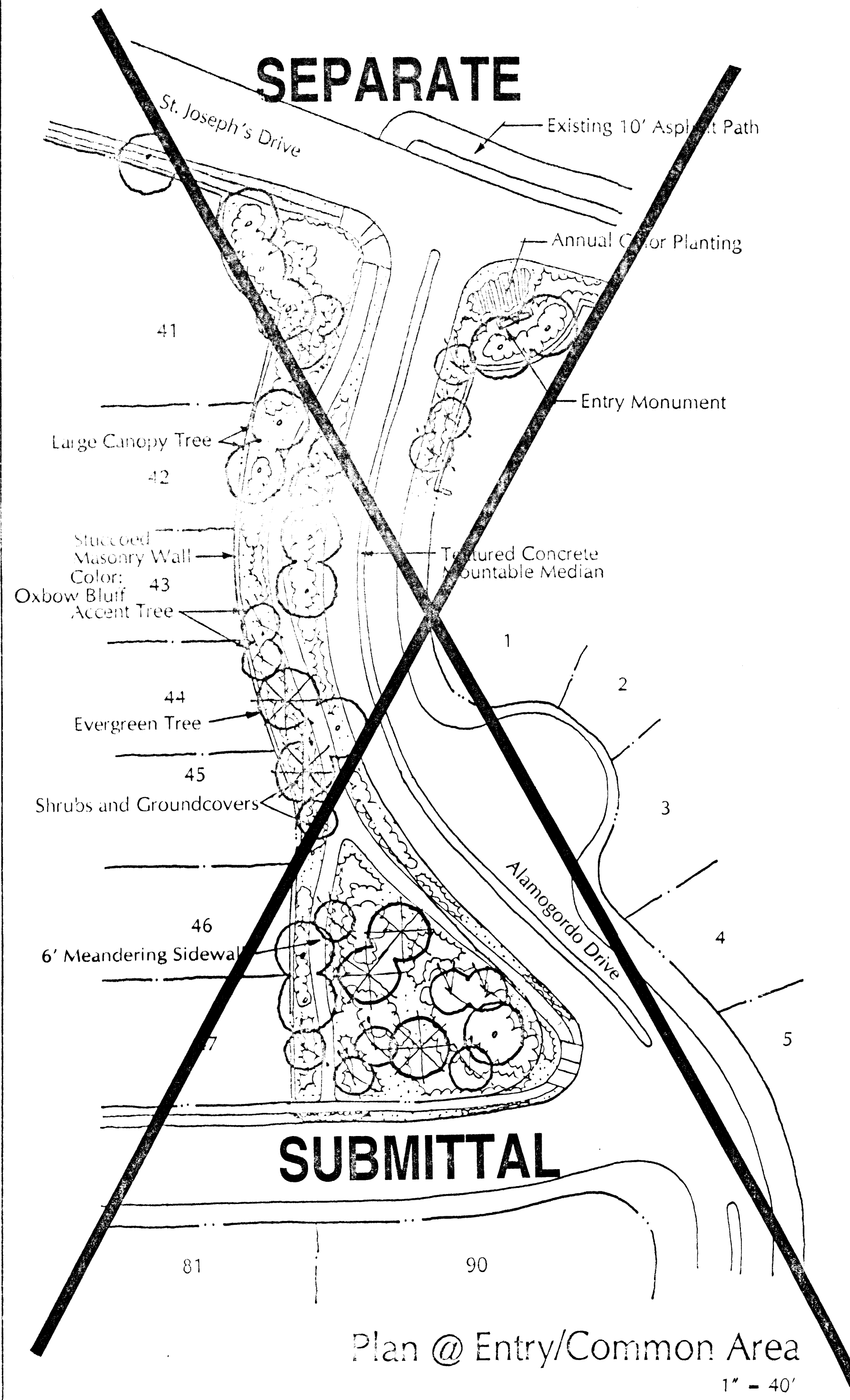
**Annual Color (4" Pots)**  
By Season

**Mulches**  
Crusher Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch

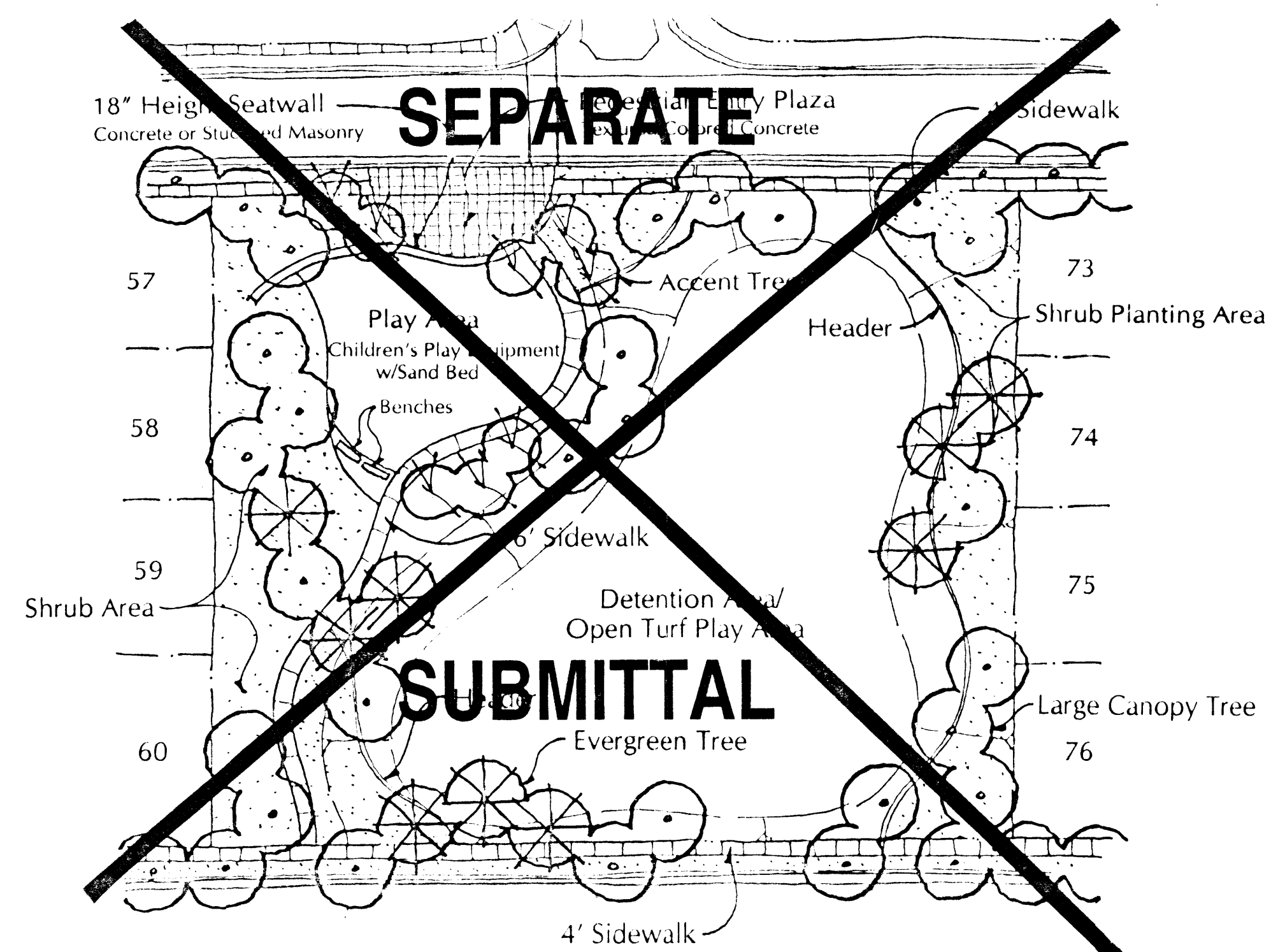
**Boulders (5' Max. Dimension)**  
Moss Rock and/or Granite



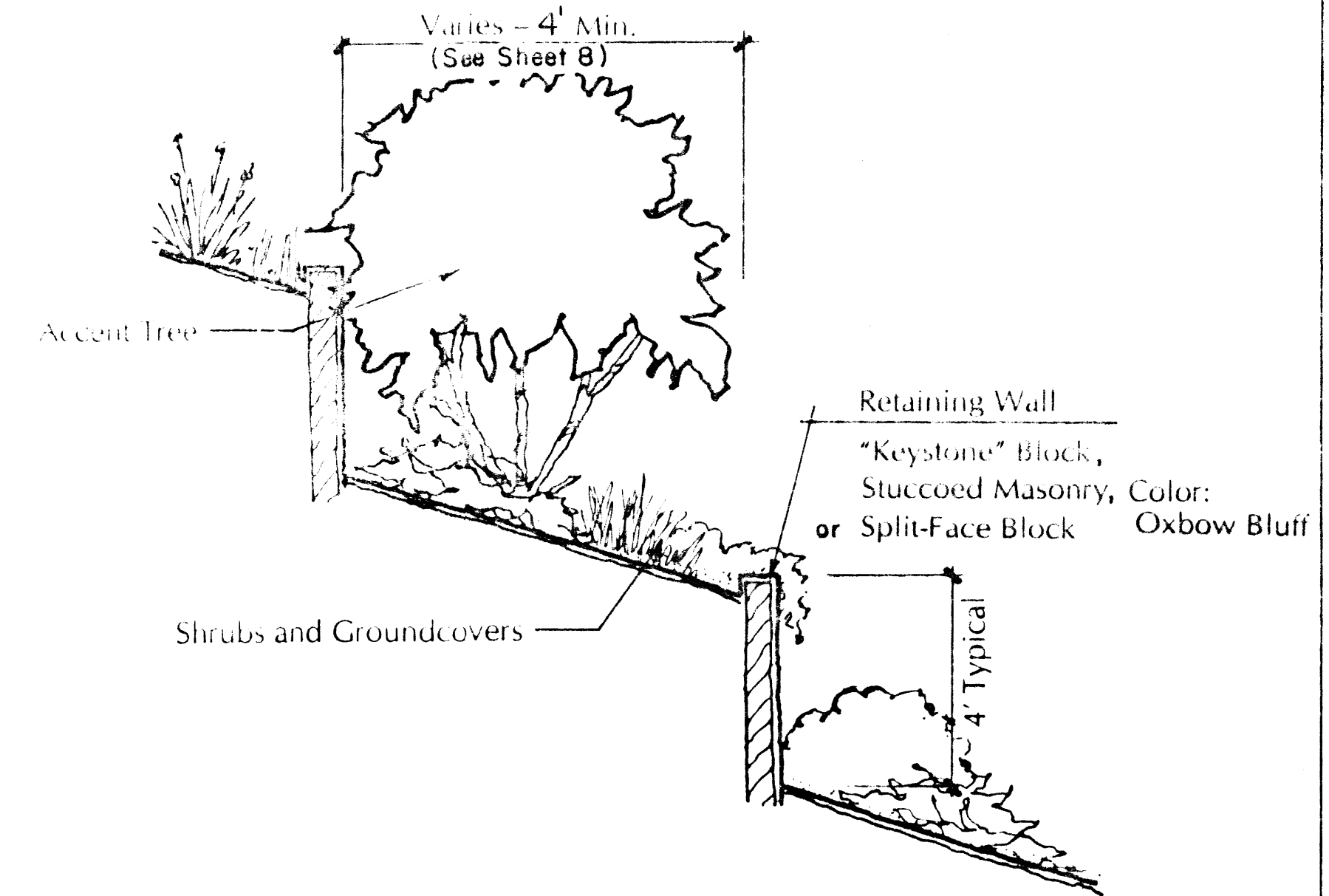
Typical Pedestrian Access  
@ Cul-De-Sacs



Plan @ Entry/Common Area  
1" = 40'



Conceptual Park Area Plan  
1" = 40'



Typical Retaining Wall Section  
3/8" = 1'-0"

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924 Park Avenue SW  
Albuquerque, NM 87102  
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e-mail: cp@consensusplanning.com

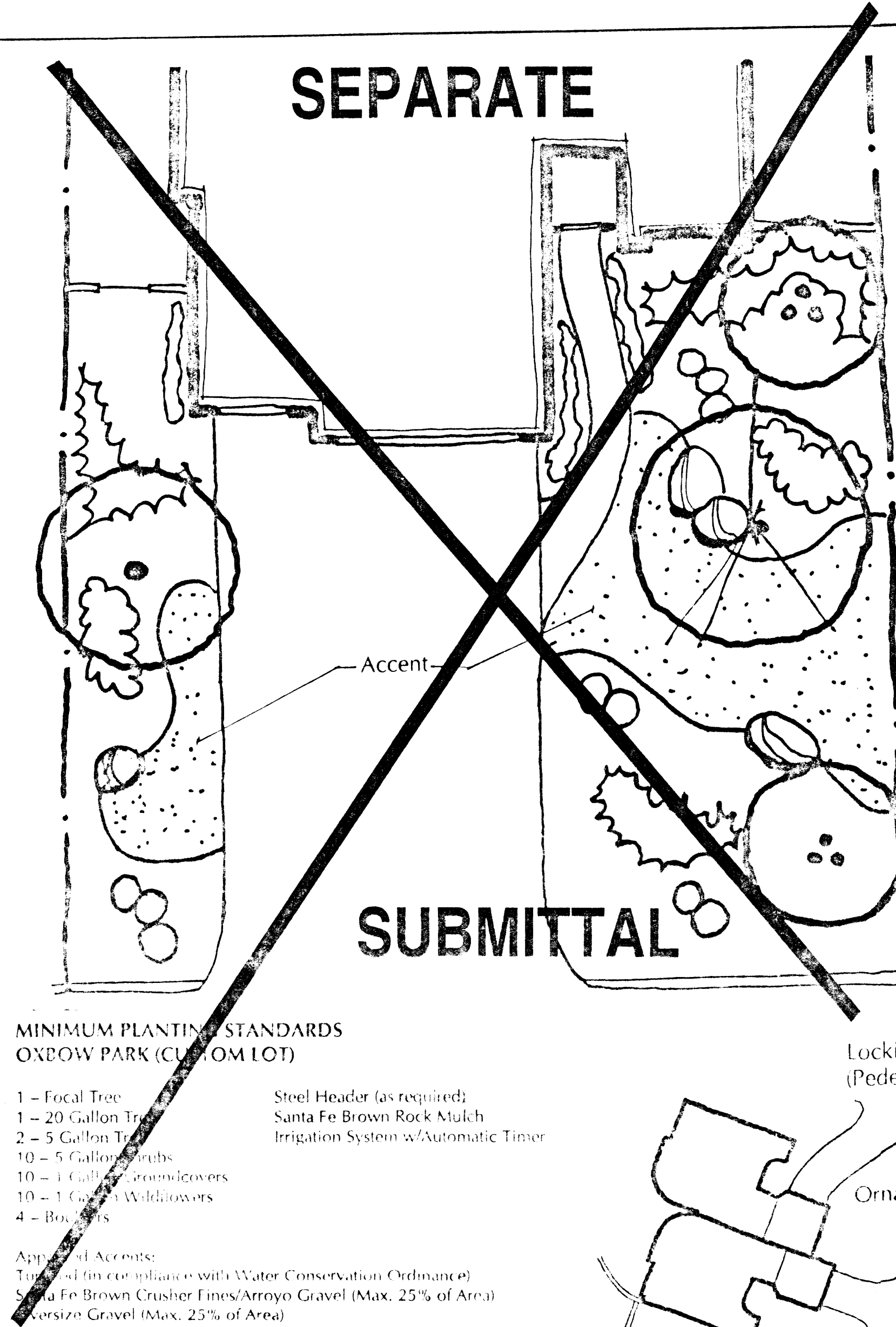
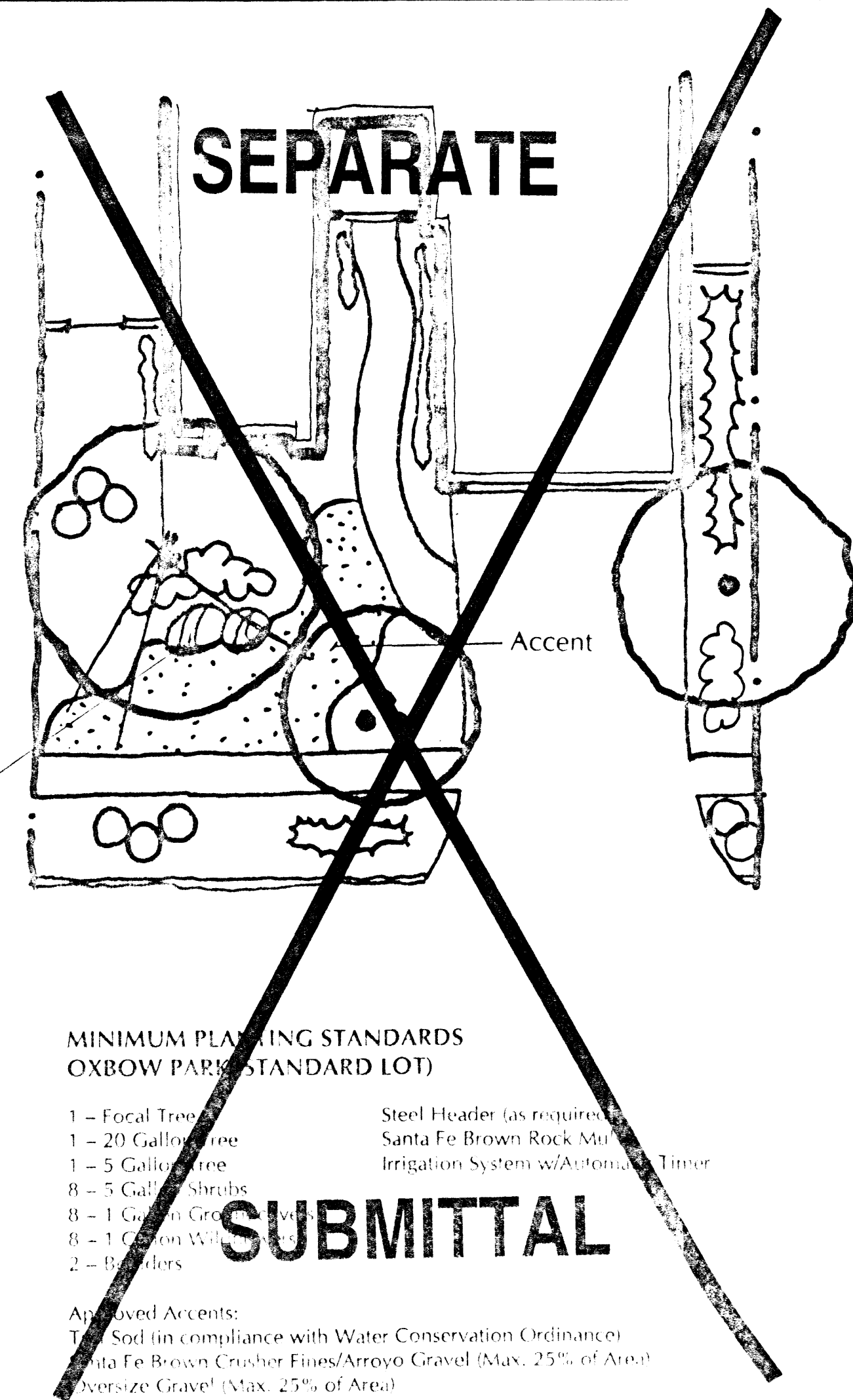
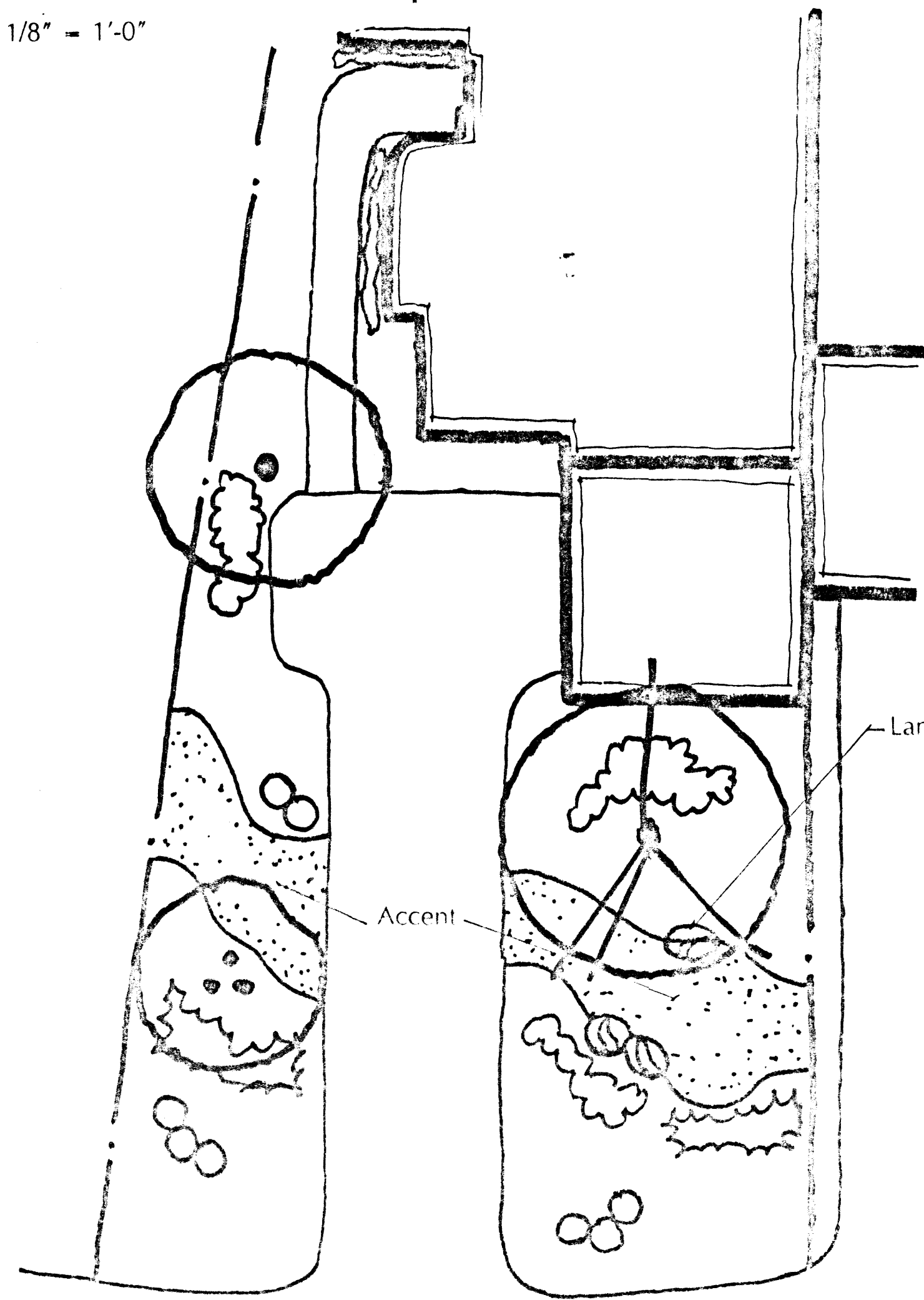
**OXBOW SUBDIVISION**  
**CONCEPTUAL**  
**LANDSCAPE DETAILS**

REVISION  $\Delta$  DRY CONDITIONS



# Front Yard Landscape Plan

1/8" = 1'-0"



**PLANT PALETTE**  
This List is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to approval of the Architectural Control Committee and conformance with the Water Conservation Ordinance.

- Focal Tree**  
6' - 8' Pinon  
6' - 8' Vitex  
6' - 8' New Mexico Olive
- 20 Gallon Tree**  
Chitalpa, Desert Willow, Redbud, Austrian Pine, Scotch Pine, Aspen
- 5 Gallon Tree**  
Smoke Tree, New Mexico Olive, Vitex, Aspen
- 5 Gallon Shrubs**  
Russian Sage, Blue Mist, Chamisa, Apache Plume, Big Sage, Silverberry, Mountain Mahogany, Mugho Pine, Spanish Broom, Red Yucca, Three-Leaf Sumac, Sand Cherry
- 1 Gallon Groundcovers**  
Santolina, Iceplant, Snow-in-Summer, Potentilla, Cotoneaster, Hens-n-Chicks, Winecups, Mexican Primrose, Rosemary
- 1 Gallon Wildflowers**  
Wallflower, Lavender, Penstemon, Red Hot Poker, Blanketflower, Blue Spurge, Siberian Iris, Autumn Sage, Blue Avena Grass

**MINIMUM PLANTING STANDARDS  
OXBOW PARK (STANDARD LOT)**

- 1 - Focal Tree
- 1 - 20 Gallon Tree
- 1 - 5 Gallon Tree
- 8 - 5 Gallon Shrubs
- 8 - 1 Gallon Groundcovers
- 8 - 1 Gallon Wildflowers
- 2 - Boulders

Approved Accents:  
Turf Sod (in compliance with Water Conservation Ordinance)  
Santa Fe Brown Crusher Fines/Arroyo Gravel (Max. 25% of Area)  
Oversize Gravel (Max. 25% of Area)

Steel Header (as required)  
Santa Fe Brown Rock Mulch  
Irrigation System w/Automatic Timer

**SUBMITTAL**

**MINIMUM PLANTING STANDARDS  
OXBOW PARK (CUSTOM LOT)**

- 1 - Focal Tree
- 1 - 20 Gallon Tree
- 2 - 5 Gallon Tree
- 10 - 5 Gallon Shrubs
- 10 - 1 Gallon Groundcovers
- 10 - 1 Gallon Wildflowers
- 4 - Boulders

Approved Accents:  
Turf Sod (in compliance with Water Conservation Ordinance)  
Santa Fe Brown Crusher Fines/Arroyo Gravel (Max. 25% of Area)  
Oversize Gravel (Max. 25% of Area)

Steel Header (as required)  
Santa Fe Brown Rock Mulch  
Irrigation System w/Automatic Timer

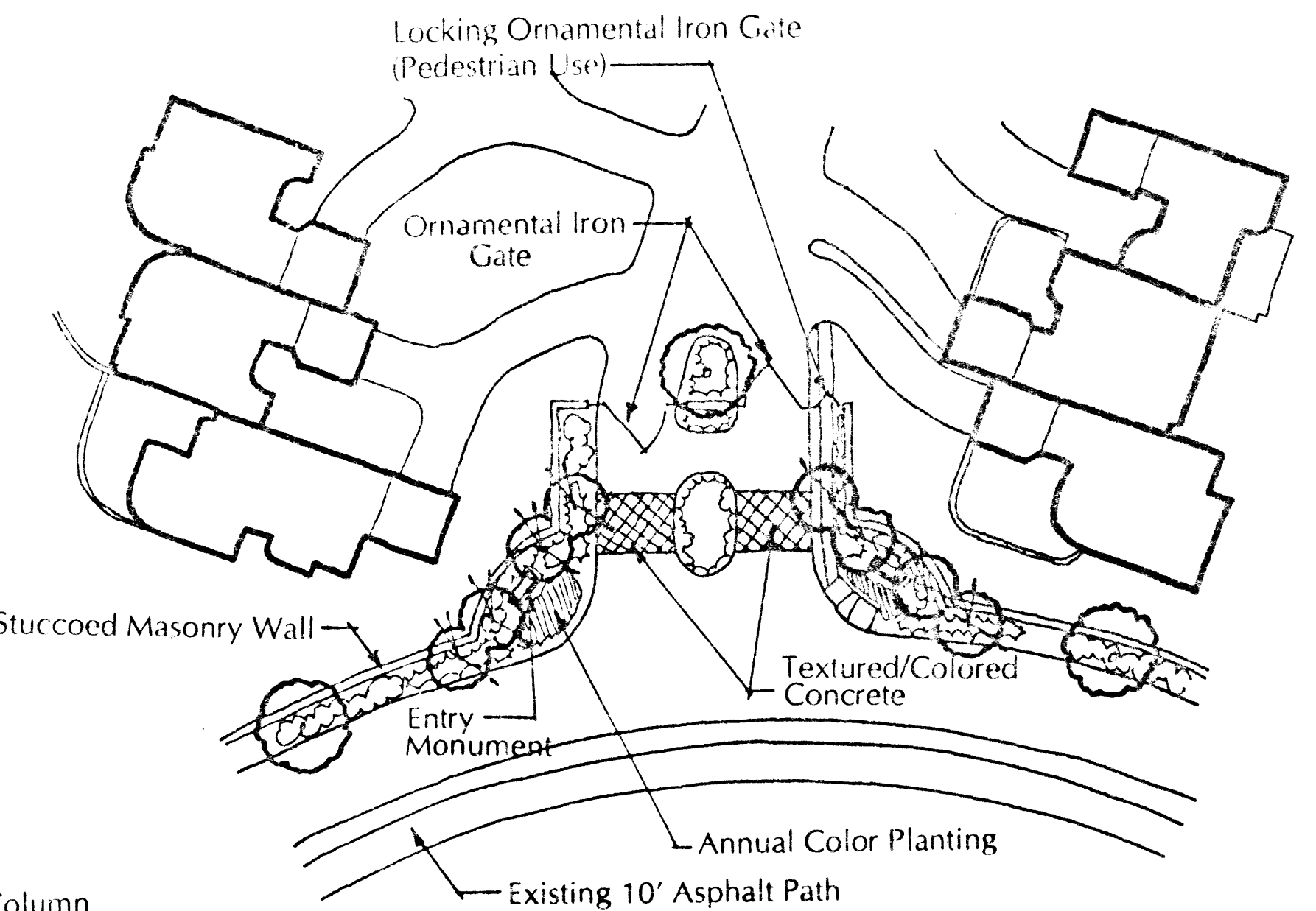
**SUBMITTAL**

**MINIMUM PLANTING STANDARDS  
OXBOW VILLAGE**

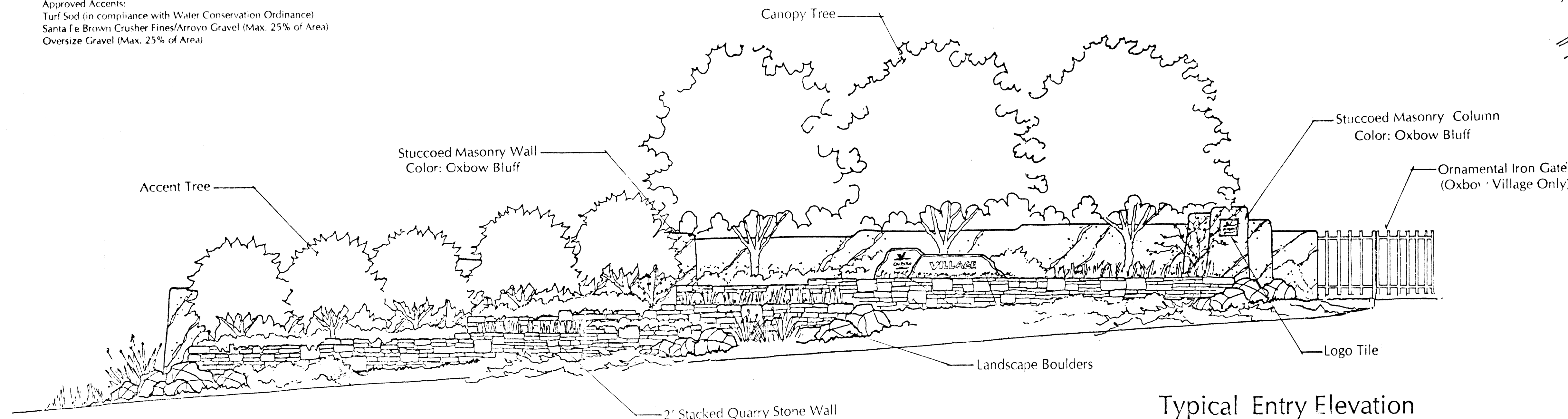
- 1 - Focal Tree
- 1 - 20 Gallon Tree
- 1 - 5 Gallon Tree
- 8 - 5 Gallon Shrubs
- 8 - 1 Gallon Groundcovers
- 8 - 1 Gallon Wildflowers
- 2 - Boulders

Steel Header (as required)  
Santa Fe Brown Rock Mulch  
Irrigation System w/Automatic Timer

Approved Accents:  
Turf Sod (in compliance with Water Conservation Ordinance)  
Santa Fe Brown Crusher Fines/Arroyo Gravel (Max. 25% of Area)  
Oversize Gravel (Max. 25% of Area)



**Townhouse Entry Plan**  
1" = 40'



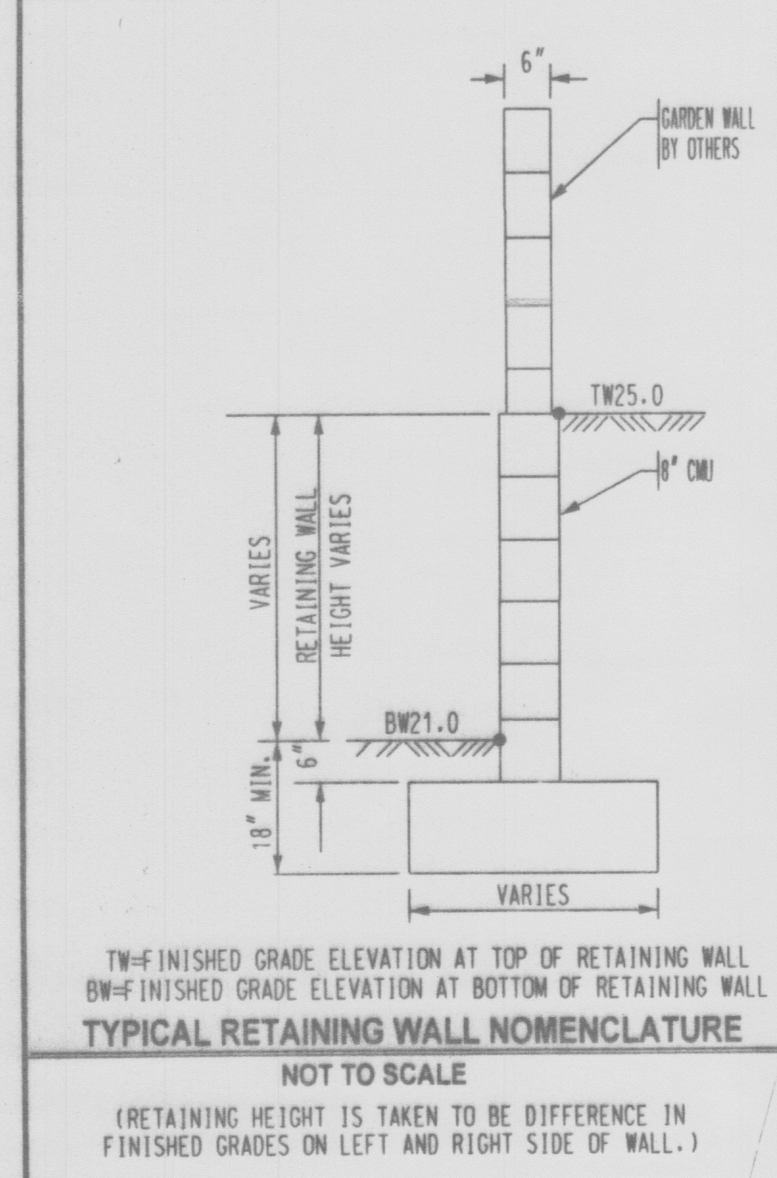
**Typical Entry Elevation**  
3/16" = 1'-0"

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Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

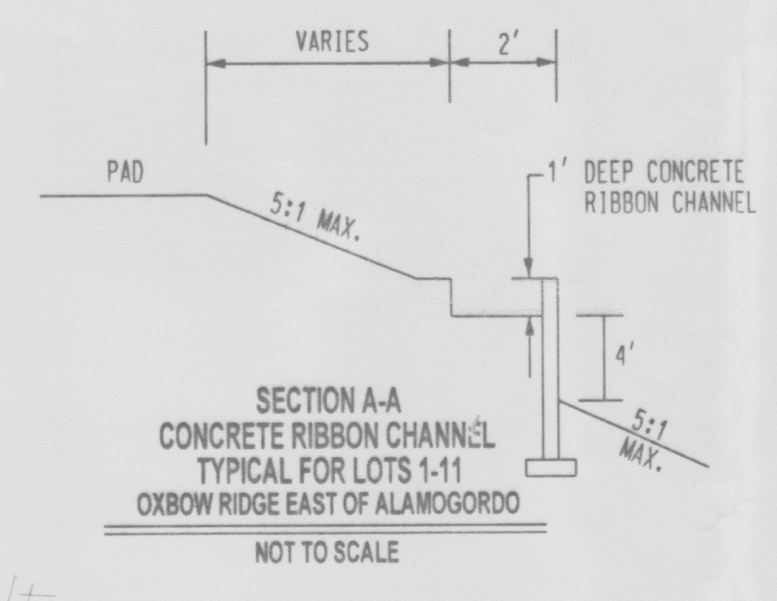
**OXBOW SUBDIVISION  
CONCEPTUAL  
LANDSCAPE DETAILS**

REVISION  $\Delta$  DRB CONDITIONS





EXISTING PARKRIDGE SUBDIVISION

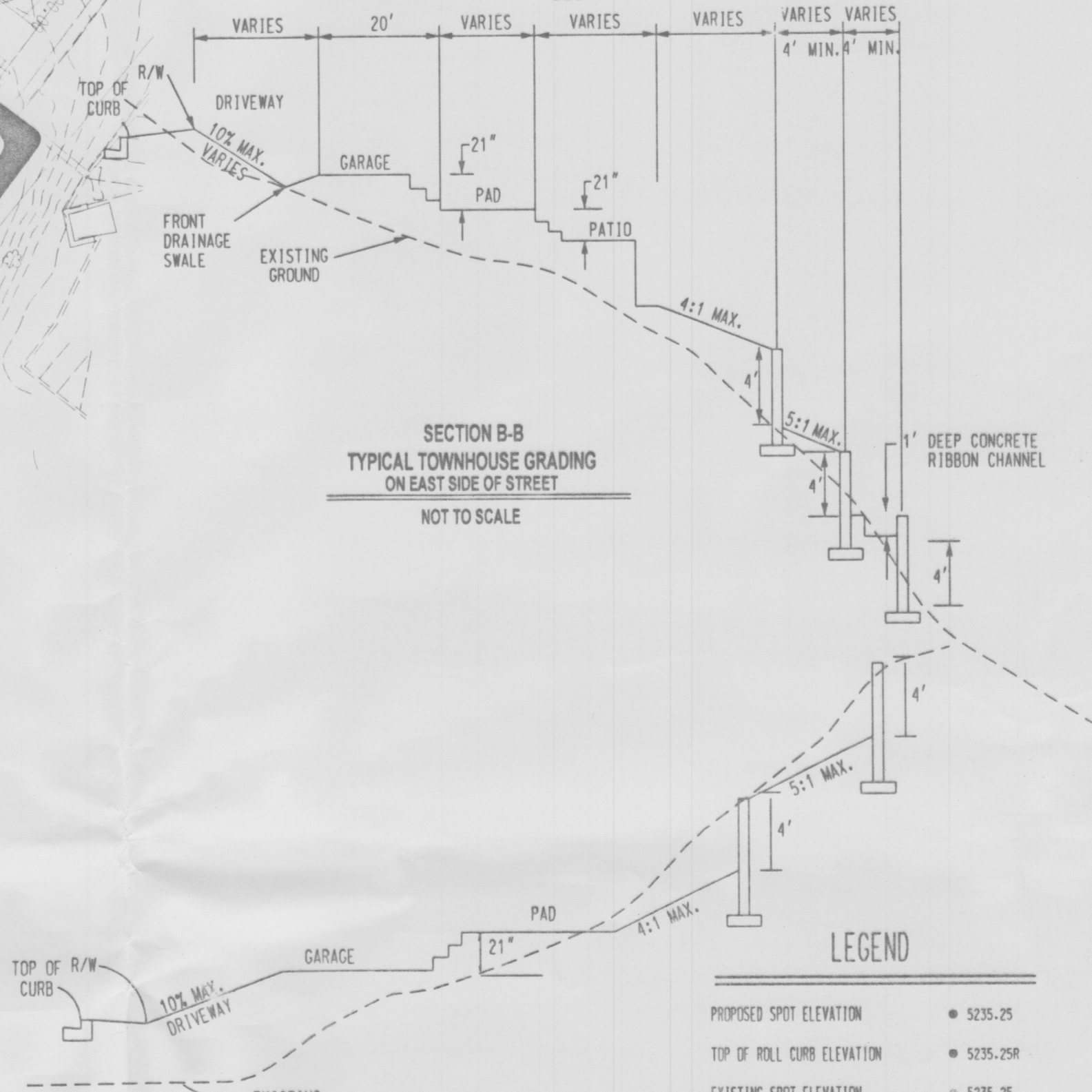


NOTE:  
PAD, BUILDING AND PATIO LOCATIONS SHOWN DEPICT SAMPLE DEVELOPMENT SCENARIO. ACTUAL PAD, BUILDING AND PATIO LOCATION WILL VARY, BUT WILL CONFORM TO SETBACK CONSTRAINTS LISTED IN THE DESIGN GUIDELINES.

- GENERAL NOTES
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER THE DETAIL ON THIS SHEET AND SETTING THE SOIL TO KEEP IT FROM BLOWING AS PER THE EROSION CONTROL DETAIL ON THIS SHEET.
  5. ALL STREET SPOT ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

SEPARATE SUBMITTAL

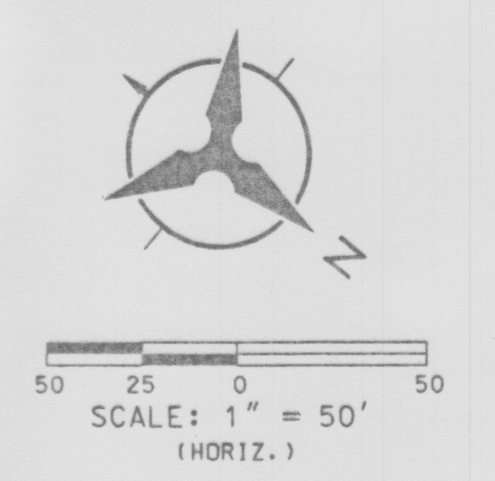
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL  
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL  
TYPICAL RETAINING WALL NOMENCLATURE  
NOT TO SCALE  
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SECTION B-B  
TYPICAL TOWNHOUSE GRADING  
ON EAST SIDE OF STREET  
NOT TO SCALE

SECTION C-C  
TYPICAL TOWNHOUSE GRADING  
ON WEST SIDE OF STREET  
NOT TO SCALE

- LEGEND
- PROPOSED SPOT ELEVATION ● 5235.25
  - TOP OF ROLL CURB ELEVATION ● 5235.25R
  - EXISTING SPOT ELEVATION ○ 5235.25
  - FUTURE SPOT ELEVATION ◊ 5235.25
  - PROPOSED CONTOUR ———
  - EXISTING CONTOUR - - - - -
  - DIRECTION OF FLOW →
  - EXISTING STORM DRAIN LINE - - - - -
  - EXISTING STORM DRAIN MANHOLE [Symbol]
  - PROPOSED STORM DRAIN INLET [Symbol]
  - PROPOSED STORM DRAIN LINE ———
  - PROPOSED STORM DRAIN MANHOLE [Symbol]
  - PROPOSED WATER BLOCK [Symbol]
  - PROPOSED BACKYARD POND [Symbol]
  - EXISTING SAS MANHOLE [Symbol]
  - PIASING BOUNDARY [Symbol]
  - RETAINING WALL [Symbol]
  - RISSON CHANNEL [Symbol]
  - SIDEWALK [Symbol]



NOTE: LOT CONFIGURATION, ROADWAY ALIGNMENT, ROADWAY WIDTH, ETC. MODIFIED TO CONFORM TO E.P.C. CONDITIONS.

NO.	DATE	REVISIONS	BY
2	2/00	DRB CONDITIONS	KGP
1	7/99	PRE-EPC COMMENTS	PLL

OXBOW VILLAGE SUBDIVISION

CONCEPTUAL GRADING PLAN  
SITE PLAN FOR BUILDING PERMIT

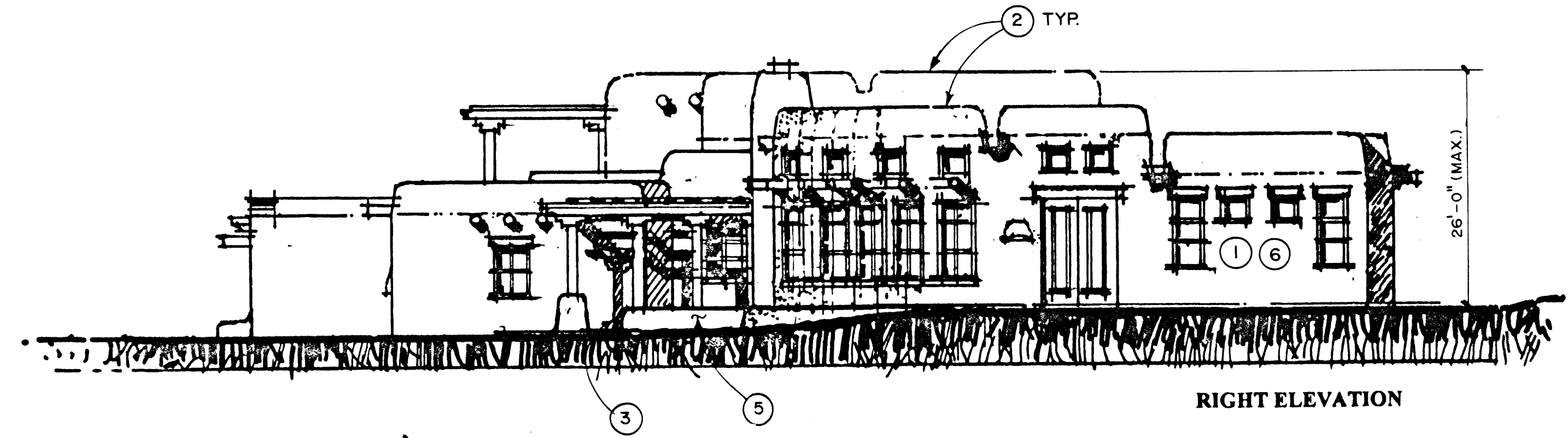
E.P.C. CASE NO.	Z-97-103-1	ZONE MAP NO.	F-11 & G-11	SHEET	5 OF 8
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Countywide One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109  
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

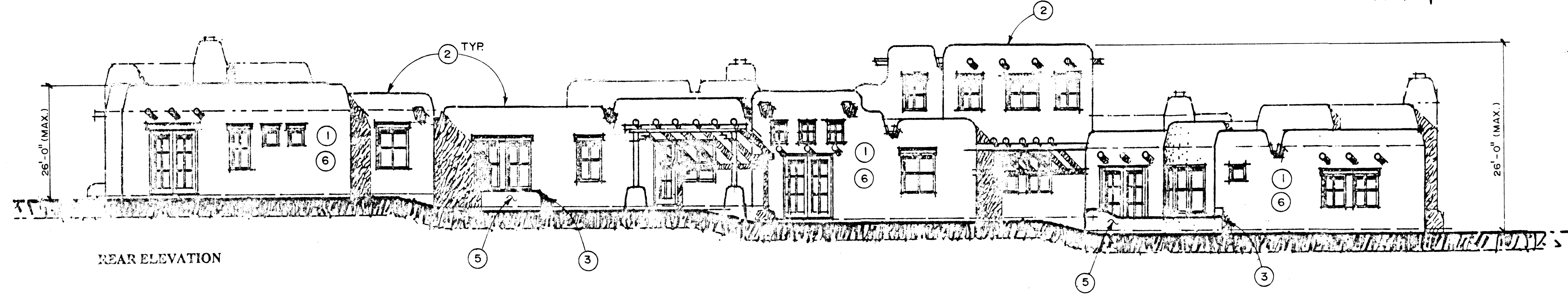




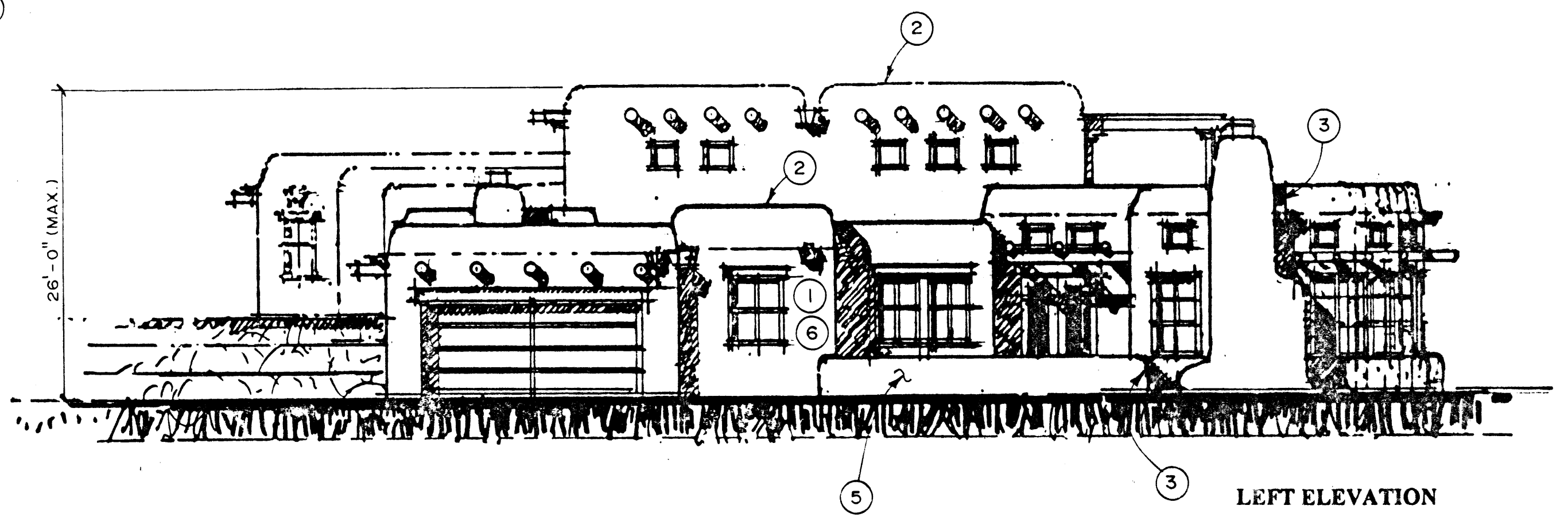
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

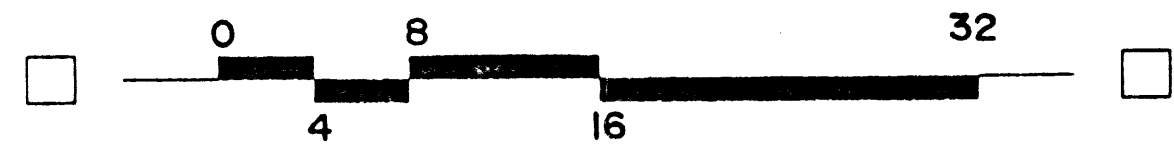


LEFT ELEVATION

KEYED NOTES:

- ① EXTERIOR SURFACE MATERIAL - STUCCO
- ② ROOFS - FLAT WITH VARIABLE HEIGHT PARAPETS
- ③ EXTERIOR TRIM - STUCCO WRAPPED FOAM OR WOOD
- ④ BALCONY RAILING - PAINTED METAL
- ⑤ COURTYARD WALLS - CONCRETE MASONRY UNITS (CMU) WITH STUCCO FINISH TO MATCH UNITS
- ⑥ COLORS - SOUTHWEST COLORS PER OXBOW VILLAGE RESIDENTIAL GUIDELINES

NOTE: THESE DRAWINGS ARE EXAMPLES OF TYPES OF RESIDENTIAL UNITS THAT MAY OCCUR UNDER THE DESIGN GUIDELINES. THEY ARE NOT TYPICAL UNITS, NOR ARE THEY TO SET PRECEDENT FOR EVERY HOUSE AT OXBOW.



SCHEMATIC ELEVATIONS - UNITS 1, 2, 3 AND 4

OXBOW VILLAGE

Albuquerque, New Mexico

Scott Patrick Homes  
Altura West Limited

REVISED JULY, 1999

DRB CONDITIONS  
E.P.C. CONDITIONS

**KTGY GROUP, INC.**  
ARCHITECTURE PLANNING  
17922 MITCHELL SOUTH  
IRVINE, CALIFORNIA 92614  
(949) 851-2199 FAX (949) 851-8188  
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Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

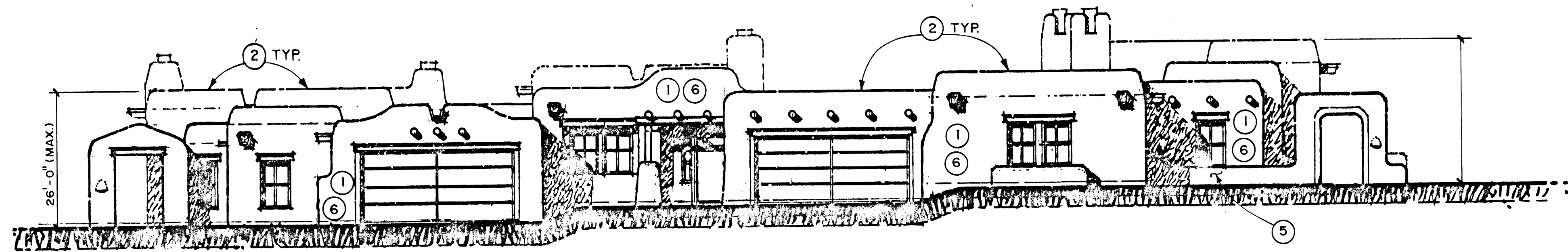
6/23/99

KTGY NO. 99131

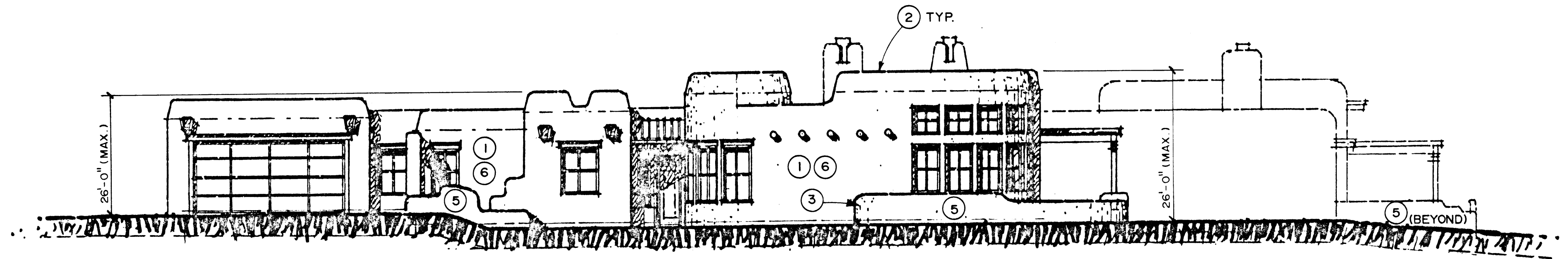
BH JOB No. 100151B 02

SHEET 6 OF 8

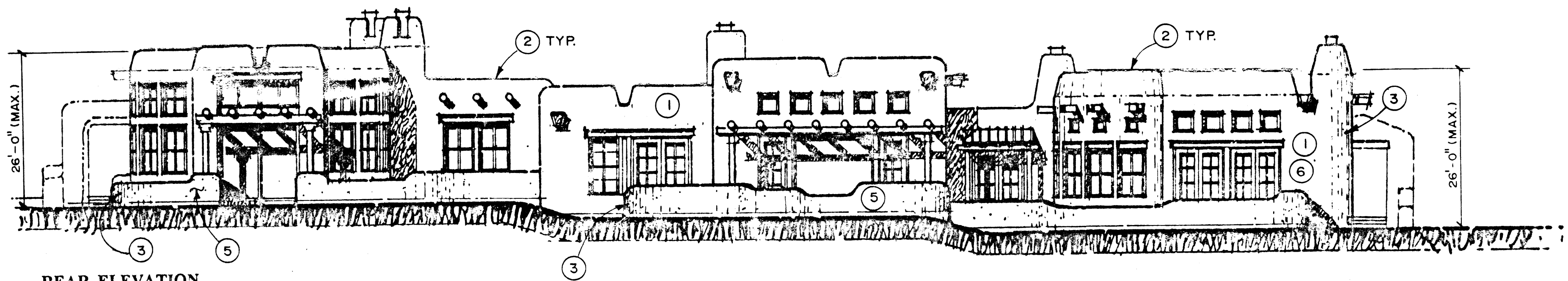




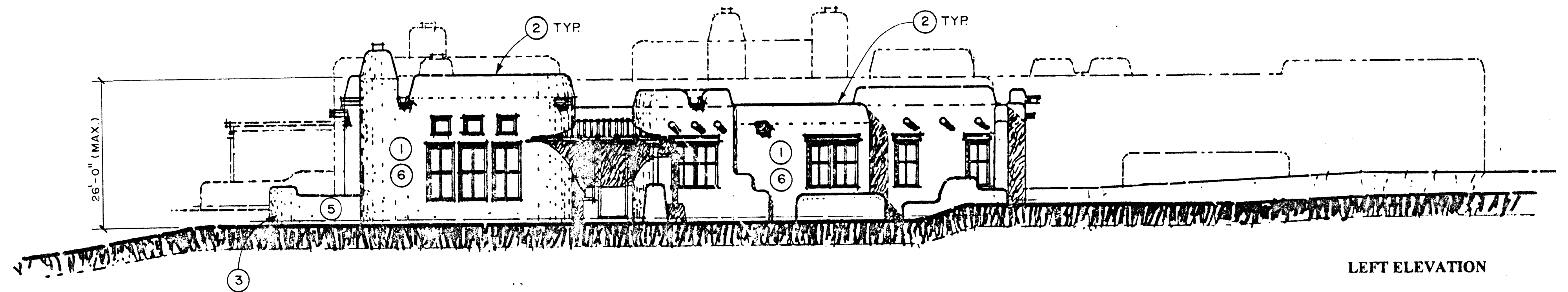
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

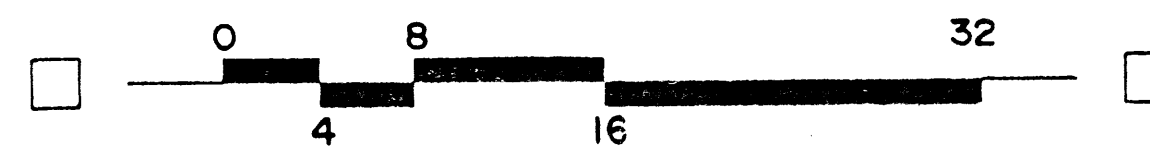


LEFT ELEVATION

KEYED NOTES:

- ① EXTERIOR SURFACE MATERIAL - STUCCO
- ② ROOFS - FLAT WITH VARIABLE HEIGHT PARAPETS
- ③ EXTERIOR TRIM - STUCCO WRAPPED FOAM OR WOOD
- ④ BALCONY RAILING - PAINTED METAL
- ⑤ COURTYARD WALLS - CONCRETE MASONRY UNITS (CMU) WITH STUCCO FINISH TO MATCH UNITS
- ⑥ COLORS - SOUTHWEST COLORS PER OXBOW VILLAGE RESIDENTIAL GUIDELINES

NOTE: THESE DRAWINGS ARE EXAMPLES OF TYPES OF RESIDENTIAL UNITS THAT MAY OCCUR UNDER THE DESIGN GUIDELINES. THEY ARE NOT TYPICAL UNITS, NOR ARE THEY TO SET PRECEDENT FOR EVERY HOUSE AT OXBOW.



# SCHEMATIC ELEVATIONS - UNITS 31, 32, AND 33

## OXBOW VILLAGE

Albuquerque, New Mexico

Scott Patrick Homes  
Altura West Limited

REVISED JULY, 1999

KTGY NO. 99131

① E.P.C. CONDITIONS  
② DRB CONDITIONS

**KTGY GROUP, INC.**  
ARCHITECTURE PLANNING  
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IRVINE, CALIFORNIA 92614  
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ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

6/23/99

BH JOB No. 100151B 02

SHEET 7 OF 8



**DESIGN GUIDELINES FOR OXBOW PARK**

The following are guidelines for homes built in the Oxbow Park subdivision ("Oxbow Park Guidelines"). The construction of homes in the Oxbow Park will be subject to the review of the Oxbow Park Architectural Control Committee (the "OPACC") as described below. Builder will construct all homes within Oxbow Park in compliance with these Guidelines.

**A. Architecture Styles**

All homes must be Pueblo Revival, Pinedale, Territorial, Contemporary Pueblo, or Northern New Mexico style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The OPACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

- Pueblo Revival Style - Pueblo style is called architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo Revival" buildings of historic Santa Fe Pueblo style incorporates recessed set doors and windows, dramatically recessed porches or patios, walled entry corners and edges, radius corners and edges. The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting masonry and soft edged smooth stucco are distinctive features of this style.**
- Pinedale Pueblo Style - A more contemporary pueblo style that incorporates a pitched roof is allowed. For use of the pitched roof style, however, the house must incorporate pueblo style elements so that the house will blend with the southwestern theme of the subdivision. The pitch ratio for this combination will be no greater than 5:12.**
- Territorial Style - Territorial houses are characterized by simple, if not symmetrical, missing, low sloped roofs, brick parapet caps, stucco walls, square corners, and pedimented window and door head trim. Porches and porches are used to complete plus geometries and to add clerical touches to simple masses. The history of masonry dictates that the windows and doors be deep set, but not as dramatically as the Pueblo style. The Territorial style, while closely related to the Pueblo style, is straighter, more formal, more finished and lacks wall to masonry construction techniques. Roofs must be flat. An entry porch is common and a hallmark of the style. Brick shall be used in parapet caps to chimney flues.**
- Contemporary Pueblo Style - Contemporary interpretations of the Pueblo style incorporating large areas of glass and innovative masonry can be designed, with skill, to be in harmony with more traditional masonry. Pitched roof forms will not be allowed in this style. Covered with extending porches of residence are part of this style. The percentage of glass area to wall area, without prior approval of the OPACC, shall not exceed 30% in this style.**
- Northern New Mexico Style - A historic, Northern New Mexico style house was typically a simple Pueblo style or Territorial style residence with a pitched roof added, resulting in a usable attic space. To keep the roof simple, economical, and to conserve heat, the house is designed in a more compact fashion than many other forms. Historically, the roofing material was corrugated metal sheets with a galvanized finish. Colored, standing seam roofs are permitted in a variety of colors. Porches have shed roofs or a lower pitch than the main roof and are also used. Upper level rooms are typically half the roof, creating cathedral ceilings and characteristic dormer windows. An entry porch is common and a hallmark of the style. Roof materials and orientation shall be designed to minimize reflection and glare. Maximum pitch of roof is 8 inches per foot.**
- Any pitched roof must be non-reflective concrete or slate tile or non-reflective metal and of a color that blends with or closely matches the color of the walls, trim and leaves. Additional colors may be approved by the OPACC on an individual basis.**

**B. Building Massing**

For all of the architecture styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the OPACC. The front and rear (if adjacent to a street) elevations must contain at least three building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectangular form, consisting of a roof and at least three (3) walls.

**DESIGN GUIDELINES FOR OXBOW VILLAGE**

The following are guidelines for townhomes built in the Oxbow Village subdivision ("Oxbow Village Guidelines"). The construction of townhomes in the Oxbow Village will be subject to the review of the Oxbow Village Architectural Control Committee (the "OVACC") as described below. Builder will construct all townhomes within Oxbow Village in compliance with these Guidelines.

**A. Architecture Style**

All townhomes must be Pueblo Revival style. Below are described characteristics of the style. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of the style and adheres to the Guidelines. The OVACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

**Pueblo Revival Style - Pueblo style is called architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo Revival" buildings of historic Santa Fe, Pueblo Revival style incorporates recessed set doors and windows, dramatically recessed porches or patios, walled entry corners and edges, radius corners and edges, and is always finished in earth tone adobe. The Pueblo Revival style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting masonry and soft edged smooth stucco are distinctive features of this style. Pueblo Revival style can also include some small shed tile roofs as accents.**

**B. Building Massing**

Building massing is critical especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the OVACC. The front and rear (if rear faces to east) elevations must contain at least three building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectangular form, consisting of a roof and at least three (3) walls.

**C. Garages**

- Each townhome must have a garage for not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
- Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").

**D. Windows**

All exterior windows and frames of windows must be white or a tan color.

**C. Garages**

- Each home must have a garage for not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
- Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").
- A maximum of 3 garage doors in a row shall be permitted directly facing the street in lot types R, C and D. (As directed on sheet 1 of 14)

**D. Windows**

All exterior windows and frames of windows must be white or tan color.

**E. Stucco's**

An effort will be made to have a variety of front yard setbacks and to develop a randomness in the different setbacks. The minimum setbacks are as follows:

- Front yard setback
  - No house shall be constructed within ten feet (10') from the front property line of a lot.
  - The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
- Minimum of 1 out of every 3 houses shall be placed at a setback distance of at least 5' greater or less than the other 2 houses.
- Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
- Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

**F. Minimum Square Footage**

Each home must have at least 1,350 square feet of fully enclosed heated area, exclusive of garages and porches and patios.

**G. Materials and Pre-Approved Building Colors**

- All homes must be finished with synthetic stucco. Subject to OVACC approval, the only colored stucco finishes that will be allowed on homes are the following:
  - Sto Flex Adobe Brown (#1104)
  - Sto Flex Sandia (#1616)
  - Sto Flex Pueblo (#1005)
  - Sto Flex Santa Fe (#1006)
  - Sto Flex Santa Fe Adobe (#1003)
  - Sto Flex Tarragon for High Desert (#1501A)
  - USG Oxbow Bluff (Building Specialties)
- If a brand of synthetic stucco is used other than Sto or USG, the color must match one of the above colors. Additional colors may be approved by the OVACC on an individual basis.
- Stone and/or tile may be used as an accent feature.

**H. Building Height**

Houses or improvements on any lot shall not exceed nineteen feet (19') for single-story. The maximum height allowed for two story homes is twenty-six feet (26'). The height is measured from the unengaged pad elevation to the highest point of the parapet or to the highest point on the roof, exclusive of chimneys.

- The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.
- The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
- Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

**E. Setbacks**

The arrangement and placement of houses close to or back from the street creates interesting different visual patterns and impressions of the street. The following setbacks are intended to provide some structure to ensure visual integrity within the Oxbow Village Subdivision. The setbacks are as follows:

- Front yard setback
  - No house shall be constructed within ten feet (10') from the front property line of a lot.
  - The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
- Minimum of 1 out of every 3 houses shall be placed at a setback distance of at least 3' greater or less than the other 2 houses.
- No side yard setback is required except separation between detached units shall be no less than ten feet (10').
- Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

**F. Minimum Square Footage**

Each townhome must have at least 1,600 square feet of fully enclosed heated area, exclusive of garages and open porches and patios.

**G. Materials and Pre-Approved Building Colors**

- All homes must be finished with synthetic stucco. Subject to OVACC approval, the only colored stucco finishes that will be allowed on homes are the following:
  - Sto Flex Adobe Brown (#1104)
  - Sto Flex Sandia (#1616)
  - Sto Flex Pueblo (#1005)
  - Sto Flex Santa Fe (#1006)
  - Sto Flex Santa Fe Adobe (#1003)
  - Sto Flex Tarragon for High Desert (#1501A)
  - USG Oxbow Bluff (Building Specialties)
- If a brand of synthetic stucco is used other than Sto or USG, the color must match one of the above colors. Additional colors may be approved by the OVACC on an individual basis.
- Stone and/or tile may be used as an accent feature.

**H. Building Height**

Townhouses or improvements on any lot shall not exceed nineteen feet (19') for a one-story home and two-story homes shall not exceed twenty-six feet (26'). The height is measured from the unengaged pad elevation to the highest point of the parapet.

- The maximum area of the second story of a house shall be no more than fifty percent (50%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,000 s.f.
- The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
- Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.
- Townhomes with two stories may only be built on lots on the west half of Oxbow Village.

**I. Landscaping**

- Approval. Plans for front yard landscaping must be submitted for approval prior to the start of construction of landscaping to the OPACC and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
- Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

**1. Site Lighting**

- Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
- The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 27 feet.

**K. Mechanical Equipment**

- Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
- Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

Fireplaces and/or stoves shall be limited to gas logs and Environmental Protection Agency approved wood-burning devices. No ordinary wood-burning fireplaces shall be installed in any residential dwelling unit.

**M. Walls**

- Subdivision Walls. The perimeter subdivision wall shall be concrete masonry unit (CMU) with stucco finish and will be installed and paid for by the Developer. The wall height shall be no more than eight feet (8') and no less than four feet (4') as measured from the street side of the wall. To back up a long wall plane, the wall along St. Joseph's shall maintain a minimum of five feet (5') to a minimum of two hundred fifty feet (250') increments.
- Site Walls
  - All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner at the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Oxbow Park Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
  - No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
  - A house abutting on a corner where such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension, subject to possible redesignation by the OPACC upon the request of the owner of any such house.

Courtyard walls. Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the OPACC.

**I. Landscaping**

- Approval. Plans for front yard landscaping must be submitted for approval prior to the start of construction of landscaping to the OVACC and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
- Timing of installation. All front yard landscaping, and all side yard landscaping (if the townhome is on a corner), must be completed by the builder no later than two months after completion of construction of the townhome, but in any event no later than the date of occupancy of the townhome.

**1. Site Lighting**

- Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
- The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 12 feet.

**K. Mechanical Equipment**

- Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
- Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

**L. Fireplaces**

Fireplaces and/or stoves shall be limited to gas logs and Environmental Protection Agency approved wood-burning devices. No ordinary wood-burning fireplaces shall be installed in any residential dwelling unit.

**M. Walls**

- Subdivision Walls. The northern perimeter subdivision wall shall be concrete masonry unit (CMU) with stucco finish and will be installed and paid for by the Developer.
  - All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Oxbow Village Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
  - No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- Courtyard walls. Courtyard walls are required, with the approval of the OVACC, within the setback lines and shall be constructed of materials, finish, and color that are complementary to the house.

**N. Mailboxes**

"Cluster-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

**O. Review for Compliance**

The compliance of any structure or improvement within the Oxbow Park will be reviewed by the OPACC.

In order for the OPACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the OPACC):

- One complete set of plans, including but not limited to, foundations, floor plans, elevations, details, plot plan, OPACC submitted sheet, landscaping plans and the finished grade of the structure or improvement on the lot.

Within 15 days of receipt of the plans, the OPACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

**P. Vacant Lots; Destruction**

- There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Oxbow Park Subdivision.
- The Owner of a lot within the Oxbow Park Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.

**Q. Restricted Activities**

- The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
- The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently is prohibited without the prior approval of the OPACC.
- The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the OPACC and must be of simple architectural design as the house.

**R. Private Neighborhood Park**

A small private neighborhood park is proposed adjacent to the subdivision. Elements to be provided include a small children's play area with benches, and a small open play lot area. Elements of the park shall be designed for complete landscaping accessibility. The landscape treatment for the park will be comprised of large shrubs from flowering accent trees, and natural groupings of native grass material. Development of the park shall conform to the City of Albuquerque Water Conservation Landscaping and Waste Waste Ordinance, and the City's standards for park construction.

**S. Pedestrian Circulation**

Pedestrian circulation for residents for the Oxbow Park is an important benefit. Accordingly, sidewalks and/or pedestrian bicycle pathways are anticipated in, from and throughout the development. These pathways lead to the existing pedestrian bicycle network constructed along Oxbow Drive, and leading to, from the Oxbow market area. Access gates will be installed at locations along St. Joseph's Drive to provide for access to Oxbow Park residents.

**N. Mailboxes**

"Cluster-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

**O. Review for Compliance**

The compliance of any structure or improvement within the Oxbow Village will be reviewed by the OVACC.

In order for the OVACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the OVACC):

- One complete set of plans, including but not limited to, foundations, floor plans, elevations, details, specifications, plot plan, OVACC submitted sheet, landscaping plans.

Within 15 days of receipt of the plans, the OVACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

**P. Vacant Lots; Destruction**

- There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Oxbow Village Subdivision.
- The Owner of a lot within the Oxbow Village Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.

**Q. Restricted Activities**

- The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a lot for no more than ten (10) days per year.
- With the approval of the OVACC, one or more lots may be combined through replatting of the lots to form one lot and one building site.
- The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the OVACC.
- The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the lot, is prohibited unless approved in writing by the OVACC.

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**OXBOW SUBDIVISION TRACTS B AND E (FORMERLY KNOWN AS PARCELS C,D,E & a PORTION OF F) DESIGN GUIDELINES**

3	2/00	DRB CONDITIONS	KGP
2	10/99	EPC CONDITIONS	ORO
1	7/99	PRE-EPC COMMENTS	PLL
NO.	DATE	REVISIONS	BY

E.P.C. CASE NO. Z-97-103-1

ZONE MAP NO. F-11 & G-11

SHEET 6 OF 8

**THE OXBOW SUBDIVISION DESIGN GUIDELINES**  
 ALBUQUERQUE, NEW MEXICO  
 JUNE 1999  
 REVISED JULY 1999