

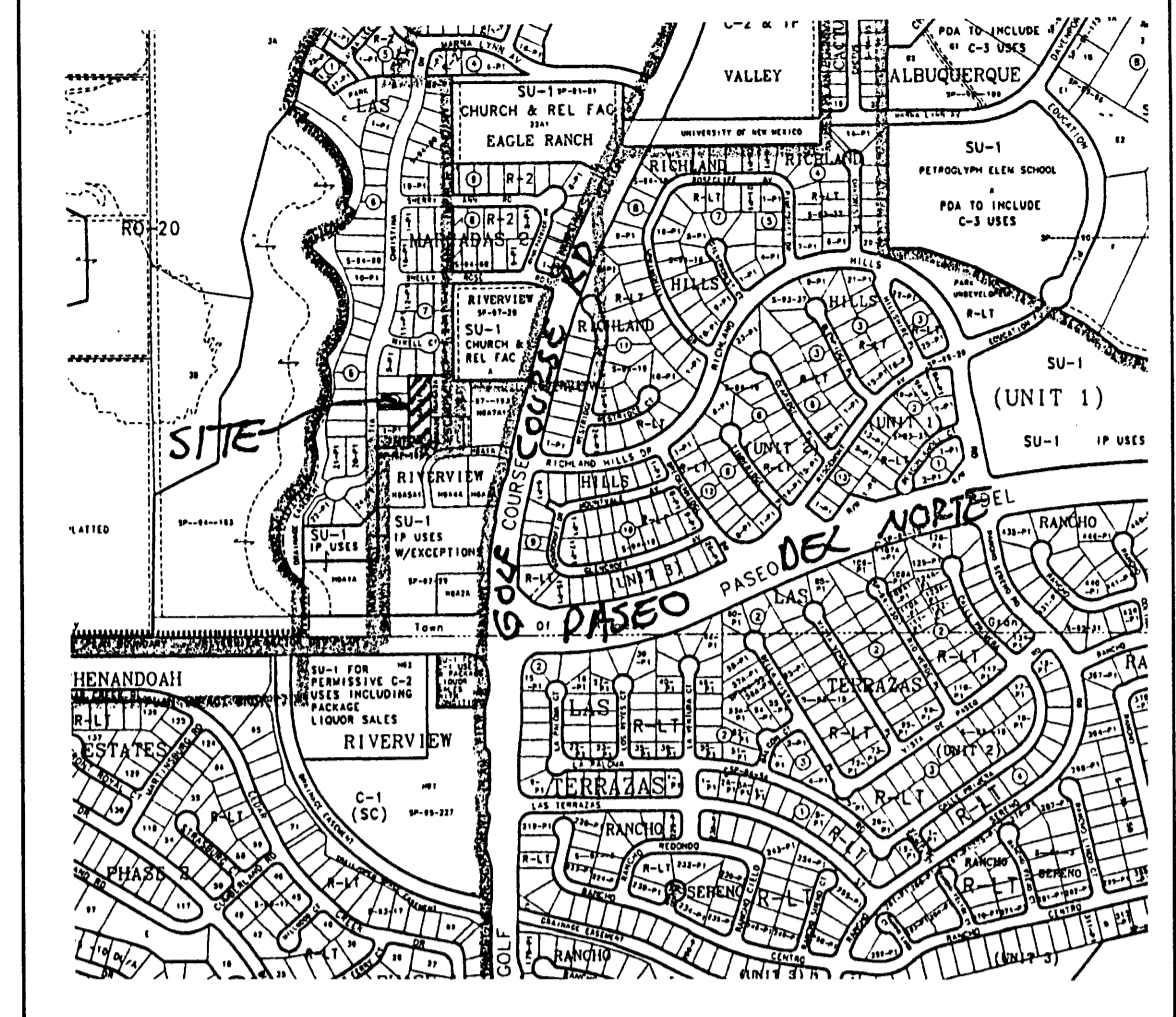
00450-00000-00304

CASE NUMBER : Z-99-124

This plan is consistent with the specified site development plan approval by the Environmental Planning Commission (EPC) on November 18, 1999 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Michael Park</i>	3-8-00
Traffic Engineer, Transportation Division	Date
<i>Shirley A. Gray</i>	3-8-00
Parks & Recreation	Date
<i>Roger L. Khan</i>	3-8-00
Public Works, Water Utilities Division	Date
<i>Sam Calogian</i>	3-8-00
City Engineer, Engineering Division / AMAFCA	Date
<i>Shirley Kay Baca/SWMD</i>	3-8-00
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
<i>Just</i>	3/14/00
City Planner, Albuquerque	Date



VICINITY MAP ZONE MAP: C-12-Z

LEGAL DESCRIPTION
 PARCEL H-6A6A1A RIVERVIEW PARCELS WITHIN THE TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

Project # 100299

New Mexico Utilities Inc. *BS* 2-27-00 Date

SITE PLAN NOTES

- 1 All Construction Shown is Proposed Unless Otherwise Noted. Site is Within New Mexico Utilities Inc. (NMU Inc.) Franchise Area. Water & Sewer System Shall Be Based On NMU Inc. Capabilities. However, Water & Sanitary Sewer Services Must Be Approved By Both NMU Inc. & City of Albuquerque.
- 2 25' Private Access Easement
- 3 3" Asphalt Paving
- 4 Standard Curb & Gutter
- 5 Extruded Concrete Curb Typical (See Grading & Drainage Plan)
- 6 Landscaping Area (See Landscaping Plan)
- 7 Transformer By Utility Company (PNM) With Underground Conduit To Adjacent Site.
- 8 Bicycle Rack : (2 Required, 2 Provided)
- 9 Monument Sign : 32 Sq. Ft. (See Elevations)
- 10 Trash Receptacle Enclosure Per Solid Waste : Material To Match Buildings
- 11 Landscape Buffer (See Landscape Plan)
- 12 CMU Retaining Wall To Match Buildings, See Drainage Plan For Height
- 13 Electric Meters
- 14 Ramp : Slope 1:12 (See Grading & Drainage Plan)
- 15 Concrete Walk Typical
- 16 2' Sidewalk Culvert (See Grading & Drainage Plan)
- 17 Fire Hydrant With 6" PVC & 6" Gate Valve Within 300' Of Building "B"
- 18 Water Meters: 2 Domestic & 1 Irrigation
- 19 Natural Gas Meters
- 20 1' Concrete Drainage Channel (See Grading & Drainage Plan)
- 21 3:1 Slope
- 22 6" Sanitary Sewer Service
- 23 PRIVATE SANITARY SEWER AND WATERLINE EASEMENT

SITE PLAN NOTES

DESCRIPTION : Parcel H-6A6A1A
 Riverview Parcels
 Albuquerque, NM

ADDRESS : 8625 Golf Course Road
 Albuquerque, NM

AREA : 0.6561 Acres (28580 Sq. Ft.)
 ZONED : SU-1/IP
 SEISMIC ZONE : 2B
 ZONE ATLAS : C-12-Z
 OCCUPANCY : OFFICE BLDG.
 BUILDING AREA : Building "A" : 3060 Sq. Ft.
 Building "B" : 3048 Sq. Ft.
 Total : 6108 Sq. Ft.

PARKING : Required : 31 Spaces
 Provided : 32 Spaces
 Handicapped Required : 2
 Handicapped Provided : 2

LANDSCAPING : Required Area : 3158 Sq. Ft.
 Provided Area : 4940 Sq. Ft.

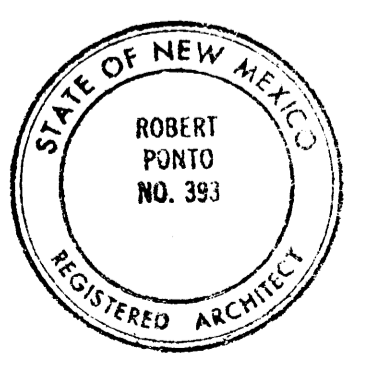
CONST TYPE: **MIN**

THE COLOR OF THE METAL ROOF, WINDOW FRAMES AND DOOR FRAMES TO BE A MEDIUM GREY-GREEN IN ACCORDANCE WITH THE APPENDIX E, APPROVED COLORS OF THE "NORTHWEST MESA ESCARPMENT PLAN".

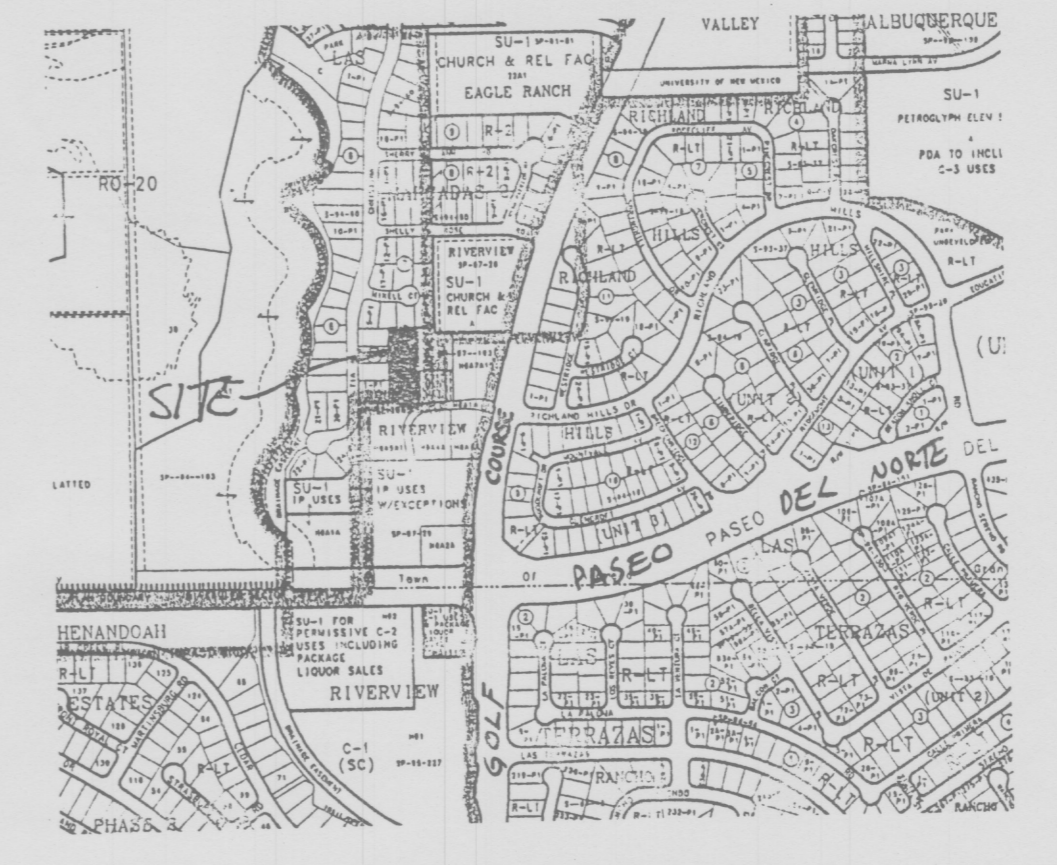
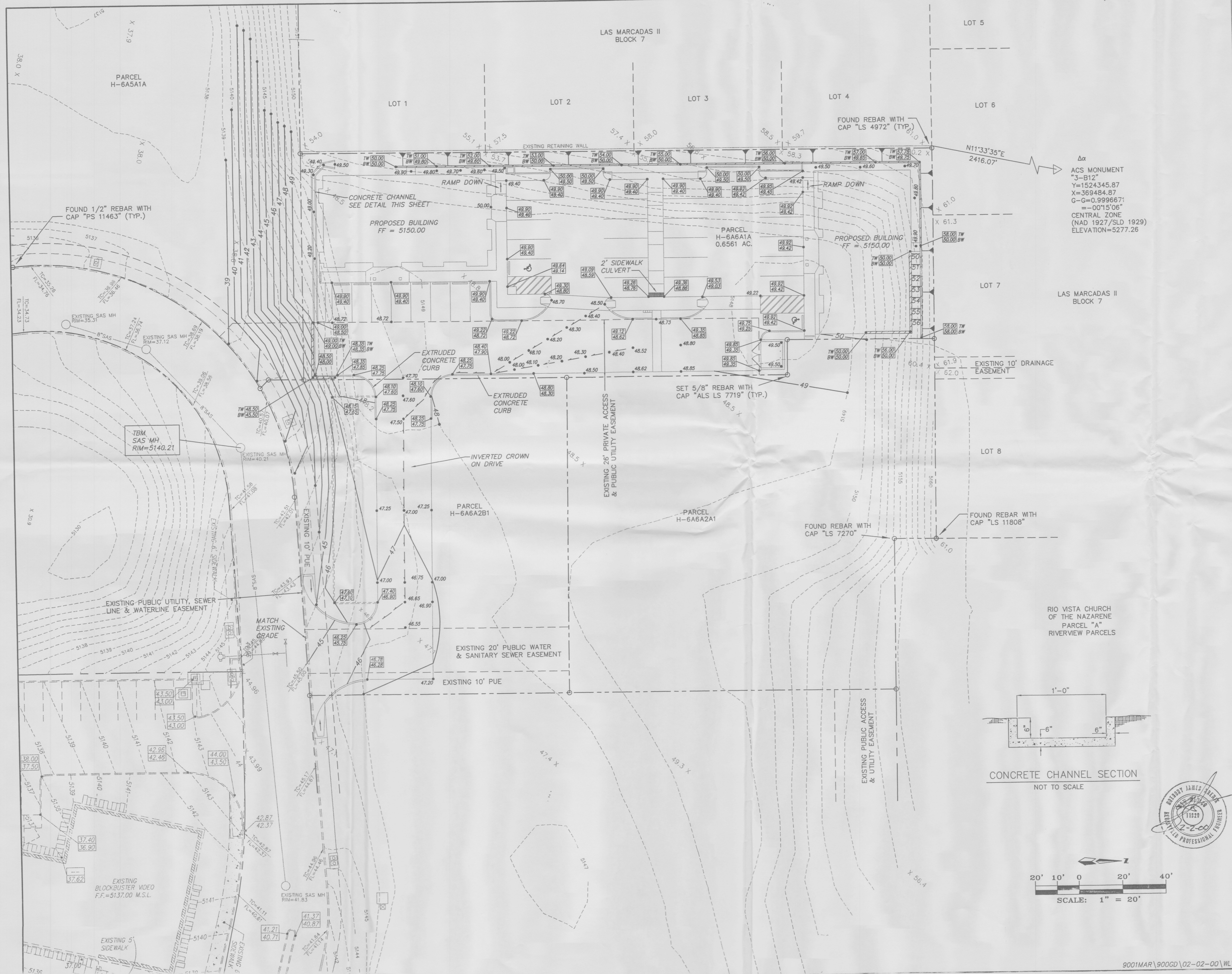
BY	REVISIONS

ROBERT C. PONTO
 architect
 (505)-890-0025
 9505 DENEBEN NW, ALBUQUERQUE, NM 87114

DRAWING TITLE : SITE PLAN
 PROJECT TITLE : MARTINEZ AGENCY OFFICE FACILITY
 ALBUQUERQUE, NM



DRAWN BY : B.A.J.
CHECKED BY : R.C.P.
DATE : 02-23-00
SCALE : 1" = 20'-0"
JOB NO. :
SHEET : 1



VICINITY MAP ZONE MAP: C-12-Z

T B M (TEMPORARY BENCHMARK)
 SANITARY SEWER MANHOLE AT SE CORNER OF SITE
 RIM ELEVATION = 5140.21

ACS BENCHMARK

THE STATION "3-B12" IS LOCATED 7.5 MILES NORTHWEST OF DOWNTOWN ALBUQUERQUE SOUTHEAST OF THE INTERSECTION OF RADCLIFFE ROAD AND PARADISE BLVD. NW.

TO REACH STATION "3-B12" FROM I-40 AND COORS ROAD, TRAVEL NORTH ON COORS 5.75 MILES TO PARADISE BLVD., TURN WEST AND TRAVEL 1.6 MILES TO RADCLIFFE ROAD, TURN SOUTH AND TRAVEL 0.1 MILE TO A DIRT ROAD CUTTING OFF TO THE SOUTHEAST. FOLLOW THE ROAD 0.07 MILE TO THE TOP OF THE ESCARPMENT. CONTINUE ON DIRT ROAD 0.36 MILES. THE STATION IS 185' SOUTHWEST OF THIS POINT IN A LAVA ROCK OUTCROPPING.

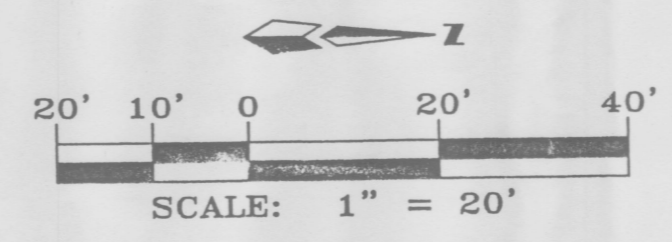
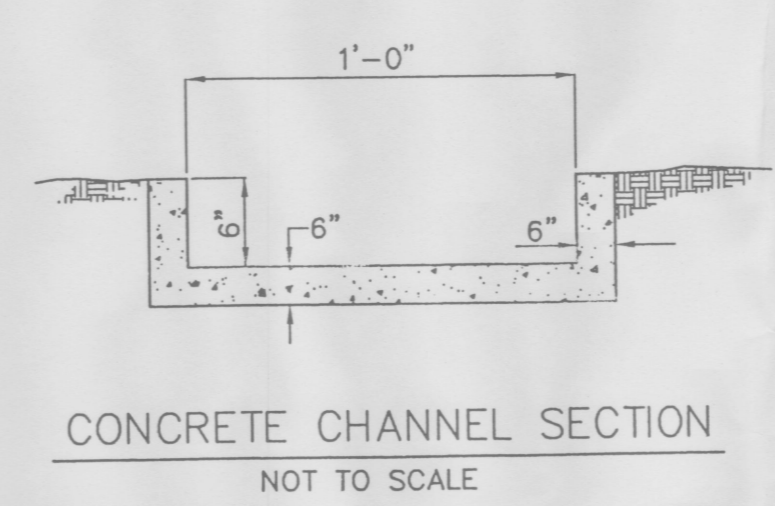
THE STATION IS A 3 1/4" ALUMINUM CAP AND IS STAMPED "ACS 3-B12, 1986", SET FLUSH WITH THE LAVA ROCK.
 X = 369484.87 Y = 1524345.87 ELEVATION = 5277.263

LEGAL DESCRIPTION

PARCEL H-6A6A1A RIVERVIEW PARCELS WITHIN THE TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

LEGEND

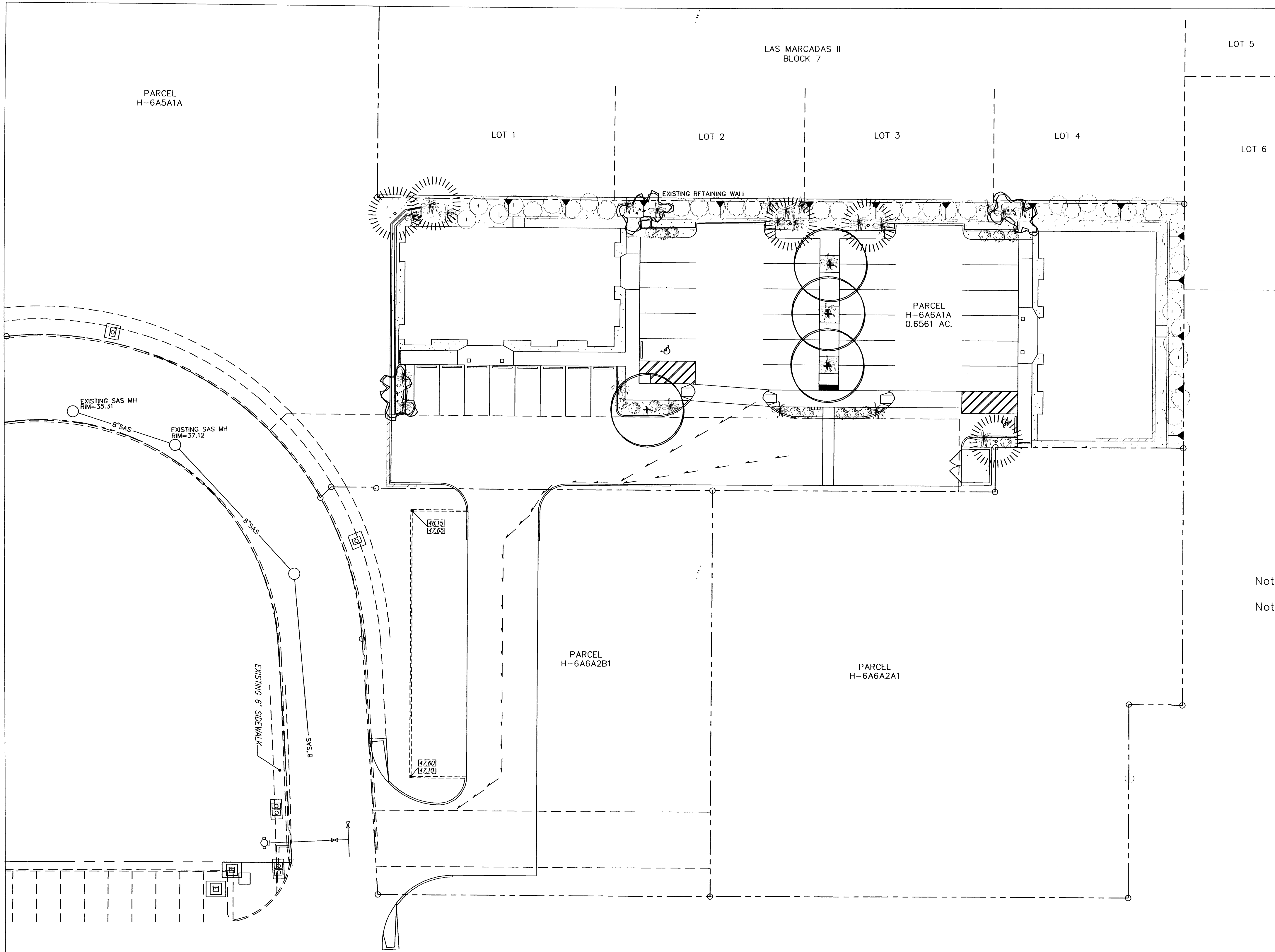
- FUTURE TOP OF CURB AND FLOWLINE SPOT ELEVATION
- PROPOSED TOP OF CURB AND FLOWLINE SPOT ELEVATION
- PROPOSED FLOWLINE SPOT ELEVATION
- ASPHALT SWALE
- PROPOSED RETAINING WALL
- PROPERTY LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING TOP OF CURB AND FLOWLINE SPOT ELEVATION
- EXISTING TOP OF GRATE
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING EDGE OF ASPHALT
- EXISTING CONCRETE PAD
- EXISTING WALL OR HEAD WALL
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING CATV PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING DROP INLET
- EXISTING PULL BOX



MARTINEZ AGENCY GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: GJK, WLW	Checked: DMG	Sheet 2 of 2
Scale: 1" = 20'	Date: 01/00	Job: 99001	



Landscape Legend

Size	Common Name	Quantity
2" cal	Fraxinus velutina, Velvet Ash	4
15 Gal	Austrian Pine	5
15 Gal	Pinon Pine	3
5 Gal	Chamisa	31
5 Gal	Apache Plume	8
5 Gal	Raphiolepis	15
5 Gal	Buffalo Juniper	25

Note: All landscape beds shall be planted with shrubs to achieve 75% live ground cover.
 Note: All landscape beds shall be mulched with 2-3" of landscape gravel over filter fabric.

Landscape Notes

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

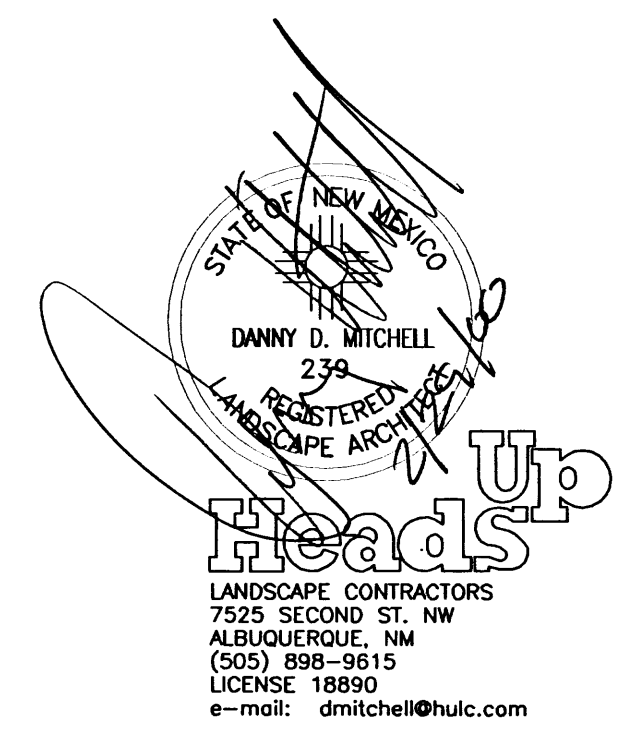
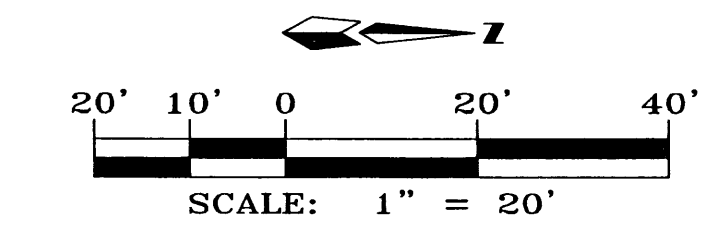
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

Landscape Calculations

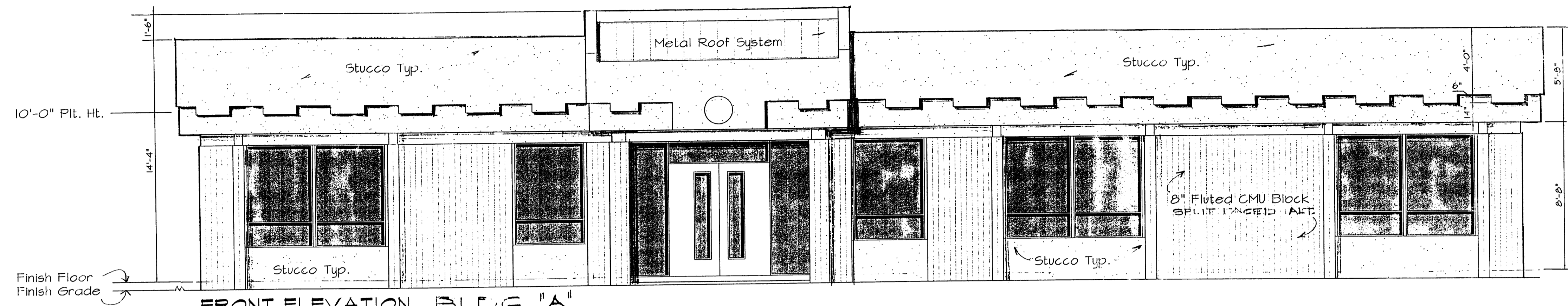
Total Landscape Required 3,158SF
 Total Landscape Provided 4,342SF



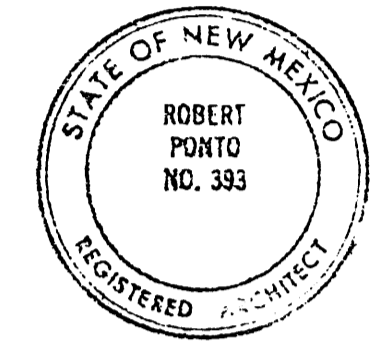
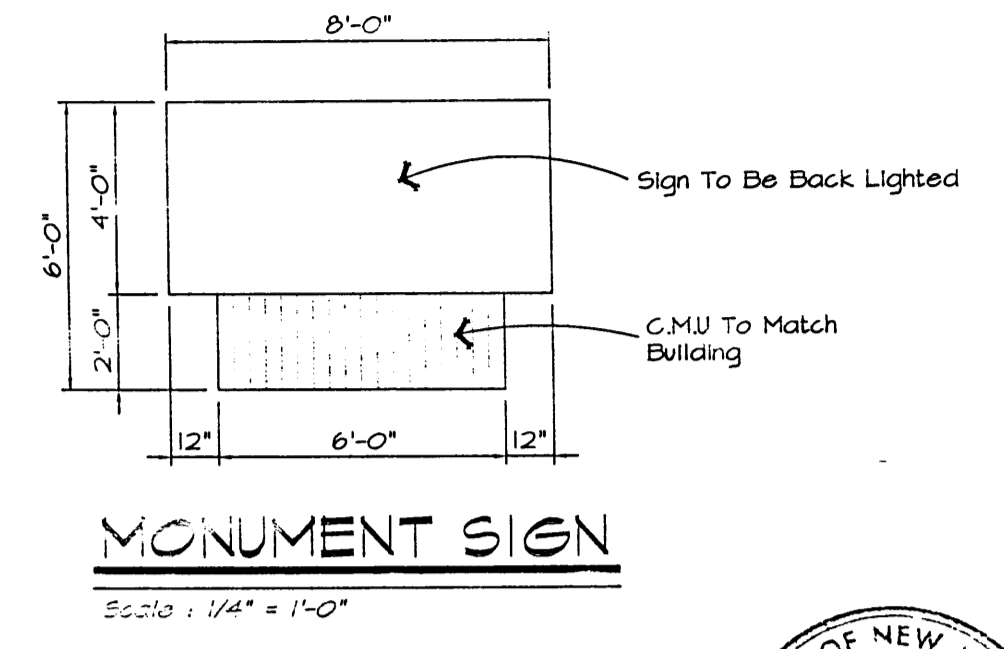
MARTINEZ AGENCY
 LANDSCAPE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

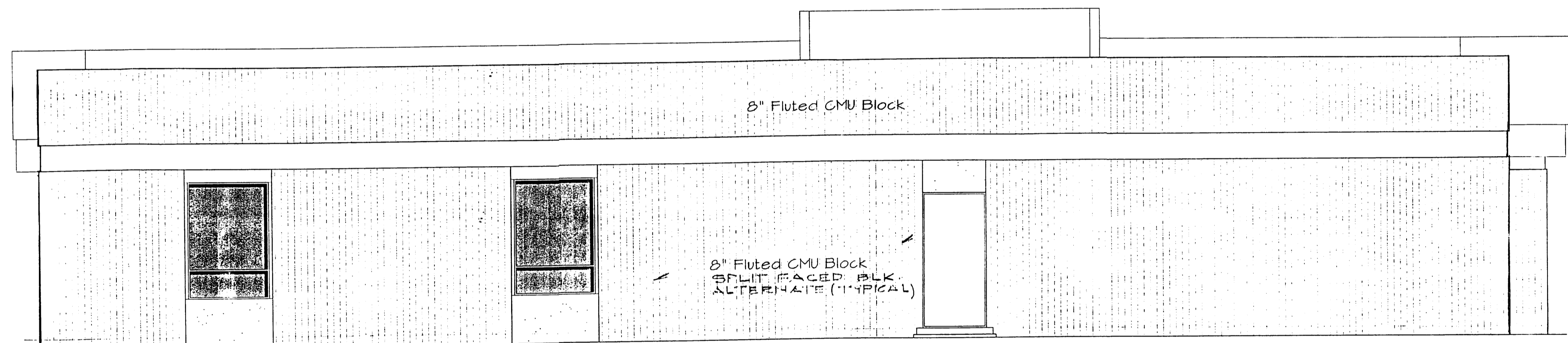
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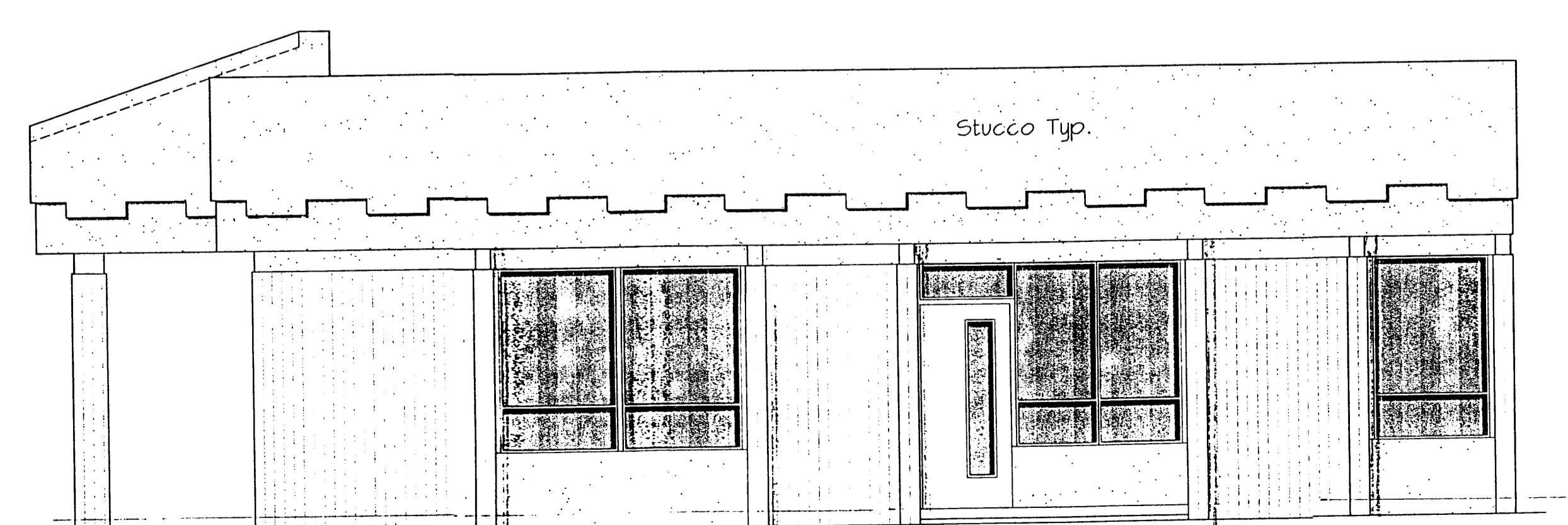
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 Scale: 1/4" = 1'-0"



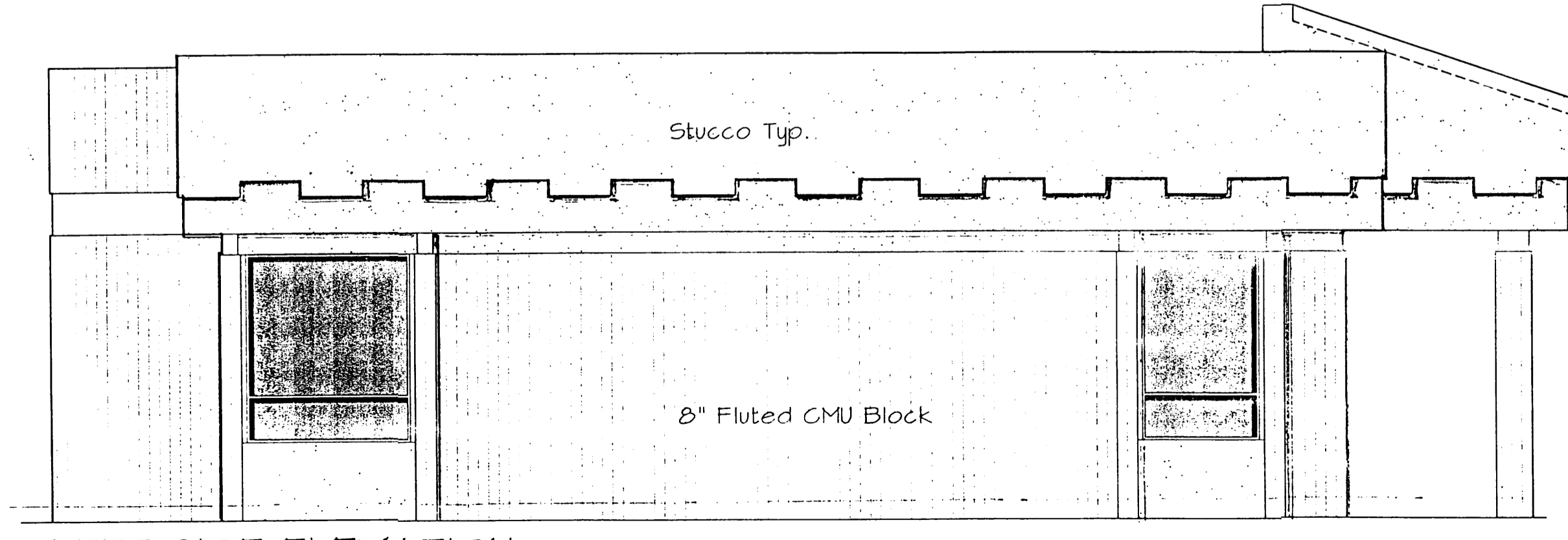
BY	REVISIONS



REAR ELEVATION BLDG "A"
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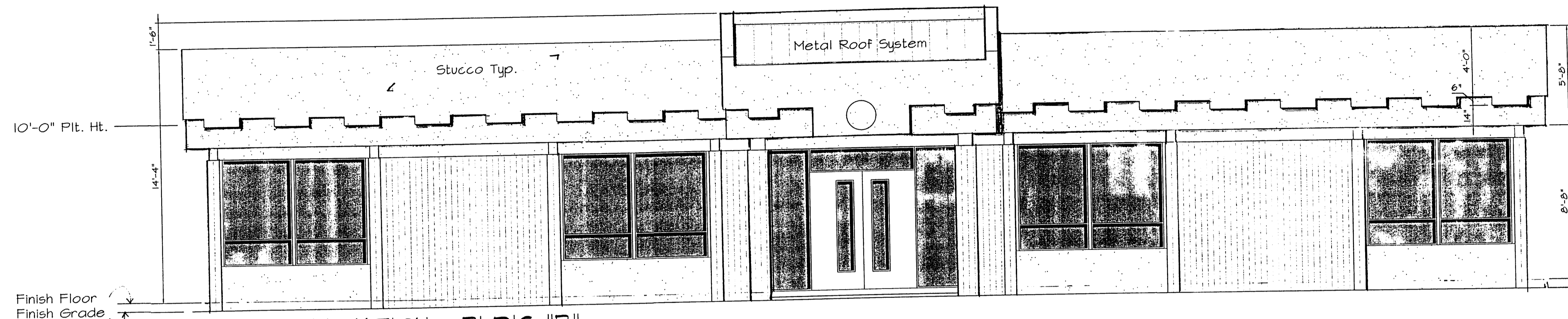
RIGHT SIDE ELEVATION
 Scale: 1/4" = 1'-0"



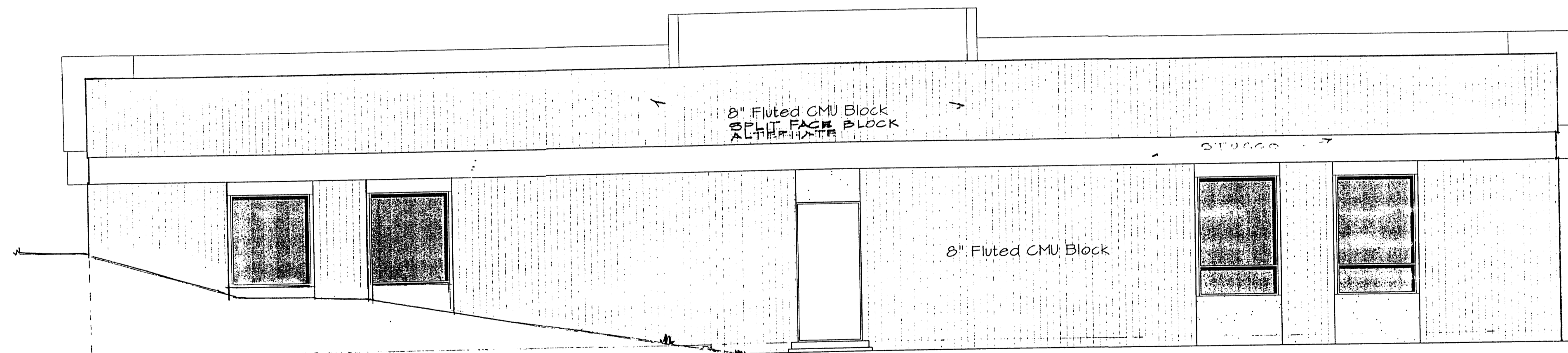
LEFT SIDE ELEVATION
 Scale: 1/4" = 1'-0"

ROBERT C. PONTO
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 (505) 890-0925
 9505 DENEBEN NW, ALBUQUERQUE, NM 87114
 DRAWING TITLE: **ELEVATIONS - BUILDING "A"**
 PROJECT TITLE: MARTINEZ OFFICE FACILITY
 ALBUQUERQUE, NM

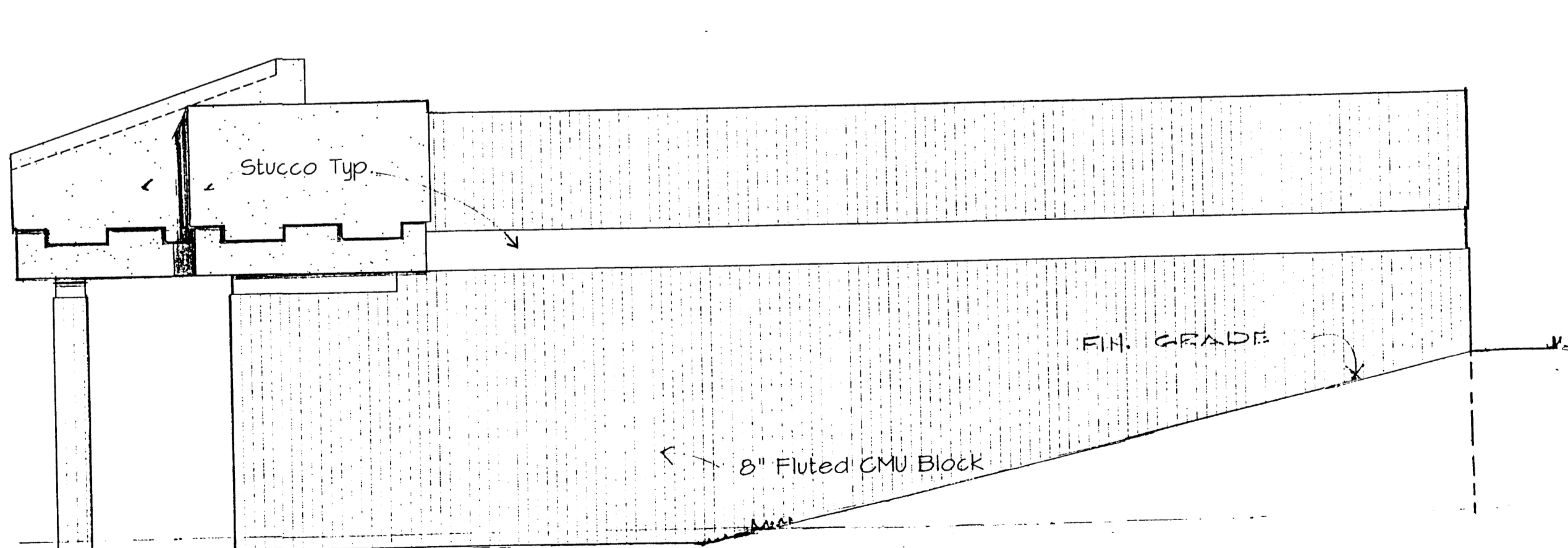
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CHECKED BY:	R.C.P.
DATE:	10-26-99
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SHEET:	4
OF SHEETS	



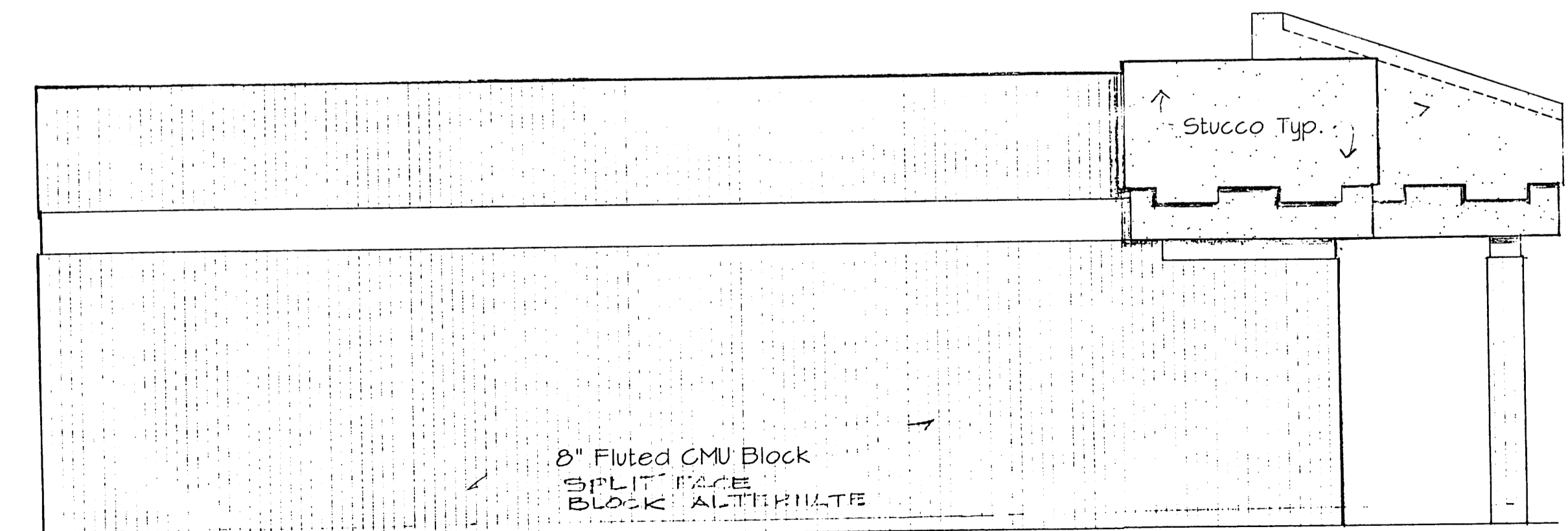
FRONT ELEVATION - BLD'G "B"
Scale: 1/4" = 1'-0"



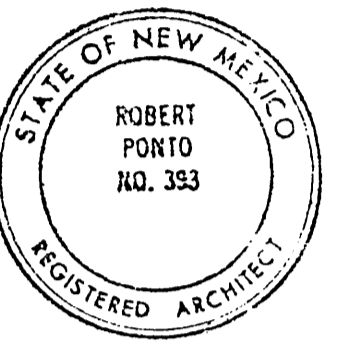
REAR ELEVATION - BLD'G "B"
Scale: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"



LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



BY	REVISION

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9505 DENPEN NW, ALBUQUERQUE, NM 87114

DRAWING TITLE :
ELEVATIONS - BUILDING "B"
PROJECT TITLE :
MARTINEZ OFFICE FACILITY
ALBUQUERQUE, NM

DRAWN BY :	BAJ
CHECKED BY :	RCP
DATE :	10-23-22
SCALE :	1/4" = 1'-0"
JOB NO. :	
SHEET :	5
OF SHEETS	