

BPLW
Architects & Engineers
6200 Uptown Blvd NE Suite 400
Albuquerque New Mexico 87110
(505) 881-BPLW (2759)
FAX (505) 881-1210
e-mail gjackson@bplw.com

Schlegel Lewis Architects
1620 Central Ave SE
Albuquerque NM 87106
(505) 247-1529
FAX (505) 243-6701
jlewis@concentric.net

CONSENSUS PLANNING
Landscape Architecture
Planning Services
718 Central Avenue SE
Albuquerque, NM 87102
(505) 241-5061

G PERSPECTIVE

M KEY

ARCHITECT
Schlegel Lewis Architects
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529
CONTACT: James C. Lewis

PLANNER
Consensus Planning
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801
CONTACT: Jim Strozier

CIVIL ENGINEER
BPLW Architects & Engineers
6200 Uptown Blvd NE Suite 400
Albuquerque, NM 87110
(505) 881-2759
CONTACT: G. Jackson

LANDSCAPE
Consensus Planning
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801
CONTACT: Jim Strozier

OWNER
John Triandafilidis
3535 Princeton NE
Albuquerque, NM 87107
(505) 884-6234
CONTACT: John Triandafilidis

Montgomery Crossings III

**A Mixed Use Development
Montgomery near Wyoming NE
Albuquerque New Mexico 87110**

COVER TITLE

- SDP-0 COVER SHEET & GENERAL NOTES
- SDP-1 ARCHITECTURAL SITE PLAN
- SDP-2 CONCEPTUAL LANDSCAPE PLAN
- SDP-3 BUILDING ELEVATIONS
- SDP-4 BUILDING ELEVATIONS
- SDP-5 BUILDING ELEVATIONS & DETAILS
- SDP-6 CONCEPTUAL UTILITY PLAN
- SDP-7 CONCEPTUAL GRADING PLAN

LEGAL DESCRIPTION -
TRACT A2, MONTGOMERY CROSSING
MONTGOMERY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87110

ZONING -
SUI FOR CI & OI USES. PROPOSED SUI FOR CI, OI, and RT USE

ZONE ATLAS PAGE -
G-20-Z

TYPE OF CONSTRUCTION -
VN

SITE AREAS -

GROSS:	153,331 S.F. (3.52 ACRES)
BUILDINGS:	28,607 S.F.
PEDESTRIAN PLAZA:	11,000 S.F.
NET LOT:	123,624 S.F. (2.8 ACRES)
WALKS:	7,500 S.F.
PAVED:	78,641 S.F.

LANDSCAPING:

REQUIRED:	17,793 S.F. (15% OF NET)
PROVIDED:	26,891 S.F. (22% OF NET)

PARKING -

REQUIRED:	@ 1 PER 200 SF = 149 SPACES
PROVIDED:	160 SPACES (INCL 11 HC SPACES)

BICYCLE PARKING -

REQUIRED:	1 BICYCLE SPACE PER EACH 20 AUTOMOBILE PARKING SPACES = 8 SPACES
PROVIDED:	(1) BICYCLE RACK W/ (4) BICYCLE SPACES PER EACH LOT = 16 BICYCLE PARKING

	BLDG AREA	PARKING	LOT AREA
1	4245 SF	21/26	0.89 ac
2	2800 SF	14/29	0.81 ac
3	10800 SF	54/52	0.81 ac
4	11000 SF	55/43	1.00 ac
TOTAL	28845 SF	144/150	3.52 ac
5	5000 SF +/-	6/6	0.26 ac

PROJECT SUMMARY

CASE NUMBER: Z -99-140
PROJECT NUMBER: 1000300
APPLICATION NUMBER: 00450-00000-00267
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Thaddeus D. Dool 4-12-00
Traffic Engineer, TRANSPORTATION DEPT Date
Edward A. Hays 4-12-00
PARKS & RECREATION DEPT Date
Roger L. Khan 4-12-00
UTILITY DEVELOPMENT DEPT Date
John A. Alvarez 5-17-00
City Engineer, ENGINEERING DIV/AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.
Janet S. 5/17/00
City Planner ALBUQUERQUE PLANNING DEPARTMENT Date

ISSUE DATE:
29 OCT 99

REVISIONS:

02 DEC 99
07 JAN 00
22 FEB 00
05 APR 00

Cover Sheet

PROJECT SHEET
SDP-0
OF 8

Montgomery Crossing III
Site Development Plan
8800 - 8910 Montgomery Boulevard NE
Albuquerque, New Mexico 87110

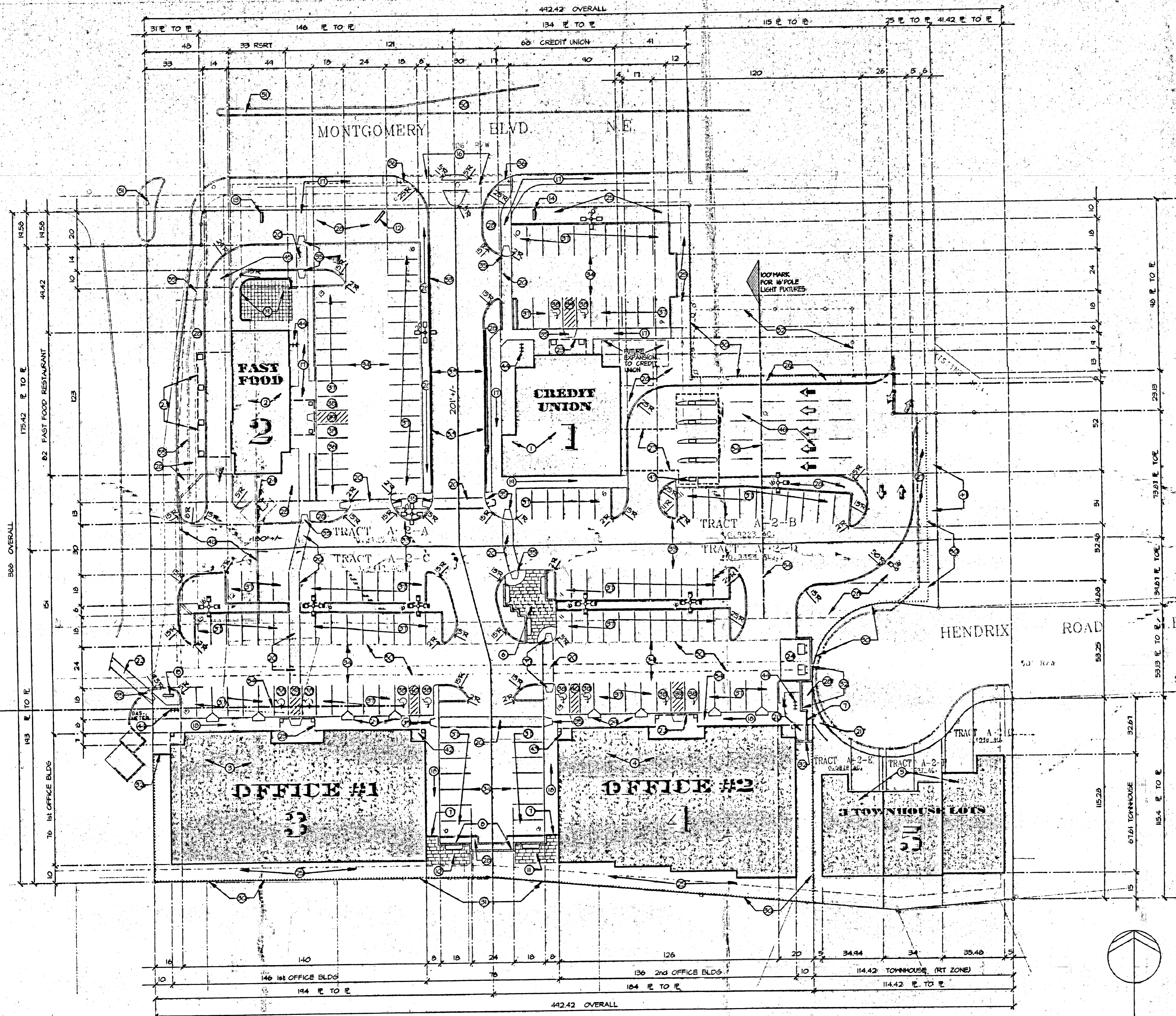
PROJ 1000300

T PROJECT DIRECTORY

U SHEET INDEX

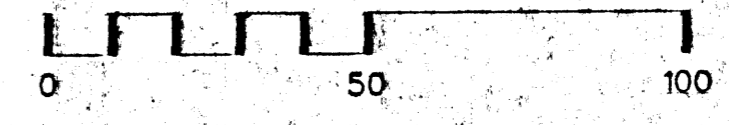
X GENERAL NOTES

Z SIGNATURE BLOCK



ARCHITECTURAL SITE PLAN

Scale: 1" = 30'-0"



KEYED NOTES

1. PROPOSED CREDIT UNION - 4245 SQUARE FEET
2. PROPOSED FAST FOOD RESTAURANT - APPROX. 2200 SQ. FT.
3. PROPOSED OFFICE BUILDING - 10400 SQUARE FEET
4. PROPOSED OFFICE BUILDING - 12452 SQUARE FEET
5. PROPOSED TOWNHOUSE DEVELOPMENT WITH ZONING
6. PROPOSED LOCATION FOR PEDESTRIAN PLAZA, APPROXIMATELY 100 SQ. FT. WITH 3 TABLE SEATING HALL AND SEATING HALL MUST NOT BE TALLER THAN 3' TO PROVIDE CLEAR SITE DISTANCE.
7. PROPOSED 6" HIGH BROWN IRON LOCKABLE SECURITY GATE (BROUGHT IRON TO BE TUBULAR STEEL AND PAINTED BLACK)
8. PROPOSED 5'-0" HIGH MASONARY PRIVACY WALL
9. PROPOSED 100 SQ. FEET OUTDOOR DINING PATIO FOR FAST FOOD RESTAURANT WITH 3 TABLE SEATING. BLOCK HALL BETWEEN PATIO AND DRIVE-UP AISLE MUST NOT BE TALLER THAN 3' TO PROVIDE CLEAR SITE DISTANCE. SEASONAL FURNITURE (OR CHANGING TABLES/STALLS) WILL BE PROVIDED.
10. PROPOSED 3007 SQ. FEET PATIO AREA FOR OFFICE BUILDING 13
11. PROPOSED 3000 SQ. FEET PATIO AREA FOR OFFICE BUILDING 14
12. PROPOSED PROJECT MONUMENT SIGN LOCATION WITH 100 SQ. FT. FACE AREA MAX. SEE SHEET SDP-3 FOR ELEVATION.
13. PROPOSED FAST FOOD RESTAURANT MONUMENT SIGN ARCHITECTURAL FEATURES SIMILAR TO PROJECT MONUMENT SIGN SEE SHEET SDP-3
14. PROPOSED CREDIT UNION MONUMENT SIGN ARCHITECTURAL FEATURES SIMILAR TO PROJECT MONUMENT SIGN SEE SHEET SDP-3
15. PROPOSED MONUMENT SIGN FOR BUILDING 3 & 4 ARCHITECTURAL FEATURES SIMILAR TO PROJECT MONUMENT SIGN SEE SHEET SDP-3
16. PROPOSED DEVELOPMENT ENTRANCE / EXIT
17. PROPOSED 6" WIDE CONCRETE SIDEWALK, TYPICAL UNLESS NOTED
18. PROPOSED 6" WIDE CONCRETE SIDEWALK
19. PROPOSED 3" WIDE CONCRETE SIDEWALK
20. PROPOSED 6" WIDE SALTED CONCRETE PEDESTRIAN CONNECTION FROM HENDRIX ROAD NE
21. PROPOSED 5" WIDE CONCRETE PEDESTRIAN CONNECTION TO EXISTING SIDEWALK
22. PROPOSED 5" WIDE SALTED CONCRETE PEDESTRIAN CONNECTION TO EXISTING SIDEWALK
23. PROPOSED CANOPY WITH SIMILAR ARCHITECTURAL FEATURES
24. PROPOSED DUMPSTER LOCATION
25. 10' LANDSCAPE BUFFER SEE SHEET SDP-3 FOR LANDSCAPE PLAN
26. 8' LANDSCAPE BUFFER SEE SHEET SDP-3 FOR LANDSCAPE PLAN
27. 8' LANDSCAPE BUFFER SEE SHEET SDP-2 FOR LANDSCAPE PLAN
28. LANDSCAPED AREA SEE SHEET SDP-2 FOR LANDSCAPE PLAN
29. PROPOSED 28 9/16" FEET PLANTER
30. PROPOSED 6" HIGH SOLID HALL ALONG PROPERTY LINE
31. EXISTING 6" HIGH HALL TO BE MODIFIED AND REPLACED AS NECESSARY
32. PROPOSED 6" HIGH SOLID MASONARY WALL
33. PROPOSED 20' WIDE ENTRY DRIVE AISLE
34. PROPOSED 24' WIDE DRIVE AISLE, TYPICAL UNLESS NOTED
35. PROPOSED HG RAMP PER CITY SPECIFICATIONS
36. PROPOSED UNIDIRECTIONAL RAMP PER CITY SPECIFICATIONS
37. PROPOSED 40' WIDE PARKING SPACE, TYPICAL
38. PROPOSED 8' WIDE PARKING SPACE
39. PROPOSED 8' WIDE HG ACCESS AISLE
40. PROPOSED 8' WIDE HG ACCESS AISLE
41. PROPOSED 8' WIDE HG ACCESS AISLE
42. PROPOSED 8' WIDE HG ACCESS AISLE
43. PROPOSED SECONDARY ENTRY @ NORTHEAST CORNER
44. PROPOSED SECONDARY ENTRY @ NORTHWEST CORNER
45. PROPOSED BIKE RACK LOCATION
46. 5 CAR STACKED PER CITY REQUIREMENTS FOR FAST FOOD RESTAURANTS
47. 5 CAR STACKED FOR DRIVE-UP BANKS 100 FEET PER LANE
48. PROPOSED LOCATION FOR ATM MACHINE. ATM SHALL HAVE SIMILAR ARCHITECTURAL FEATURES AS CREDIT UNION
49. EXISTING RETENTION POND TO BE RELOCATED. SEE CONCEPTUAL GRADING AND HYDROLOGY PLAN, SDP-1.
50. EXISTING DRAINAGE CHANNEL. SEE CONCEPTUAL GRADING AND HYDROLOGY PLAN, SDP-1.
51. EXISTING UTILITY EASEMENT. SEE CONCEPTUAL UTILITY PLAN, SDP-2.
52. EXISTING MEDIAN
53. EXISTING CHAIN LINK FENCE TO REMAIN
54. PROPOSED FIRE LANE TO BE PAINTED RED WITH LETTERING
55. 100 FT. MARK FOR SITE LIGHTING TO BE AT 16'-0" IN HEIGHT MAX.
56. PROPOSED 3' GARDEN WALL. SEE GRADING AND HYDROLOGY PLAN, SDP-1.

GENERAL NOTES

ADDITIONAL 4'-0" DEDICATED TO RIGHT-OF-WAY PER CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT. SEE CONCEPTUAL UTILITY PLAN, SDP-2 FOR EXISTING AND PROPOSED NEW FIRE HYDRANTS.

SITE LIGHTING FIXTURES @ 20'-0" MAXIMUM W/ SHARP CUT-OFFS LUMINAIRE LIGHTING WITHIN 100 FEET OF RESIDENTIAL AREAS SHALL BE LIMITED TO 16'-0" IN HEIGHT. SEE DETAIL OR SDP-5.

ALL WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE CONCEALED AND SHALL BE ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.

ALL WALLS SHALL FOLLOW THE CITY'S WALL DESIGN GUIDELINES.

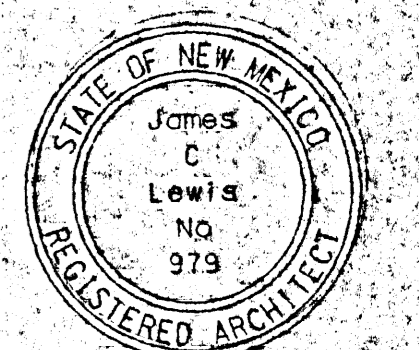
CROSS-ACCESS PARKING EASEMENT TO OCCUR BETWEEN LOTS 1-4.

SIGNAGE ON FAST FOOD RESTAURANT SHALL NOT BE BACK LIT AND SHALL NOT INCLUDE RACEWAY SIGN OR ELEMENTS OF GENERIC FRANCHISE DESIGN.

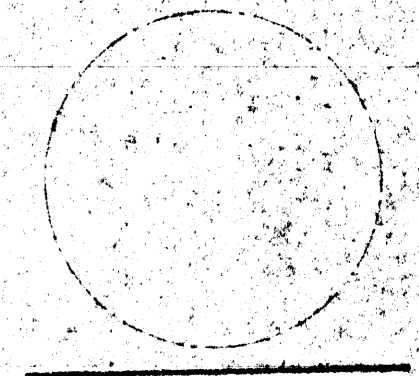
BUILDING MOUNTED SIGNS ON THE FAST FOOD RESTAURANT SHALL BE LIMITED TO 50% OF THE FACADE AREA. SIGNAGE SHALL BE INDIVIDUAL CHANNELIZED LETTERS, METAL LETTERS OR NEON LETTERS AT A MAXIMUM HEIGHT OF 8'-0" FEET. LOGOS MAY BE USED AND BACKLIT BUT NOT TO EXCEED A DIMENSION OF 2' X 2'.

NO POLE MOUNTED SIGNAGE SHALL BE ALLOWED. NO BUILDING MOUNTED SIGNAGE SHALL FACE RESIDENTIAL PROPERTIES.

THE ENGINEER'S CERTIFICATION REQUIRED BY THE HYDROLOGY SECTION NEEDS TO INCLUDE CERTIFICATION THAT THIS SITE HAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TLC) BEFORE C.O. IS RELEASED.



BPLW
Products & Engineers
8200 Linton Blvd NE Suite 400
Albuquerque, New Mexico 87110
(505) 881-5117 (2729)
FAX (505) 881-1533
e-mail: jackson@bplw.com



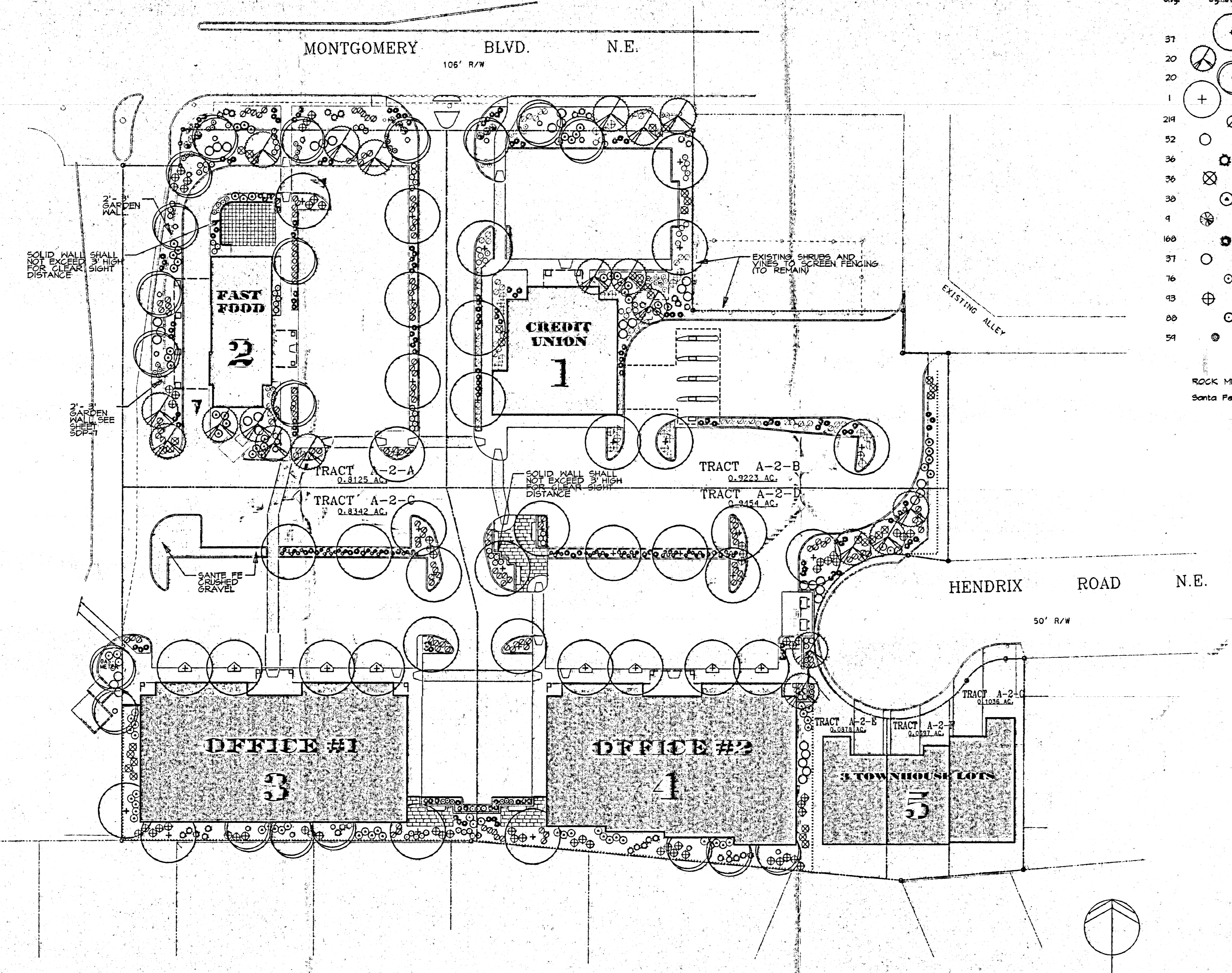
Montgomery Crossing III
Site Development Plan
8800 - 8910 Montgomery Boulevard NE
Albuquerque, New Mexico 87110

ISSUE DATE:
29 OCT 99

REVISIONS:
02 DEC 99
07 JAN 00
22 FEB 00
05 APR 00

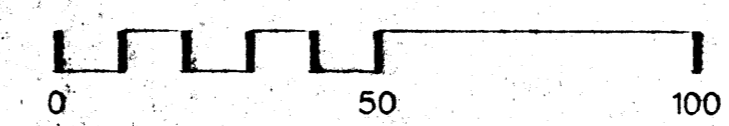
Site Plan

PROJECT SHEET
39901 SDP-1
OF 8



LANDSCAPE PLAN

Scale: 1" = 30'-0"



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Initial Size/Spacing	Ultimate Size	Water Use
37	+	Fraxinus velutina 'Modesto' Modesto Ash (female)	2" B4B	16"ht. x 6"spr.	40"ht. x 35"spr.	Medium
20	⊗	Koeleria paniculata Goldenrain Tree	2" B4B	16"ht. x 6"spr.	25"ht. x 20"spr.	Medium
20	⊙	Flyus callanqua Bradford Bradford Pear	2" B4B	16"ht. x 6"spr.	30"ht. x 25"spr.	Medium
1	+	Existing Tree -TO BE REMOVED-				
214	⊗	Artemisia 'Pavia Castle' Pavia Castle Sage	1-Gal	3"oc.	3"ht. x 4"spr.	Low
52	⊙	Baccharis 'Starr' Thompson Baccharis	5-Gal	4"oc.	2"ht. x 4"spr.	Low
36	⊗	Caryopteris clandonensis Blue Mist	5-Gal	4"oc.	3"ht. x 4"spr.	Medium
36	⊗	Cotoneaster opulatus Cranberry cotoneaster	5-Gal	4"oc.	3"ht. x 4"spr.	Medium
36	⊙	Lonicera japonica 'Halliana' Hall's Honeysuckle	1-Gal	4"oc.	2"ht. x 5"spr.	Medium
4	⊗	Miscanthus sinensis Maiden Grass	1-Gal	4"oc.	5"ht. x 4"spr.	Medium
160	⊙	Muhlenbergia capillaris Regal Mist Muhly Grass	5-Gal	3"oc.	3"ht. x 3"spr.	Medium
37	⊙	Perovskia atriplicifolia Russian Sage	1-Gal	5"oc.	4"ht. x 5"spr.	Medium
76	⊙	Potentilla fruticosa Shrubby Creeper	1-Gal	25"oc.	25"ht. x 25"spr.	Medium
43	⊗	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5-Gal	4"oc.	2"ht. x 5"spr.	Medium
88	⊙	Salvia greggii Cherry Sage	1-Gal	3"oc.	3"ht. x 3"spr.	Medium
54	⊗	Taxus canadensis -Prostratum- Creeping Juniper	1-Gal	2"oc.	6"ht. x 2"spr.	Medium

ROCK MULCH
Santa Fe Brown Crusher Fines, 2"-4" Santa Ana Tan Cobbles (8" Depth)

LANDSCAPE NOTES

THE DESIGN AND PROVISION OF LANDSCAPE FEATURES WITHIN MONTGOMERY CROSSING III WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING, CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

TREE REQUIREMENTS
STREET TREES REQUIRED UNDER THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE ARE AS FOLLOWS:

MONTGOMERY BOULEVARD
REQUIRED: 4
PROVIDED: 4

TREES WITHIN THE PARKING AREA ARE REQUIRED AT A RATE OF (1) TREE PER (8) PARKING SPACES.
REQUIRED: 23
PROVIDED: 33

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED DRIP IRRIGATION SYSTEM WILL BE UTILIZED TO IRRIGATE TREES, SHRUB, AND GROUND COVER PLANTING AREAS.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THAT WITHIN THE ADJACENT PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER.

ZONING CODE LANDSCAPE REQUIREMENTS

TOTAL SITE AREA	153,331 SF
BUILDING FOOTPRINT / SERVICE AREAS	28,607 SF
PUBLIC R.O.W. LANDSCAPE	1,101 SF
TOTAL AREA	123,624 SF
REQUIRED PERCENTAGE	X.15
LANDSCAPE AREA REQUIRED	17,743 SF
LANDSCAPE AREA PROVIDED	26,040 SF

BPIW
Architect & Engineer
8200 Loretto Blvd NE, Suite 100
Albuquerque, New Mexico 87110
(505) 531-3636, (505) 531-3637
FAX: (505) 531-1234
e-mail: bpiw@bpiw.com

Salgado Landscape
1620 Central Ave SE
Albuquerque, NM 87106
(505) 247-1529
FAX (505) 247-0701
jlsalvado@comcast.net

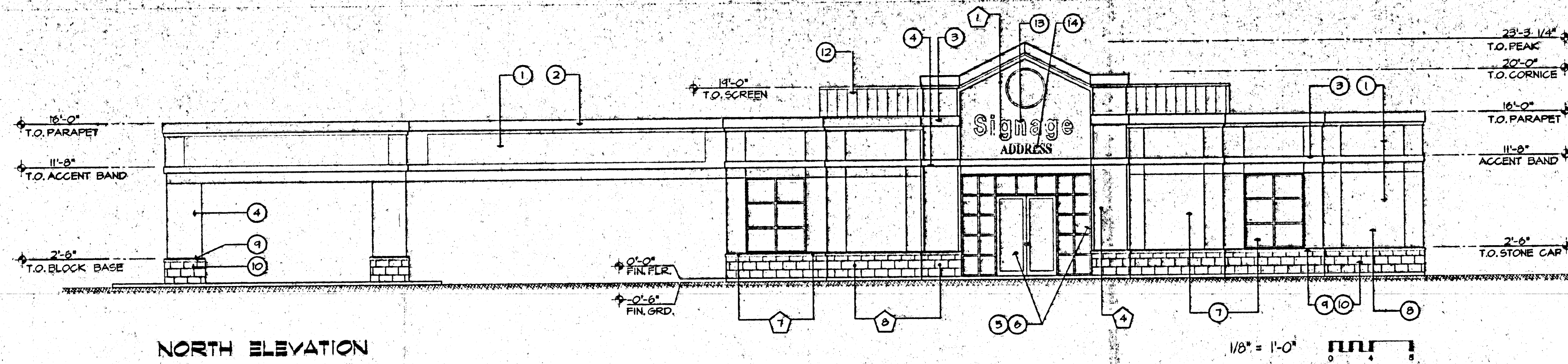
CONTRACTOR
Landscape Installation
Planting
Water System
Irrigation
Site Preparation
Grading
Soil Testing
Soil Analysis
Soil Remediation
Soil Stabilization
Soil Erosion Control
Soil Compaction
Soil Sealing
Soil Vapor Retardation
Soil Gas Mitigation
Soil Gas Detection
Soil Gas Remediation
Soil Gas Monitoring
Soil Gas Testing
Soil Gas Analysis
Soil Gas Remediation
Soil Gas Monitoring
Soil Gas Testing
Soil Gas Analysis

Montgomery Crossing III
Site Development Plan
8800 - 8910 Montgomery Boulevard NE
Albuquerque, New Mexico 87110

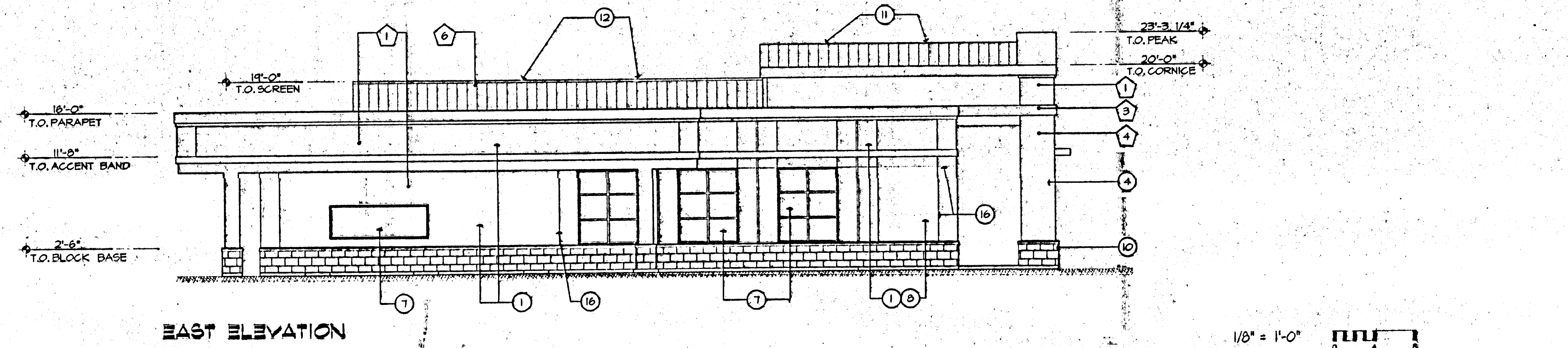
ISSUE DATE: 29 OCT 99
REVISIONS:

02 DEC 99
07 JAN 00
22 FEB 00
05 APR 00

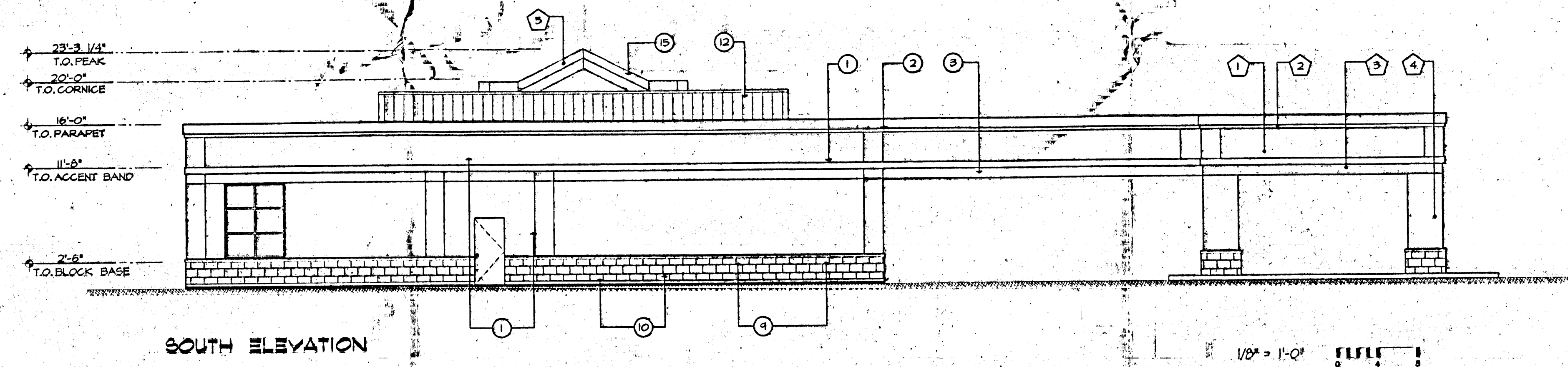
Landscape Site Plan
SHEET
PROJECT 22001 **SDP2**
OF 8



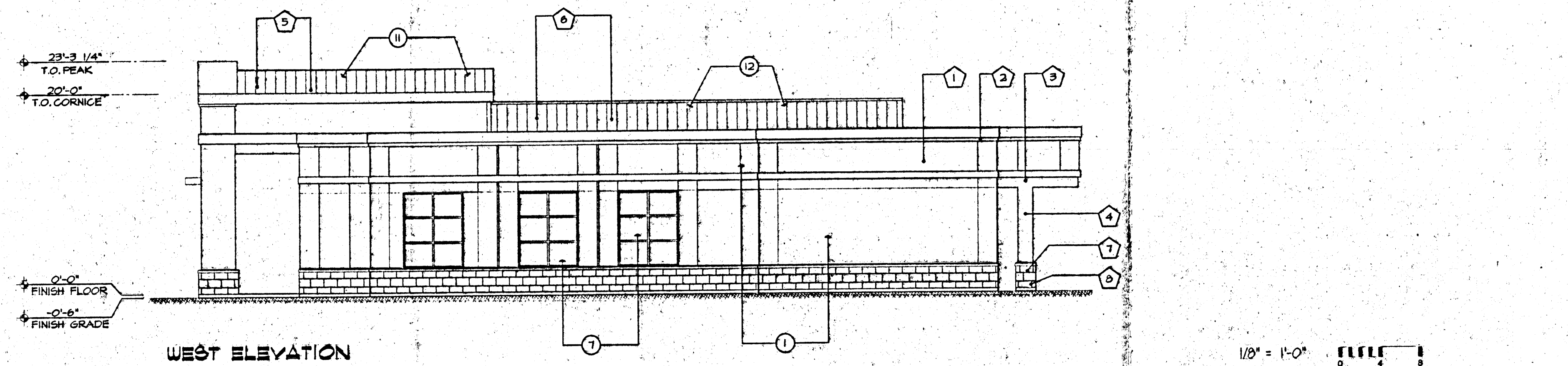
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

KEYED NOTES

1. FIELD SURFACE, OFF-WHITE STUCCO W/ SAND FINISH
2. CORNICE, OFF-WHITE STUCCO W/ SAND FINISH
3. ACCENT BAND, OFF-WHITE STUCCO W/ SAND FINISH
4. COLUMN, OFF-WHITE STUCCO W/ SMOOTH FINISH W/ BRONZE FINISH
5. HOLLOW METAL DOORS AND FRAMES W/ BRONZE FINISH
6. ALUMINUM STOREFRONT REFLECTIVE GLAZING SYSTEM W/ ANODIZED BRONZE FINISH
7. ALUMINUM REFLECTIVE GLAZING W/ ANODIZED BRONZE FINISH
8. EIFS SYSTEM, TYPICAL
9. CAST STONE CAP TO MATCH BLOCK BASE
10. BLOCK BASE - OR - ALTERNATE SPLIT-FACE BLOCK IN LT. TAN
11. STANDING SEAM METAL ROOF, LT TAN
12. MECHANICAL SCREEN, MATCH FIELD COLOR - OR - METAL ROOF
13. SIGNAGE
14. PREMISE I.D. LOCATION
15. LINE OF PARAPET BEYOND
16. EXPANSION JOINT TYPICAL

PAINT SPECIFICATION

- | | |
|--------------------------------------|-------------------------|
| ① FIELD- | OFF-WHITE |
| ② CORNICE- | OFF-WHITE |
| ③ ACCENT BAND- | OFF-WHITE |
| ④ COLUMN- | OFF-WHITE |
| ⑤ METAL ROOF- | LT TAN - OR - OFF-WHITE |
| ⑥ MECHANICAL-SCREEN | LT TAN - OR - OFF-WHITE |
| ⑦ CAST STONE CAP- | LIGHT TAN |
| ⑧ BLOCK BASE - OR - SPLIT FACE BLOCK | LIGHT TAN |

GENERAL NOTES

ALL HVAC EQUIPMENT WILL BE CONCEALED WITHIN THE PARAPET OR SCREEN WALL SIMILAR TO THE APPLICATION METHOD USED BY THE CREDIT UNION.

SIGNAGE - BUILDING MOUNTED SIGNS WILL BE LIMITED TO 6% OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. LOGOS MAY BE USED AND BACKLIT, BUT WILL NOT EXCEED A DIMENSION OF 2' X 2'. INDIVIDUAL CHANNELIZED LETTERS, METAL AND NEON LETTERS CAN BE USED @ A MAXIMUM HEIGHT OF 2 FEET.

THERE WILL NOT BE ANY PLASTIC OR VINYL ARCHITECTURAL ELEMENTS INSTALLED ON THE EXTERIOR FACADE OF THE BUILDINGS IN THIS SITE DEVELOPMENT PLAN. ALSO, CHAIN LINK, VINYL FENCING OR BARBED WIRE WILL NOT BE PERMISSIBLE.

MONUMENT SIGNS WILL HAVE THE NEO-CLASSICAL ARCHITECTURAL FEATURES AND DESIGN AS REPRESENTED IN THIS SITE DEVELOPMENT PLAN. SIGNAGE IS LIMITED TO 24 SQ. FEET ON EACH SIDE.

4/3/2000

BPLW
Architects & Engineers

4300 Uptown Blvd NE Suite 402
Albuquerque, New Mexico 87110
(505) 851-BPLW (2728)
FAX (505) 851-1230
email: bplw@bplw.com

Subgoal Lumber
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-5520
FAX (505) 243-0001
plw@subgoal.com

These drawings are an "Instrument of Service" and shall not be reproduced, copied, or in any way used without the written permission of the Architect © 1998

Montgomery Crossing III
Site Development Plan
8800 - 8910 Montgomery Boulevard NE
Albuquerque, New Mexico 87110

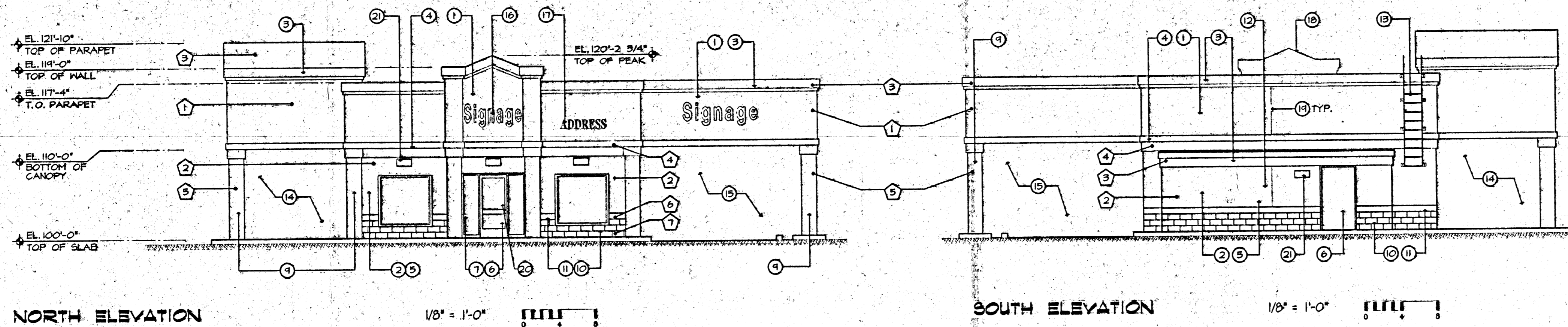
ISSUE DATE:
24 OCT 99

REVISIONS:

02	DEC 99
07	JAN 00
22	FEB 00
05	APR 00

Elevations and Details

PROJECT SHEET
SDP3

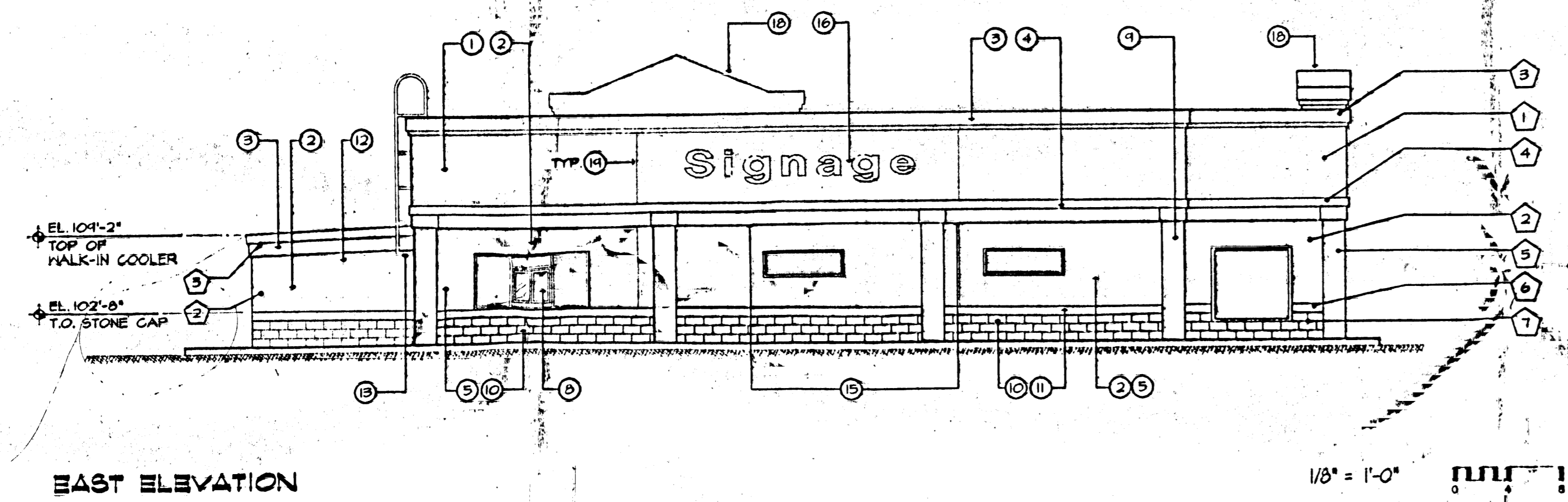


NORTH ELEVATION

1/8" = 1'-0"

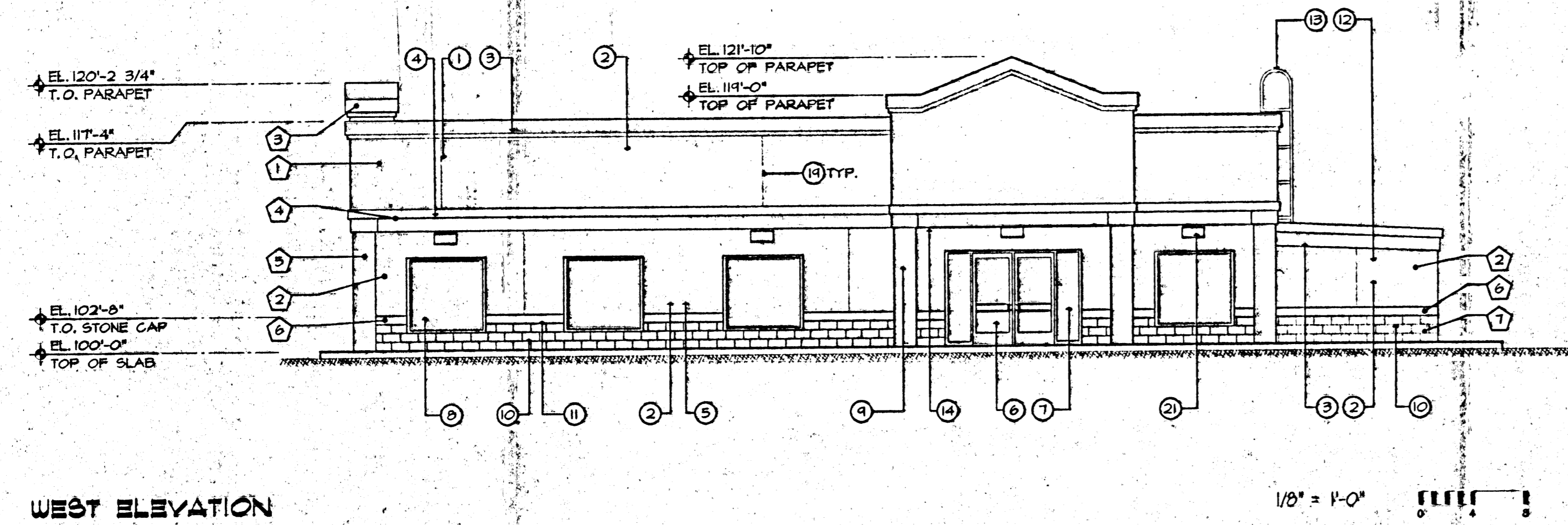
SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

KEYED NOTES

1. FIELD SURFACE, OFF-WHITE STUCCO W/ SAND FINISH
2. FIELD SURFACE, LIGHT TAN STUCCO W/ SAND FINISH
3. CORNICE, OFF-WHITE STUCCO W/ SAND FINISH
4. ACCENT BAND, OFF-WHITE STUCCO W/ SAND FINISH
5. STUCCO TO MATCH BRICK
6. HOLLOW METAL DOORS AND FRAMES W/ BRONZE FINISH
7. ALUMINUM STOREFRONT REFLECTIVE GLAZING SYSTEM W/ ANODIZED BRONZE FINISH
8. ALUMINUM REFLECTIVE GLAZING W/ ANODIZED BRONZE FINISH
9. COLUMN, OFF-WHITE STUCCO W/ SMOOTH FINISH
10. SPLIT-FACE BLOCK, IN LIGHT-MEDIUM TAN RANGE TO MATCH SECOND FIELD COLOR
11. CAST STONE CAP TO MATCH SPLIT-FACE BLOCK
12. EXTERIOR WALK-IN COOLER/FREEZER - "EUP"
13. ROOF LADDER AND METAL GATE, MATCH W/ SECOND FIELD COLOR
14. CANOPY FOR ENTRANCE
15. CANOPY FOR DRIVE-UP AREA
16. SIGNAGE @ 6% OF FACADE
17. PREMISE I.D. LOCATION
18. LINE OF PARAPET BEYOND
19. EXPANSION JOINT TYPICAL
20. ALL ENTRANCES SHALL BE IDENTIFIED W/ A SIGN OF STANDARD ACCESSIBILITY, CENTER AT 60" A.F.P.
21. HALL MOUNTED LIGHT FIXTURE @ 8'-0" A.F.P.

PAINT SPECIFICATION

- | | | |
|---|-------------------|--|
| 1 | FIELD- | OFF-WHITE |
| 2 | FIELD- | LIGHT TAN |
| 3 | CORNICE- | OFF-WHITE |
| 4 | ACCENT BAND- | OFF-WHITE |
| 5 | COLUMN- | OFF-WHITE |
| 6 | CAST STONE CAP- | LT - MED TAN TO MATCH SECOND FIELD COLOR |
| 7 | SPLIT-FACE BLOCK- | LT - MED TAN TO MATCH SECOND FIELD COLOR |

GENERAL NOTES

ALL HVAC EQUIPMENT WILL BE CONCEALED WITHIN THE PARAPET OR SCREEN WALL SIMILAR TO THE APPLICATION METHOD USED BY THE CREDIT UNION.

SIGNAGE - BUILDING MOUNTED SIGNS WILL BE LIMITED TO 6% OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. LOGOS MAY BE USED AND BACKLIT, BUT WILL NOT EXCEED A DIMENSION OF 2' X 2'. INDIVIDUAL CHANNELIZED LETTERS, METAL AND NEON LETTERS CAN BE USED @ A MAXIMUM HEIGHT OF 2 FEET.

THERE WILL NOT BE ANY PLASTIC OR VINYL ARCHITECTURAL ELEMENTS INSTALLED ON THE EXTERIOR FACADE OF THE BUILDING IN THIS SITE DEVELOPMENT PLAN. ALSO CHAIN LINK, VINYL FENCING OR BARBED WIRE WILL NOT BE PERMISSIBLE.

MONUMENT SIGNS WILL HAVE THE NEO-CLASSICAL ARCHITECTURAL FEATURES AND DESIGN AS REPRESENTED IN THIS SITE DEVELOPMENT PLAN. SIGNAGE IS LIMITED TO 24 SQ. FEET ON EACH SIDE.

4/5/2000

BPLW
Architects & Engineers

6200 Lytton Blvd NE, Suite 400
Albuquerque, New Mexico 87110
(505) 881-8141
FAX (505) 881-1233
e-mail: g.jackson@bplw.com

Schlegel Lewis Architects

1620 Central Ave SE
Albuquerque, NM 87106
(505) 247-4520
FAX (505) 248-0701
jls@schlegel-lewis.com

These drawings are an instrument of service and shall not be reproduced, copied, or altered without the written permission of the architect, © 1999

DRINKY

Construction
Architectural
Interior Design
Landscape Architecture
Site Planning
Site Preparation
Site Construction

Montgomery Crossing III
Site Development Plan

8900 - 8910 Montgomery Boulevard NE
Albuquerque, New Mexico 87110

ISSUE DATE: 29 OCT 99

REVISIONS:

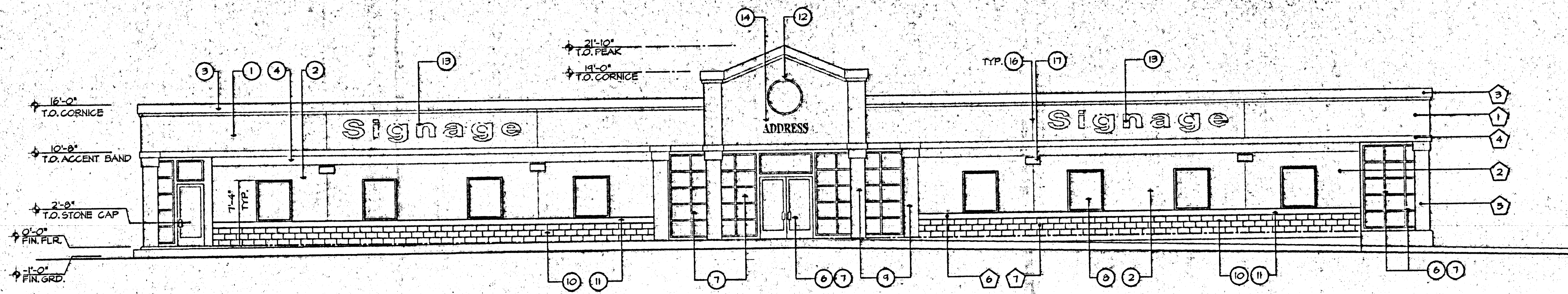
02 DEC 99
07 JAN 00
22 FEB 00
05 APR 00

Elevations and Details

SHEET

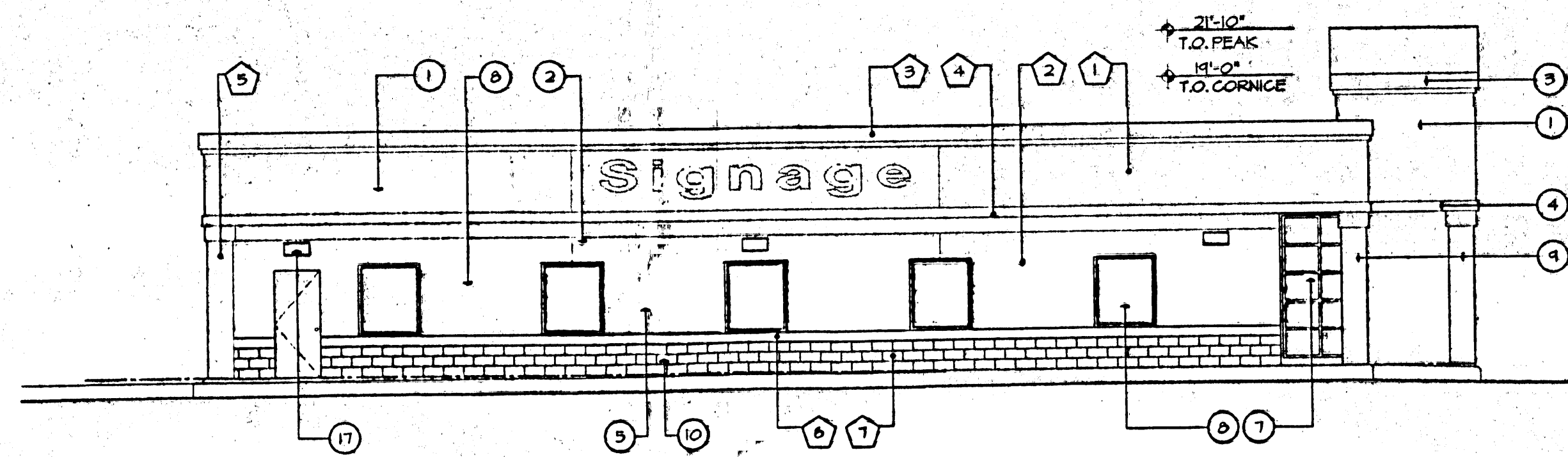
PROJECT 9900 **SDP4**

OF 8



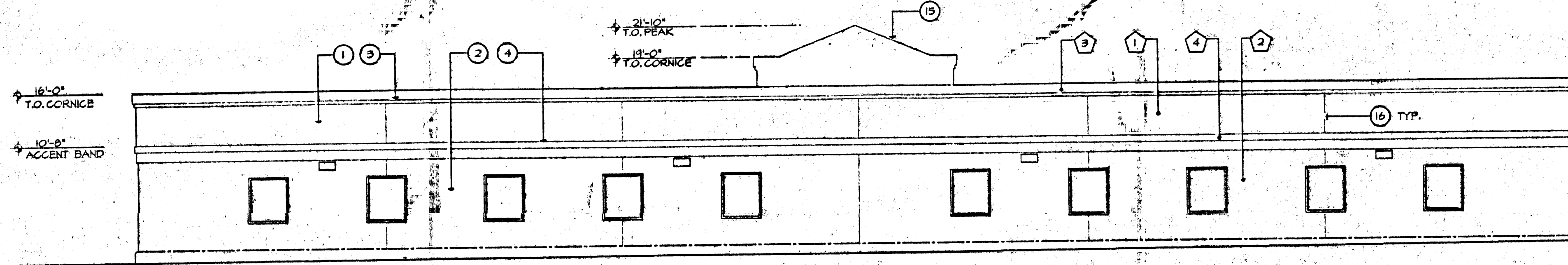
FRONT ELEVATION - OFFICE BLDGS #3 & #4 SIMILAR

1/8" = 1'-0"



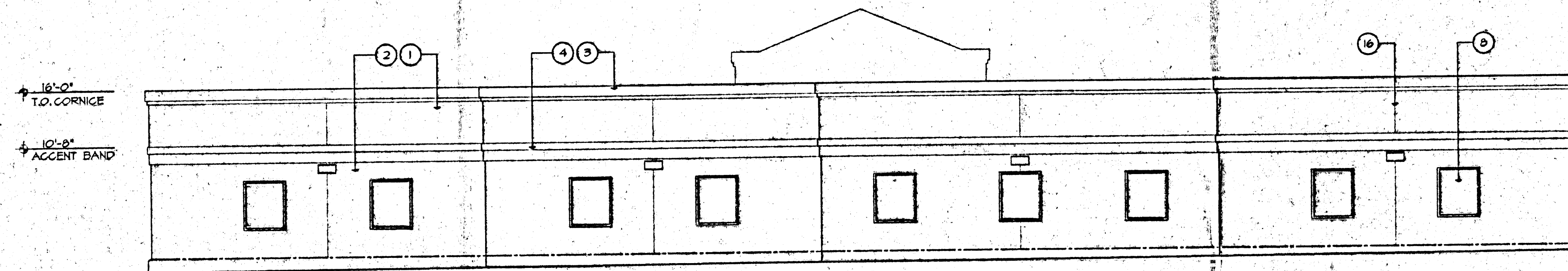
SIDE ELEVATION - OFFICE BLDG #3 & #4 - BOTH SIDES IDENTICAL

1/8" = 1'-0"



REAR ELEVATION - OFFICE BLDG #3

1/8" = 1'-0"



REAR ELEVATION - OFFICE BLDG #4

1/8" = 1'-0"

EXTERIOR ELEVATIONS - OFFICE BUILDINGS #3 & #4

KEYED NOTES

1. FIELD SURFACE, OFF-WHITE STUCCO W/ SAND FINISH
2. FIELD SURFACE, LIGHT TAN STUCCO W/ SAND FINISH
3. CORNICE, OFF-WHITE STUCCO W/ SAND FINISH
4. ACCENT BAND, OFF-WHITE STUCCO W/ SAND FINISH
5. STUCCO TO MATCH BRICK
6. HOLLOW METAL DOORS AND FRAMES W/ BRONZE FINISH
7. ALUMINUM STOREFRONT REFLECTIVE GLAZING SYSTEM W/ ANODIZED BRONZE FINISH
8. ALUMINUM REFLECTIVE GLAZING W/ ANODIZED BRONZE FINISH
9. COLUMN, OFF-WHITE STUCCO W/ SMOOTH FINISH
10. SPLIT-FACE BLOCK IN LIGHT-MEDIUM TAN RANGE TO MATCH SECOND FIELD COLOR
11. CAST STONE CAP TO MATCH SPLIT-FACE BLOCK W/ SMOOTH FINISH
12. 4" DIAMETER CIRCULAR INSET, OFF-WHITE STUCCO W/ SMOOTH FINISH
13. SIGNAGE @ 6% OF FACADE
14. PREMISE I.D. LOCATION
15. LINE OF PARAPET BEYOND
16. EXPANSION JOINT TYPICAL
17. HALL MOUNTED LIGHT FIXTURE @ 9'-0" A.F.F.

GENERAL NOTES

ALL HVAC EQUIPMENT WILL BE CONCEALED WITHIN THE PARAPET OR SCREEN WALL SIMILAR TO THE APPLICATION METHOD USED BY THE CREDIT UNION

SIGNAGE - BUILDING MOUNTED SIGNS WILL BE LIMITED TO 6% OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. LOGOS MAY BE USED AND BACKLIT, BUT WILL NOT EXCEED A DIMENSION OF 2' X 2'. INDIVIDUAL CHANNELIZED LETTERS, METAL AND NEON LETTERS CAN BE USED @ A MAXIMUM HEIGHT OF 2 FEET.

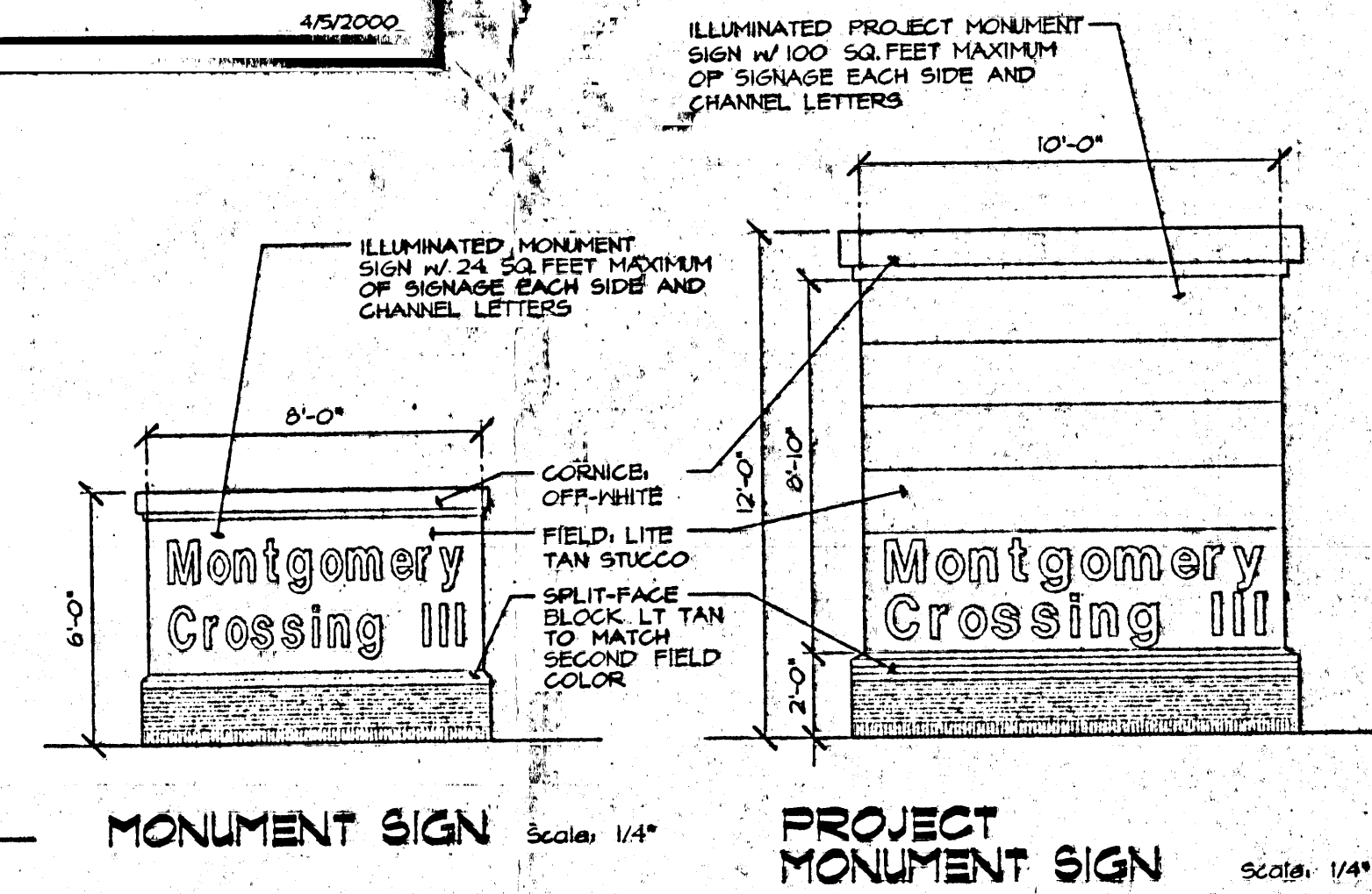
THERE WILL NOT BE ANY PLASTIC OR VINYL ARCHITECTURAL ELEMENTS INSTALLED ON THE EXTERIOR FACADE OF THE BUILDINGS IN THIS SITE DEVELOPMENT PLAN. ALSO, CHAIN LINK, VINYL FENCING OR BARBED WIRE WILL NOT BE PERMISSIBLE.

MONUMENT SIGNS WILL HAVE THE NEO-CLASSICAL ARCHITECTURAL FEATURES AND DESIGN AS REPRESENTED IN THIS SITE DEVELOPMENT PLAN. SIGNAGE IS LIMITED TO 24 SQ. FEET ON EACH SIDE.

PAINT SPECIFICATION

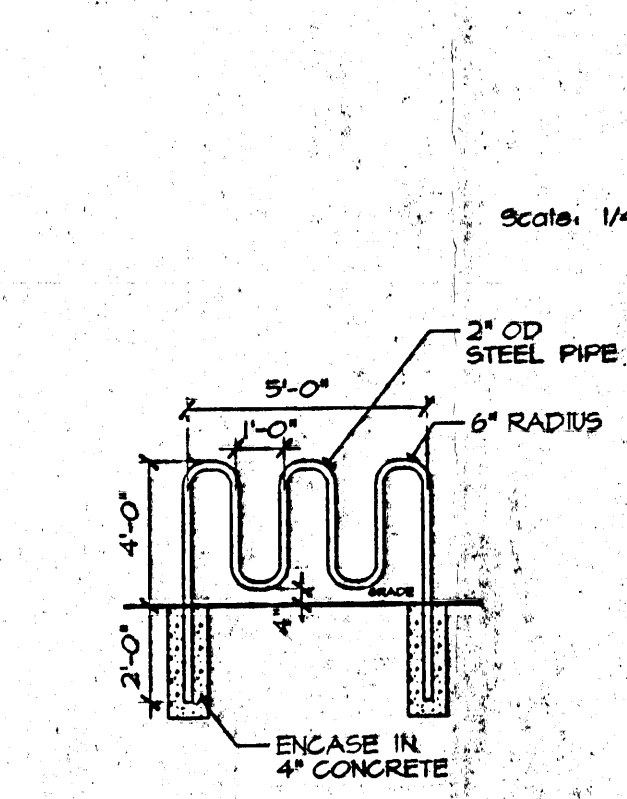
- ① FIELD - OFF-WHITE
- ② FIELD - LIGHT TAN
- ③ CORNICE - OFF-WHITE
- ④ ACCENT BAND - OFF-WHITE
- ⑤ COLUMN - OFF-WHITE
- ⑥ CAST STONE CAP - LT - MED TAN TO MATCH SECOND FIELD COLOR
- ⑦ SPLIT-FACE BLOCK - LT - MED TAN TO MATCH SECOND FIELD COLOR

4/25/2000

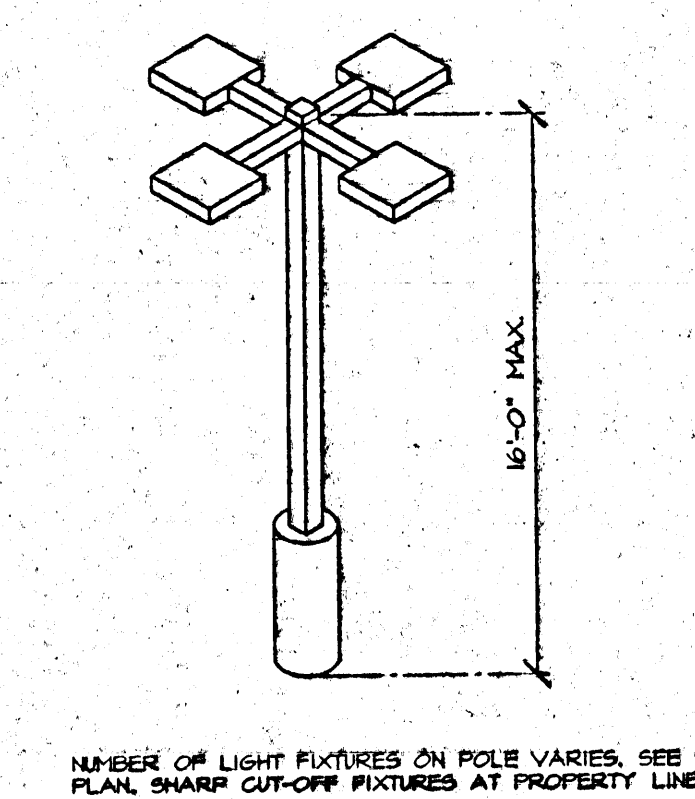


MONUMENT SIGN Scale: 1/4"

PROJECT MONUMENT SIGN Scale: 1/4"



BIKE RACK Scale: 1/4"



SITE LIGHTING No Scale

BPLW
Architects & Engineers

8200 Uptown Blvd NE Suite 400
Albuquerque, New Mexico 87109
(505) 881-9511
FAX (505) 881-1230
www.bplw.com

Salgado Lewis
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-6599
FAX (505) 243-9701
slw@salgadolewis.com

These drawings are on Treatment of Services and shall not be reproduced, copied or published without the written permission of the Architect. © 1998

Montgomery Crossing III
Site Development Plan

Montgomery Crossing III
Site Development Plan
8800 - 8910 Montgomery Boulevard NE
Albuquerque, New Mexico 87110

ISSUE DATE:
29 OCT 99

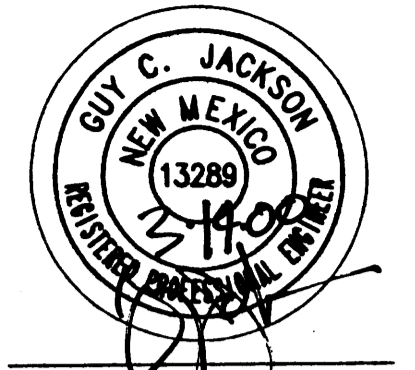
REVISIONS:

02 DEC 99
07 JAN 00
22 FEB 00
05 APR 00

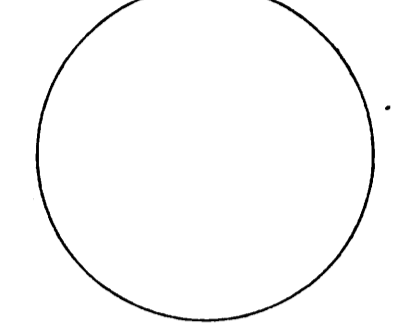
Elevations and Details
PROJECT SHEET
SDP5
OF 8

KEYED NOTES

1. INSTALL 12" PVC C-900 STORM DRAIN PIPE.
2. INSTALL 4" CI SAS PIPE.
3. CONSTRUCT UNDERGROUND STORM WATER DETENTION TANKS.
4. INSTALL DOUBLE CLEANOUT.
5. INSTALL 1" COPPER PIPE.
6. INSTALL 1" WATER METER PER COA STD DWG. #2362 & 2366.
7. INSTALL 3/4" COPPER PIPE.
8. INSTALL 3/4" WATER METER.
9. INSTALL 8" WATERLINE.
10. INSTALL 2LF OF 4" & 6" PVC PIPE. CONNECT TO EXIST. 10" PIPE WITH WYE AND REDUCERS. REMOVE CONCRETE RESTRICTOR AT OUTFALL APPROX. 130' WEST OF SITE.
11. CONSTRUCT ACCESS POINT FOR VAULT.
12. INSTALL SINGLE "D" STORM DRAIN INLET.
13. EXISTING WATERLINE. TO BE ABANDONED IN PLACE.
14. INSTALL FIRE HYDRANT.
15. INSTALL 6" WATERLINE.
16. INSTALL TERMINAL SINGLE CLEANOUT.
17. INSTALL 24" RCP IV STORM PIPE.
18. INSTALL SINGLE CLEANOUT.
19. INSTALL WATER VALVE.
20. INSTALL 6" CI SAS PIPE.
21. INSTALL 6" PVC C-900 STORM DRAIN PIPE.



BPLW
Architects & Engineers
8200 Uptown Blvd NE Suite 400
Albuquerque, New Mexico 87110
(505) 881-8818 (2798)
FAX (505) 881-1230
e-mail: gjackson@bplw.com



WAND Architects
1620 Central Ave SE
Albuquerque, NM 87106
(505) 247-1559
(505) 242-0701 FAX
jordan@wandarchitects.com

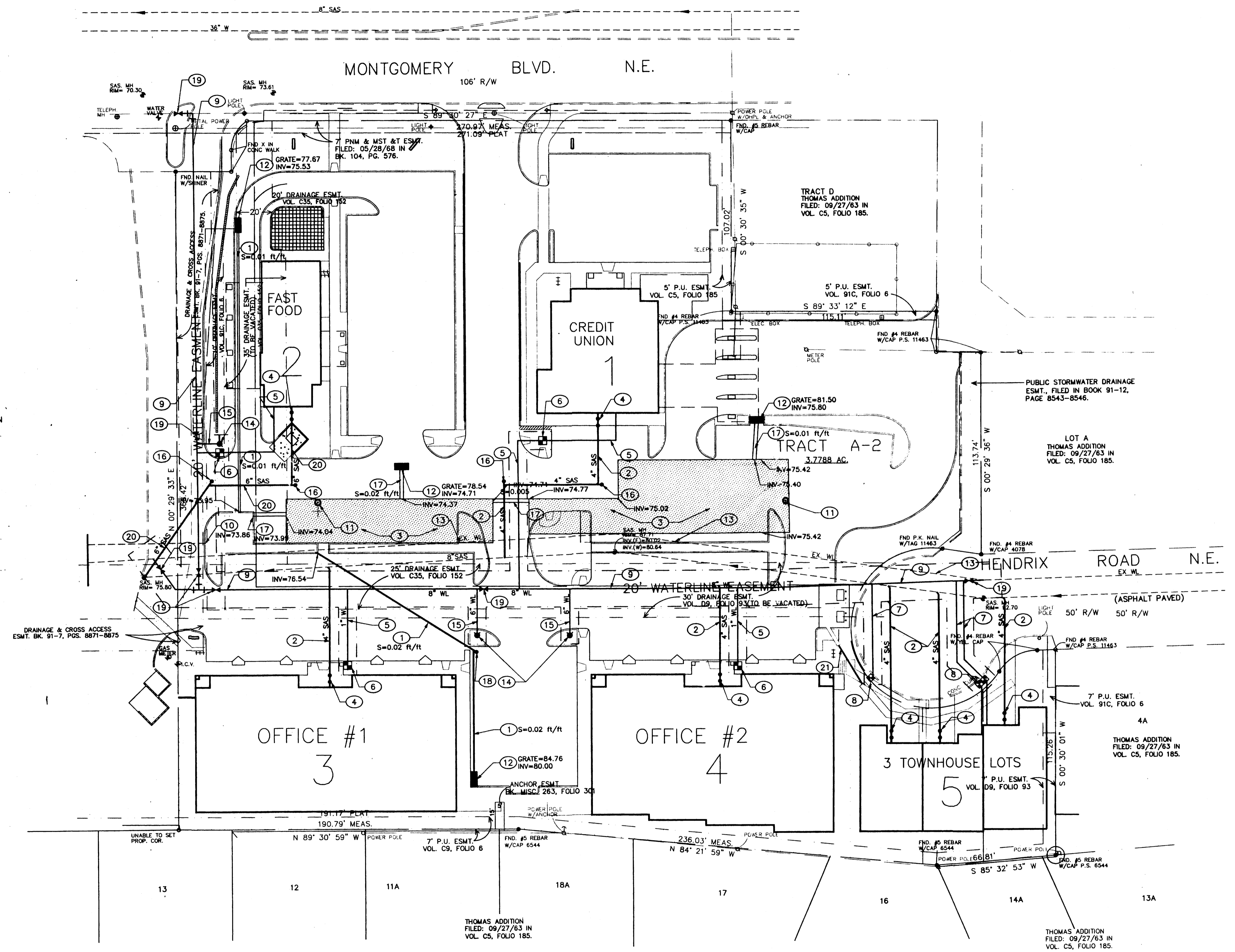
These drawings are an "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the Architect.

PLANNING
CONSENSUS
Planning Services
1620 Central Ave SE
Albuquerque, NM 87106
(505) 247-1559
(505) 242-0701 FAX
jordan@wandarchitects.com

Montgomery Crossing III
Conceptual Design
Montgomery Road NE near Wyoming Blvd NE
Albuquerque, New Mexico 87110

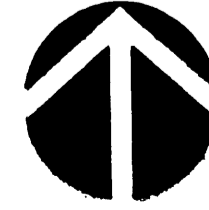
ISSUE DATE: _____
REVISIONS: _____

PROPOSED UTILITY PLAN
SHEET **SDP6**
PROJECT 0901 OF



TRACT A-1
MONTGOMERY CROSSING ADDITION
PHASE-III

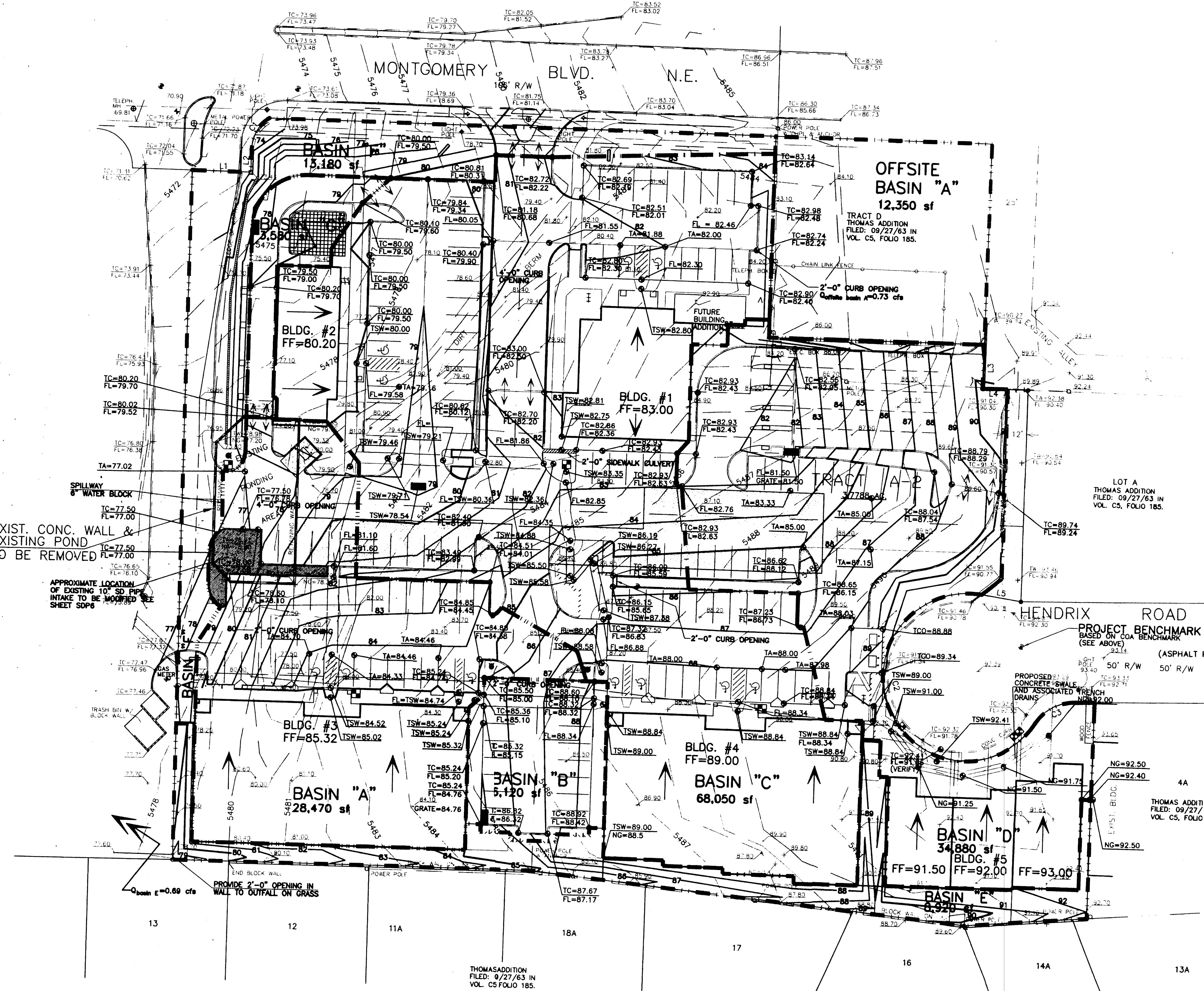
① PROPOSED UTILITY PLAN



0 15' 30' 60' 120'
SCALE: 1"=30'

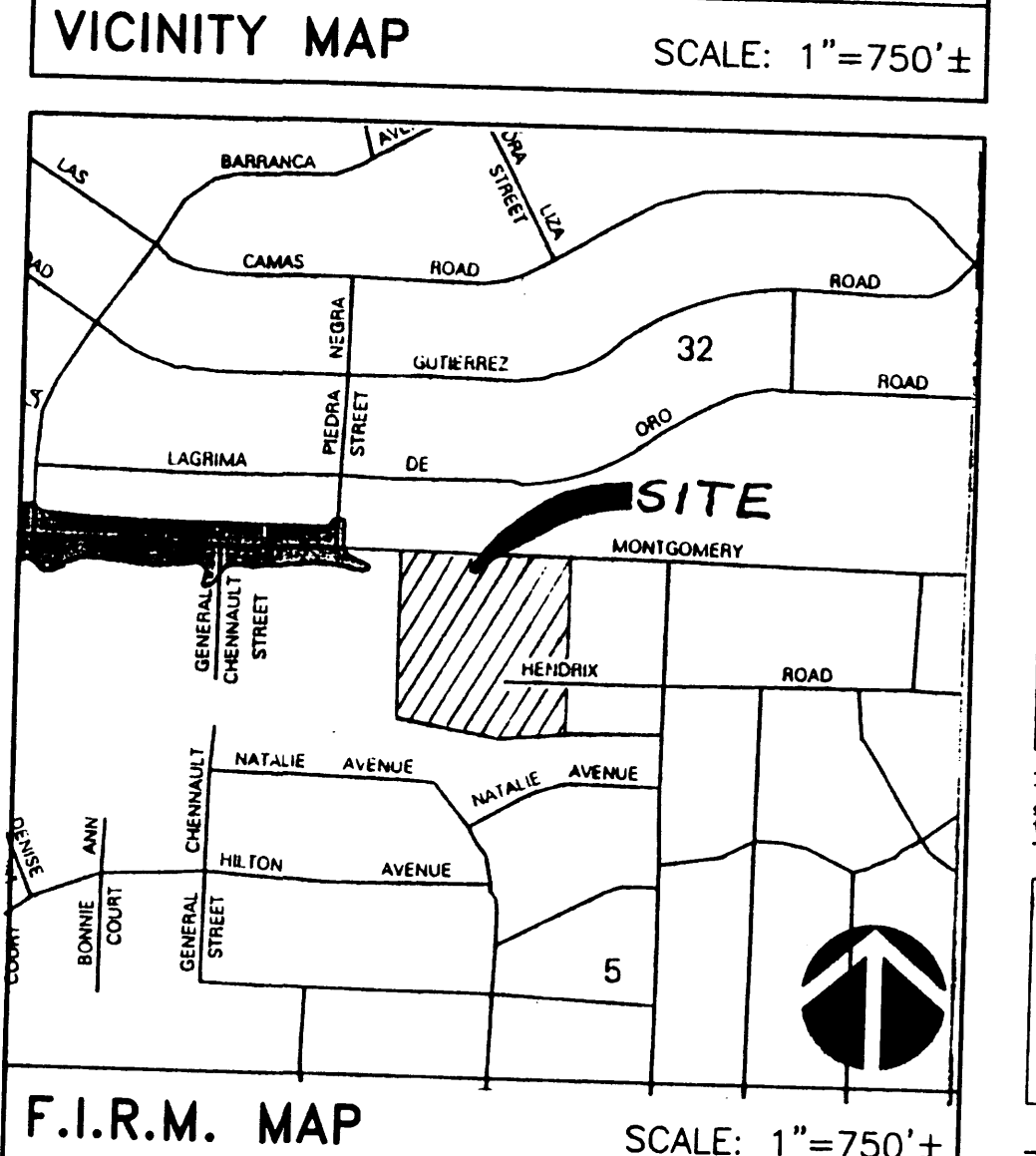
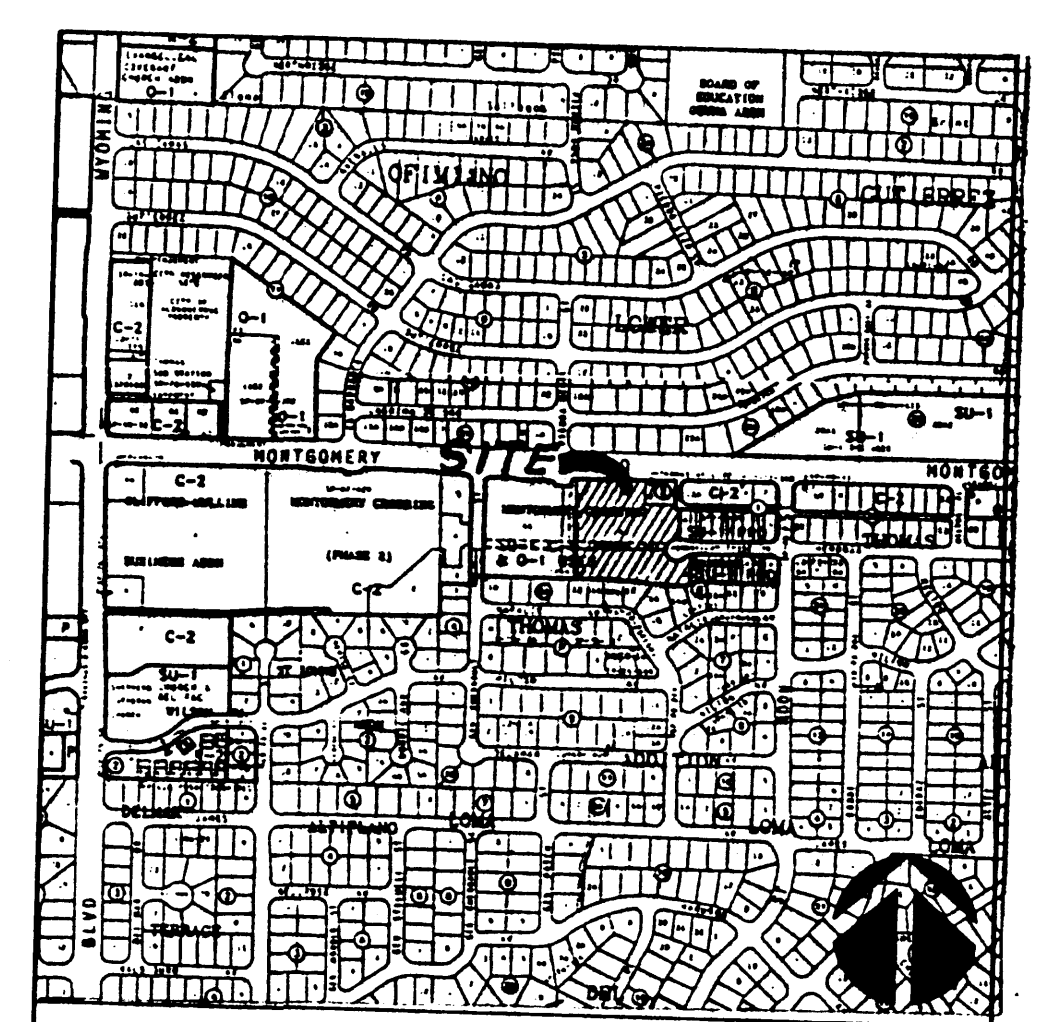
Scale 1"=30'

NOTES



LEGEND:

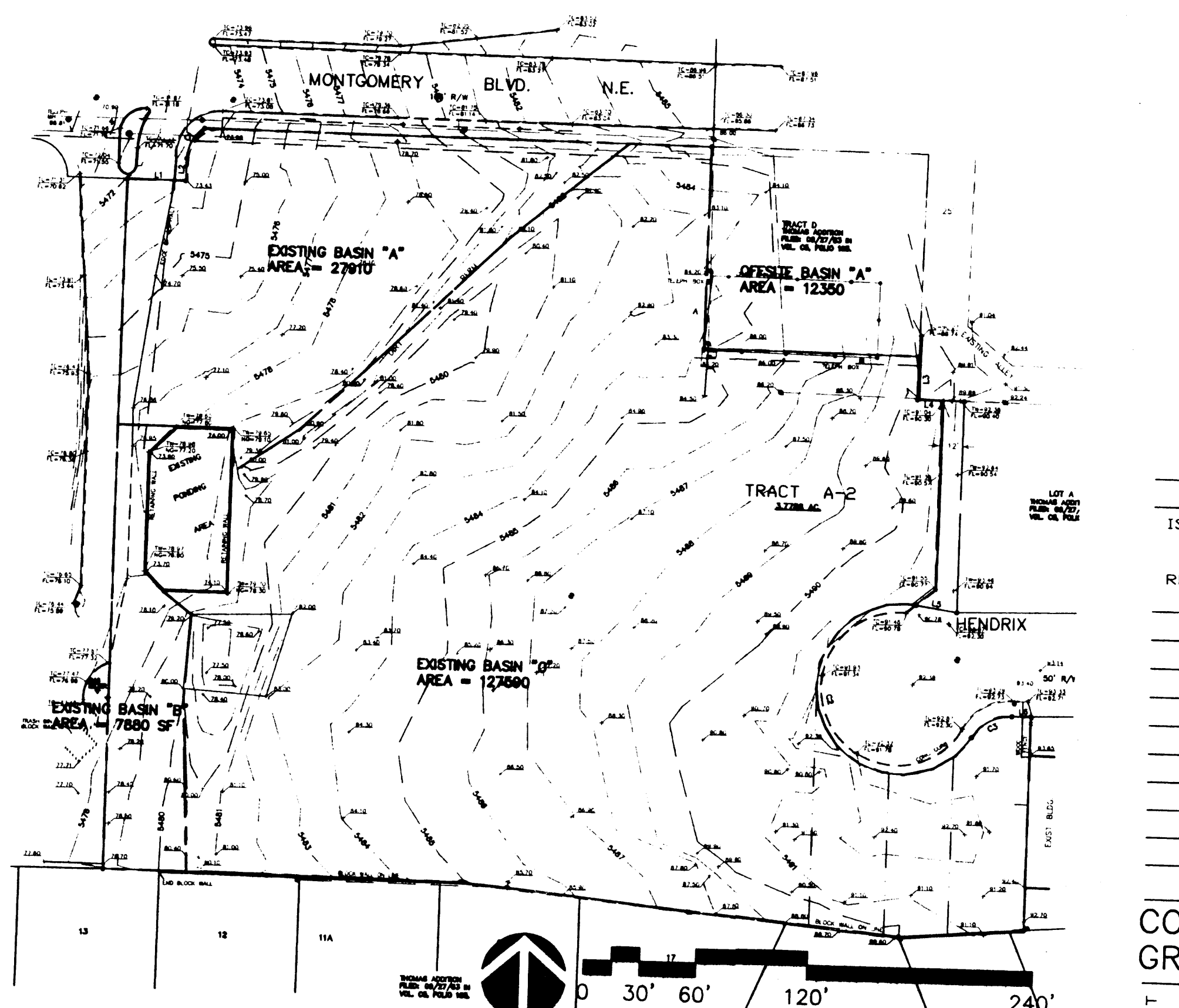
Existing Contours	
Single storm drain inlet	
Proposed Spot Elevation	
Proposed Contours	
Proposed Flowline/Swale	
High Point	
TSW	TOP OF SIDEWALK
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
FF	FINISH FLOOR
FL	FLOW LINE
DIRECTION OF ROOF FLOW	
PROPOSED POND TO BE COVERED PER DRAINAGE TEXT	
PROPOSED UNDERGROUND POND/VAULT	



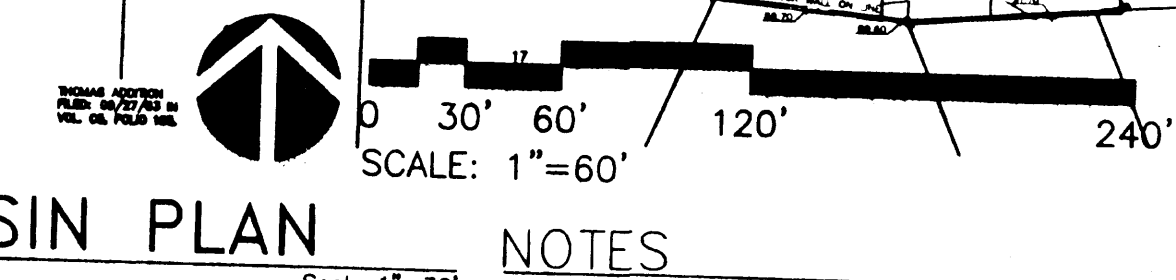
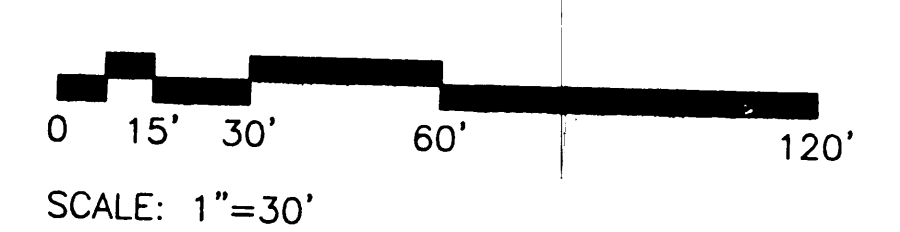
COA BENCHMARK:
ELEVATIONS SHOWN ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "14-F20", A STANDARD BRASS TABLET SET IN THE CURB AND HAVING AN ELEVATION OF 5390.738 FEET.

PROJECT BENCHMARK:
SAS MANHOLE LID LOCATED ON HENDRIX ROAD CUL-DE-SAC ELEV. = 5492.70 MSLD

LEGAL DESCRIPTION:
TRACT A-2 OF THE PLAT OF TRACTS A-1 AND A-2, MONTGOMERY CROSSING ADDITION, PHASE III, ALBUQUERQUE, NEW MEXICO VOL. 91C, FOLIO 6.



① CONCEPTUAL GRADING PLAN



GUY C. JACKSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
13289

BPLW
Architects & Engineers
8200 Union Blvd NE Suite 400
Albuquerque New Mexico 87110
(505) 881-8910
Fax (505) 881-1235
e-mail: gjackson@bplw.com

ARCHITECTURE
1620
Central Ave SE
Albuquerque NM 87106
(505) 845-1800
(505) 845-9701 FAX
james@montgomerycrossing.com

PLANNING
CONSULTANTS
Landscape Architecture
Landscape Planning Services
Civil Engineering
300 University Blvd NE
Albuquerque, NM 87106
(505) 845-1800

Montgomery Crossing III
Conceptual Design
Montgomery Road NE near Wyoming Blvd NE
Albuquerque, New Mexico 87110

ISSUE DATE: _____
REVISIONS: _____
CONCEPTUAL GRADING PLAN
PROJECT 9901 SHEET SDP7
DATE 09/01/01