

DEVELOPMENT DATA

NET SITE AREA:
9.9924 ACRES (435,267 S.F.)

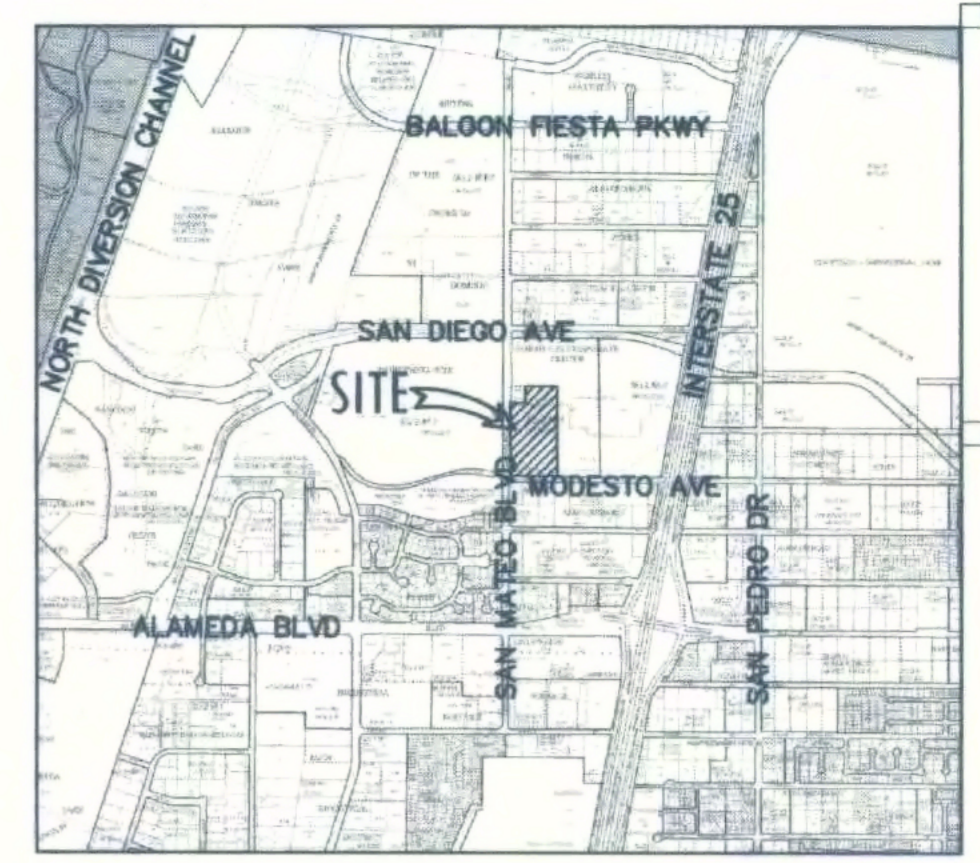
ZONING:
CURRENT: SU-2/SU-1 FOR HDR

BUILDING HEIGHT:
PROVIDED: 37 FEET

DENSITY:
PROPOSED: 22.42 DU/ACRE

SETBACKS PROVIDED:

BUILDINGS	SIDE (N)	REAR (W)	SIDE (S)	FRONT (E)
PARKING	15'	5'	67'	5'
	NA	5'	14'	38'



VICINITY MAP
NOT TO SCALE

UNIT MIX

	UNIT TYPE							UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1	A2	B1	B1m	B2.1	B2.2	C1			
LIVABLE	738	983	1,106	1,095	1,088	1,197	1,314	879	1,242	1,559
STOR/GAR	23	247	21	21	40	21	30	290	501	130
PAT/BAL	88	15	90	90	90	59	56	56	130	
BLDG TYPE 1	12							24	3	72
BLDG TYPE 2	12					8		20	2	40
BLDG TYPE 3	12			4	4			20	2	40
BLDG TYPE 4		2						2	4	8
BLDG TYPE 5							6	6	2	12
BLDG TYPE 6							12	12	2	24
BLDG TYPE 7							9	9	2	18
BLDG TYPE 8							5	1	6	6
BLDG TYPE 9							3	1	4	4
TOTAL	60	8	24	36	8	8	16	24	38	19

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

	SF REQ. PER DU	# OF TOTAL DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	92	36,800	
2 BEDROOM	500	114	57,000	
3 BEDROOM	600	18	10,800	
PROVIDED SITE OPEN SPACE				180,184
PROVIDED BALCONY PRIVATE OPEN SPACE				15,716
TOTAL (excess of 91,300 SF)	224	104,600	195,900	

PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1, A2, TA1 < 1,000 SF	92 - 1 BR / 1 BATH	1.5 / 1
UNIT B1, B2, TB1 > 1,000 SF	114 - 2 BR / 2 BATH	2 / 2
UNIT C1 > 1,000 SF	16 - 3 BR / 2 BATH	2 / 2
UNIT TC1 > 1,000 SF	2 - 3 BR / 3 BATH	2 / 3
PARKING SPACES REQUIRED		404
TRANSIT REDUCTION (10%)		-40
Total Parking Spaces Required		364
OPEN PARKING PROVIDED		120
CARPORIT PARKING PROVIDED		122
GARAGE PARKING PROVIDED		143
TANDEM OPEN (Provided but NIC in parking color)		46
Total Parking Provided		385
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		8
CARPORIT ACCESSIBLE PARKING PROVIDED		4
GARAGE ACCESSIBLE PARKING PROVIDED		1
Total Accessible Parking Provided		13
Bicycle Parking Required (1 SPACE FOR EVERY 2 DWELLING UNITS)		112
GARAGE BICYCLE RACK		103
Total Bicycle Parking Provided		113

- LEGEND**
- DENOTES PROPERTY LINE
 - ① BUILDING NUMBER
 - ② BUILDING TYPE
 - ⬢ NO. OF PARKING SPACES
 - ⬢ NO. OF COVERED SPACES
 - ♿ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT

- LIGHTING LEGEND**
- ⊞ TYPE 'SA': 18' TALL POLE LIGHT.
 - ⊞ TYPE 'SB': 12' TALL POLE LIGHT.
 - ⊞ TYPE 'SC': 8' TALL POST TOP LIGHT.
 - ⊞ TYPE 'SD': 42" HIGH BOLLARD LIGHT.
 - ⊞ TYPE 'SE': CARPORIT LIGHT.
 - ⊞ TYPE 'SF': WALL SOUNCE AT +5'-6" B.O.F. ADA COMPLIANT.
 - ⊞ TYPE 'SG': FLUORESCENT UPLIGHT.

KEYNOTES

- 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 01/A2.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/A2.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE DRIVEWAY CROSSING MARKING.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DET 06/A2.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 13/A2.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 07/A2.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A3.
- RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A3.
- GATE CONTROL BOX AND SITE DIRECTORY MAP, SEE DETAIL 17/A3. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A3.
- POOL GATE, SEE DETAIL 24/A3.
- WROUGHT IRON PERIMETER VIEW FENCE, SEE DETAIL 18 & 19/A3.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE, SEE DETAIL 27/A3.
- CMU PERIMETER WALL, SEE DETAIL 16/A3.
- WROUGHT IRON POOL FENCE, SEE DETAIL 19/A3.
- 6' SIDEWALK CONNECTING TO EACH BUILDING AND TO PUBLIC WAYS.
- 5' SIDEWALK, MAIN INTERIOR CONNECTION.
- 4' SIDEWALK, TYPICAL ON SITE.
- 3'-6" SIDEWALK AT STAIR APPROACH, TYPICAL.
- 6' SIDEWALK, TYPICAL AT PARKING, SEE DETAIL 09/A2.
- 6' SIDEWALK DETACHED 4' FROM STREET CURB AT MODESTO AVE.
- 6' SIDEWALK DETACH 6' FROM STREET CURB AT SAN MATEO BLVD.
- MONUMENT SIGN, SEE DETAIL 29/A3.
- BICYCLE PARKING RACK FOR 6 BICYCLES, SEE DETAIL 30/A3.
- FLAG POLE.
- POOL EQUIPMENT AT FITNESS BLDG.
- EASEMENT ACCESS GATE.
- FUTURE PEDESTRIAN GATE CONNECTION TO FUTURE COMMERCIAL DEVELOPMENT TO THE EAST.
- POTENTIAL STREET CROSSING WITH ENHANCED PAVING TO BE COORDINATED WITH CITY OF ALBUQUERQUE PARKS AND RECREATION DEPARTMENT.

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT NUMBER: 1000310
Application Number: 15EP-40072

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/15/16 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Ronald Millard Traffic Engineering, Transportation Division 4/6/16 Date
Wally Colera ABCWA 04/06/16 Date
Carl S. Dumont Parks and Recreation Department 4-6-16 Date
Wally Colera City Engineer 8-31-16 Date
Wally Colera Solid Waste Management 2-1-16 Date
Wally Colera DRB Chairperson, Planning Department 8-31-16 Date

BROADSTONE NORTHPOINT
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



WorldHQ@ORBArch.com



DATE: JANUARY 27, 2016 ORB # 15-212

A1 of 18

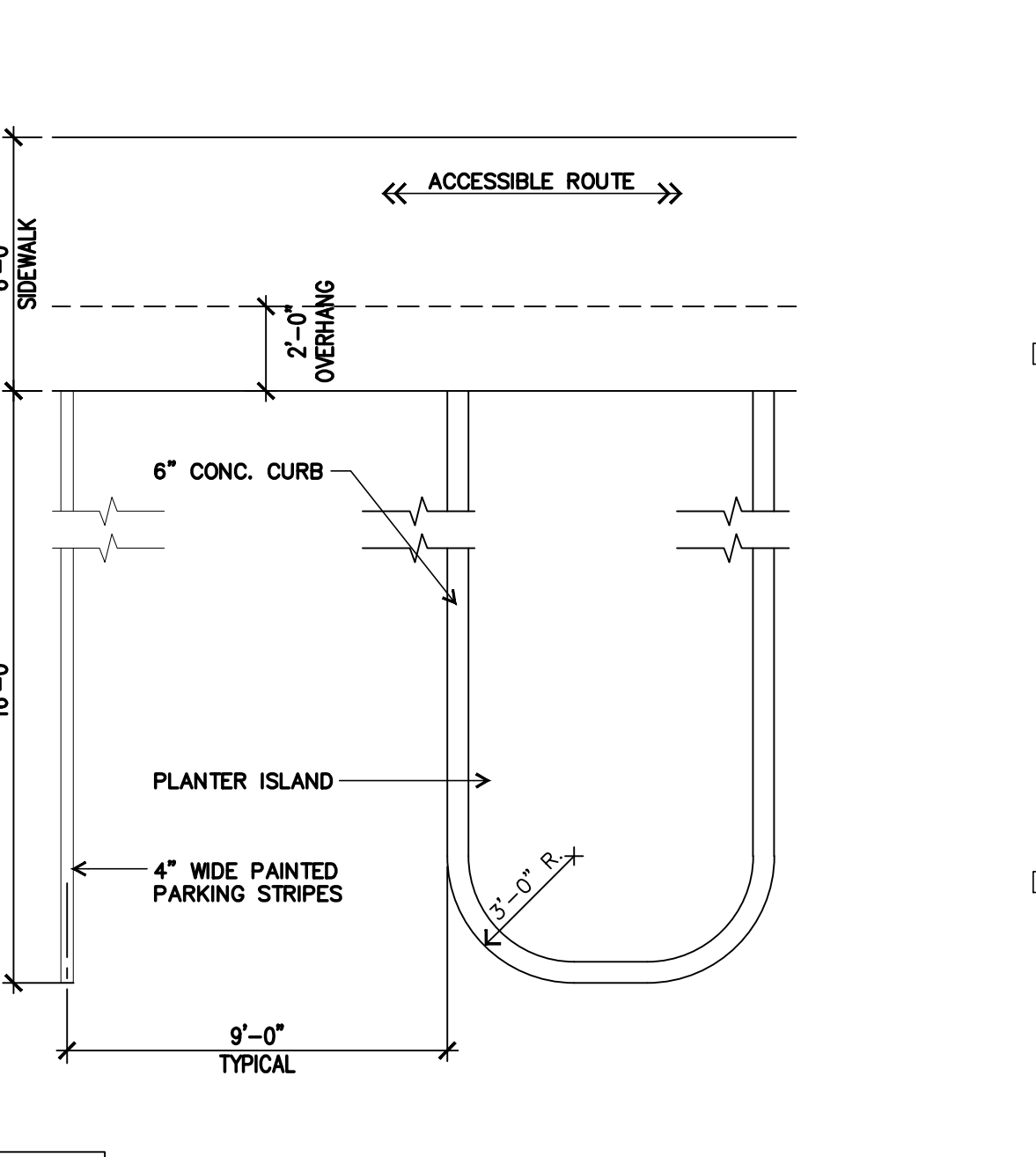
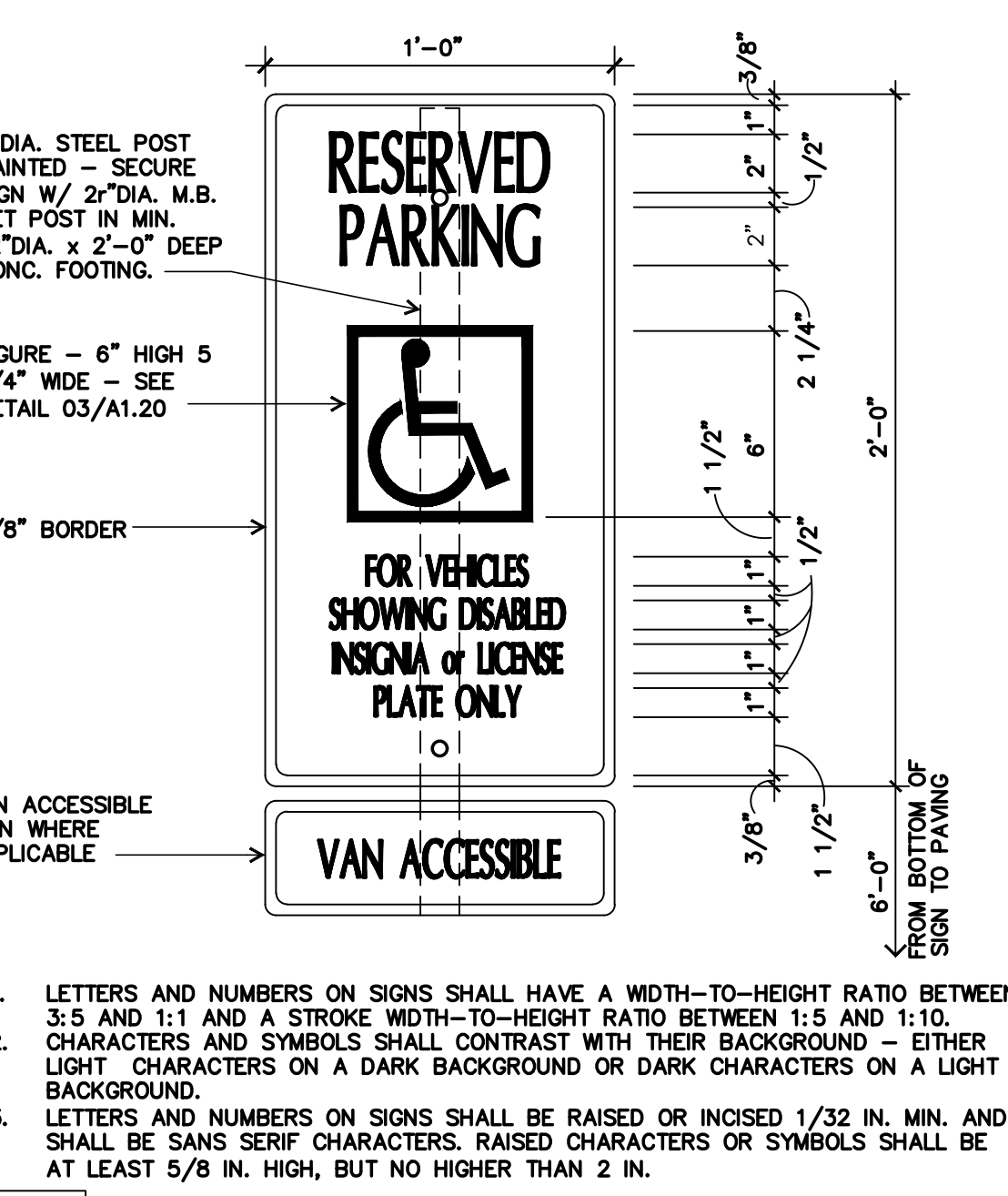
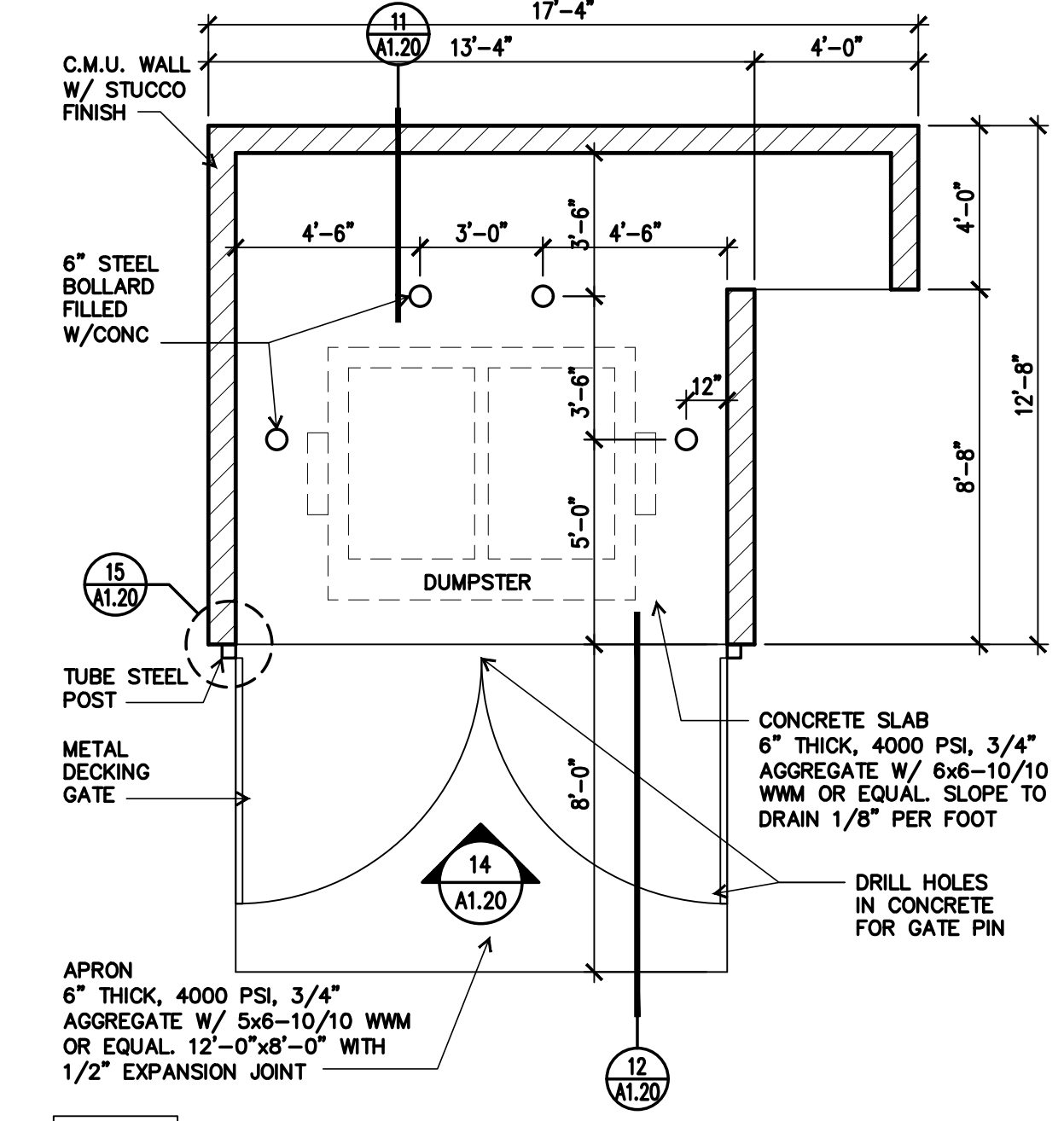
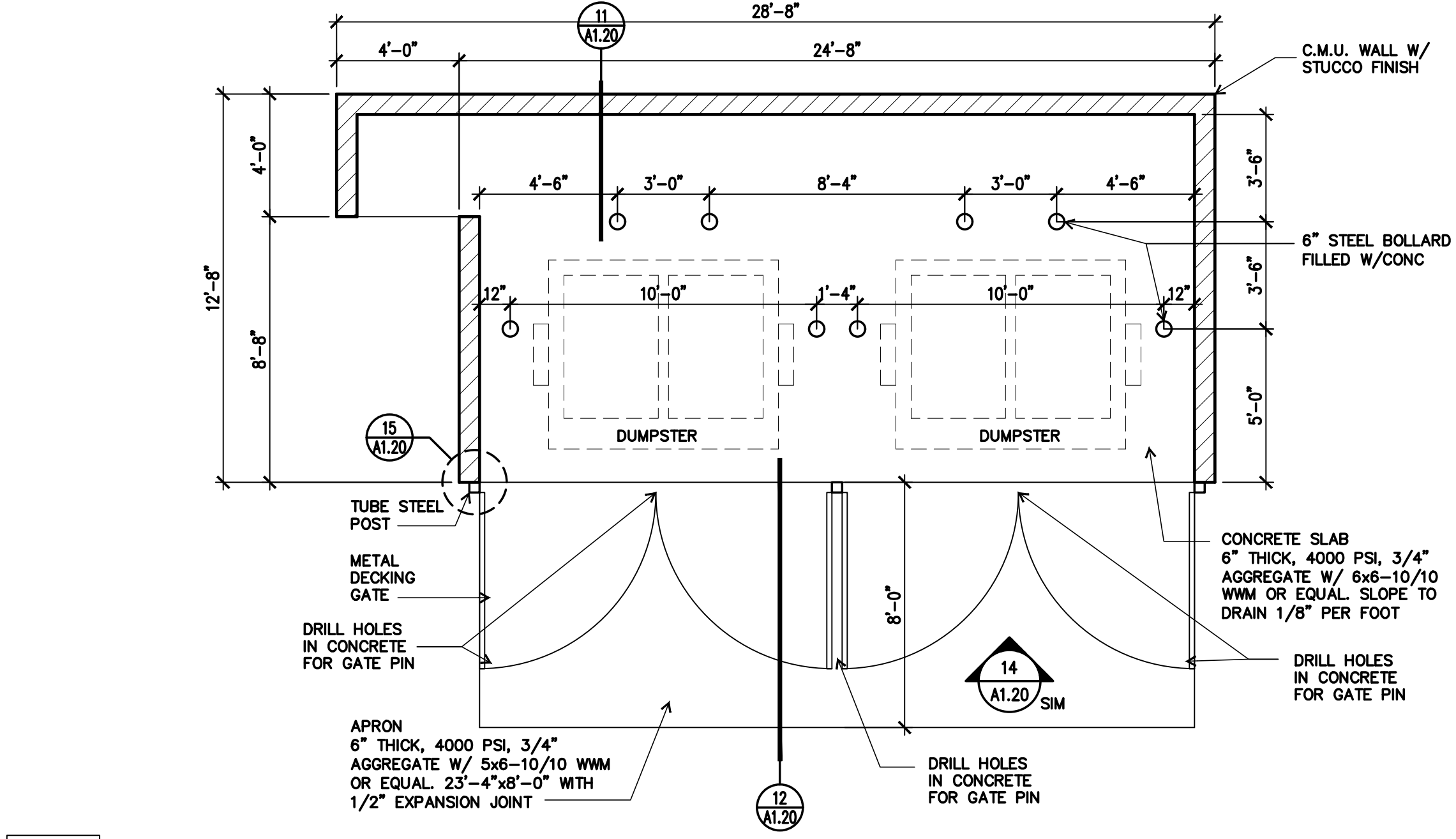
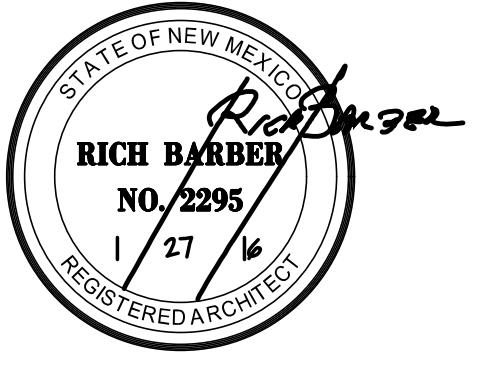
SITE PLAN PRELIMINARY

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TRACT 1-A-1-A
HONEYWELL SITE
4-19-1999 99C-92

TRACT 1-A-2
SPERRY SITE & WILDFLOWER PARK
5-14-1987 C33-134

PRELIMINARY SITE PLAN
SCALE: 1" = 50'-0"

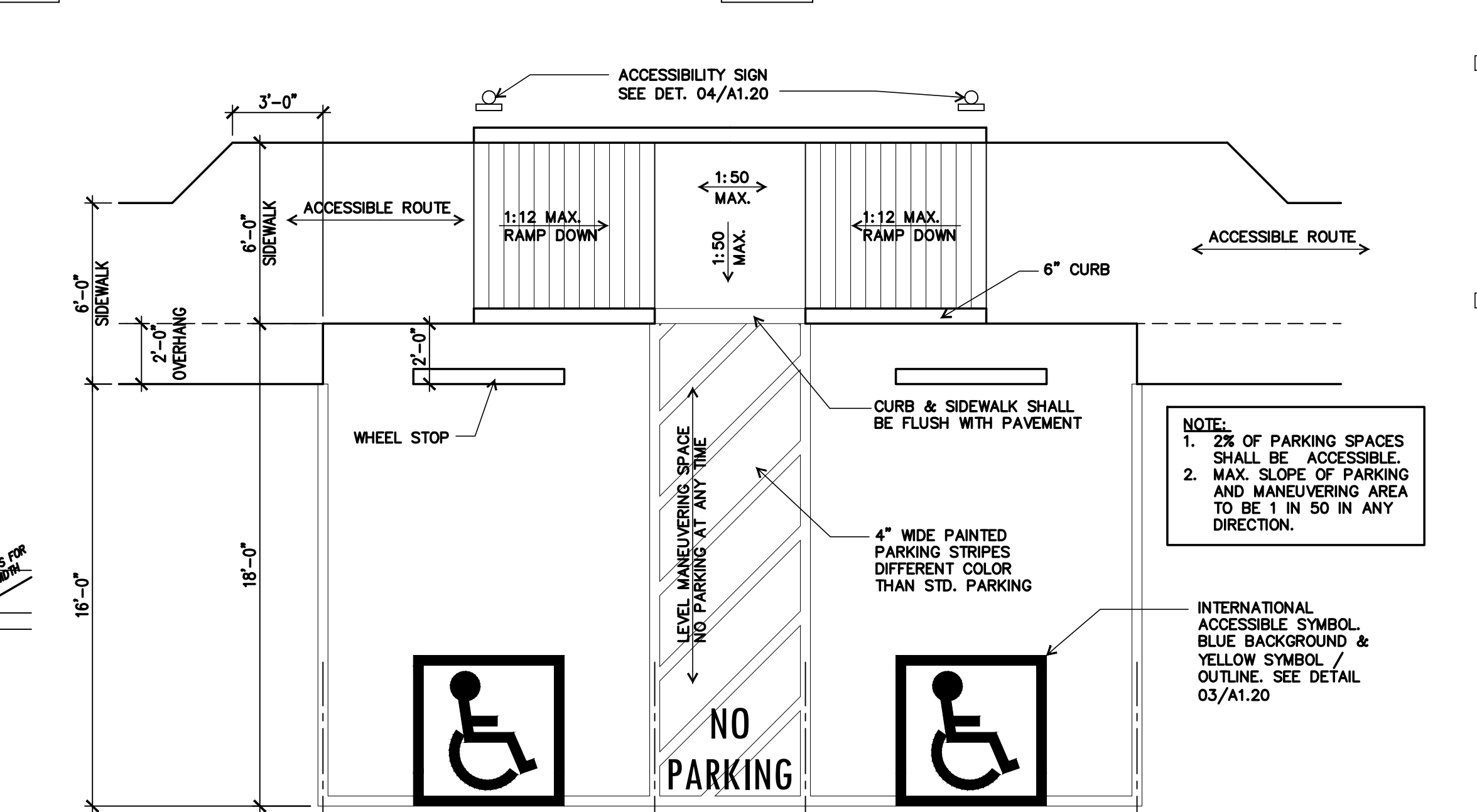
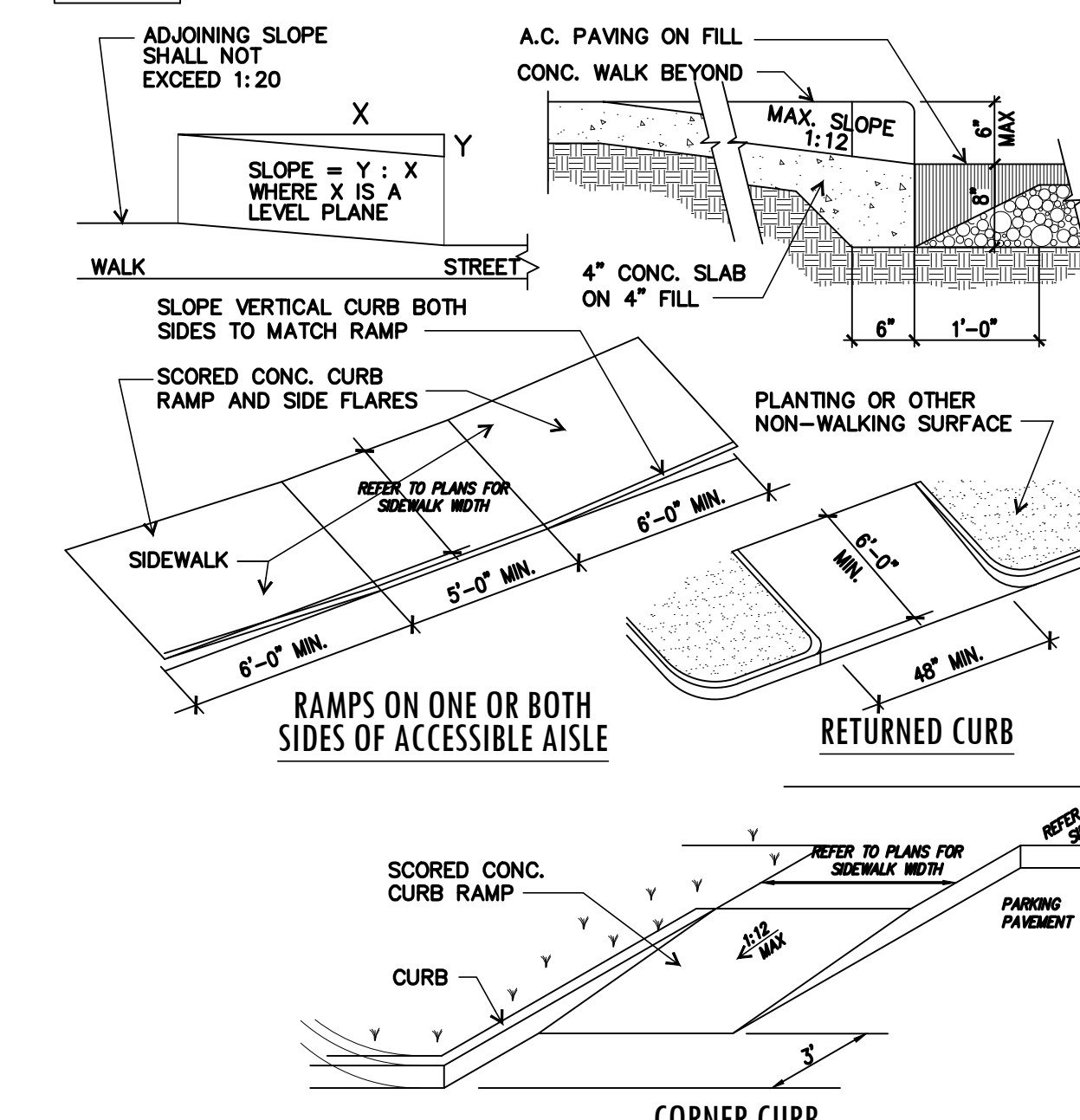
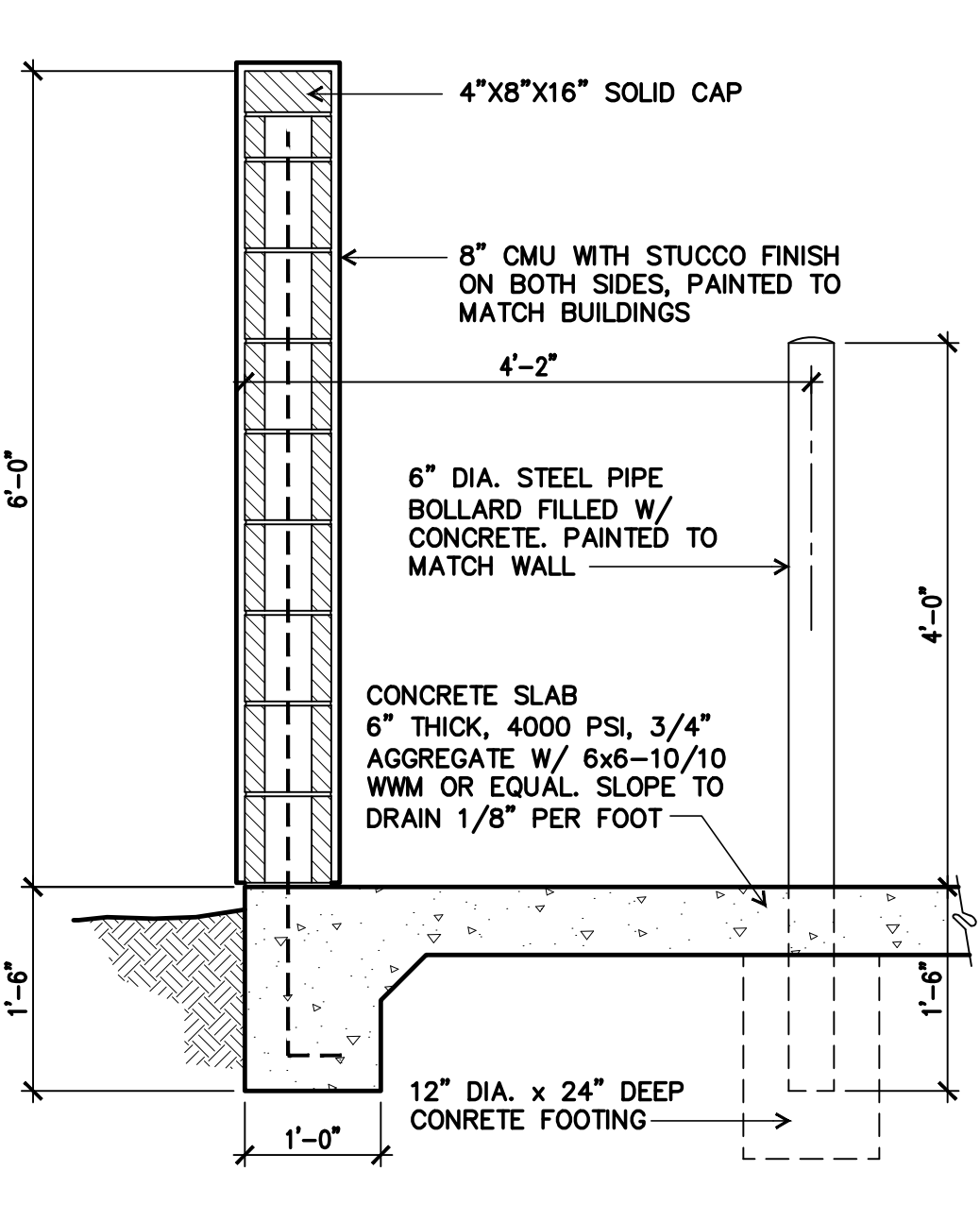
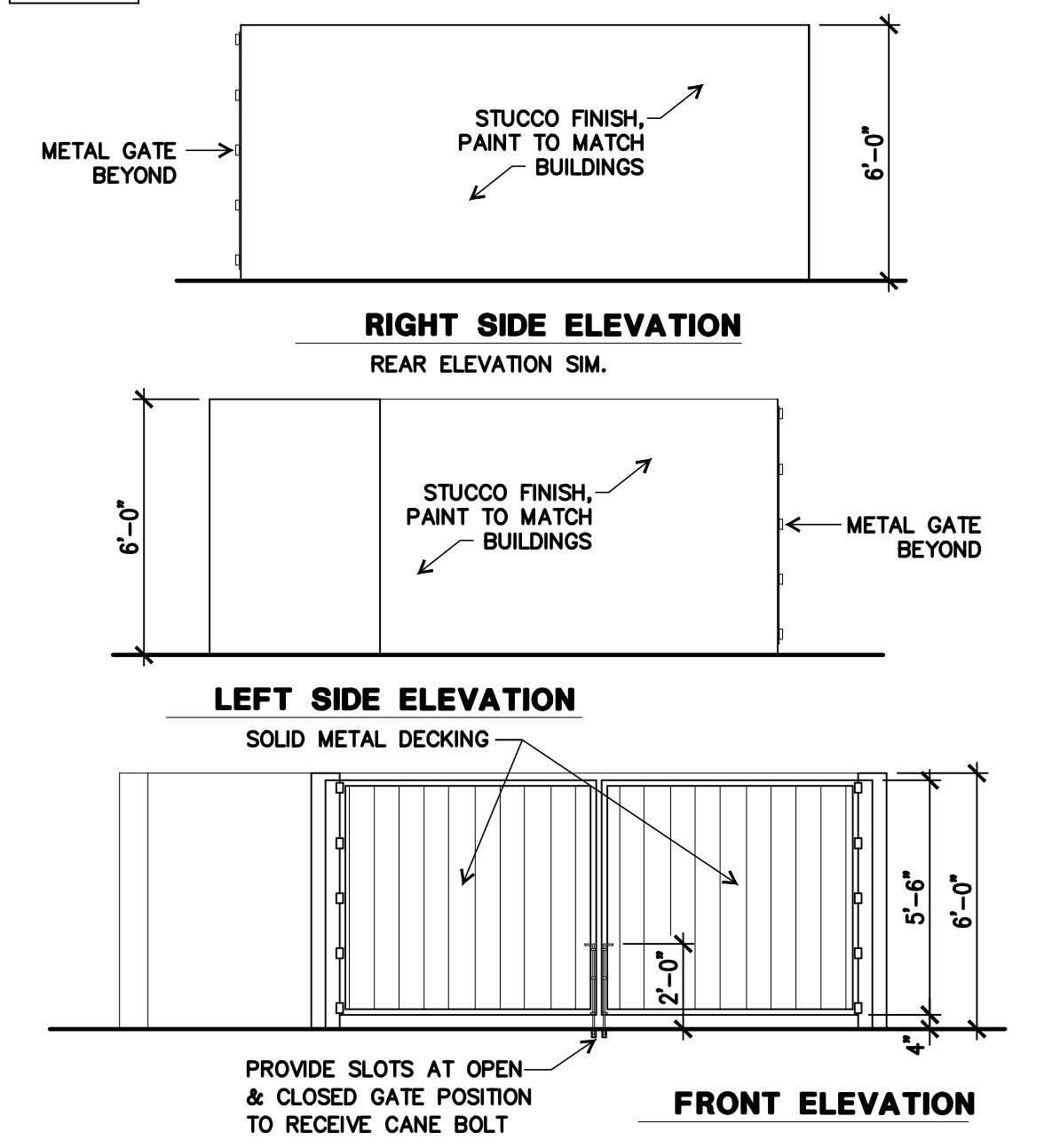


13 DOUBLE TRASH ENCLOSURE PLAN

07 SINGLE TRASH ENCLOSURE PLAN

04 ACCESSIBLE PARKING SIGN

01 TYPICAL PARKING STALL WITH ISLAND

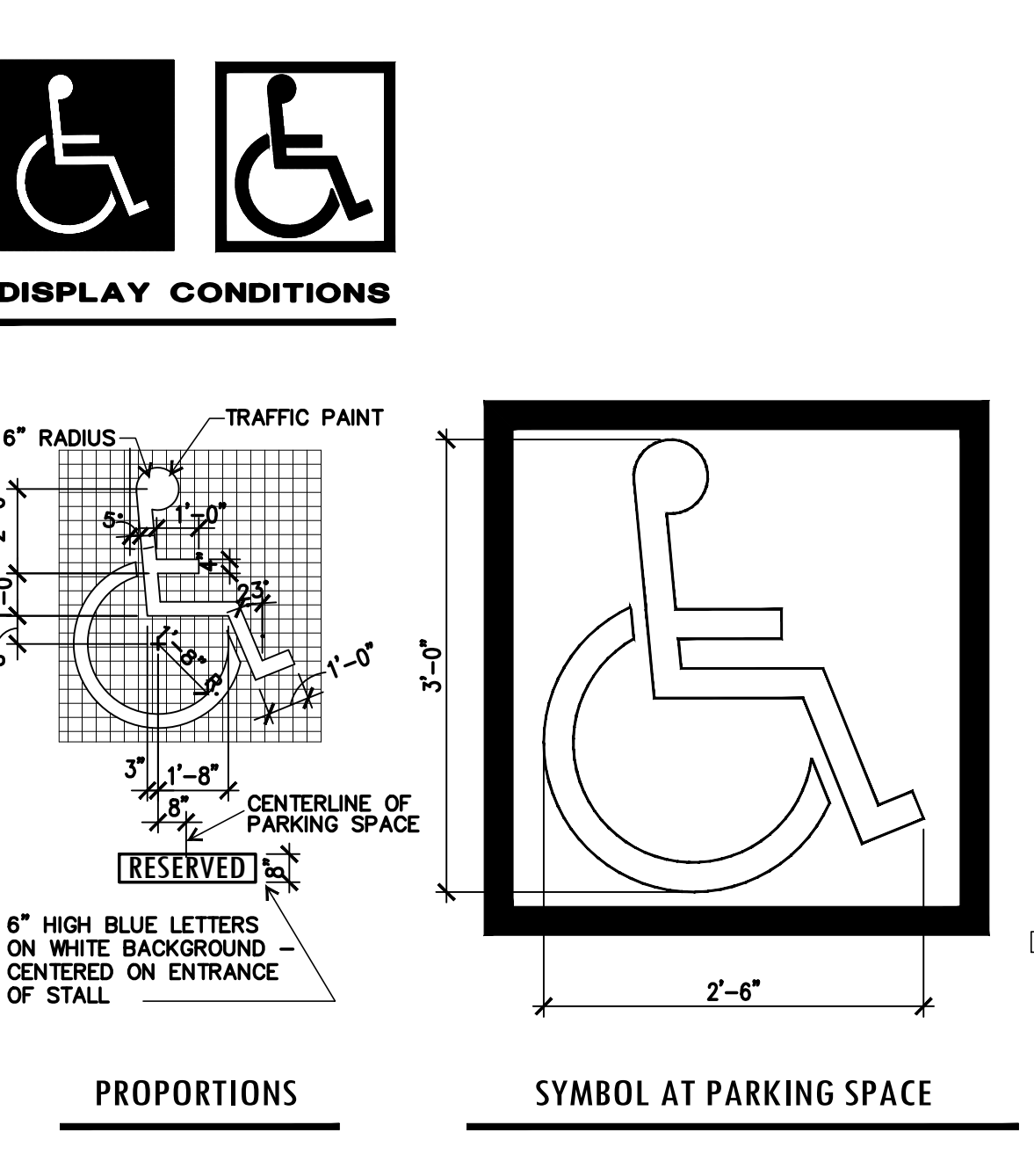
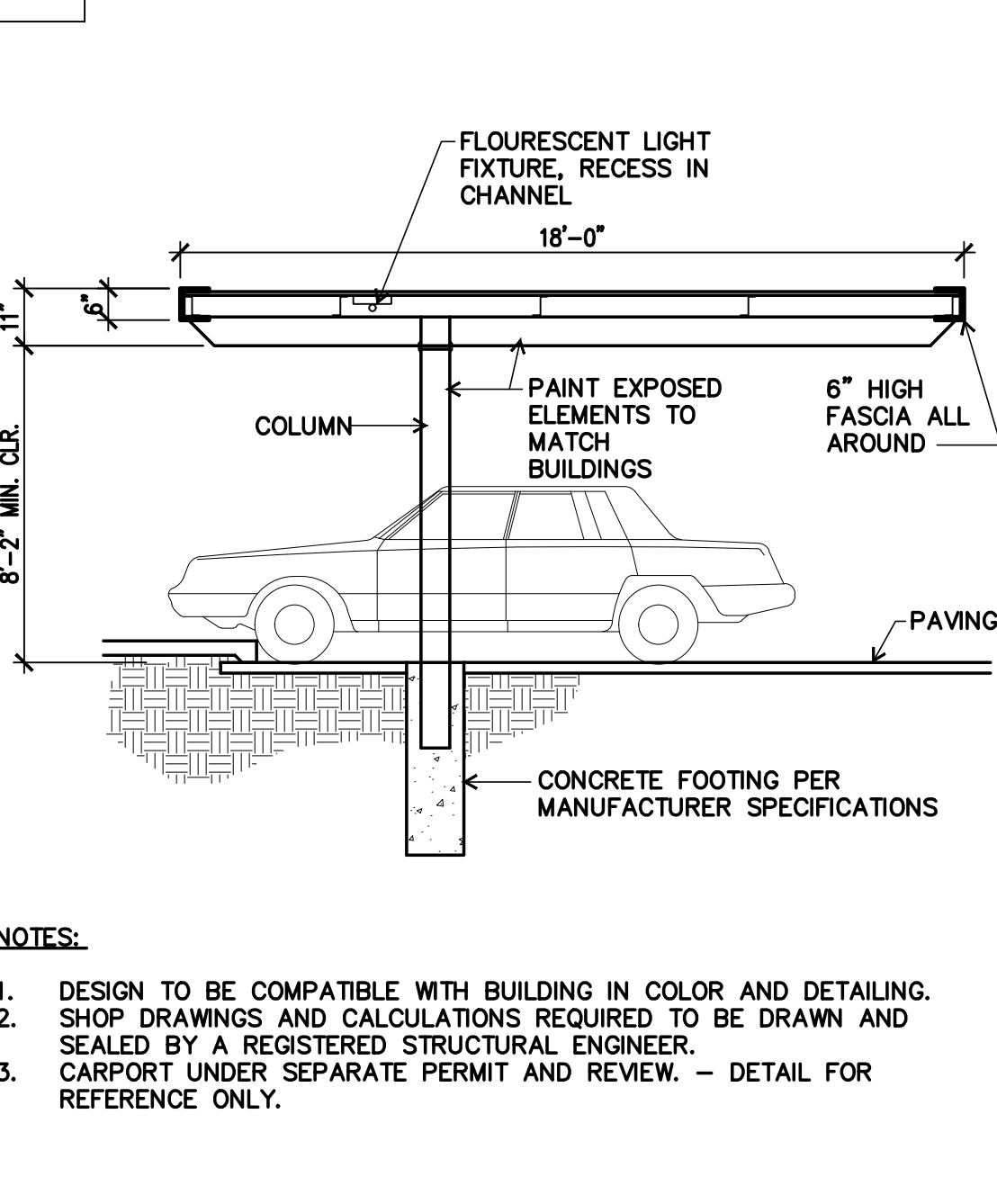
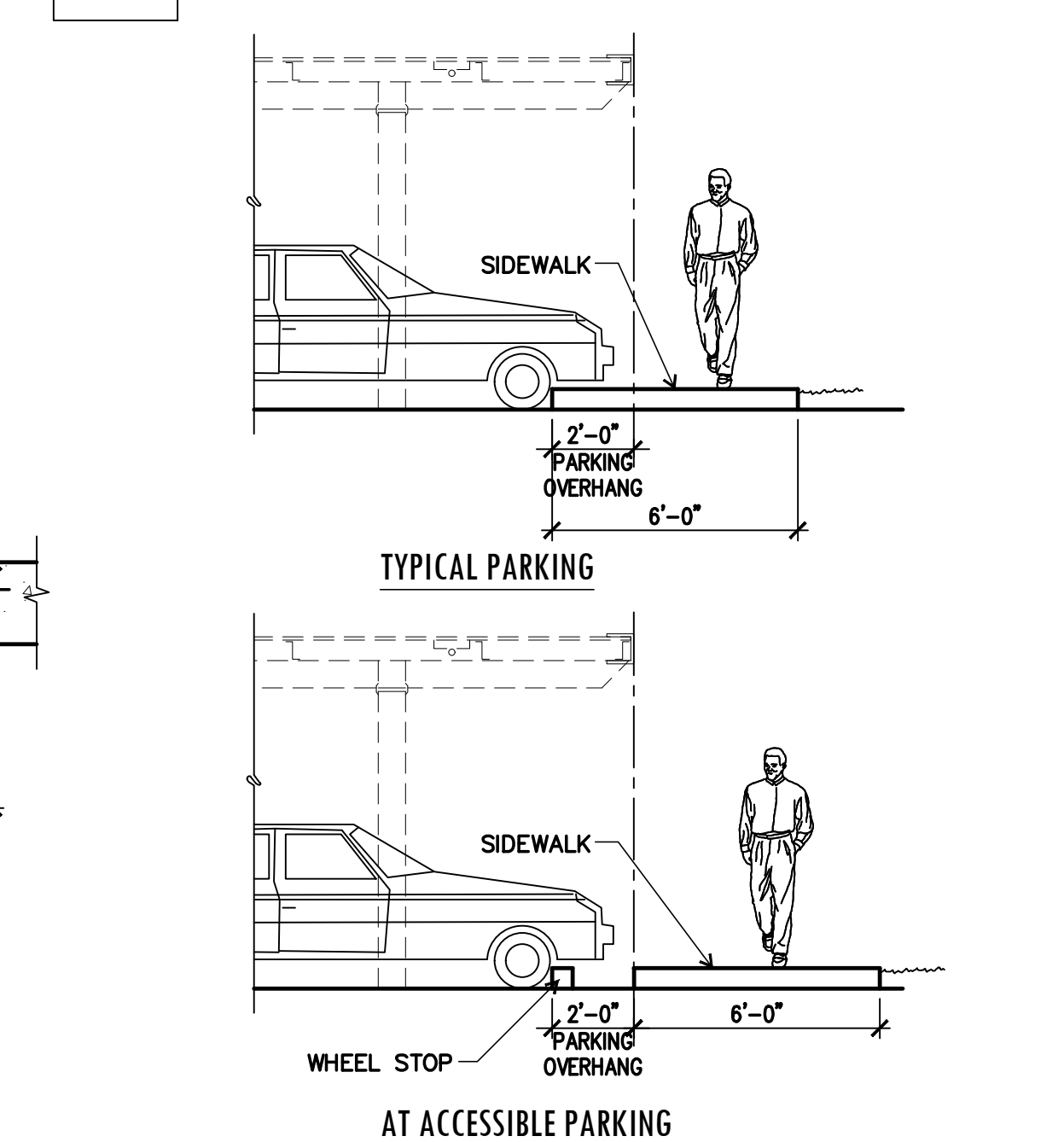
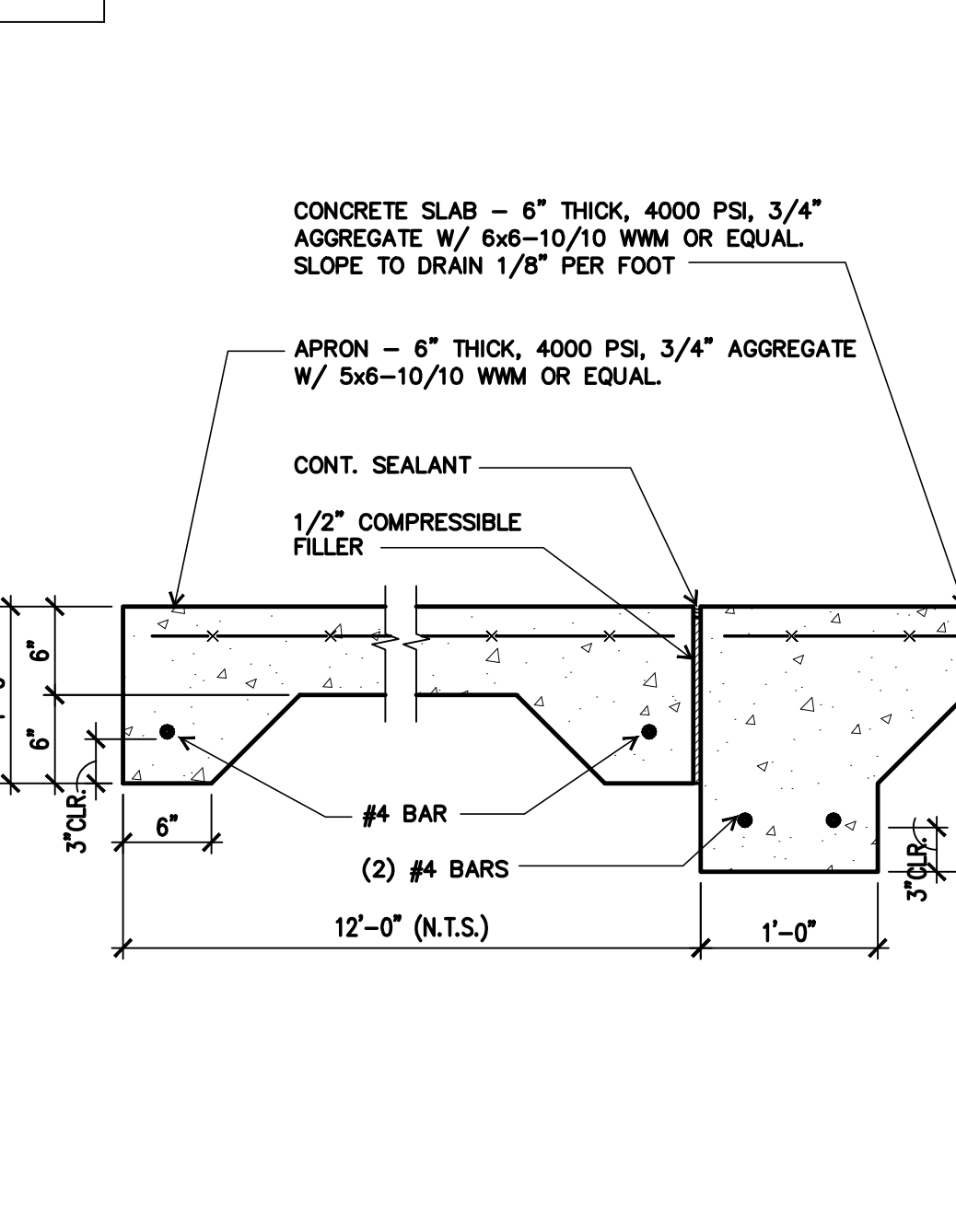
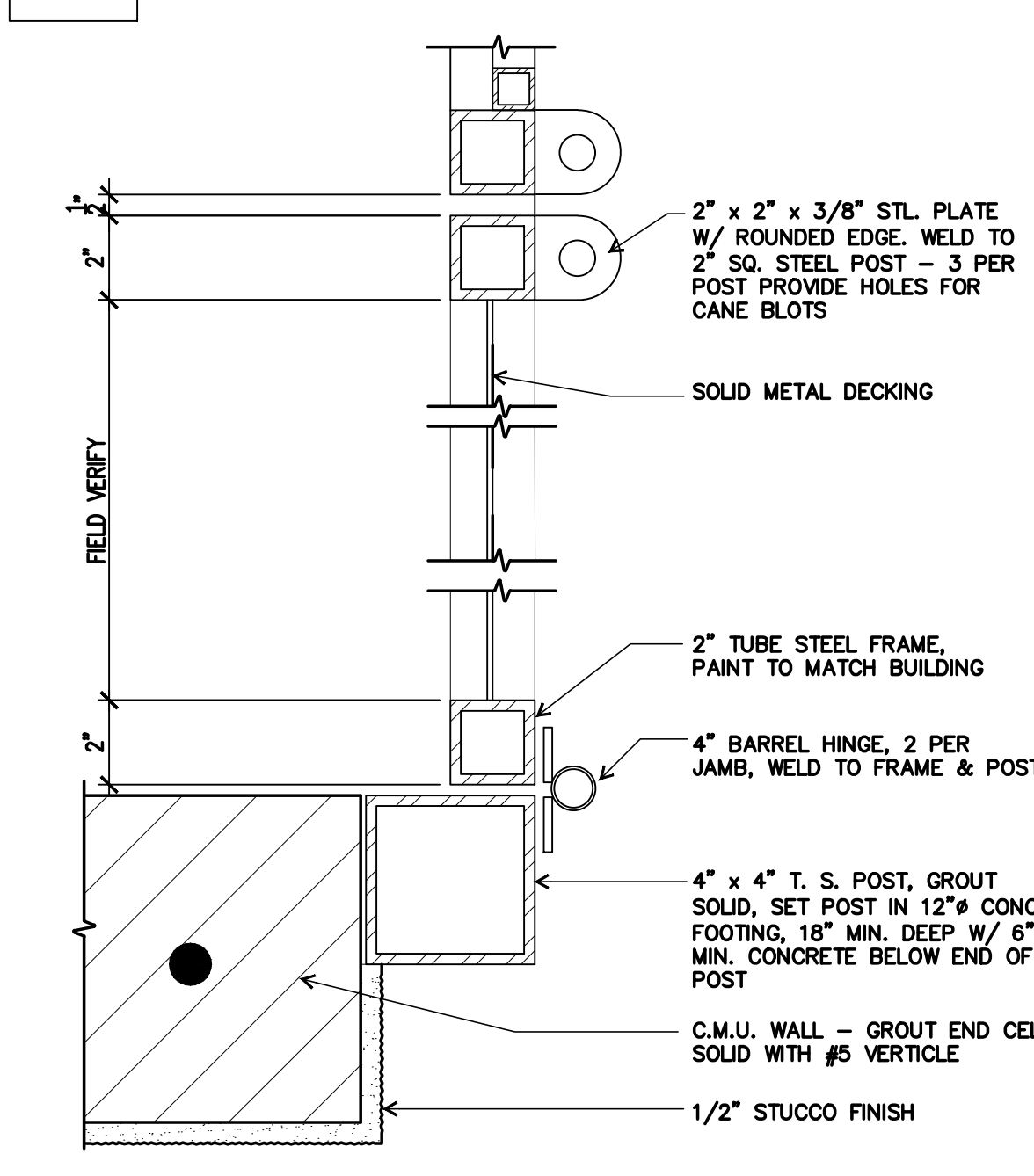


14 REFUSE ENCLOSURE ELEVATIONS

11 TRASH ENCLOSURE WALL

08 TYPICAL ACCESSIBLE RAMP

05 TYPICAL ACCESSIBLE PARKING STALL



15 TRASH ENCLOSURE GATE

12 REFUSE ENCLOSURE SLAB JOINT

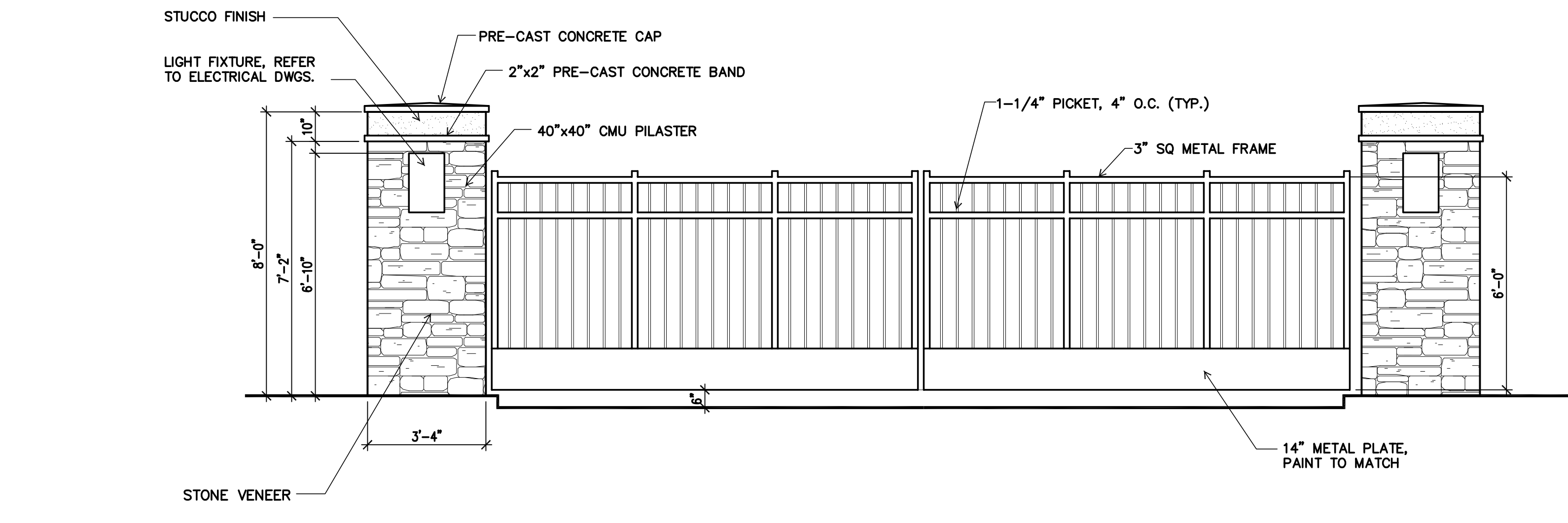
09 SIDEWALK AT PARKING

06 CARPORT DETAIL

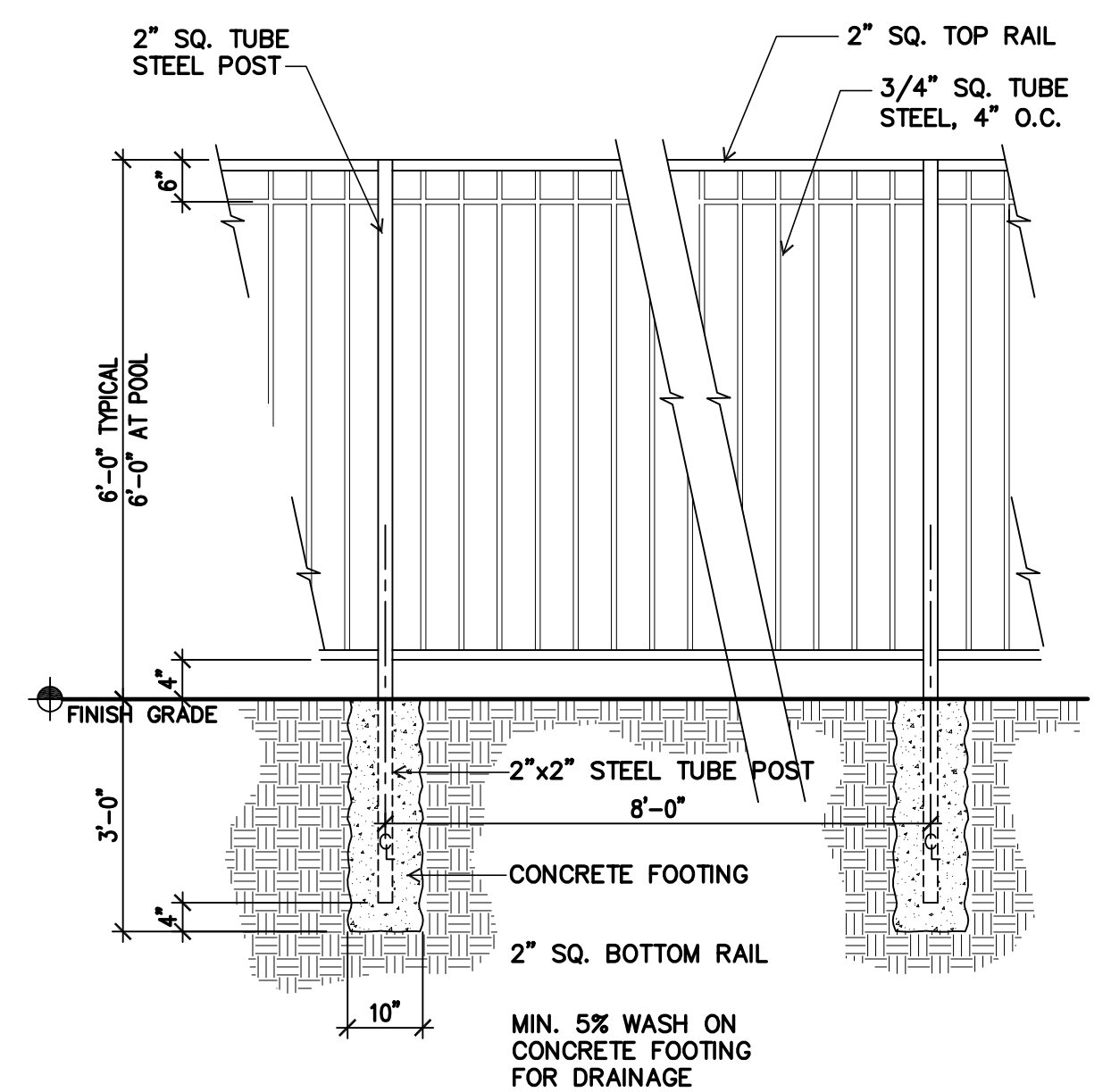
03 INTERNATIONAL SYMBOL OF ACCESSIBILITY

NOTES:
 1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION, TYPICAL. THESE DRAWINGS ARE ARCHITECTURAL ONLY.
 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

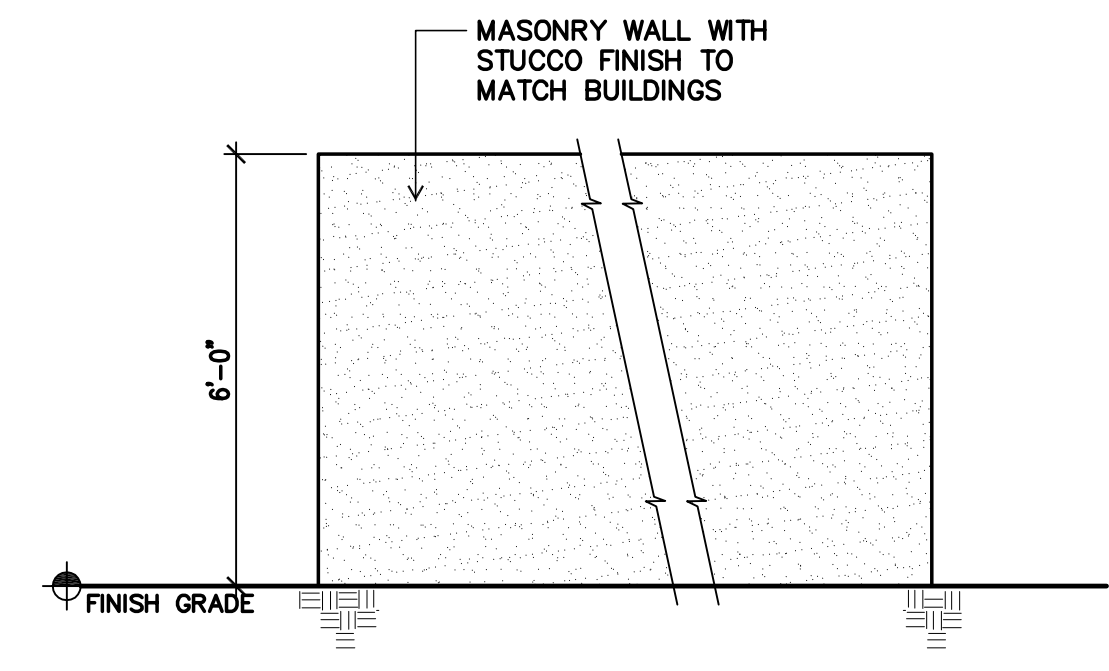
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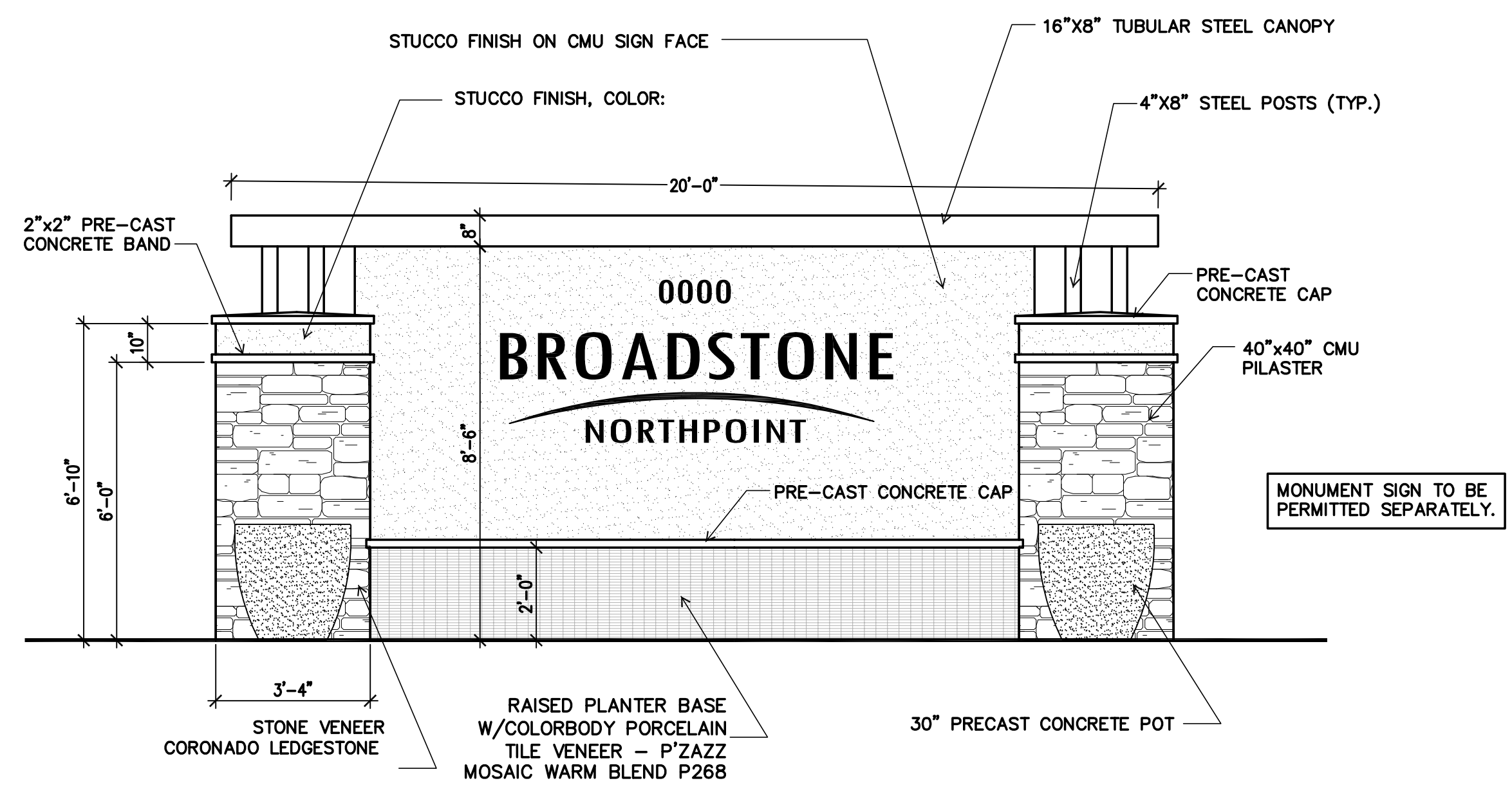
28 VEHICULAR ENTRY GATE



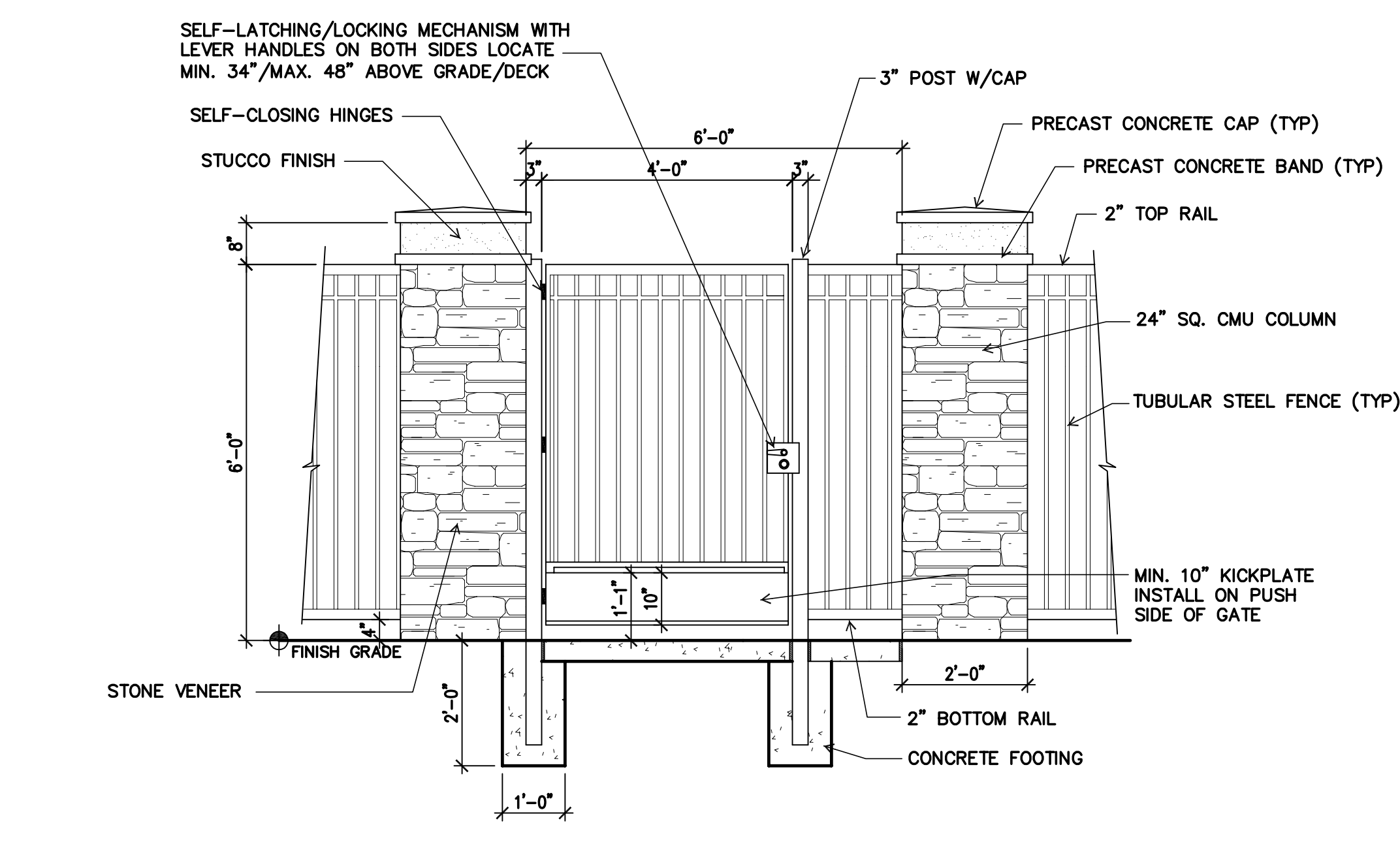
19 TUBULAR STEEL FENCE



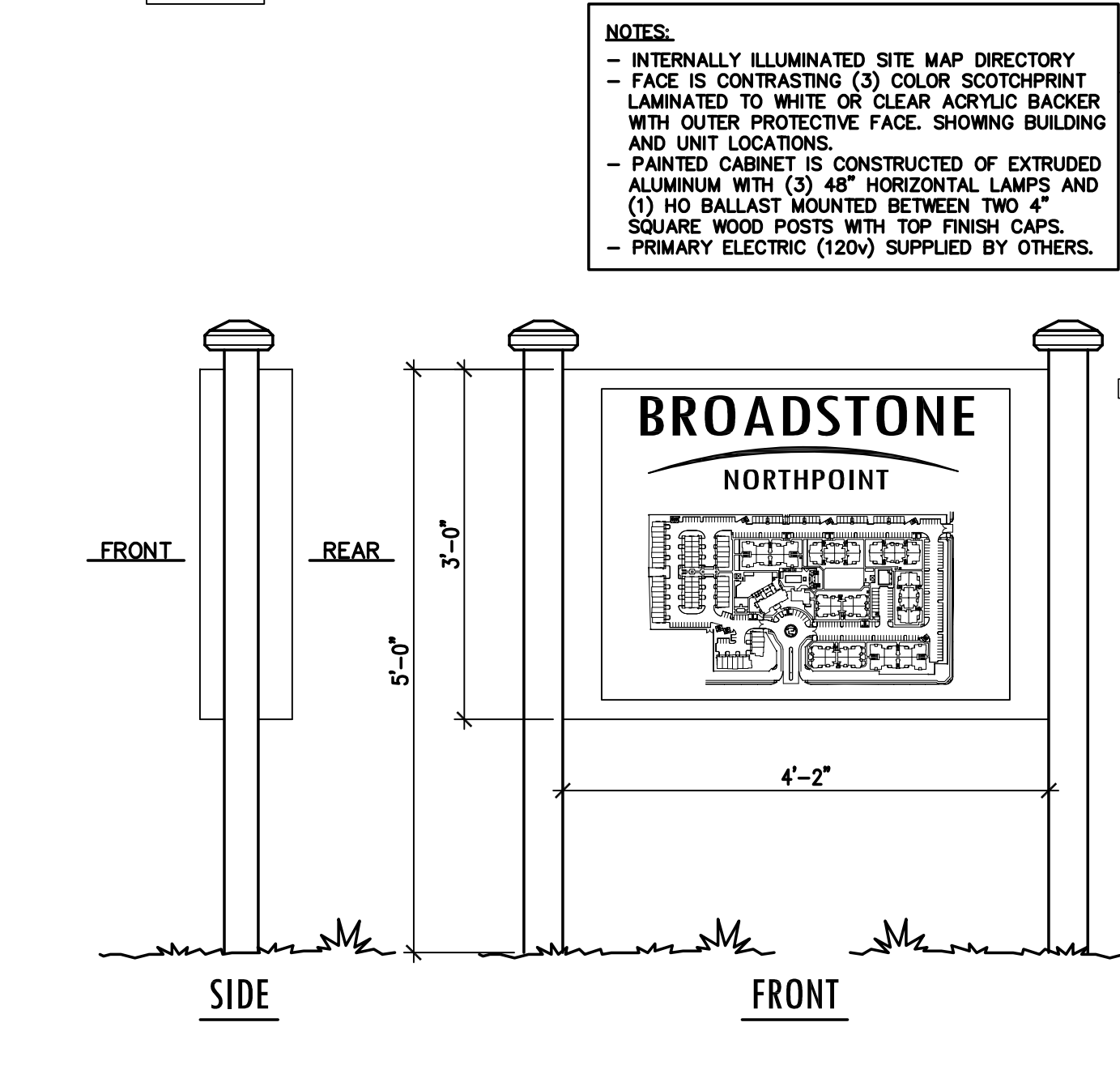
16 PERIMETER MASONRY WALL



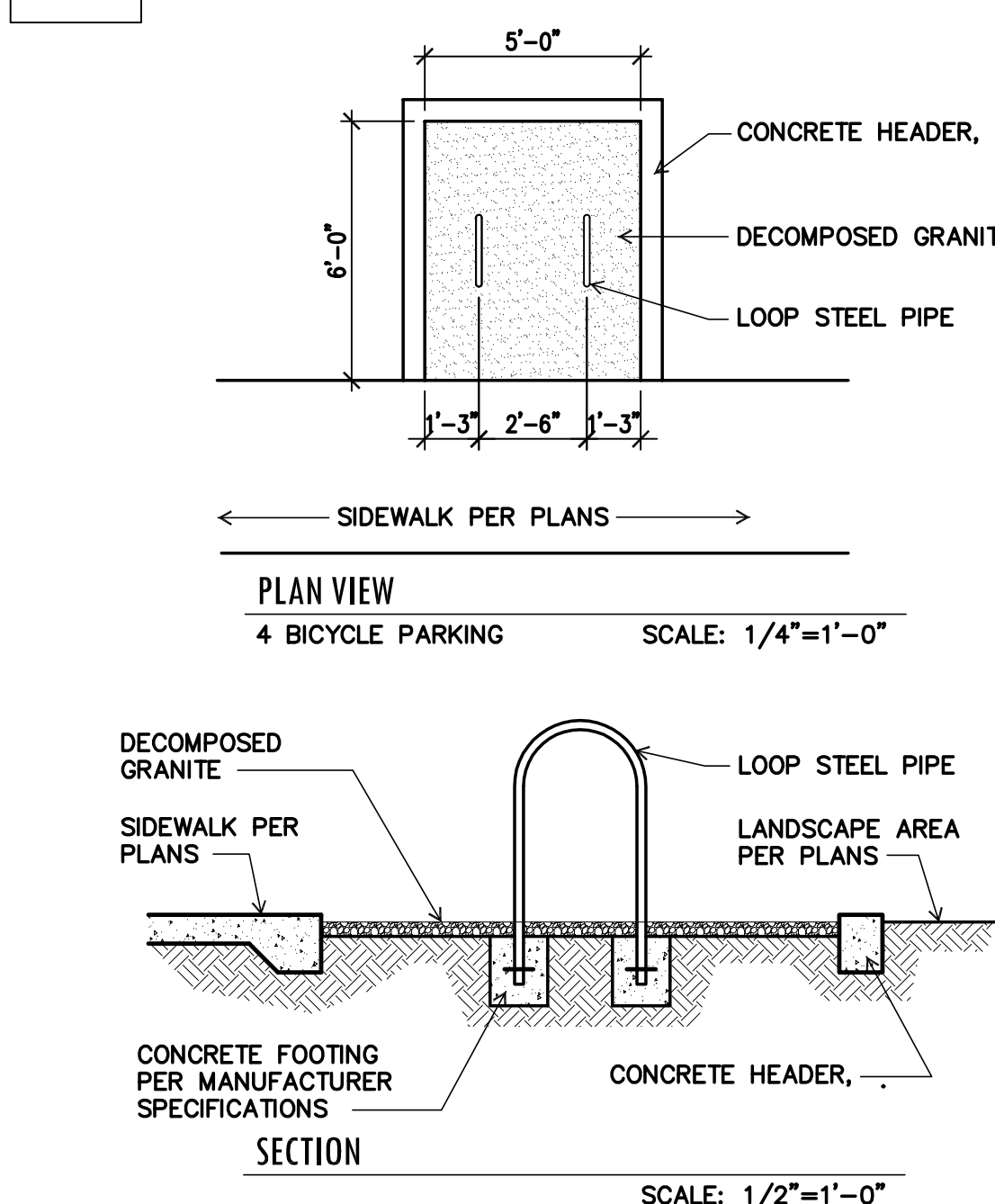
29 ENTRY MONUMENT ELEVATION



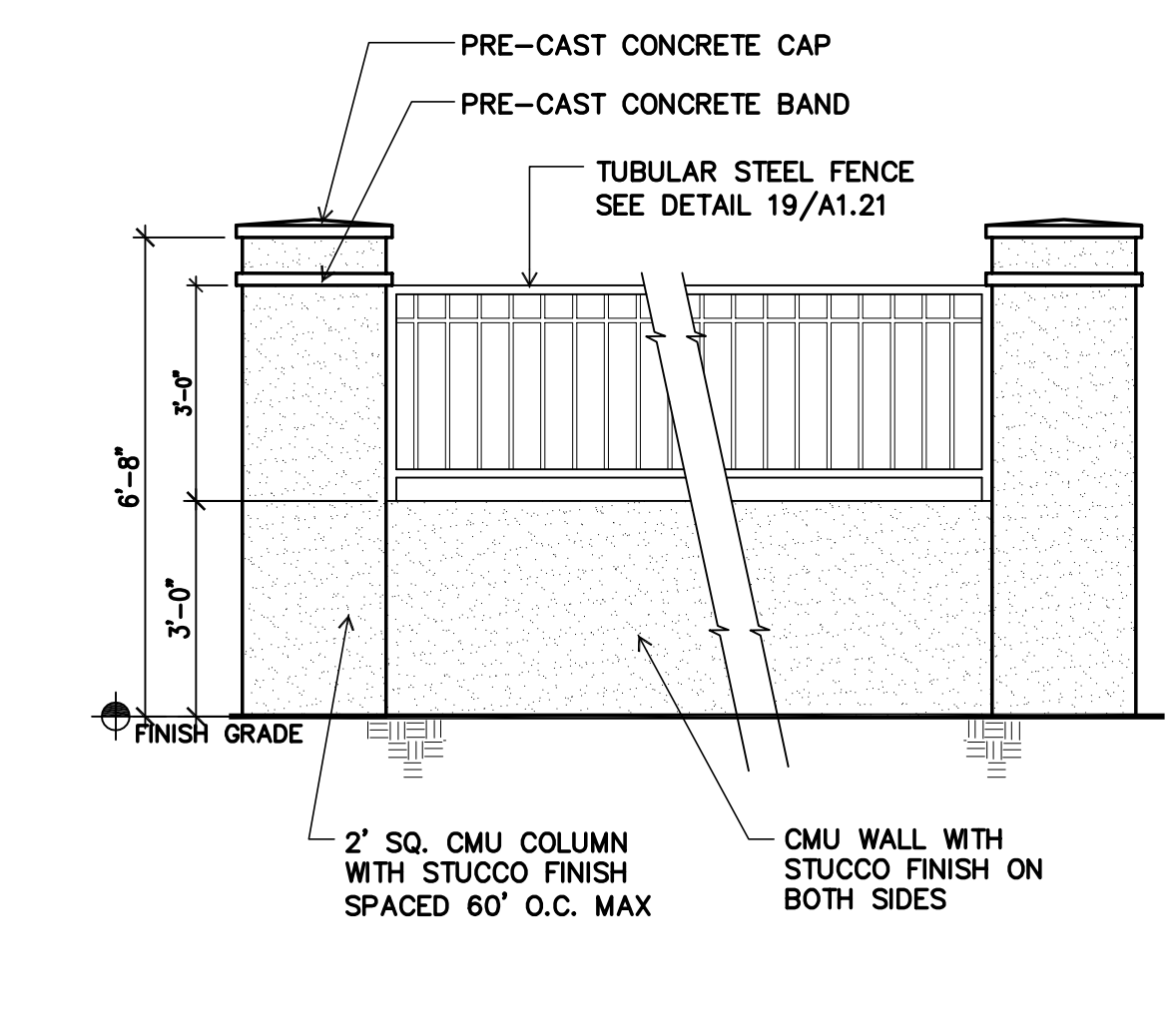
23 PEDESTRIAN ENTRY GATE



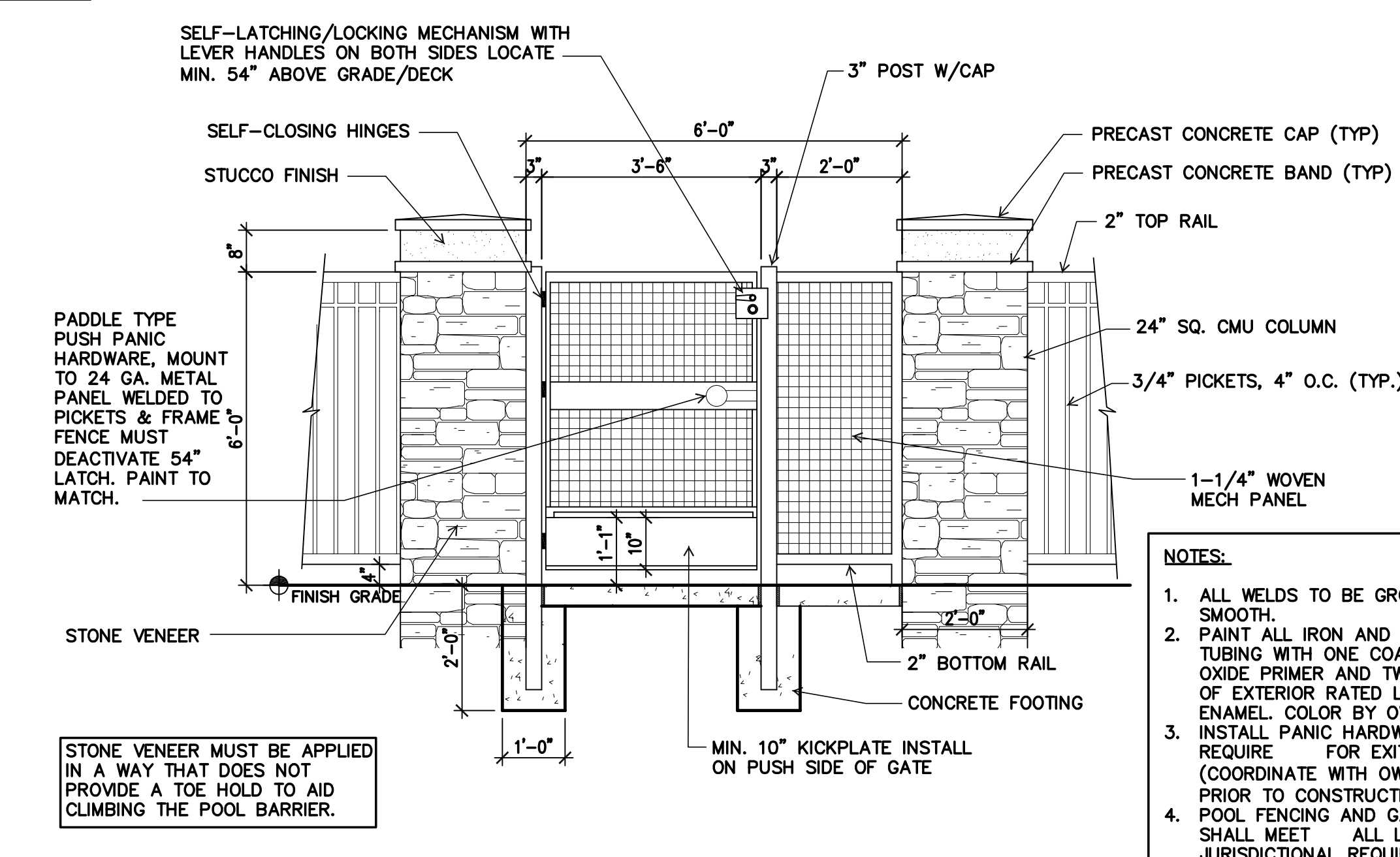
17 SITE DIRECTORY MAP



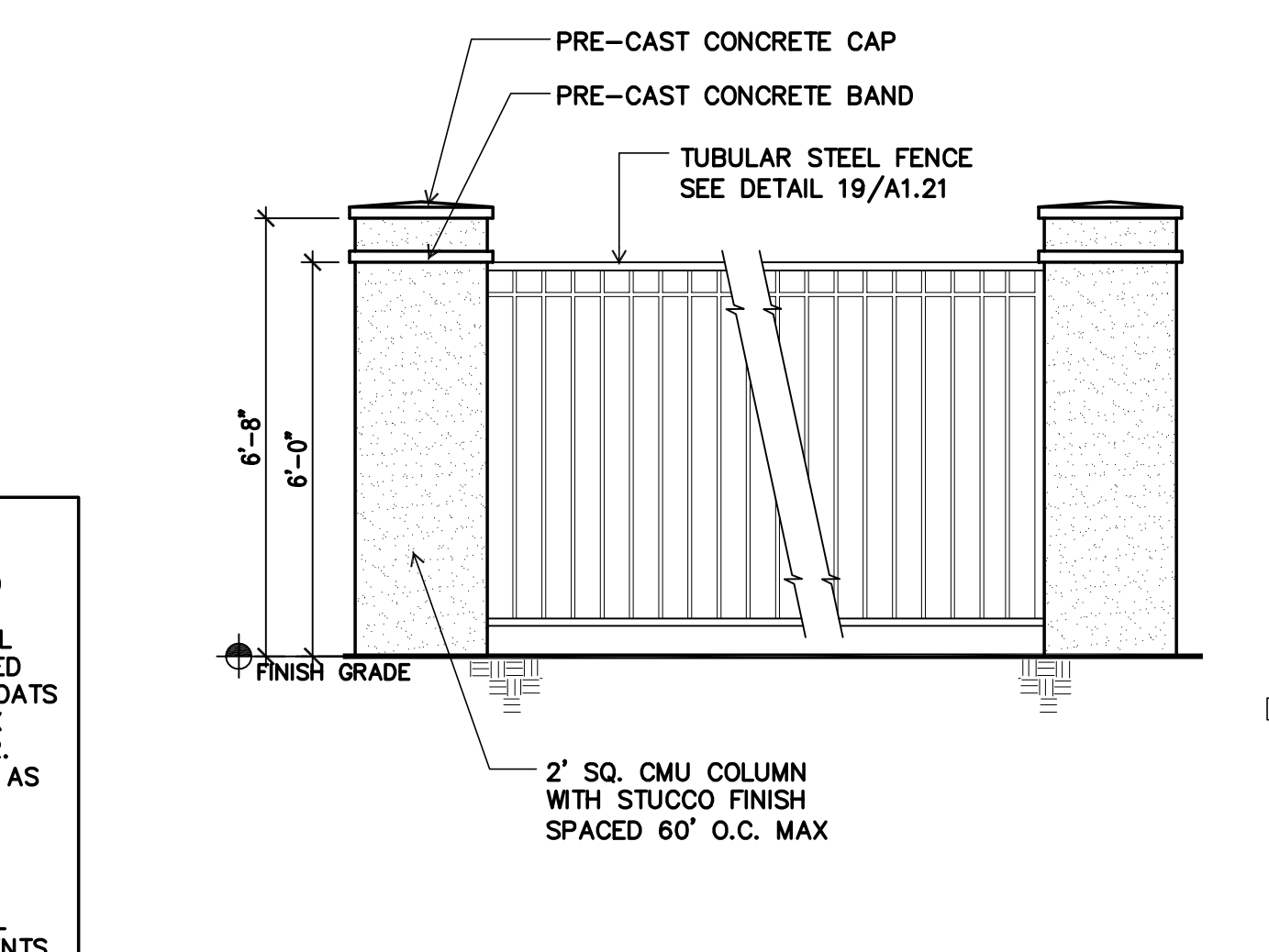
30 BICYCLE PARKING



27 PILASTER AT CMU/TUBULAR COMBO FENCE



24 PEDESTRIAN ENTRY GATE AT POOL FENCE



18 PILASTER AT PERIMETER TUBULAR STEEL FENCE

NOTES:
 - INTERNALLY ILLUMINATED SITE MAP DIRECTORY
 - FACE IS CONTRASTING (3) COLOR SCOTCHPRINT LAMINATED TO WHITE OR CLEAR ACRYLIC BACKER WITH OUTER PROTECTIVE FACE, SHOWING BUILDING AND UNIT LOCATIONS.
 - PAINTED CABINET IS CONSTRUCTED OF EXTRUDED ALUMINUM WITH (3) 48" HORIZONTAL LAMPS AND (1) HO BALLAST MOUNTED BETWEEN TWO 4" SQUARE WOOD POSTS WITH TOP FINISH CAPS.
 - PRIMARY ELECTRIC (120v) SUPPLIED BY OTHERS.

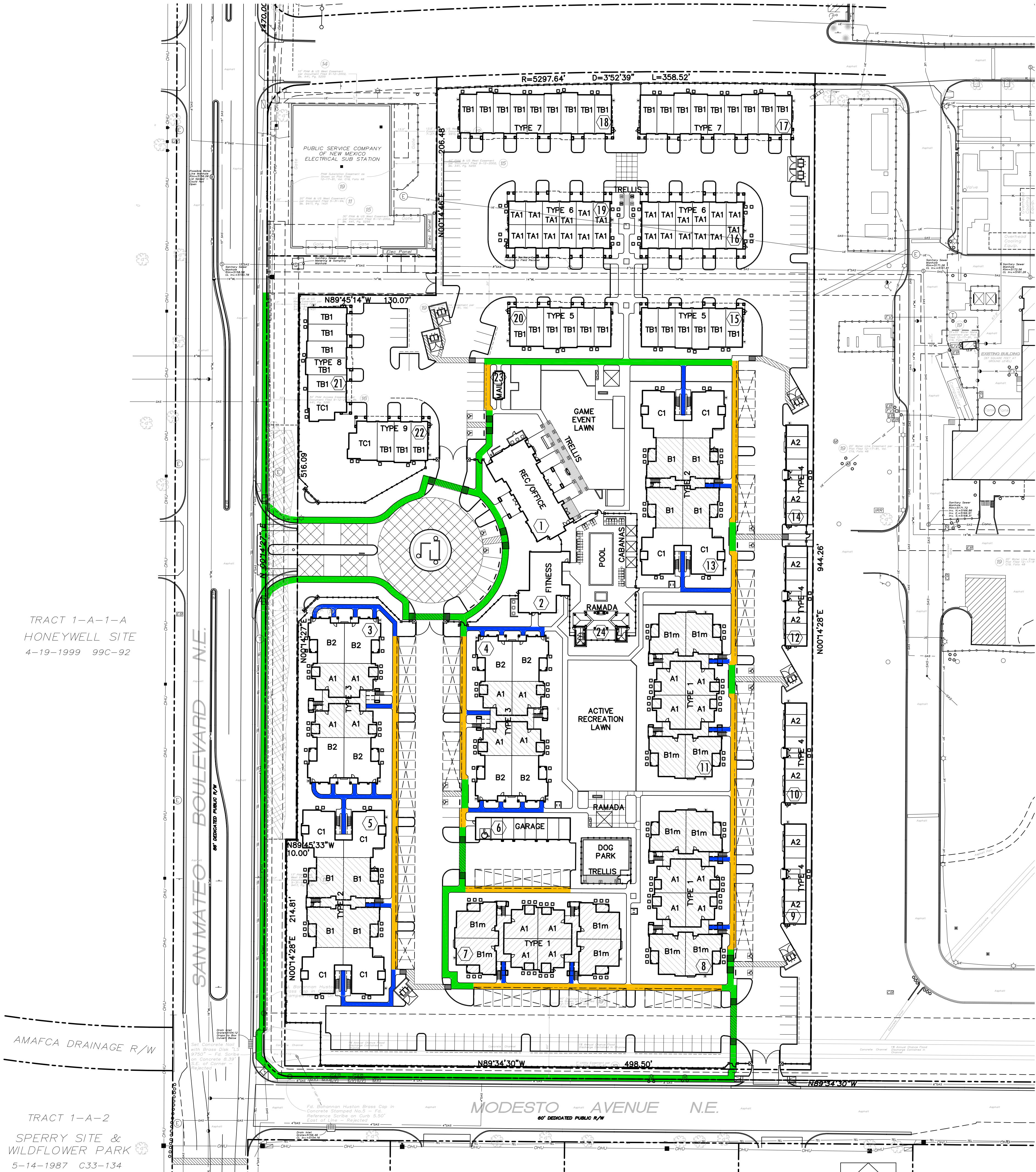
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 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

NOTES:
 1. ALL WELDS TO BE GROUND SMOOTH.
 2. PAINT ALL IRON AND STEEL TUBING WITH ONE COAT RED OXIDE PRIMER AND TWO COATS OF EXTERIOR RATED LATEX ENAMEL. COLOR BY OWNER.
 3. INSTALL PANIC HARDWARE AS REQUIRE FOR EXITING. (COORDINATE WITH OWNER PRIOR TO CONSTRUCTION).
 4. POOL FENCING AND GATES SHALL MEET ALL LOCAL JURISDICTIONAL REQUIREMENTS.

STONE VENEER MUST BE APPLIED IN A WAY THAT DOES NOT PROVIDE A TOE HOLD TO AID CLIMBING THE POOL BARRIER.

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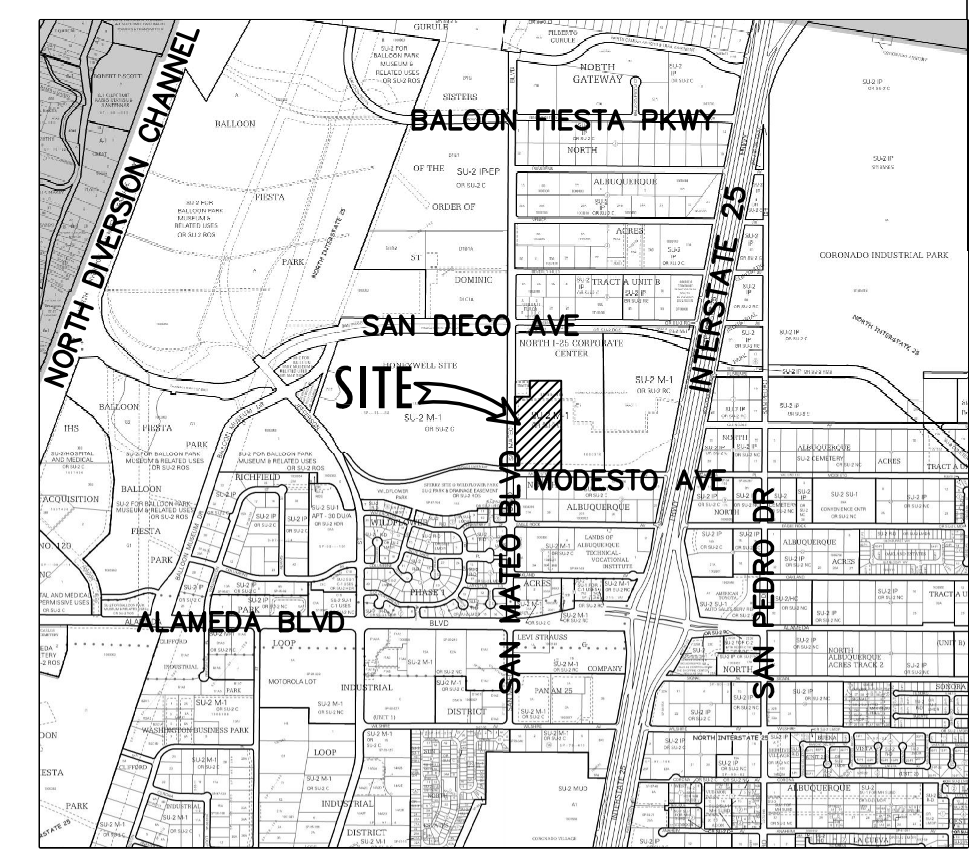


TRACT 1-A-1-A
HONEYWELL SITE
4-19-1999 99C-92

TRACT 1-A-2
SPERRY SITE & WILDFLOWER PARK
5-14-1987 C33-134

PRELIMINARY SITE PLAN

SCALE: 1" = 50'-0"



VICINITY MAP
NOT TO SCALE

BROADSTONE NORTHPOINT
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



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AGENCY COMMENT - 6' SIDEWALK
PROPOSED - NO CHANGE

AGENCY COMMENT - 6' SIDEWALK DETACH 24" FROM CURB
PROPOSED - 6' SIDEWALK ATTACHED TO CURB

AGENCY COMMENT - 6' SIDEWALK ACCESS TO BUILDINGS
PROPOSED - 4' SIDEWALK

AGENCY COMMENT - 4' SIDEWALK INTERIOR SITE
PROPOSED - NO CHANGE

BUILDINGS DIMENSIONS		
BUILDING	FRONT DIMENSION	SIDE DIMENSION
REC/OFFICE	96'-6"	59'-6"
MAIL	26'-6"	10'-8"
FITNESS	58'-2"	48'-9"
MAIN RAMADA	51'-0"	32'-0"
SMALL RAMADA	15'-0"	15'-0"
TYPE 1	157'-4"	68'-8"
TYPE 2	174'-10"	79'-8"
TYPE 3	158'-0"	68'-8"
TYPE 4	94'-8"	21'-0"
TYPE 5	99'-6"	44'-8"
TYPE 6	99'-0"	63'-10"
TYPE 7	147'-6"	44'-8"
TYPE 8	110'-2"	44'-8"
TYPE 9	78'-2"	43'-8"

DATE: JANUARY 06, 2016 ORB # 15-212

SIDEWALK VARIANCE EXHIBIT

NORTHPOINT TOWNHOMES

NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



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CONSTRUCTION



PLANT LEGEND

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
50	○	Forestiera neomexicana	New Mexico Olive	15-Gal	15'/15'		Medium	6-2 gph
39	○	Fraxinus Autumn Purple Ash		2" B&B	40'/40'		Medium	+6-2 gph
41	○	Gleditsia triacanthos inermis	Honeylocust	2" B&B	80'/80'		Medium	6-2 gph
5	○	Pyrus Flowering Pear		2" B&B	25'/15'		Medium	+6-2 gph
34	○	Pistacia chinensis	Chinese Pistache	2" B&B	60'/60'		Medium	+6-2 gph
46	○	Celtis Hackberry		2" B&B	40'/40'		Medium	6-2 gph
8	○	Quercus buckleyi	Texas Red Oak	2" B&B	40'/35'		Medium	6-2 gph
23	○	Juniperus Rocky Mountain Juniper		6' HT.	25'/20'		Medium	6-2 gph
37	○	Malus Crabapple		15-Gal	20'/20'		Medium	6-2 gph
61	○	Pinus nigra	Austrian Pine	6' HT.	30'/20'		Medium	6-2 gph
Shrubs/Groundcovers								
1968	○	Buddleia davidii	Butterfly Bush	1-Gal	5'/5' 37 sf=72,816 sf		Medium	2-2 gph
	○	Caryopteris clandonensis	Blue Mist	1-Gal	3'/3'		Medium	2-2 gph
	○	Vauquelinia californica	Arizona Rosewood	5-Gal	15'/8'		Low +	2-2 gph
	○	Rhus aromatica	Rosewood	5-Gal	2'/6'		Low +	2-2 gph
	○	Ericameria laricifolia 'Aguirre'	Turpentine Bush	5-Gal	3'/4'		Low	2-1 gph
	○	Ilex Burford Holly		5-Gal	8'/8'		Medium	2-1 gph
	○	Salvia greggii	Cherry Sage	1-Gal	3'/3'		Low	2-1 gph
	○	Hesperaloe parviflora	Red Yucca	5-Gal	3'/4'		Low+	2-2 gph
	○	Juniperus sabinia 'Buffalo'	Buffalo Juniper (female)	5-Gal	2'/6'		Low +	2-2 gph
	○	Lavandula	Lavender	1-Gal	3'/3'		Medium	2-2 gph
	○	Perovskia atriplicifolia	Russian Sage	1-Gal	5'/5'		Medium	2-2 gph
	○	Potentilla frutcosa	Shrubby Cinquefoil	5-Gal	3'/3'		Medium+	2-2 gph
	○	Prunus cistena	Dwarf Red Leaf Plum	5-Gal	6'/6'		Medium+	2-2 gph
	○	Rhus trilobata	Three-leaf Sumac	5-Gal	6'/6'		Low+	2-2 gph
	○	Rosmarinus officinalis	Rosemary	5-Gal	6'/6'		Low +	2-2 gph
	○	Mahonia	Oregon Grape Holly	5-Gal	6'/6'		Low +	2-2 gph
	○	Lagerstroemia	Crape Myrtle	5-Gal	15'/15'		Medium	2-2 gph
	○	Nepeta	Catmint	1-Gal	1'/3'		Medium	2-2 gph
	○	Spiraea	Dwarf Red Spirea	5-Gal	3'/3'		Medium+	2-2 gph
	○	Kniphofia	Red Hot poker	1-Gal	3'/2'		Medium+	2-2 gph
	○	Achillea	Moonshine Yarrow	1-Gal	3'/3'		Medium	2-2 gph
	○	Rhaphiolepis	India Hawthorn	5-Gal	3'/3'		Medium	2-2 gph
	○	Muhlenbergia	Deer Grass	1-Gal	4'/4'		Medium	2-2 gph
Desert Accents								
40	★	Nolina microcarpa	Beargrass	5-Gal	5'/6'	64 sf=2560 sf	RW	dri-water paks
12	○	Dasylirois	Sotol	5-Gal	30'/2' 100 sf=1200 sf		RW	dri-water paks
26	●	Yucca	Soaptree Yucca	5-Gal	6'/4'	50 sf=1300 sf	RW	dri-water paks

Total Landscape Coverage=77,876 SF

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REVISIONS

1	△	1.28.16
	△	
	△	
	△	
	△	

DATE: OCTOBER 21, 2015 ORB # 15-212

L1.10

LANDSCAPE PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
Broadstone North 1-25 Landscape 1.29.16.dwg Jan 28, 2016

SITE DATA

GROSS LOT AREA	435,267 SF
LESS BUILDING(S)	124,392 SF
NET LOT AREA	310,875 SF
REQUIRED LANDSCAPE	15% OF NET LOT AREA
PROPOSED LANDSCAPE	46,631 SF
PERCENT OF NET LOT AREA	15%
HIGH WATER USE TURF	MAX. 20% OF LANDSCAPE AREA
PROPOSED HIGH WATER USE TURF	25,205 SF
PERCENT OF LANDSCAPE AREA	15%
REQUIRED STREET TREES	1 PER 30 L.F. OF STREET FRONTAGE
PROVIDED STREET TREES	52
REQUIRED PARKING LOT TREES	1 PER 10 SPACES
PROVIDED PARKING LOT TREES	12
REQUIRED DWELLING UNIT TREES	ONE PER FIRST FLOOR UNIT
PROVIDED DWELLING UNIT TREES	120
REQUIRED DWELLING UNIT TREES	ONE PER SECOND FLOOR UNIT
PROVIDED DWELLING UNIT TREES	64
TOTAL TREE REQUIRED/PROVIDED	248/257
REQUIRED LANDSCAPE COVERAGE	75% LIVE VEGETATIVE MATERIAL (126,025 SF PROPOSED LANDSCAPE X 75%)
PROVIDED GROUND COVER COVERAGE	94,519 SF MIN.
SOD LAWN/100% COVERAGE	77,876 SF
TOTAL PROVIDED GROUND COVER COVERAGE	18,325 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	96,201 SF
	76%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

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STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

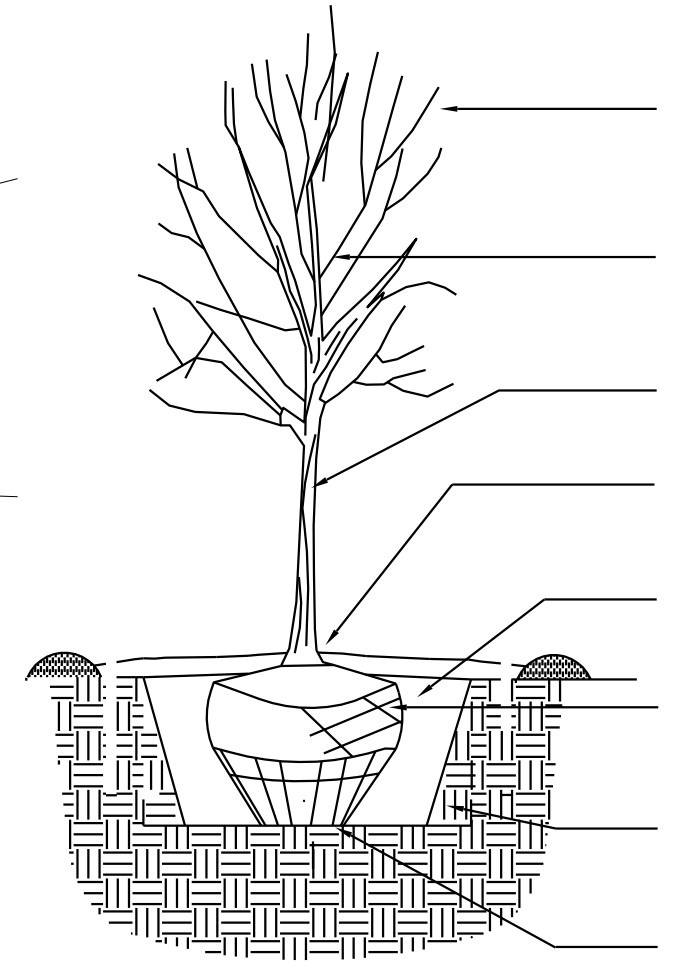
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

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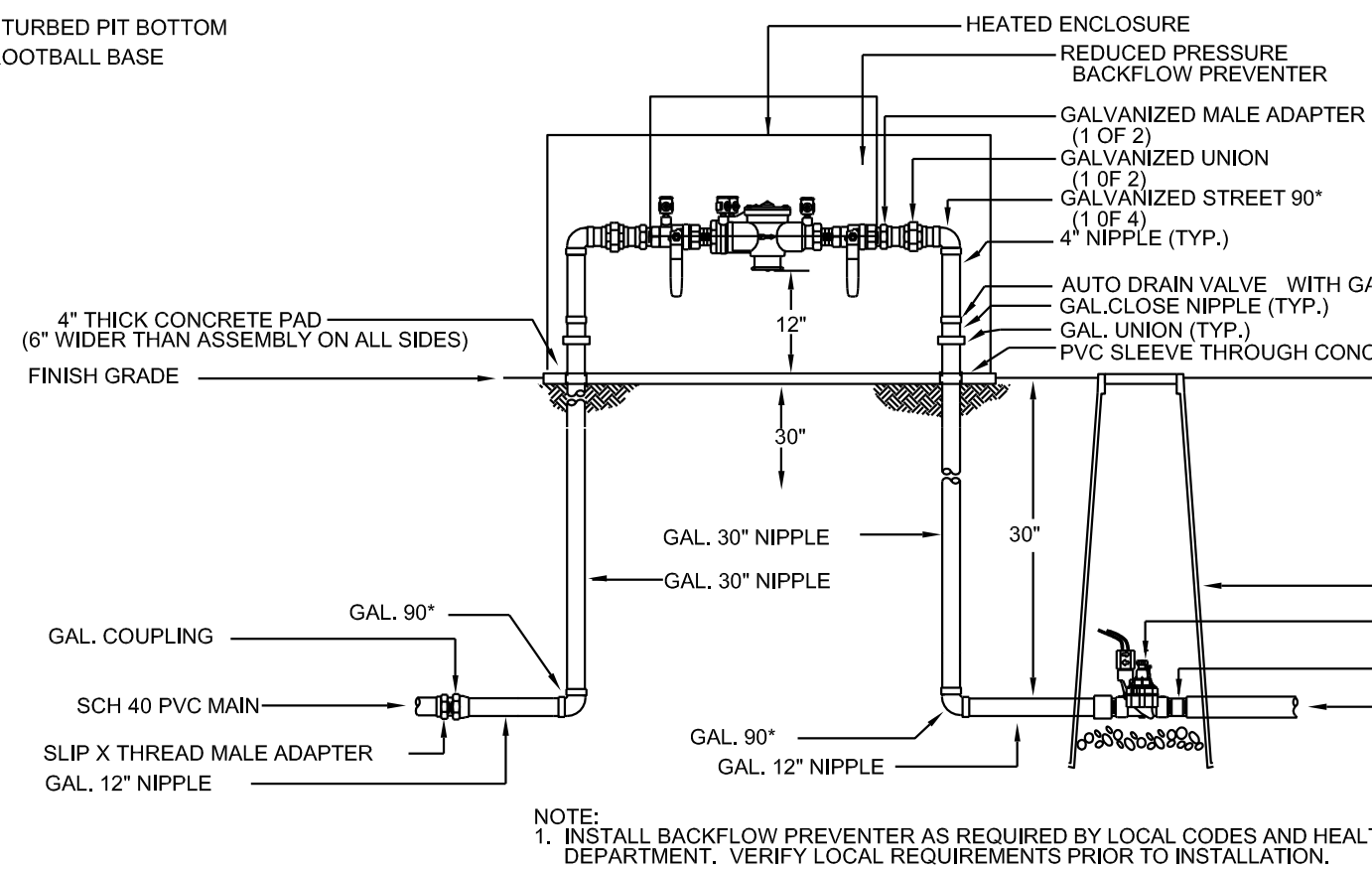
STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

MATERIALS LEGEND

- BROWN CRUSHER FINES
-

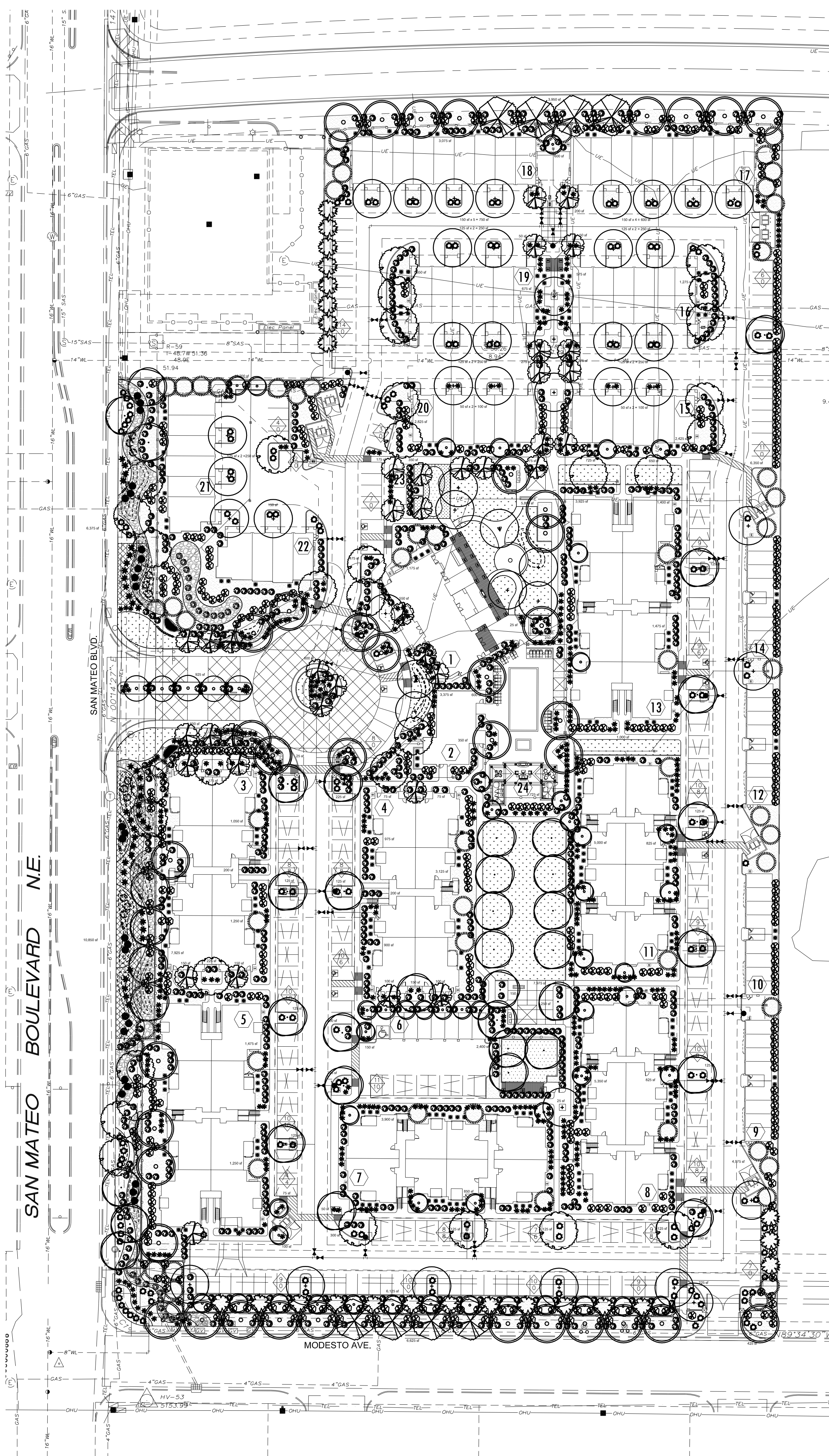


TREE PLANTING DETAIL

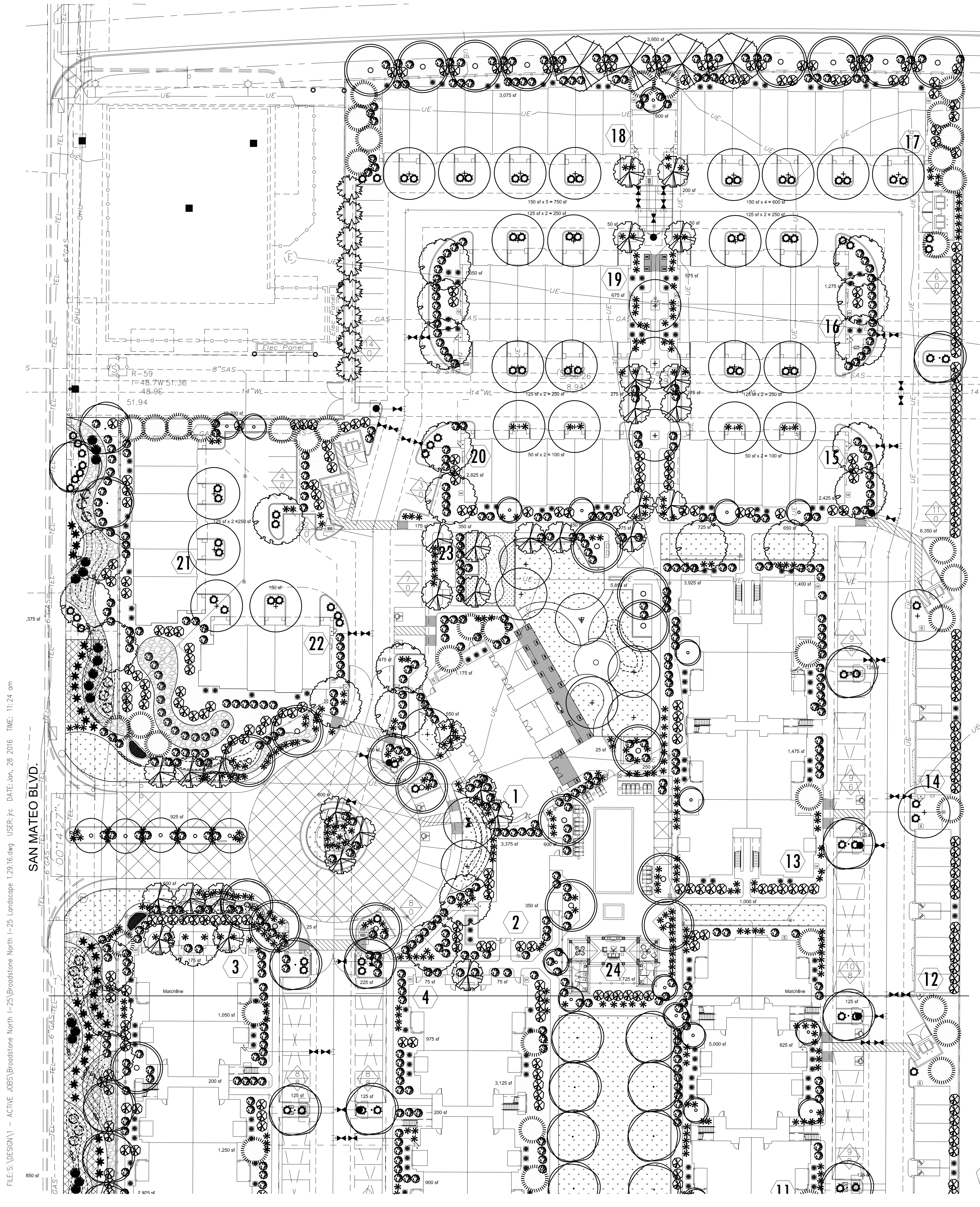


RP BACKFLOW/MASTER VALVE DETAIL

NOTE: 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.



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SITE DATA

GROSS LOT AREA	435,267 SF
LESS BUILDING(S)	124,392 SF
NET LOT AREA	310,875 SF
REQUIRED LANDSCAPE	46,631 SF
15% OF NET LOT AREA	126,025 SF
PROPOSED LANDSCAPE	126,025 SF
PERCENT OF NET LOT AREA	40 %
HIGH WATER USE TURF	25,205 SF
MAX. 20% OF LANDSCAPE AREA	15,950 SF
PROPOSED HIGH WATER USE TURF	15,950 SF
PERCENT OF LANDSCAPE AREA	13 %
REQUIRED STREET TREES	52
1 PER 30' L.F. OF STREET FRONTAGE	52
PROVIDED STREET TREES	52
REQUIRED PARKING LOT TREES	12
1 PER 10 SPACES	12
120 SPACES/10	12
PROVIDED PARKING LOT TREES	12
REQUIRED DWELLING UNIT TREES	120
ONE PER FIRST FLOOR UNIT	64
ONE PER SECOND FLOOR UNIT	184
PROVIDED DWELLING UNIT TREES	248/257
TOTAL TREE REQUIRED/PROVIDED	248/257
REQUIRED LANDSCAPE COVERAGE	94,519 SF MIN.
75% LIVE VEGETATIVE MATERIAL (126,025 SF PROPOSED LANDSCAPE X 75%)	77,876 SF
PROVIDED GROUND COVER COVERAGE	18,325 SF
SOD LAWN/100 % COVERAGE	96,201 SF
TOTAL PROVIDED GROUND COVER COVERAGE	76%
PERCENT OF GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	

NOTE

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PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

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MATERIALS LEGEND

- BROWN CRUSHER FINES
- 3/4" AMARETTO BROWN GRAVEL
- 1"-2" BLUE SAIZ GRAVEL
- SOD LAWN
- SYNTHETIC LAWN/PUTTING GREEN
- SYNTHETIC LAWN/ROUGH AREA
- SAND TRAP AT PUTTING GREEN
- ACCENT BOULDER
- BERM

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscaping Landscape Coverage	Water Use	Drip Emitters
50		Forestiera neomexicana New Mexico Olive	15-Gal	15'/15'		Medium	6-2 gph
39		Fraxinus Autumn Purple Ash	2" B&B	40'/40'		Medium	+6-2 gph
41		Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'		Medium	6-2 gph
5		Pyrus Flowering Pear	2" B&B	25'/15'		Medium	+6-2 gph
34		Pistacia chinensis Chinese Pistache	2" B&B	60'/60'		Medium	+6-2 gph
46		Celtis Hackberry	2" B&B	40'/40'		Medium	6-2 gph
8		Quercus buckleyi Texas Red Oak	2" B&B	40'/35'		Medium	6-2 gph
23		Juniperus Rocky Mountain Juniper	6' HT.	25'/20'		Medium	6-2 gph
37		Malus Crabapple	15-Gal	20'/20'		Medium	6-2 gph
61		Pinus nigra Austrian Pine	6' HT.	30'/20'		Medium	6-2 gph
Shrubs/Groundcovers							
1968		Buddleia davidii Butterfly Bush	1-Gal	5'/5'	37 sf=72,816 sf	Medium	2-2 gph
		Caryopteris clandonensis Blue Mist	1-Gal	3'/3'		Medium	2-2 gph
		Vauquelinia californica Arizona Rosewood	5-Gal	15'/8'		Low +	2-2 gph
		Rhus aromatica Gro Low Sumac	5-Gal	2'/6'		Low +	2-2 gph
		Ericameria laricifolia 'Aguire' Turpentine Bush	5-Gal	3'/4'		Low	2-1 gph
		Ilex Burford Holly	5-Gal	8'/8'		Medium	2-1 gph
		Salvia greggii Cherry Sage	1-Gal	3'/3'		Low	2-1 gph
		Hesperaloe parviflora Red Yucca	5-Gal	3'/4'		Low+	2-2 gph
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		Muhlenbergia Deer Grass	1-Gal	4'/4'		Medium	2-2 gph
Desert Accents							
40		Nolina microcarpa Beargrass	5-Gal	5'/6"	64 sf=2560 sf	RW	dri-water paks
12		Dasyliiron Sotol	5-Gal	30'/2"	100 sf=1200 sf	RW	dri-water paks
26		Yucca Soaptree Yucca	5-Gal	6'/4"	50 sf=1300 sf	RW	dri-water paks
Total Landscape Coverage=77,876 SF							

NORTHPOINT TOWNHOMES
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Albuquerque, New Mexico



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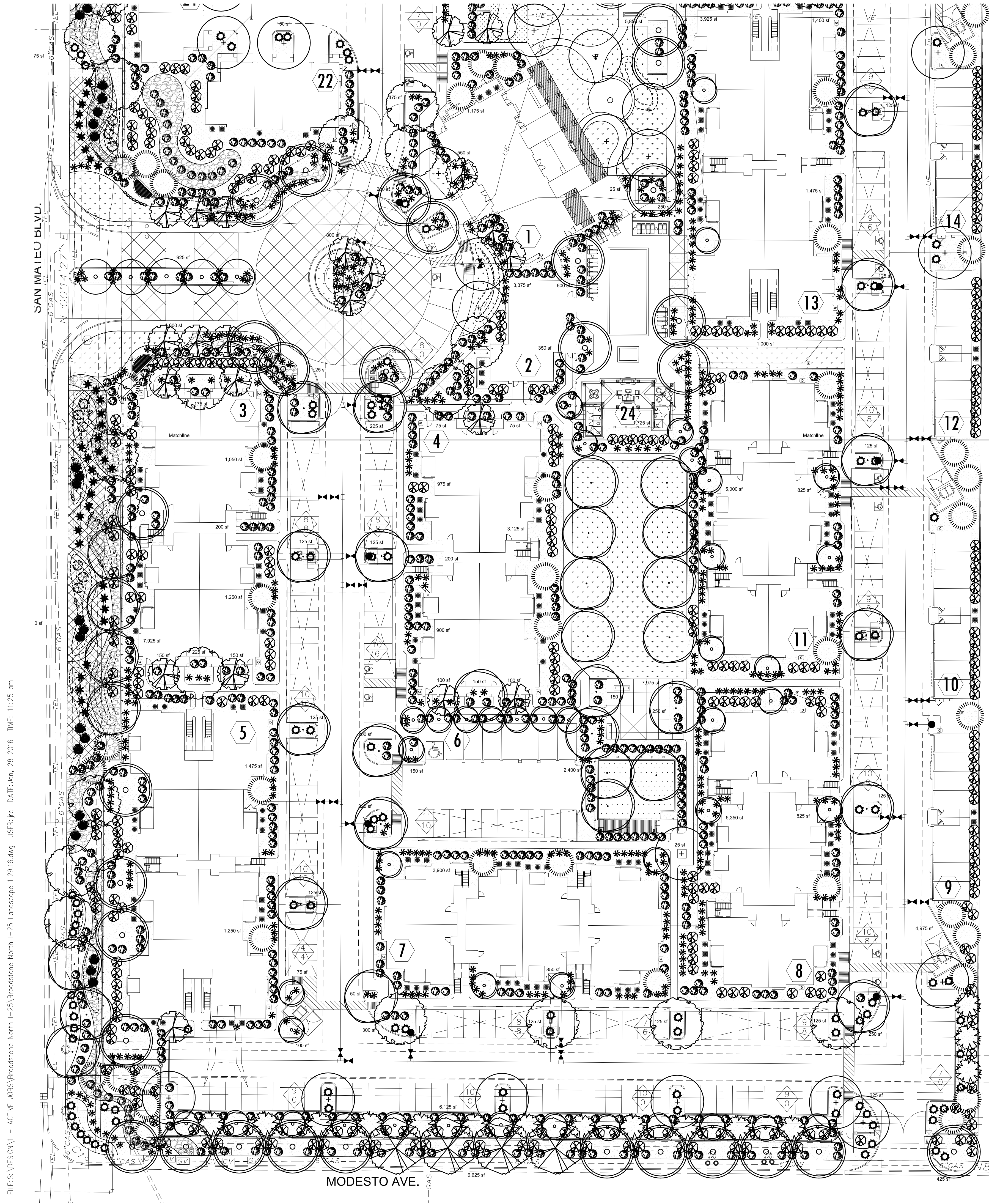
REVISIONS

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DATE: OCTOBER 21, 2015 ORB # 15-212

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
Brookstone North 1-25 Landscape 1.29.16.dwgJan 28, 2016

L1.20
LANDSCAPE PLAN



SITE DATA

GROSS LOT AREA	435,267 SF
LESS BUILDING(S)	124,392 SF
NET LOT AREA	310,875 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	46,631 SF
PROPOSED LANDSCAPE	126,025 SF
PERCENT OF NET LOT AREA	40 %
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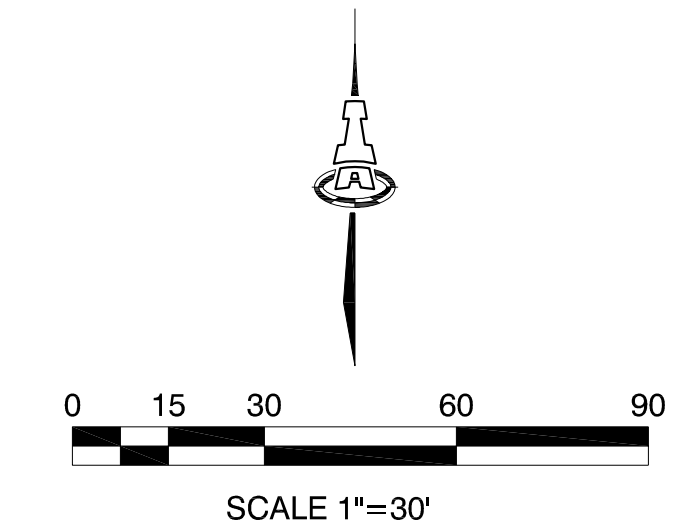
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12		Dasyliion Sotol	5-Gal	30'/2"	100 sf=1200 sf	RW	dri-water paks
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design@hulc.com
CONSTRUCTION



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REVISIONS

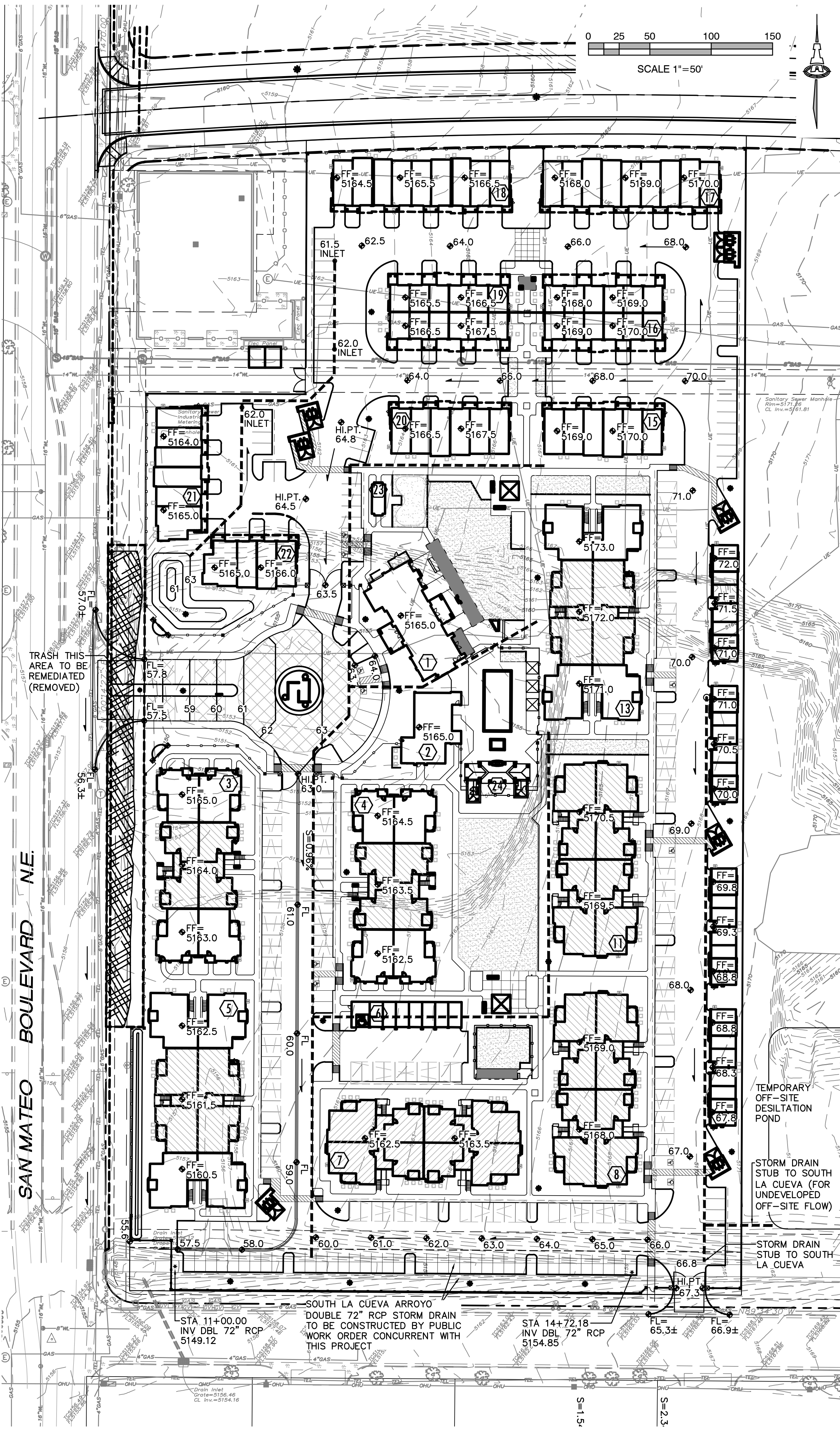
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DATE: OCTOBER 21, 2015 ORB # 15-212

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iaacivil.com
Broadstone North - 25 Landscape 1.29.16.dwg Jan 28, 2016

L1.30
LANDSCAPE PLAN

FILE: S:\DESIGN\1 - ACTIVE\JOBS\Broadstone North - 25\Broadstone North - 25 Landscape 1.29.16.dwg USER: jrc DATE: Jan, 28 2016 TIME: 11:25 am



DRAINAGE CONCEPT

PER THE AMENDED DRAINAGE MASTER PLAN (DMP) FOR NORTH I-25 CORPORATE CENTER (AKA NORTHPOINT 25) PREPARED BY ISAACSON AND ARFMAN, P.A., DATED NOVEMBER, 2015 (CURRENTLY UNDER REVIEW BY C.O.A. HYDROLOGY), THE OVERALL 59.66 ACRE TRACT WHICH THIS DEVELOPMENT IS A PART OF IS ALLOWED FREE DISCHARGE TO THE NORTH AND SOUTH LA CUEVA ARROYOS

DMP DRAINAGE BASINS:

THE DMP BASED ALLOWABLE FREE DISCHARGE ON AN ASSUMED LAND TREATMENT RATIO OF 85% : 15% : 0% : 0%. BASED ON THIS RATIO, THE ALLOWABLE DISCHARGE PER ACRE IS 4.78 CFS/ACRE.

THE PROPERTY FALLS WITHIN DMP DRAINAGE BASINS (SEE DMP DRAINAGE BASIN EXHIBIT THIS SHEET):

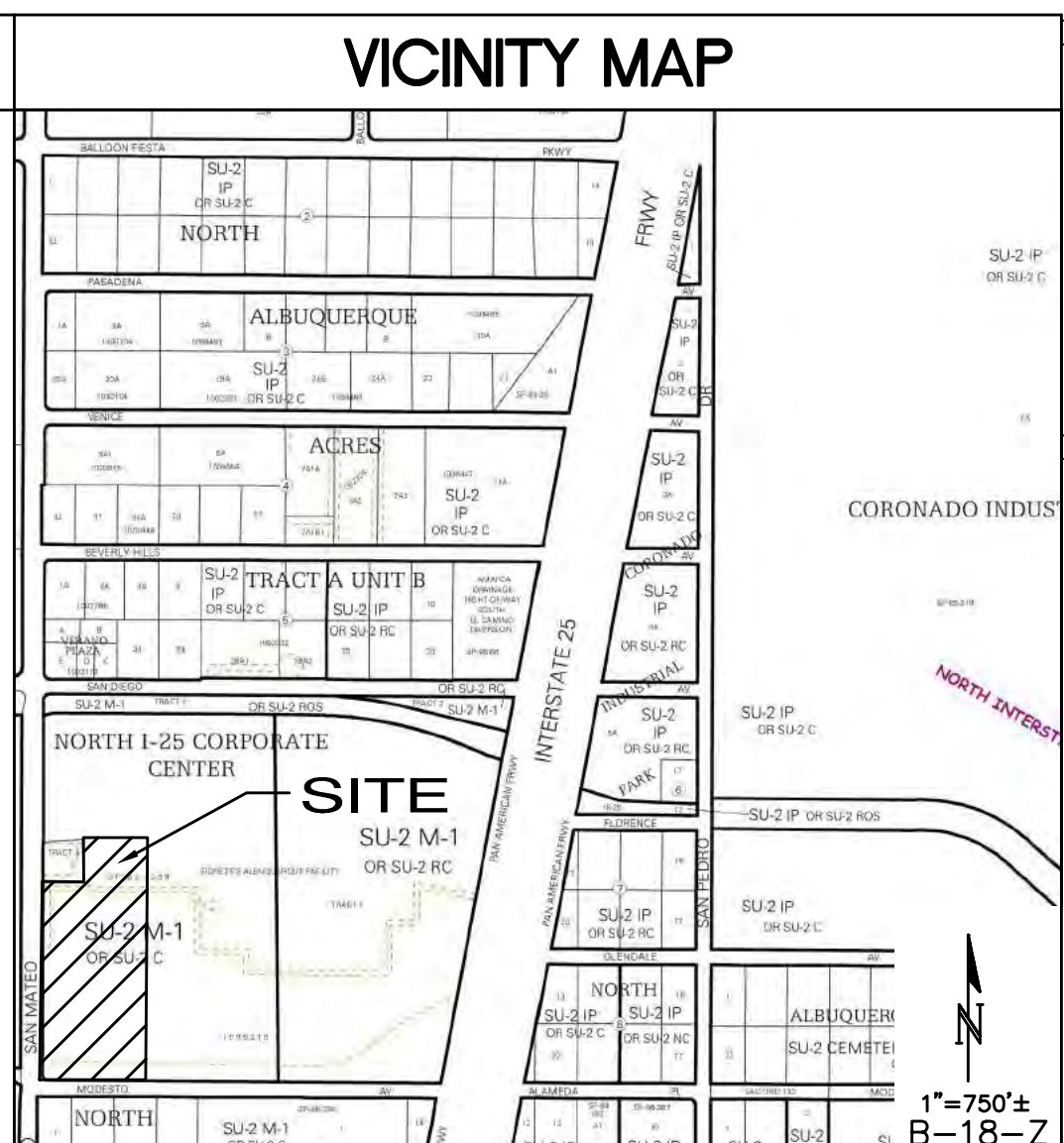
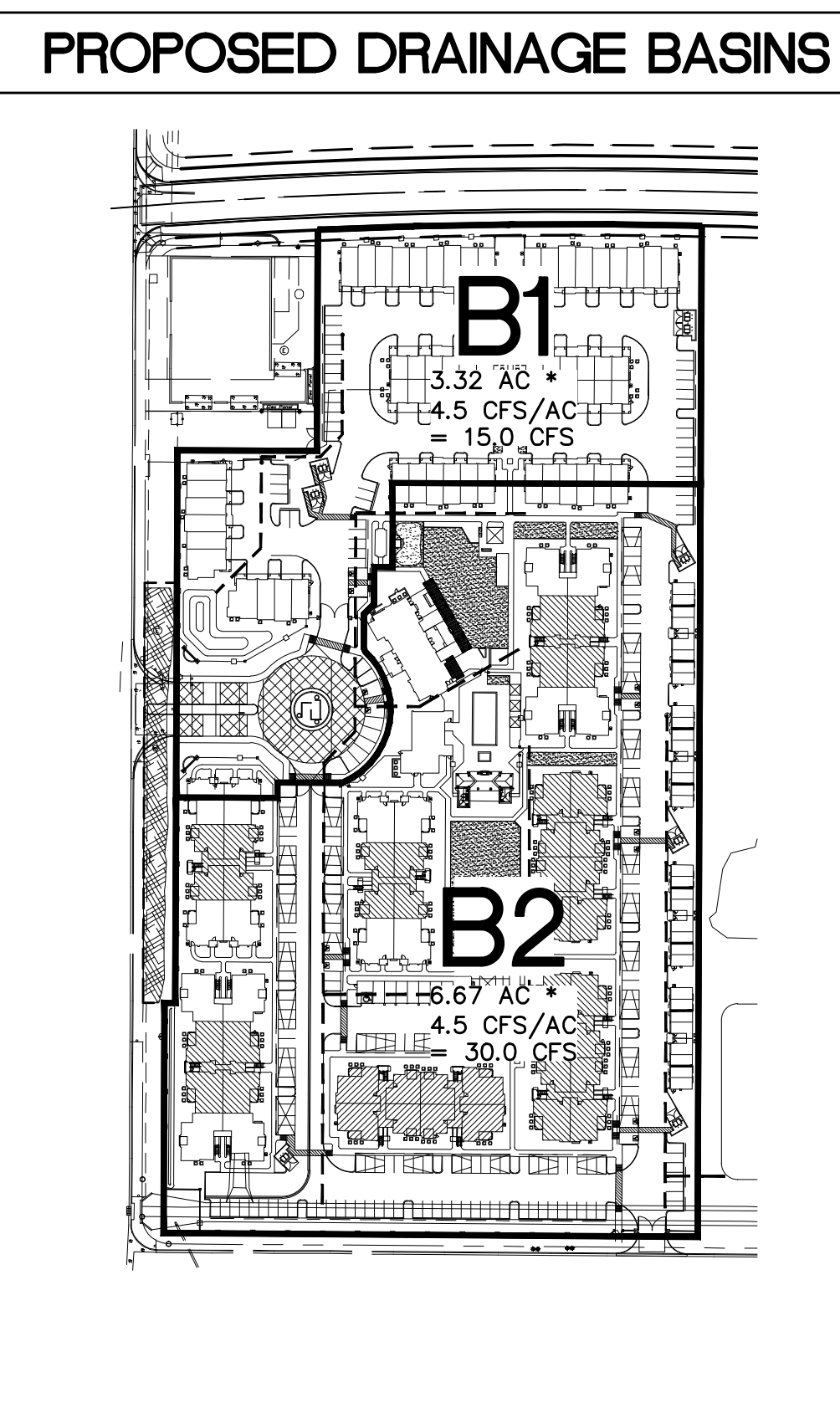
- BASIN 3 --> 28.0 CFS TO THE SOUTH LA CUEVA ARROYO.
- BASIN 4 --> 16.0 CFS TO SAN MATEO BLVD. (OR MAY DRAIN TO EITHER THE NORTH OR SOUTH LA CUEVA ARROYO)
- BASIN 5 --> 3.8 CFS TO THE NORTH LA CUEVA ARROYO.

PROPOSED DRAINAGE BASINS:

THE PROPOSED PROPERTY IS 9.99 ACRES. BASED ON THE DMP ALLOWABLE DISCHARGE RATE OF 4.78 CFS/ACRE, THE PROPERTY IS PERMITTED 47.8 CFS OF DISCHARGE DURING THE 100-YEAR 6-HOUR STORM.

BASED ON THE PROPOSED LAND TREATMENT RATIO OF 70% : 24% : 6% : 0%, THE SITE WILL GENERATE LESS THAN THE CALCULATED ALLOWABLE (45 CFS OR 4.5 CFS/ACRE) AND WILL DISCHARGE AS FOLLOWS:

- BASIN B1 --> 15.0 CFS TO SAN MATEO BLVD.
- BASIN B2 --> 30.0 CFS TO THE SOUTH LA CUEVA ARROYO.



PHASING NOTE

CONSTRUCTION OF BUILDINGS WILL BE PHASED. ALL STORM DRAIN TRUNK LINES SHALL BE CONSTRUCTED PRIOR TO START OF BUILDING CONSTRUCTION. ALL OTHER DRAINAGE IMPROVEMENTS (AREA INLETS, SIDEWALK CULVERTS, SIDEWALK DRAIN PIPES) SHALL BE CONSTRUCTED WITH EACH BUILDING PHASE PRIOR TO CERTIFICATION. CONSTRUCTION SEQUENCE OF BUILDINGS WILL BE DENOTED ON BUILDING PERMIT SET.

PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-18. THE SITE IS BOUND TO THE SOUTH BY THE "SOUTH LA CUEVA ARROYO" AND MODESTO ROAD NE, TO THE NORTH AND EAST BY FULLY DEVELOPED COMMERCIAL PROPERTY (TO BE REDEVELOPED AS NORTHPOINT 25), AND TO THE WEST BY SAN MATEO BLVD. NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 23 BUILDING APARTMENT COMPLEX (INCLUDING GARAGE / CARRIAGE UNITS, OFFICE BLDG., HEALTH FACILITY AND RAMADA) WITH ASSOCIATED PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: (EXISTING) A PORTION OF TRACT 1, NORTH I-25 CORPORATE CENTER, CITY OF ALBUQUERQUE, NM.

AREA: 9.9924 ACRES

BENCHMARK: VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY/NEW MEXICO STATE HIGHWAY COMMISSION MONUMENT "125-11", HAVING A PUBLISHED ELEVATION OF 5209.617' (NAVD 1988).

OFF-SITE: DRAINAGE FROM THE PROPERTY TO THE EAST PREVIOUSLY IMPACTING THIS PROPERTY WILL BE COLLECTED WITHIN A TEMPORARY DESILTATION POND AT THE SOUTHEAST CORNER OF THE PROPOSED DEVELOPMENT. 100% FREE DISCHARGE OF EXCESS FLOW WILL PASS TO THE OPEN PORTION OF THE SOUTH LA CUEVA ARROYO AND WILL CONTINUE WEST WITHIN THE PROPOSED DOUBLE 72" STORM DRAINS.

FLOOD HAZARD: THE MAJORITY OF THE PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN). A PORTION OF THE PROPERTY ALONG THE SOUTH BOUNDARY LIE WITHIN A ZONE "A" (NO BASE FLOOD ELEVATIONS DETERMINED, 1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C012 H, EFFECTIVE DATE 8/16/2012.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

CIVIL ENGINEER: FRED C. ARFMAN, ISAACSON & ARFMAN, P.A., (505)268-8828, ALBUQUERQUE, NEW MEXICO.

FIRST FLUSH

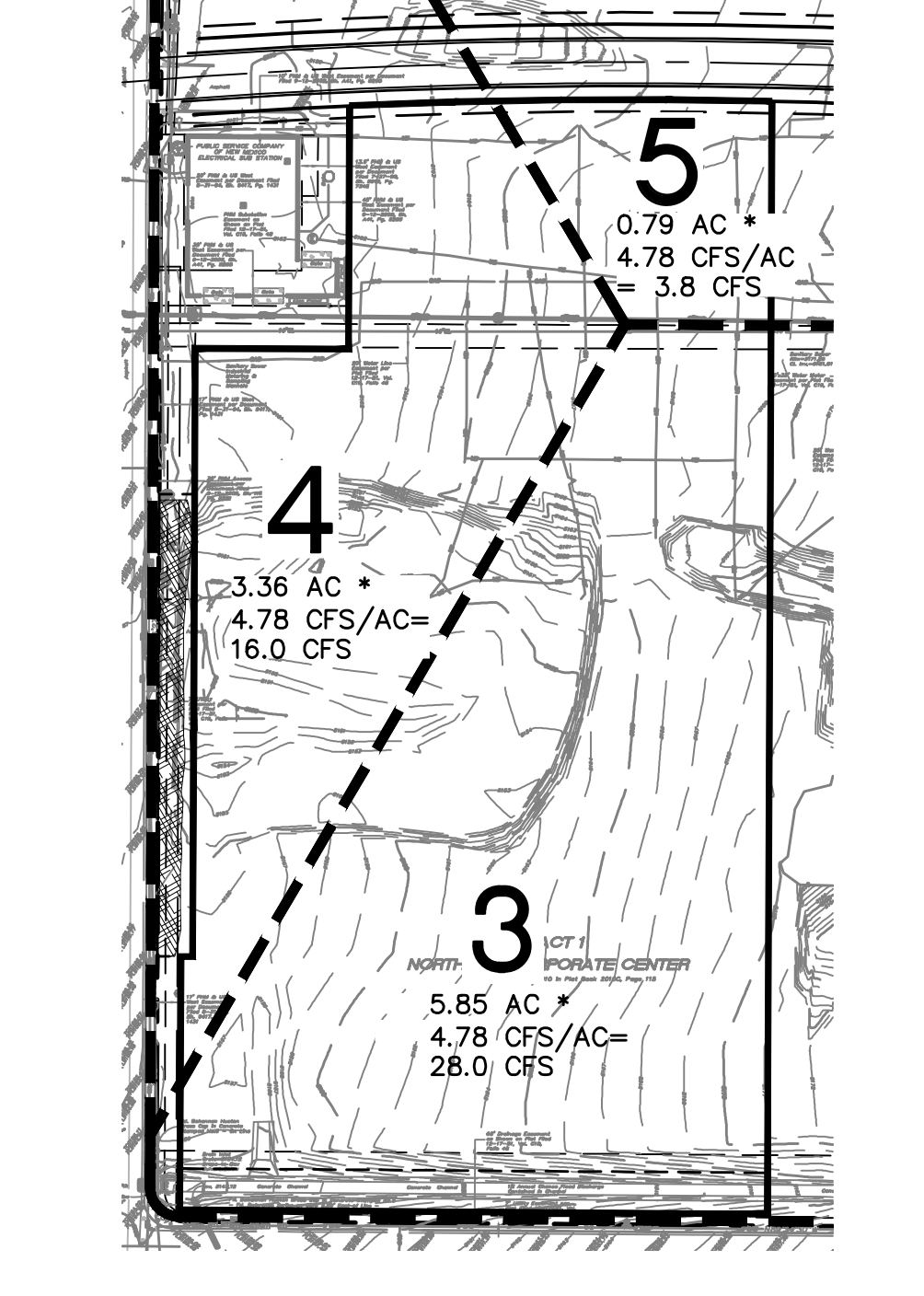
STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA: 0.34/12 * 7.0 AC * 43560 = 8,640 CF

THERE ARE POTENTIAL 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (●). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS. IF NECESSARY, UNDERGROUND FIRST FLUSH RETENTION WILL BE PROVIDED.

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLAN SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

DMP DRAINAGE BASINS



CALCULATIONS

CALCULATIONS: NORTHPOINT TOWNHOMES : December 1, 2015
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA OF SITE:	435600 SF = 10.0 Acres
HISTORIC FLOWS:	DEVELOPED FLOWS:
Area A = Treatment SF %	Area A = Treatment SF %
Area B = 0 0%	Area B = 26136 6%
Area C = 65340 15%	Area C = 104544 24%
Area D = 370260 85%	Area D = 304920 70%
Total Area = 435600 100%	Total Area = 435600 100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E = 2.20 in | Developed E = 2.02 in

On-Site Volume of Runoff: V360 = $E^*A / 12$
Historic V₃₆₀ = 79842 CF | Developed V₃₆₀ = 73210 CF

On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$
For Precipitation Zone 3
Q_{pA} = 1.87 | Q_{pC} = 3.45
Q_{pB} = 2.60 | Q_{pD} = 5.02
Historic Q_p = 47.8 CFS | Developed Q_p = 45.0 CFS

LEGEND

- 79— PROPOSED CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF=XXXX.XX FINISH FLOOR ELEVATION
- FIRST FLUSH RETENTION POND LOCATION

REVISIONS

NO.	DESCRIPTION

DATE: DECEMBER 2, 2015 ORB # 15-212

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
2129 CG-101.dwg Dec 02, 2015

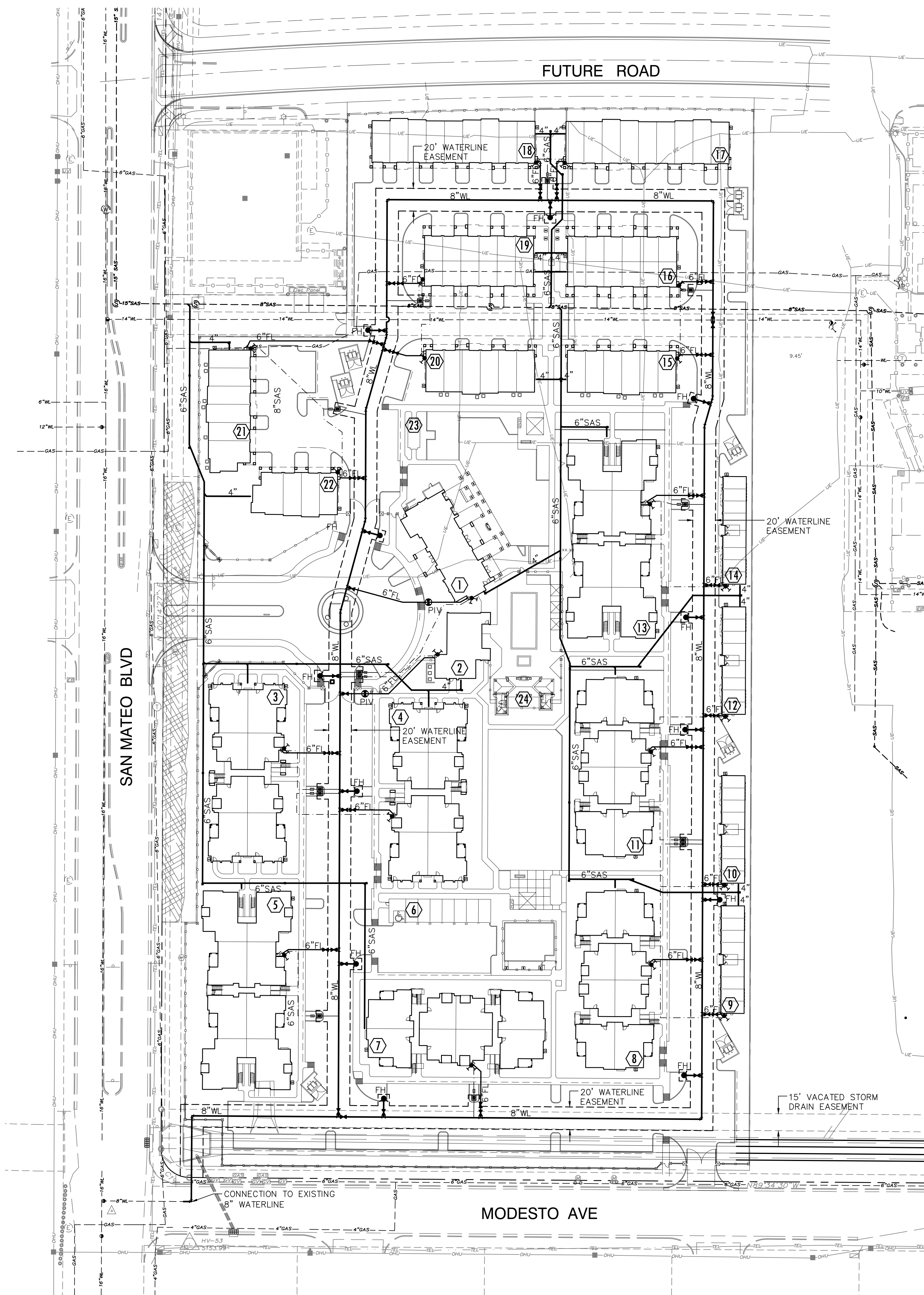
NORTHPOINT TOWNHOMES

NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com

PRELIMINARY NOT FOR CONSTRUCTION

TITAN DEVELOPMENT
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FIRE PROTECTION

ONSITE FIRE PROTECTION REQUIRES 5 FIRE HYDRANTS PER BUILDING PER THE EXISTING DPM FIRE FLOW REQUIREMENTS.

FIRE PROTECTION LINES ARE PRIVATE AND PROVIDE X OR MORE FIRE HYDRANTS AND /OR FIRE SUPPRESSION LINES (SPRINKLERS).

FDC'S WILL BE BUILDING MOUNTED UNLESS THE 100' DISTANCE TO A FIRE HYDRANT IS EXCEEDED.

SANITARY SEWER

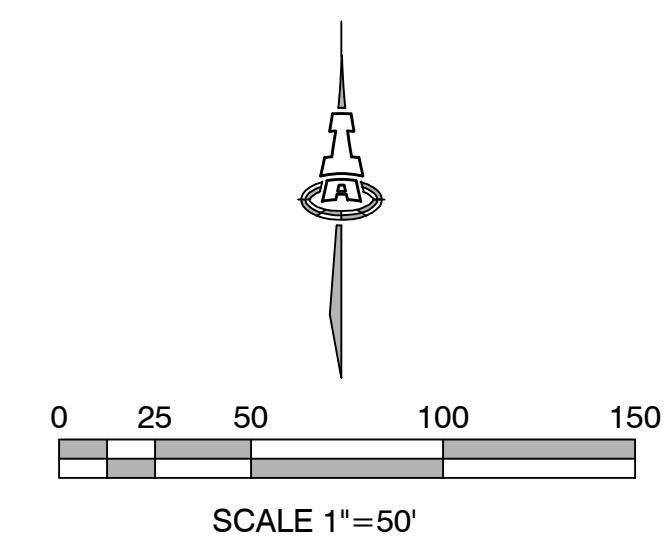
ALL ONSITE SANITARY SEWER LINES ARE PRIVATE AND WILL BE CONSTRUCTED PER THE LATEST EDITION OF THE U.P.C.

WATER SERVICED

EACH BUILDING WILL BE SERVED BY A 1 1/4" TO 2" WATER SERVICE.

LEGEND

- 20' WATERLINE EASEMENT TO BE GRATED TO ABCWUA
- 6"–8" PUBLIC WATERLINE
- GATE VALVE
- POST INDICATOR VALVE (PIV)
- FIRE DEPT. CONNECTION (FDC)
- FIRE HYDRANT
- WATER METER & BACK FLOW PREVENTER
- PRIVATE FIRE SPRINKLER LINE
- 4"–6" PRIVATE SEWER LINE
- SINGLE DIRECTIONAL CLEAN-OUT



NORTHPOINT TOWNHOMES

NWC SAN MATEO AND MODESTO NE
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REVISIONS

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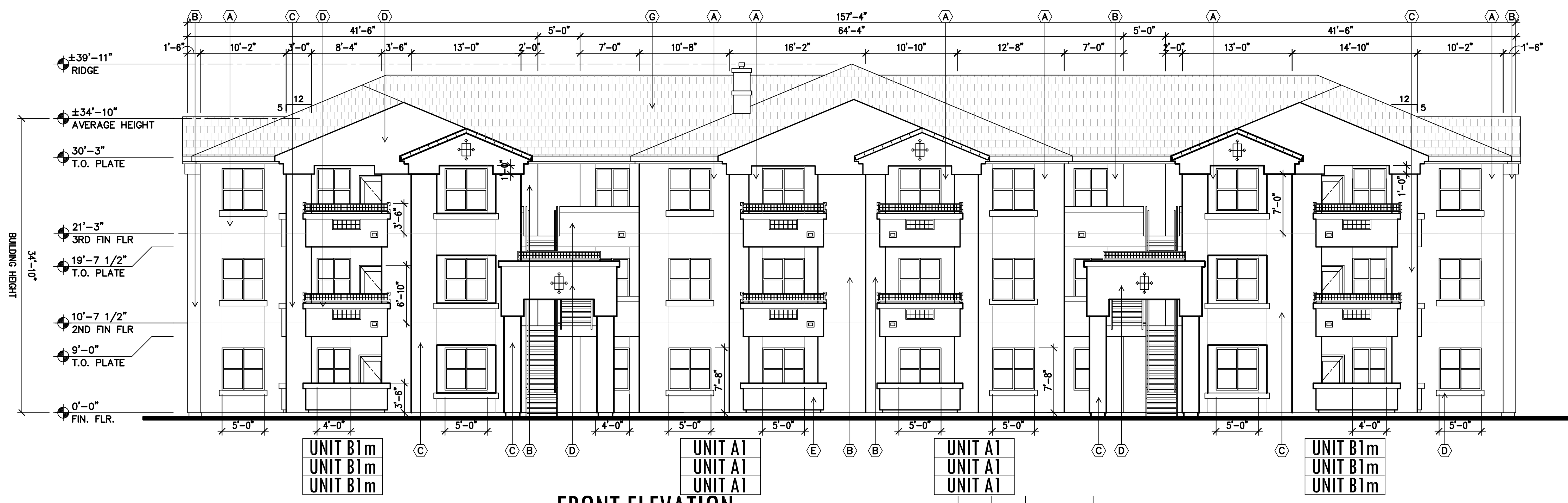
6 of 18

CONCEPTUAL
UTILITY PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
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Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
2129 CU-101.dwg Dec. 02.2015

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FRONT ELEVATION

BUILDING TYPE 1
SCALE: 1/8" = 1'-0"

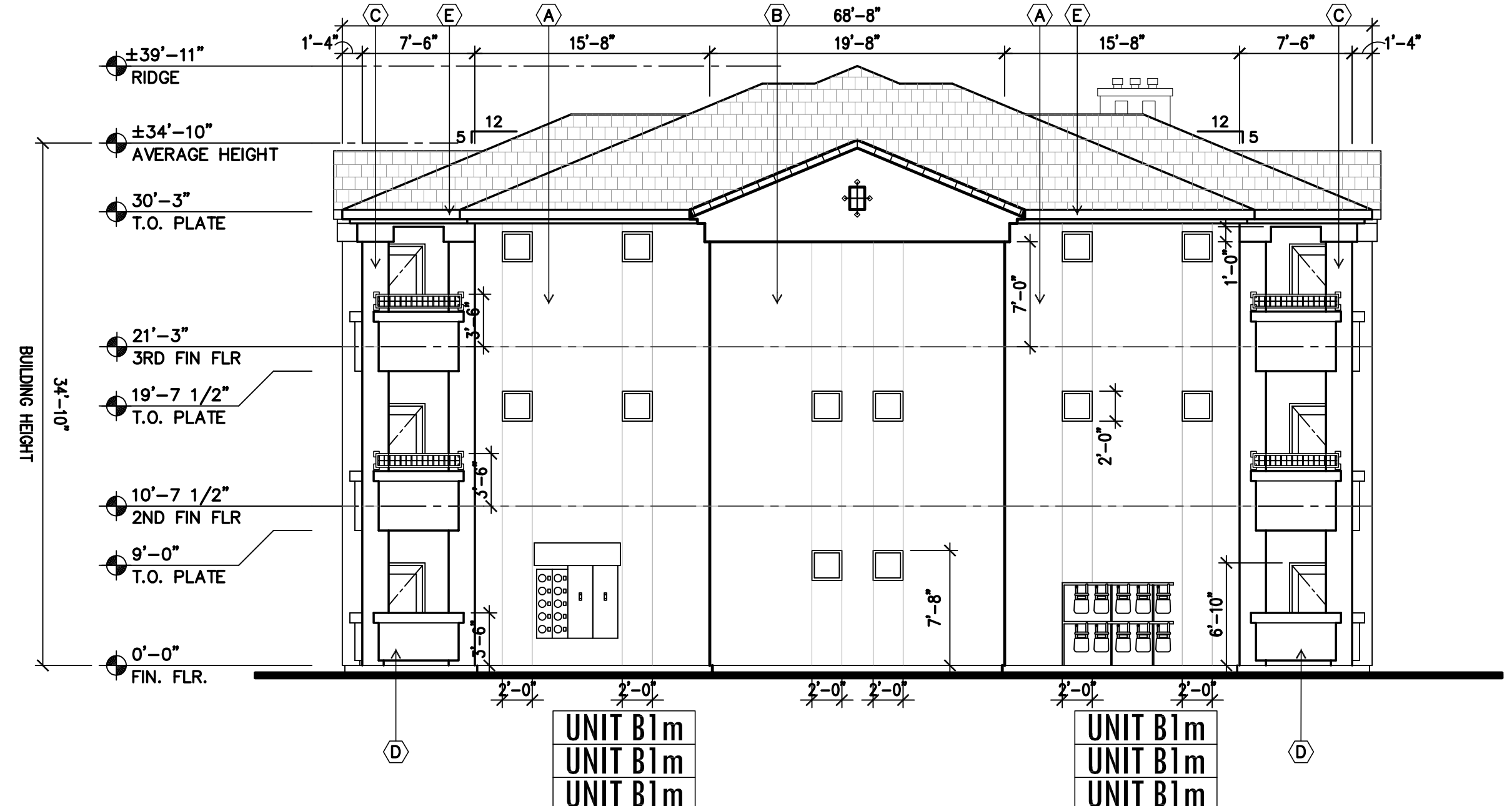
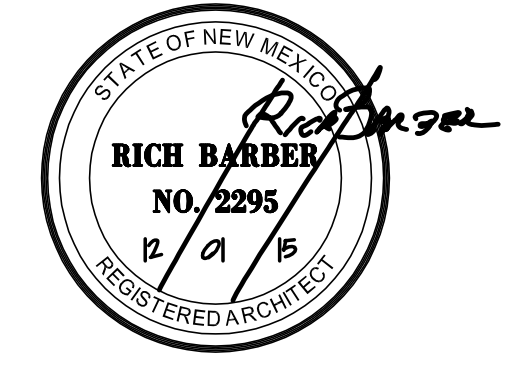
MATERIAL/COLOR KEY NOTES

(A)	STUCCO WALL BEIGE
(B)	STUCCO WALL LIGHT BROWN
(C)	STUCCO WALL MEDIUM BROWN
(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER

**BROADSTONE
NORTHPOINT**
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico

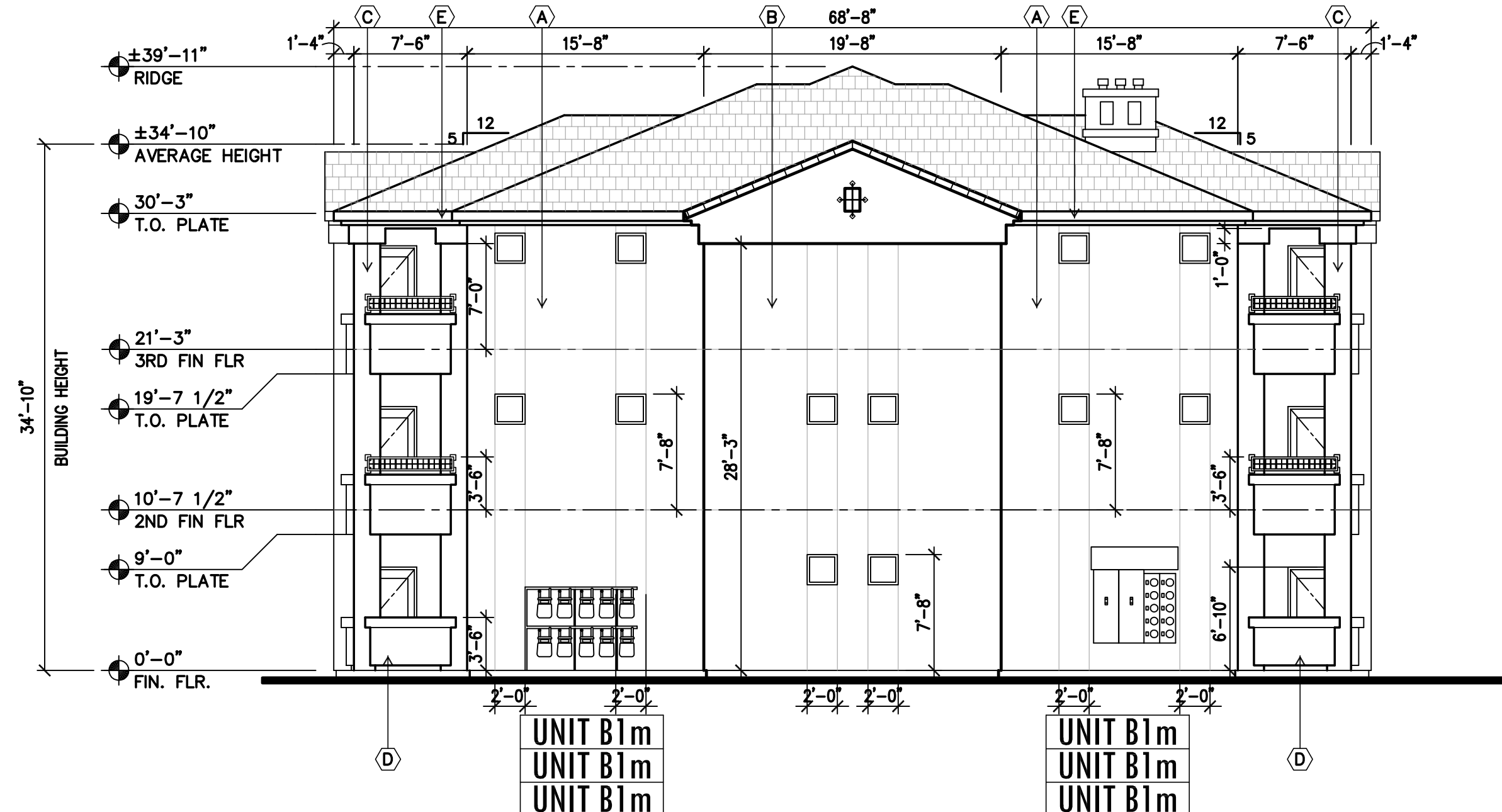


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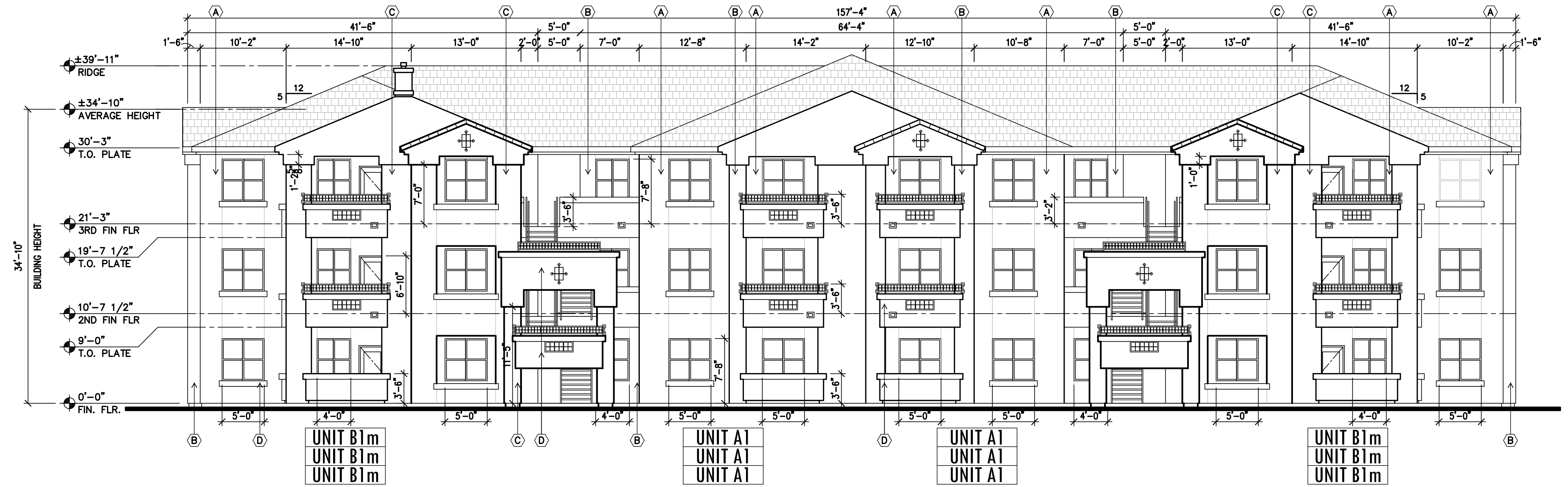
LEFT ELEVATION

BUILDING TYPE 1
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

BUILDING TYPE 1
SCALE: 1/8" = 1'-0"



REAR ELEVATION

BUILDING TYPE 1
SCALE: 1/8" = 1'-0"

DATE: DECEMBER 1, 2015 ORB # 15-212

A7 of 18

BUILDING TYPE 1
EXTERIOR ELEVATIONS



FRONT ELEVATION
BUILDING TYPE 2

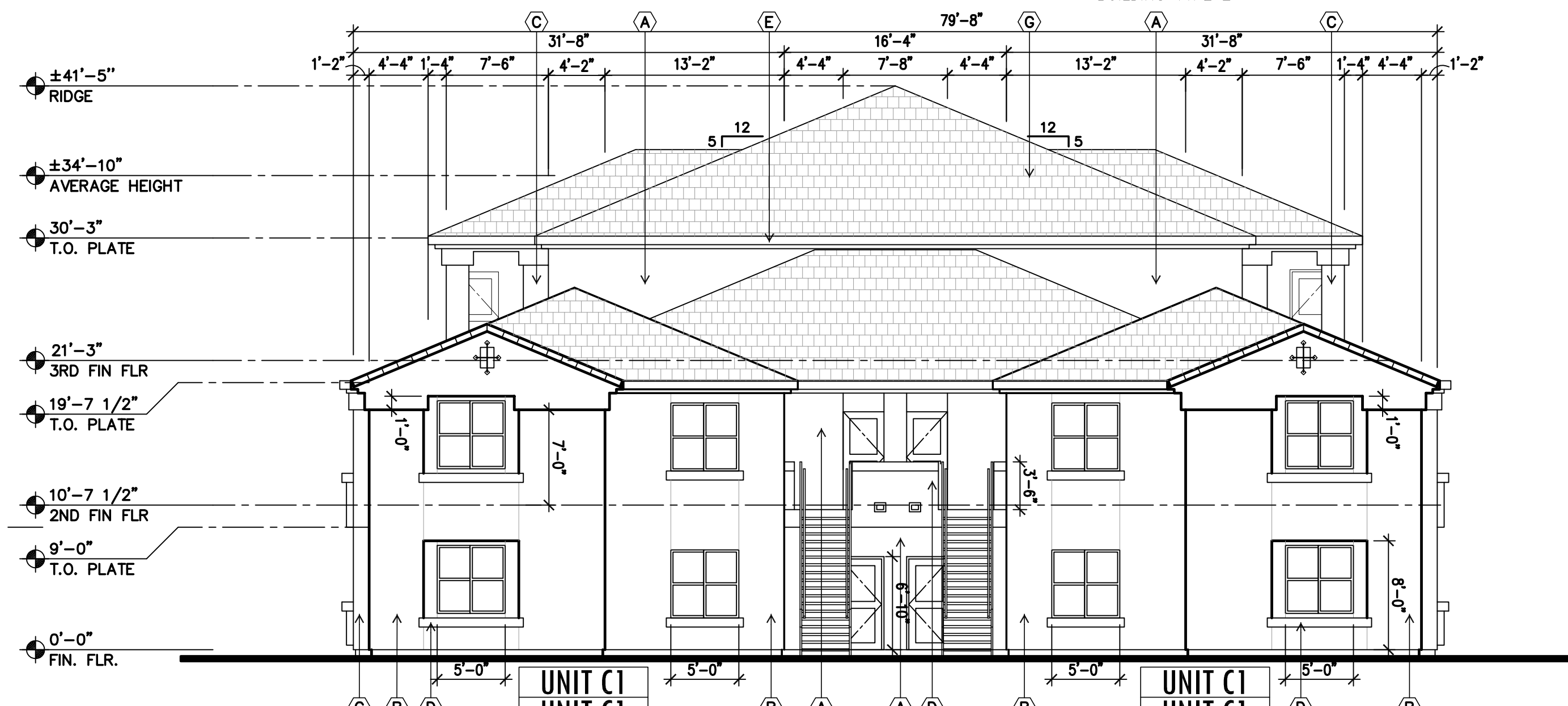
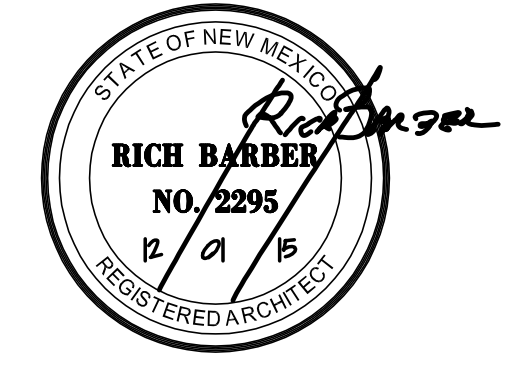
MATERIAL/COLOR KEY NOTES

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(B)	STUCCO WALL LIGHT BROWN
(C)	STUCCO WALL MEDIUM BROWN
(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER

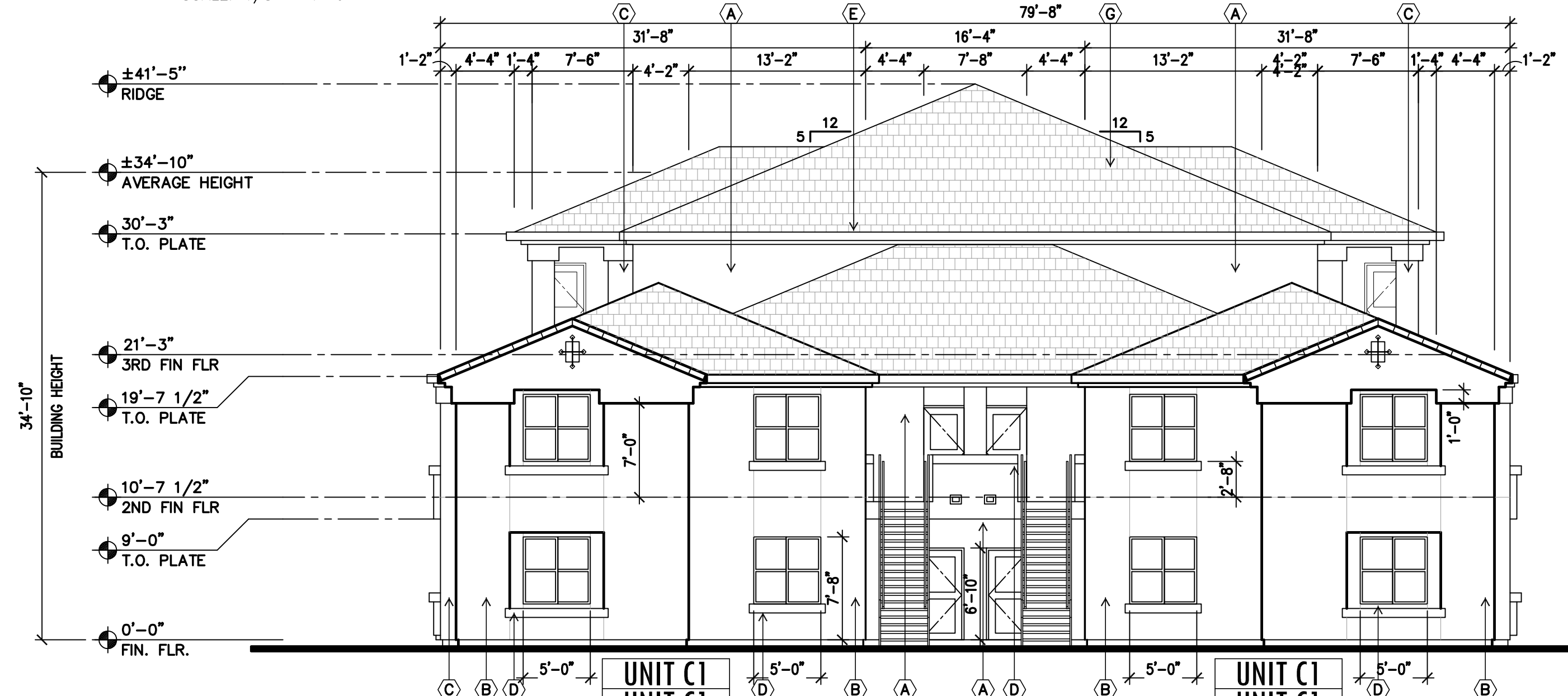
**BROADSTONE
NORTHPOINT**
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



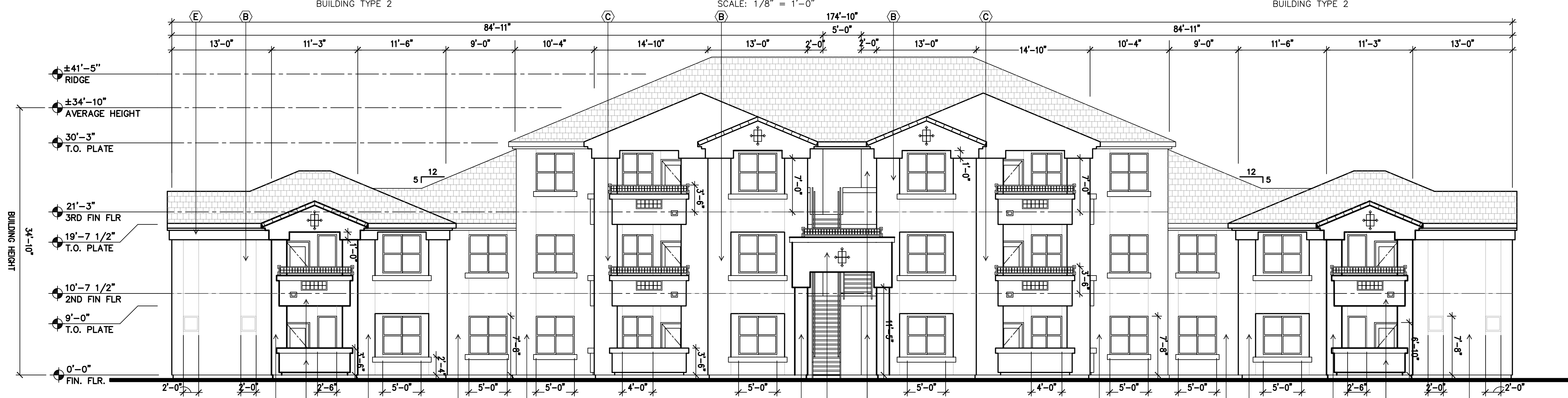
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RIGHT ELEVATION
BUILDING TYPE 2



LEFT ELEVATION
BUILDING TYPE 2



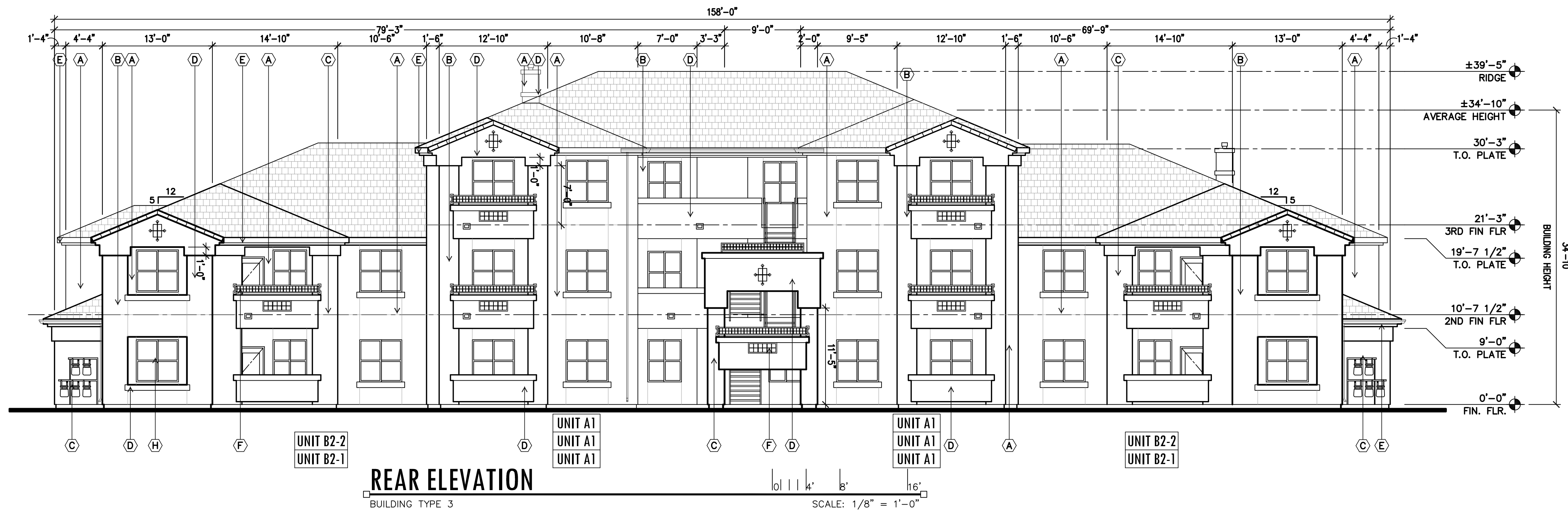
REAR ELEVATION
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DATE: DECEMBER 1, 2015 ORB # 15-212

A8 of 18

BUILDING TYPE 2
EXTERIOR ELEVATIONS



REAR ELEVATION

BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

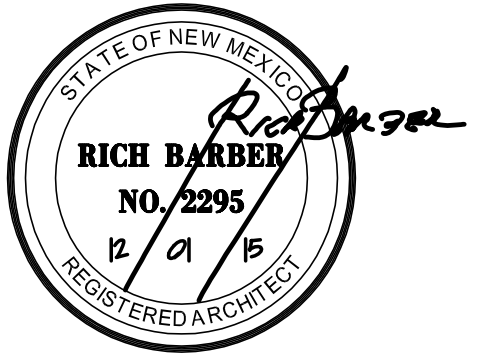
MATERIAL/COLOR KEY NOTES

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(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER

**BROADSTONE
NORTHPOINT**
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



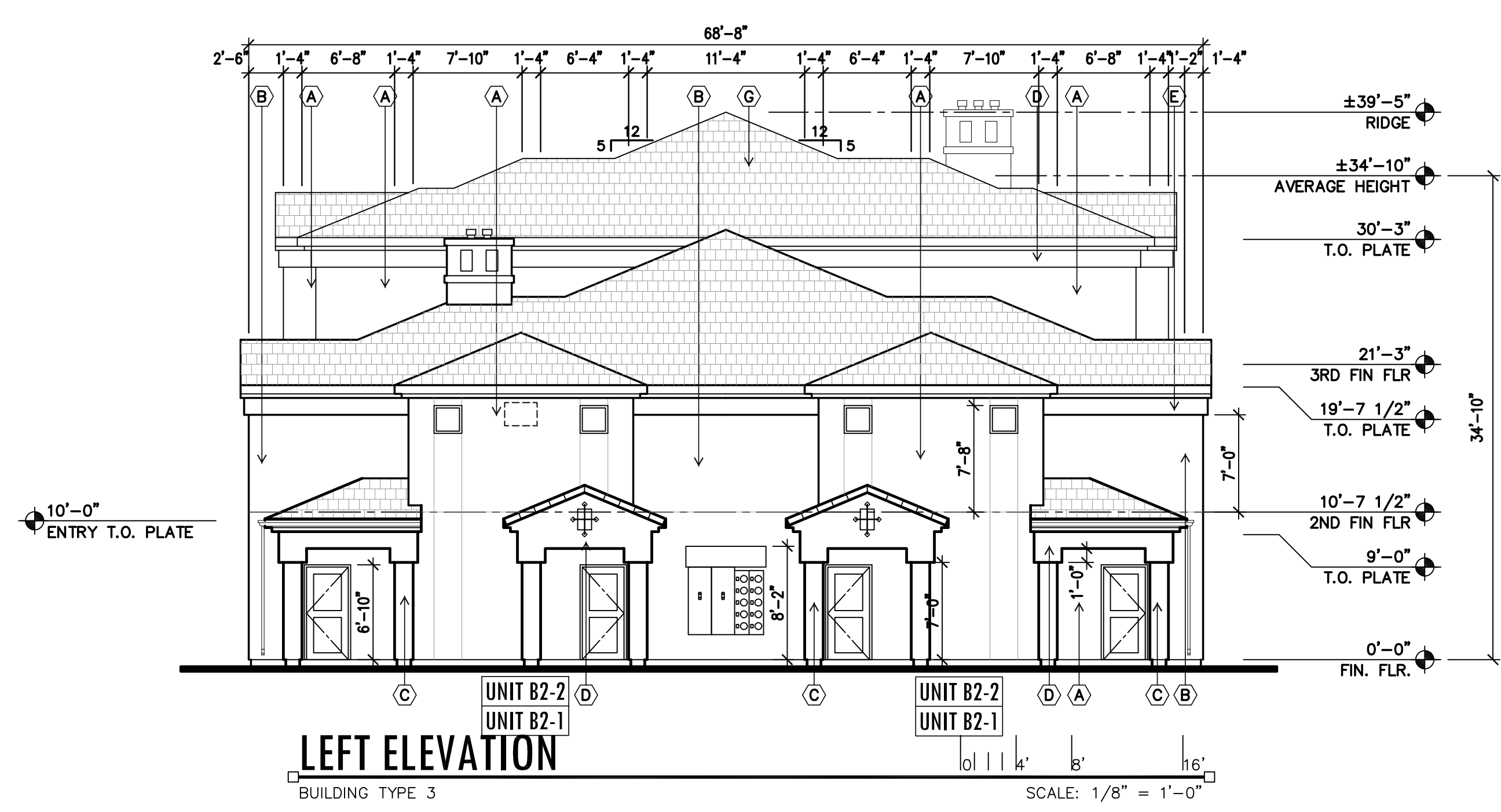
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RIGHT ELEVATION

BUILDING TYPE 3

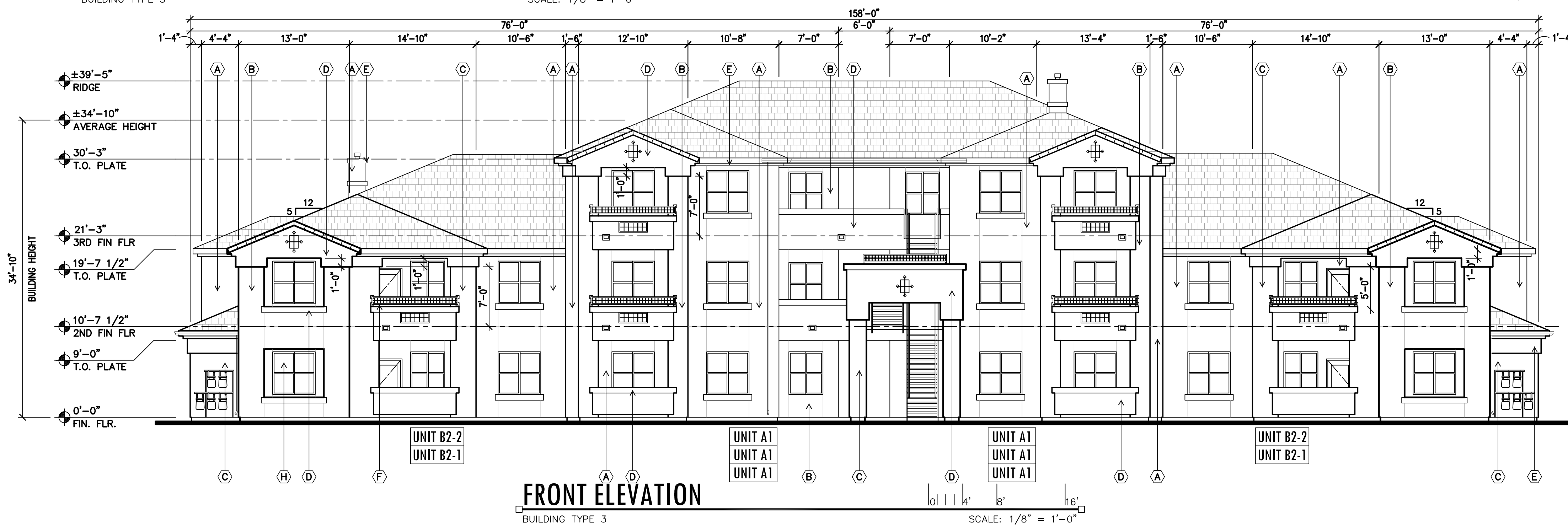
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LEFT ELEVATION

BUILDING TYPE 3

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

BUILDING TYPE 3

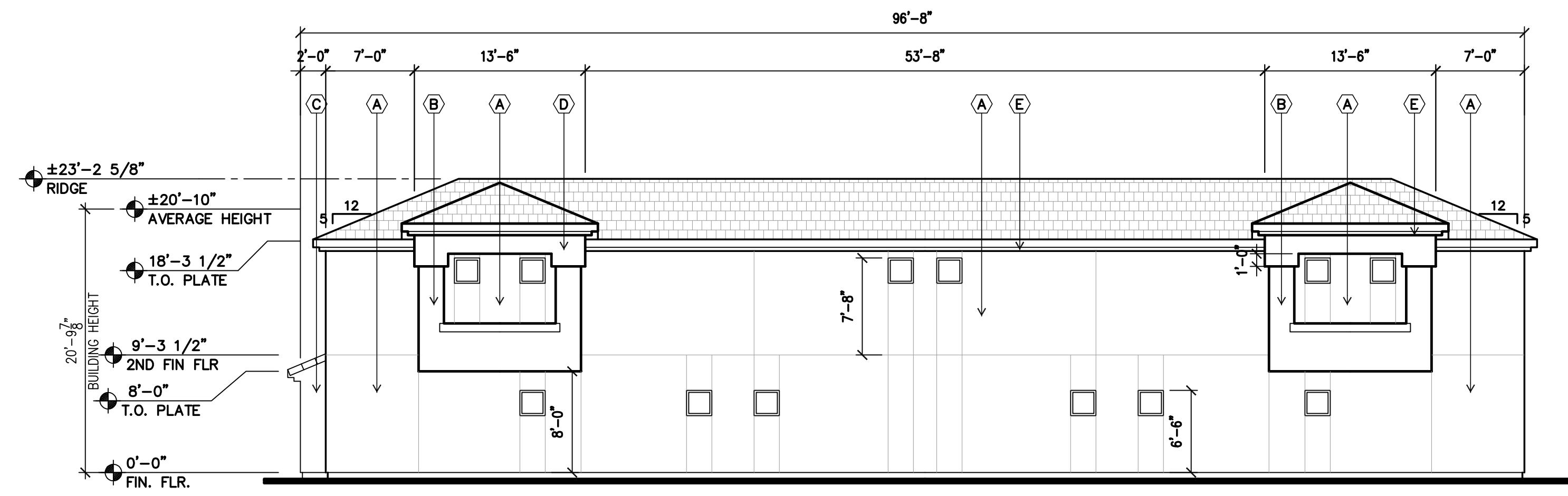
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DATE: DECEMBER 1, 2015 ORB # 15-212

A9 of 18

BUILDING TYPE 3
EXTERIOR ELEVATIONS

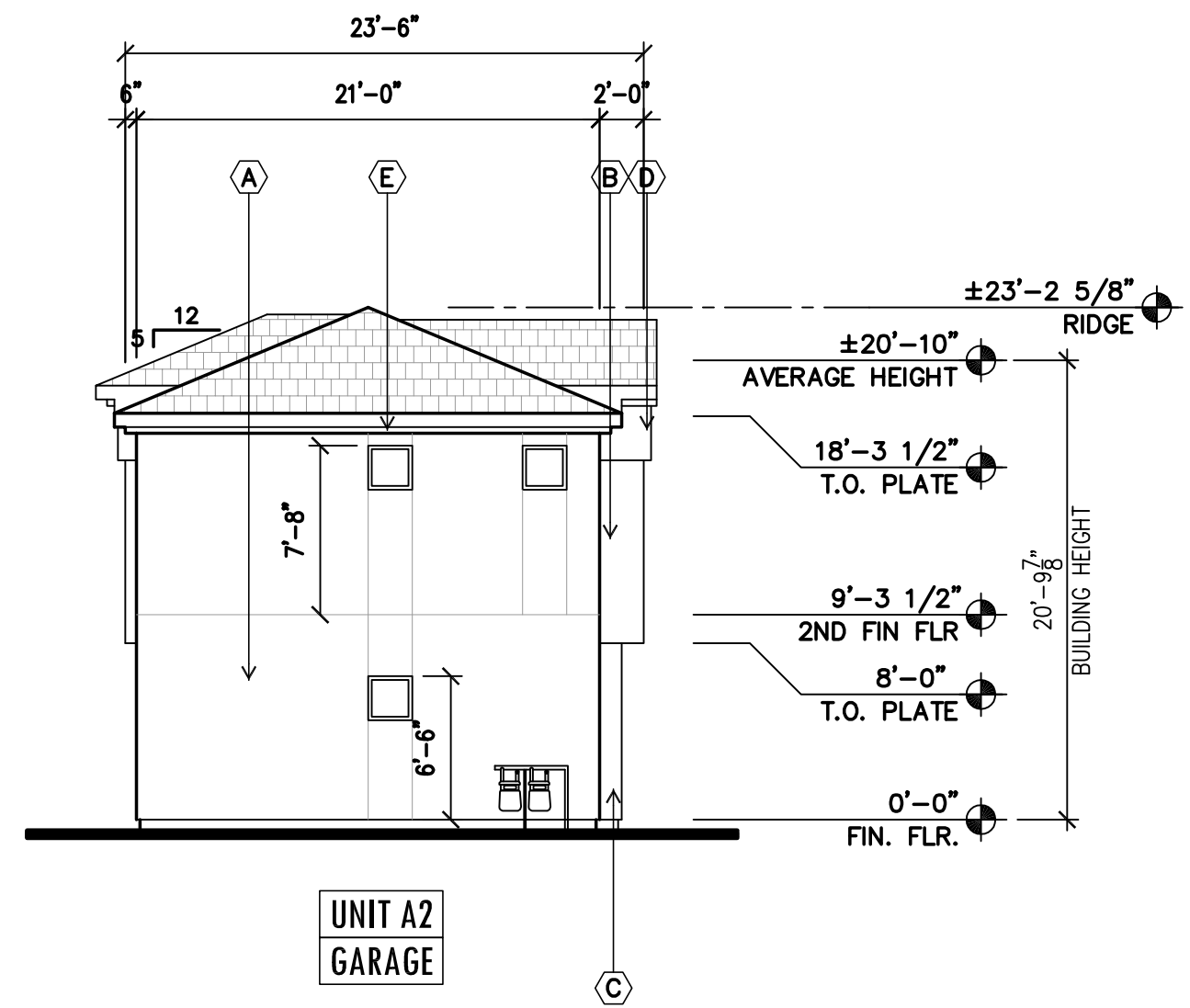
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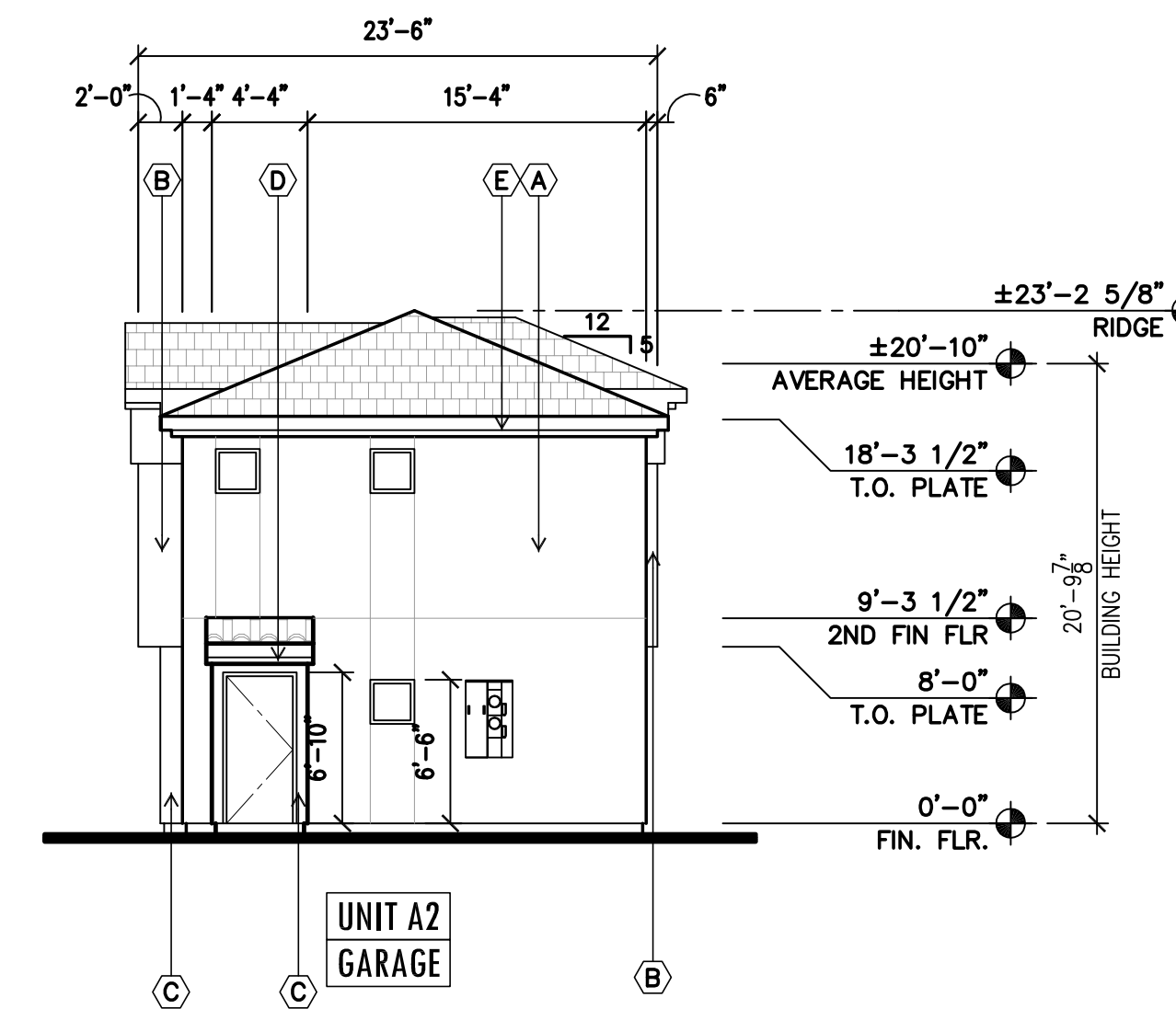
REAR ELEVATION
BUILDING TYPE 4
SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

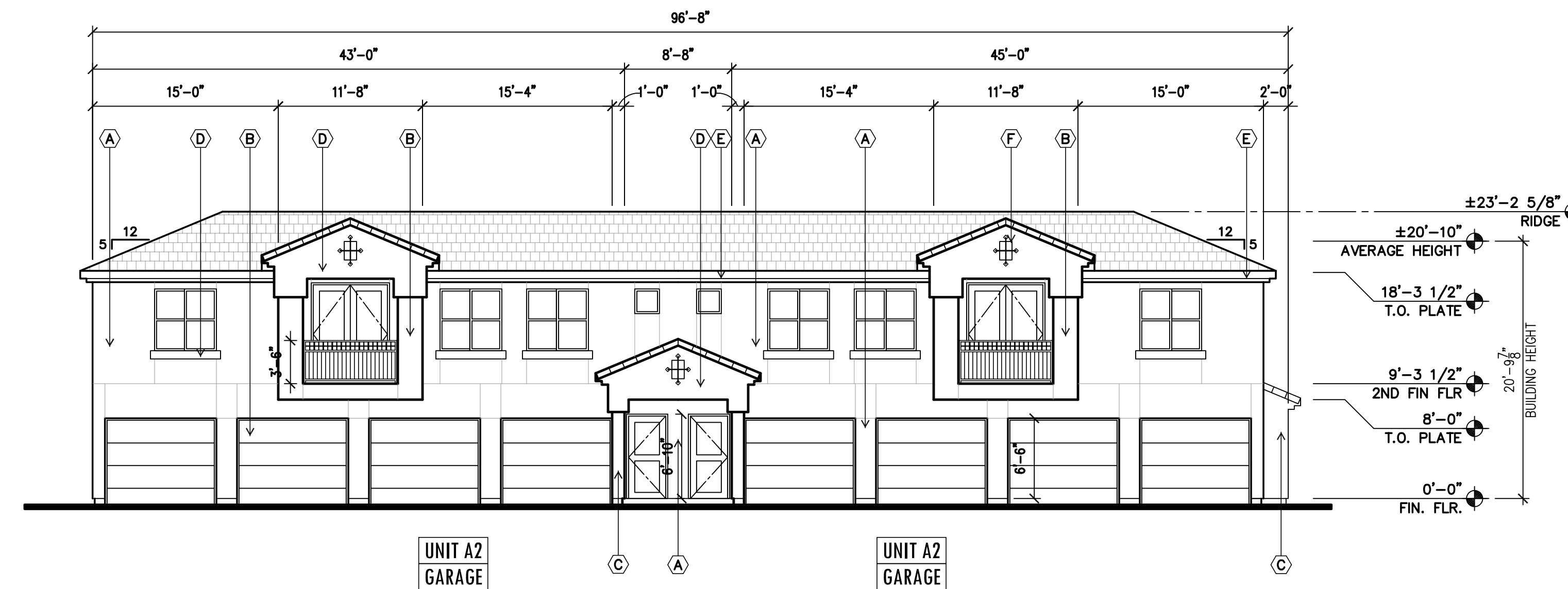
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(B)	STUCCO WALL LIGHT BROWN
(C)	STUCCO WALL MEDIUM BROWN
(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER



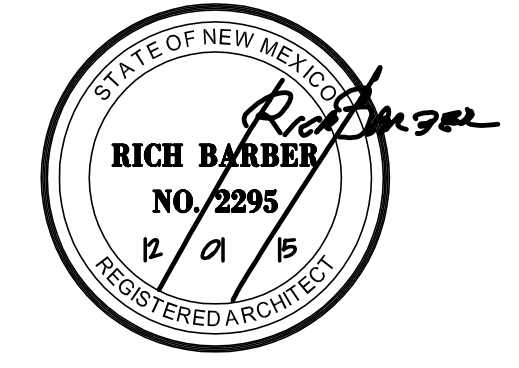
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BUILDING TYPE 4
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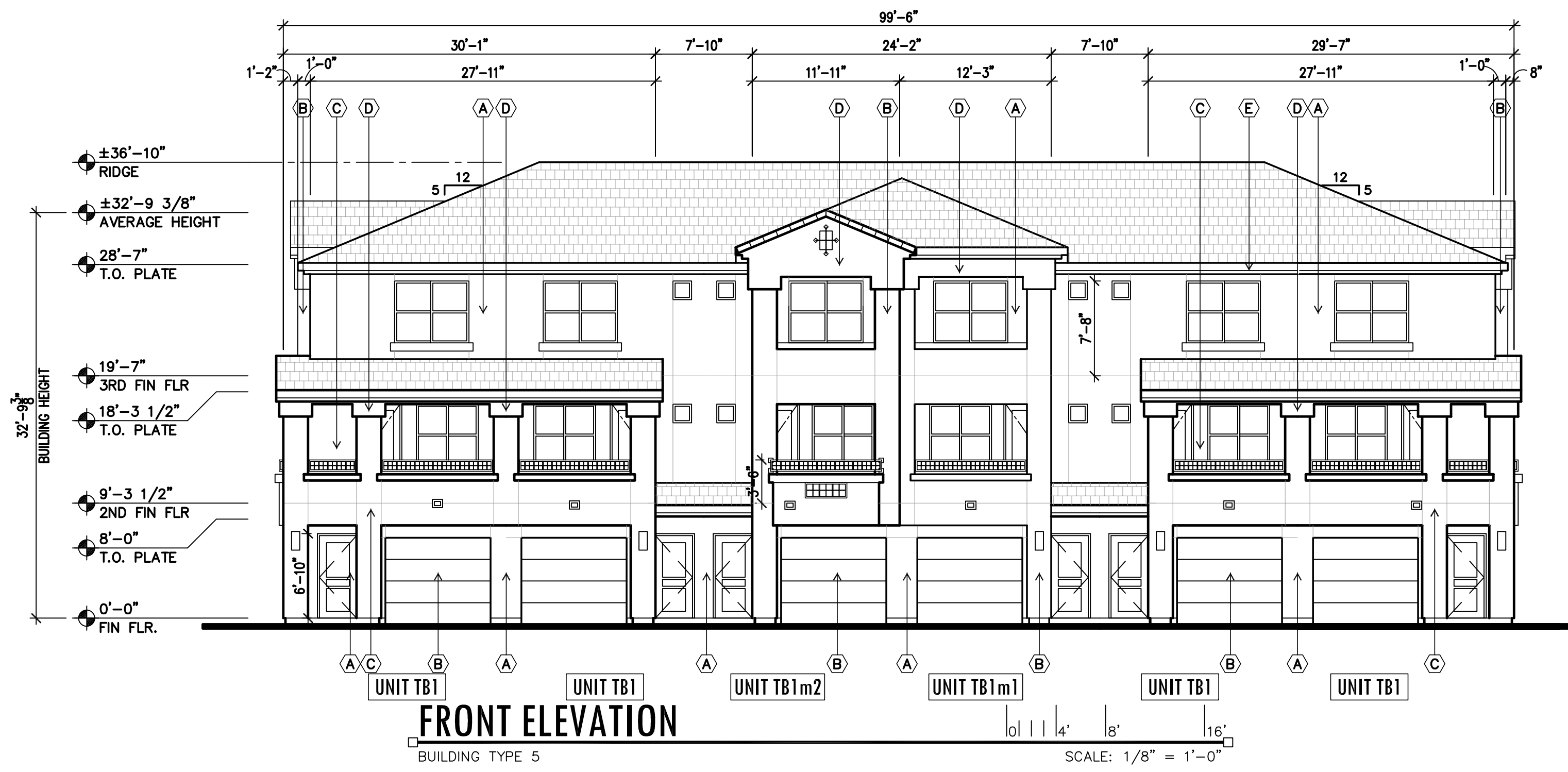
RIGHT ELEVATION
BUILDING TYPE 4
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
BUILDING TYPE 4
SCALE: 1/8" = 1'-0"



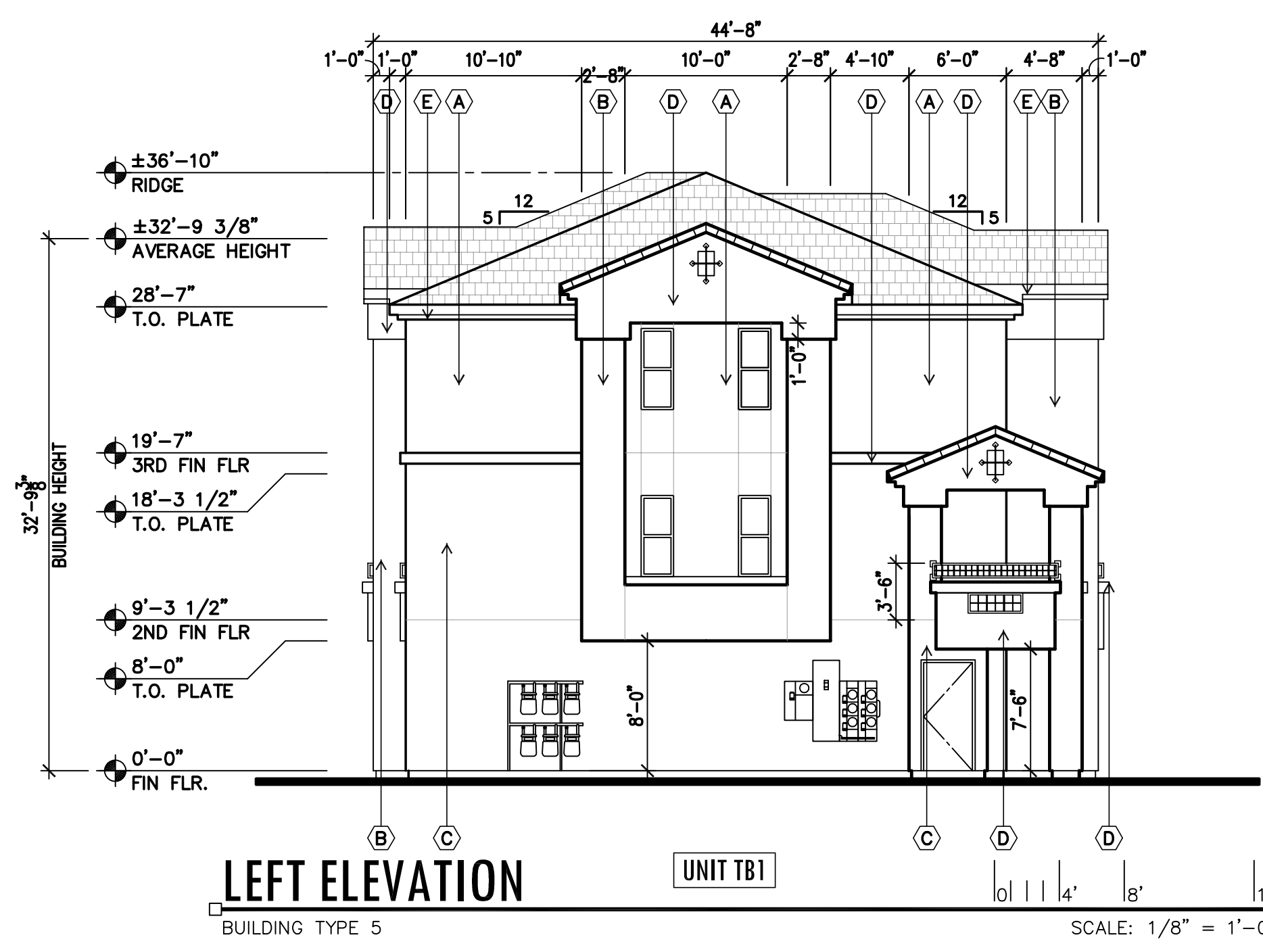
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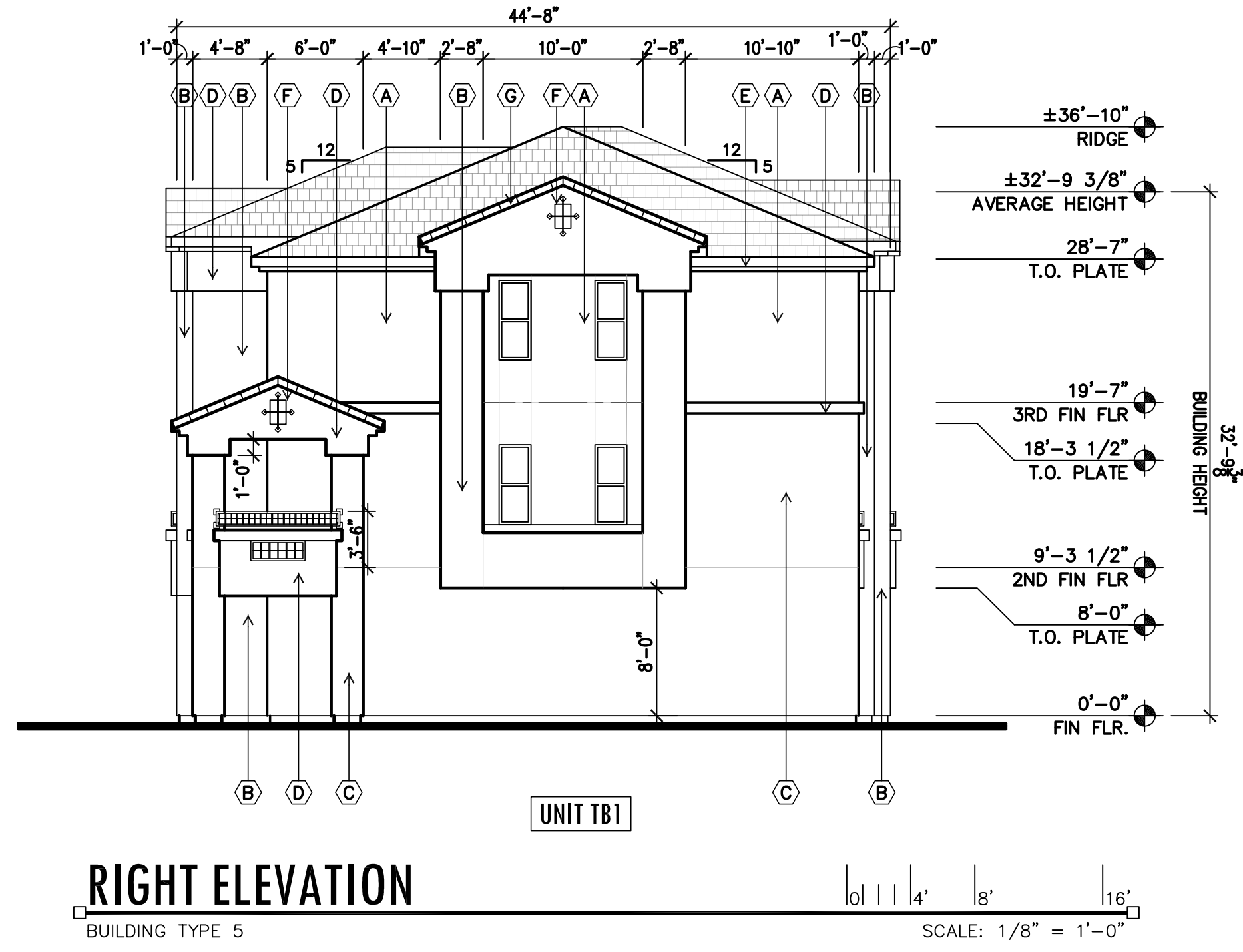
FRONT ELEVATION
BUILDING TYPE 5
SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

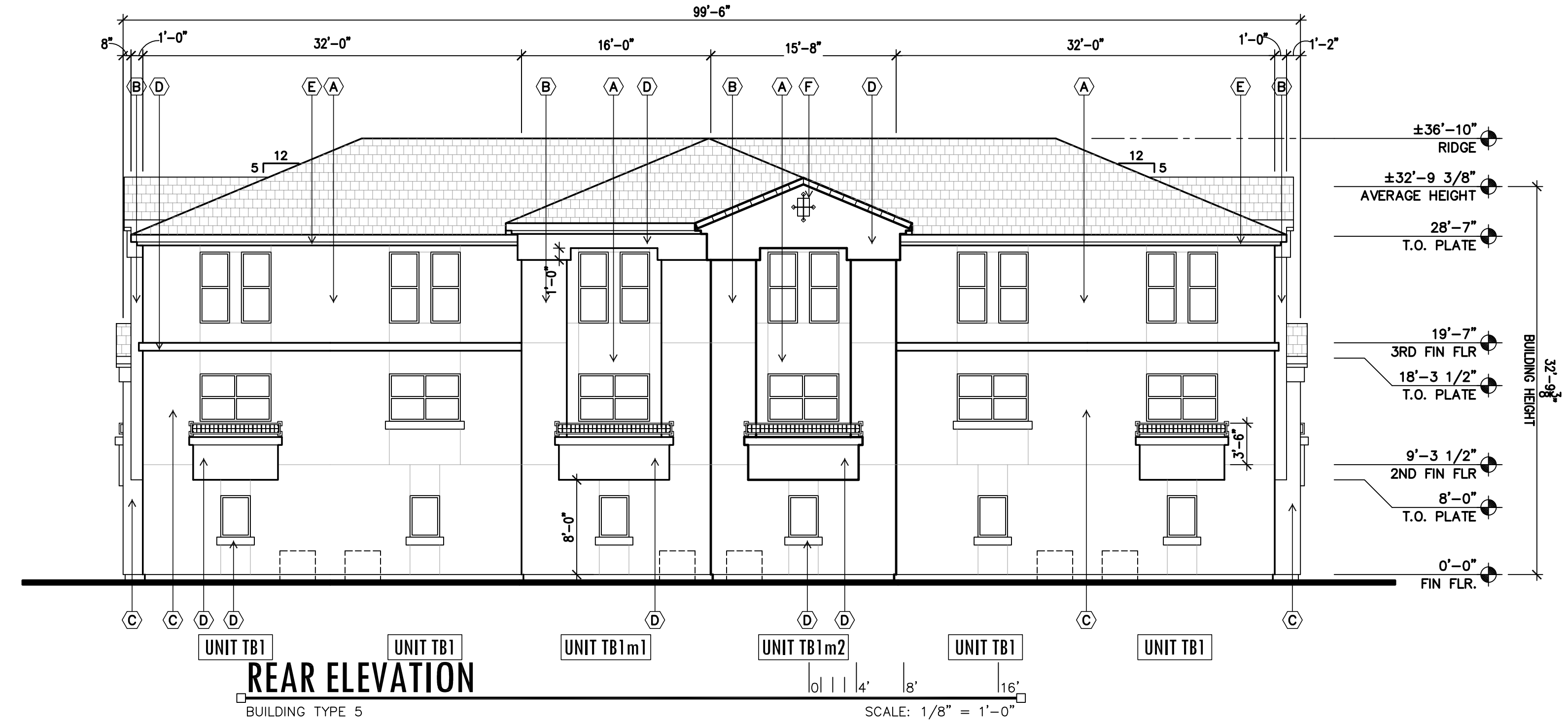
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(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER



LEFT ELEVATION
BUILDING TYPE 5
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
BUILDING TYPE 5
SCALE: 1/8" = 1'-0"

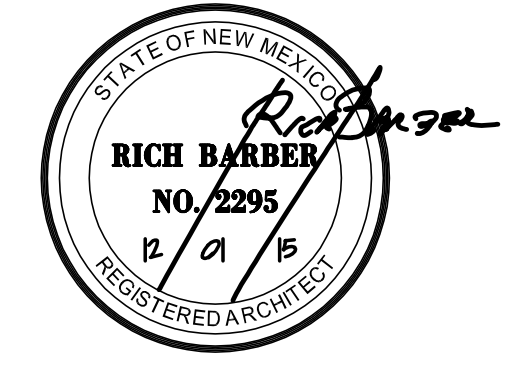


REAR ELEVATION
BUILDING TYPE 5
SCALE: 1/8" = 1'-0"

**BROADSTONE
NORTHPOINT**
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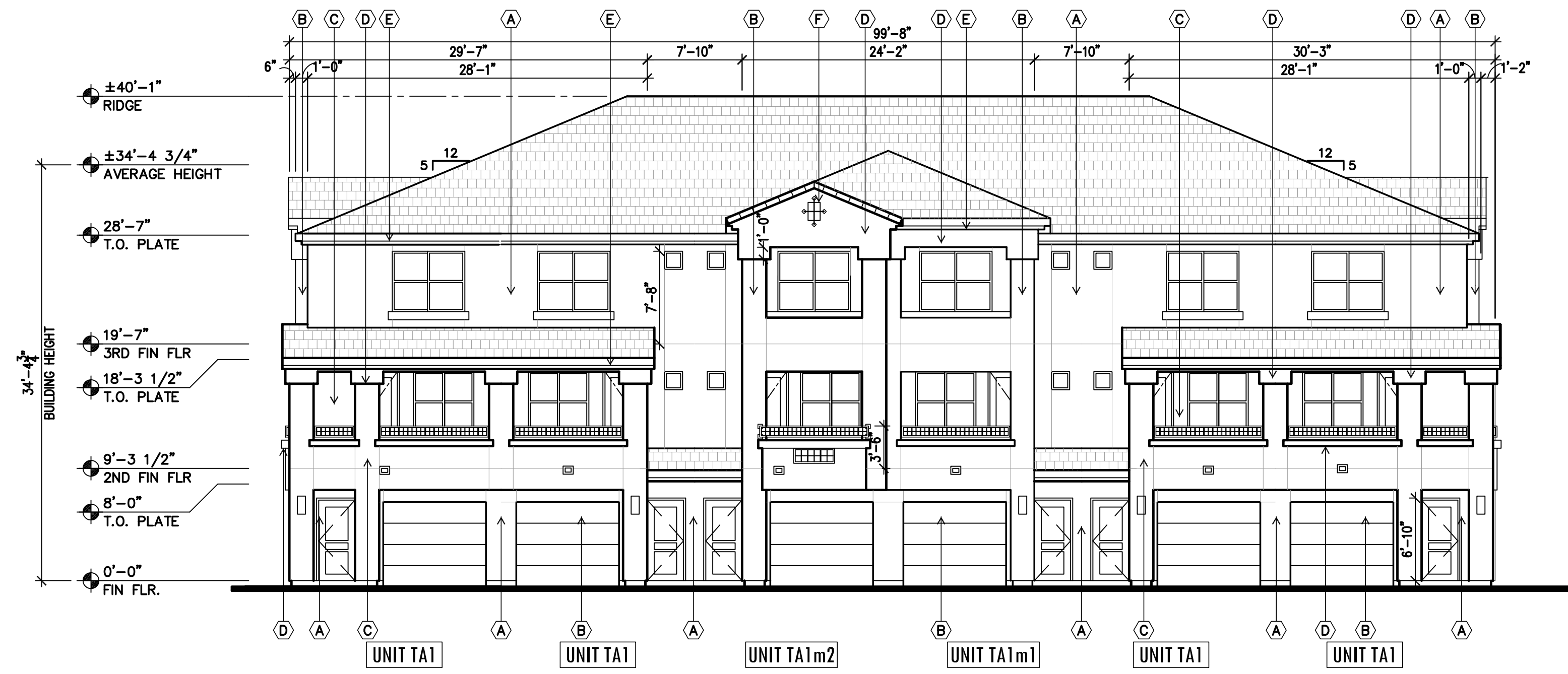
**TITAN
DEVELOPMENT**
**ALLIANCE
RESIDENTIAL COMPANY**

DATE: DECEMBER 1, 2015 ORB # 15-212

All of 18

BUILDING TYPE 5
EXTERIOR ELEVATIONS

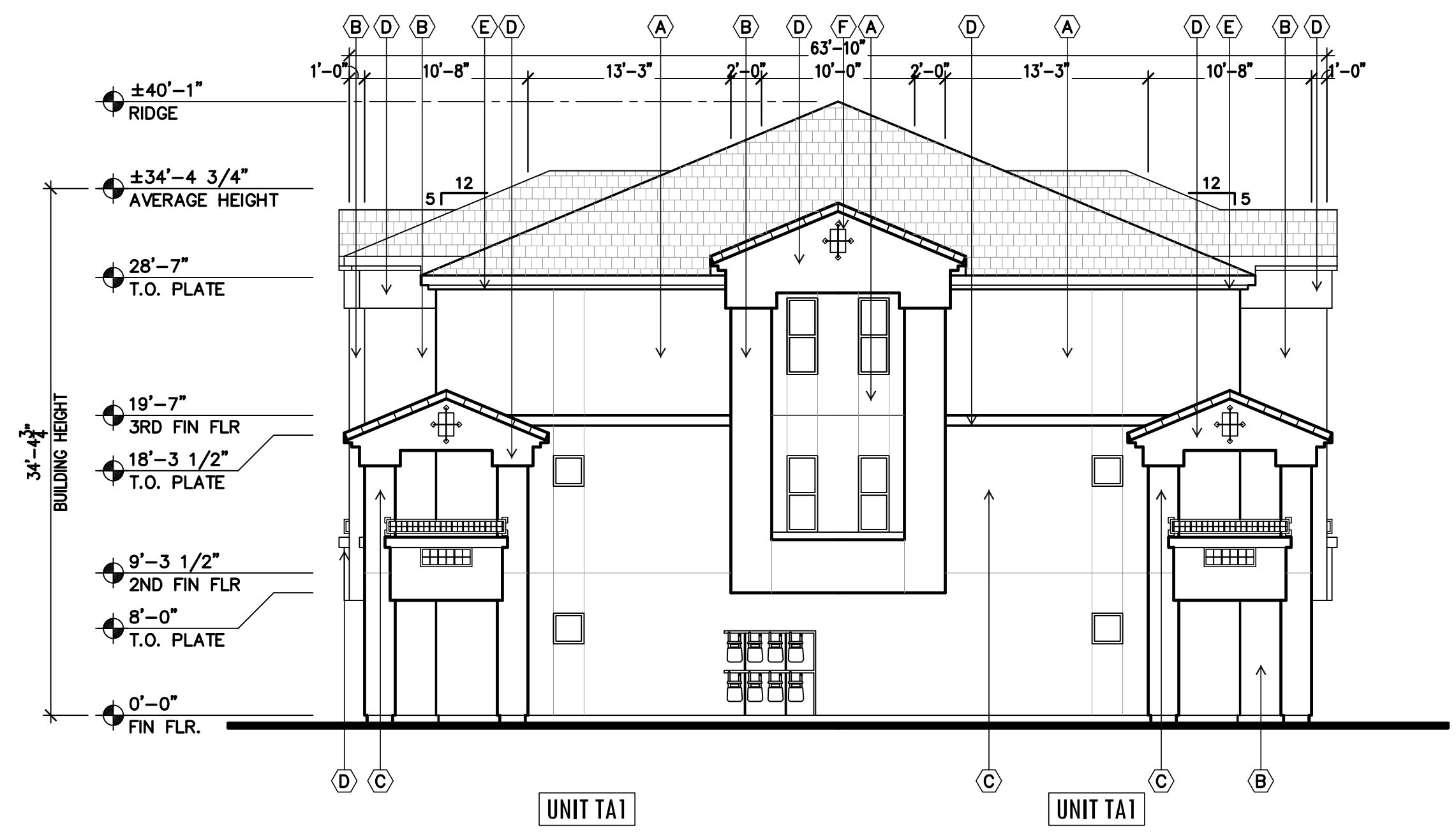
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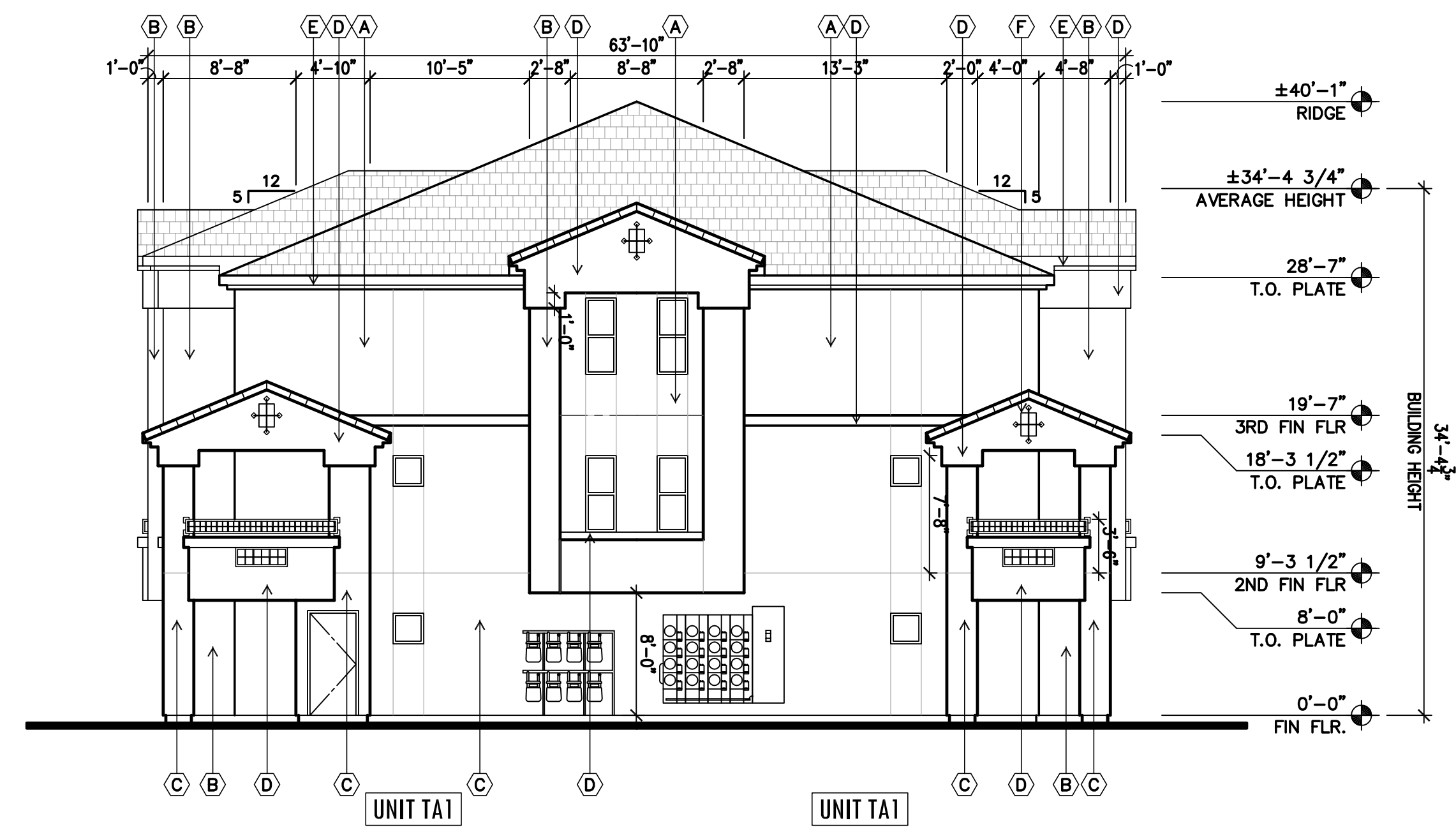
FRONT ELEVATION
BUILDING TYPE 6
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MATERIAL/COLOR KEY NOTES

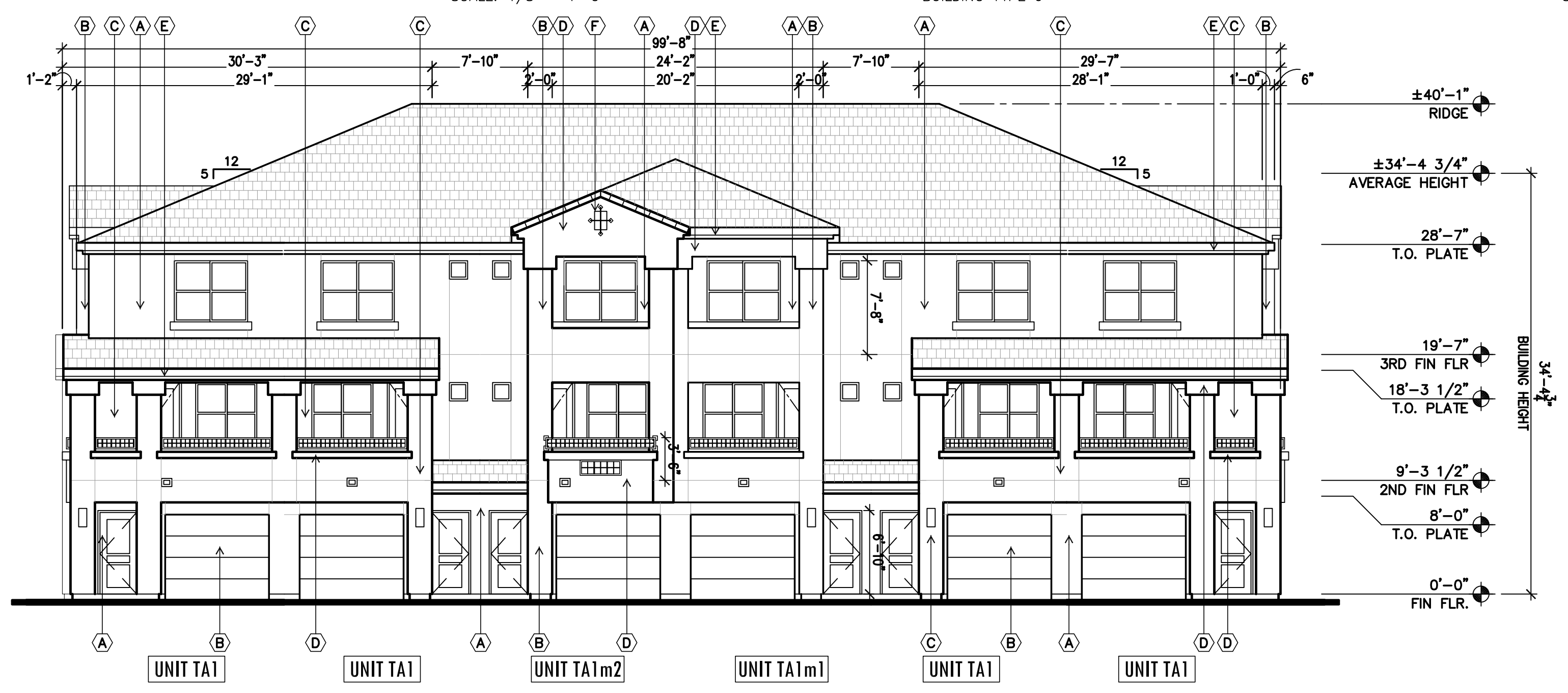
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(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER



LEFT ELEVATION
BUILDING TYPE 6
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
BUILDING TYPE 6
SCALE: 1/8" = 1'-0"

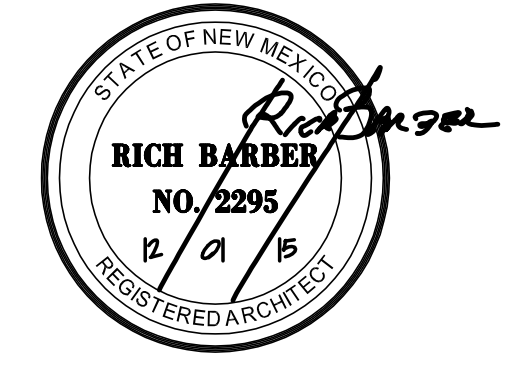


REAR ELEVATION
BUILDING TYPE 6
SCALE: 1/8" = 1'-0"

**BROADSTONE
NORTHPOINT**
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



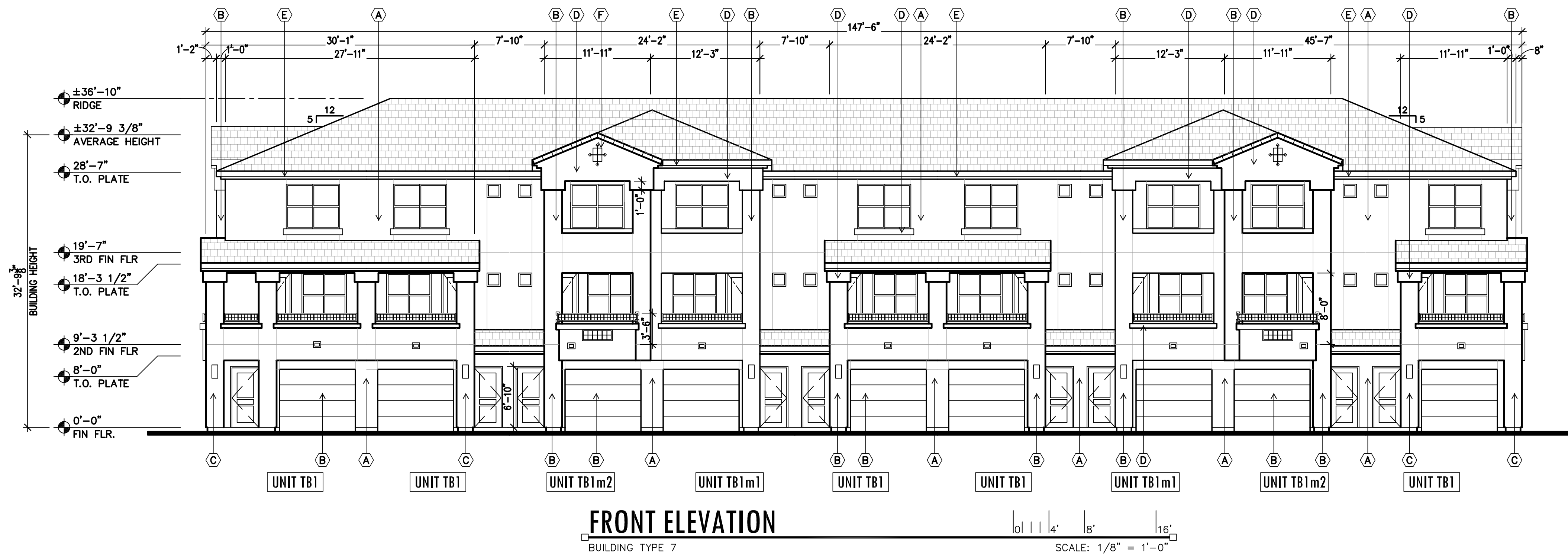
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A12 of 18

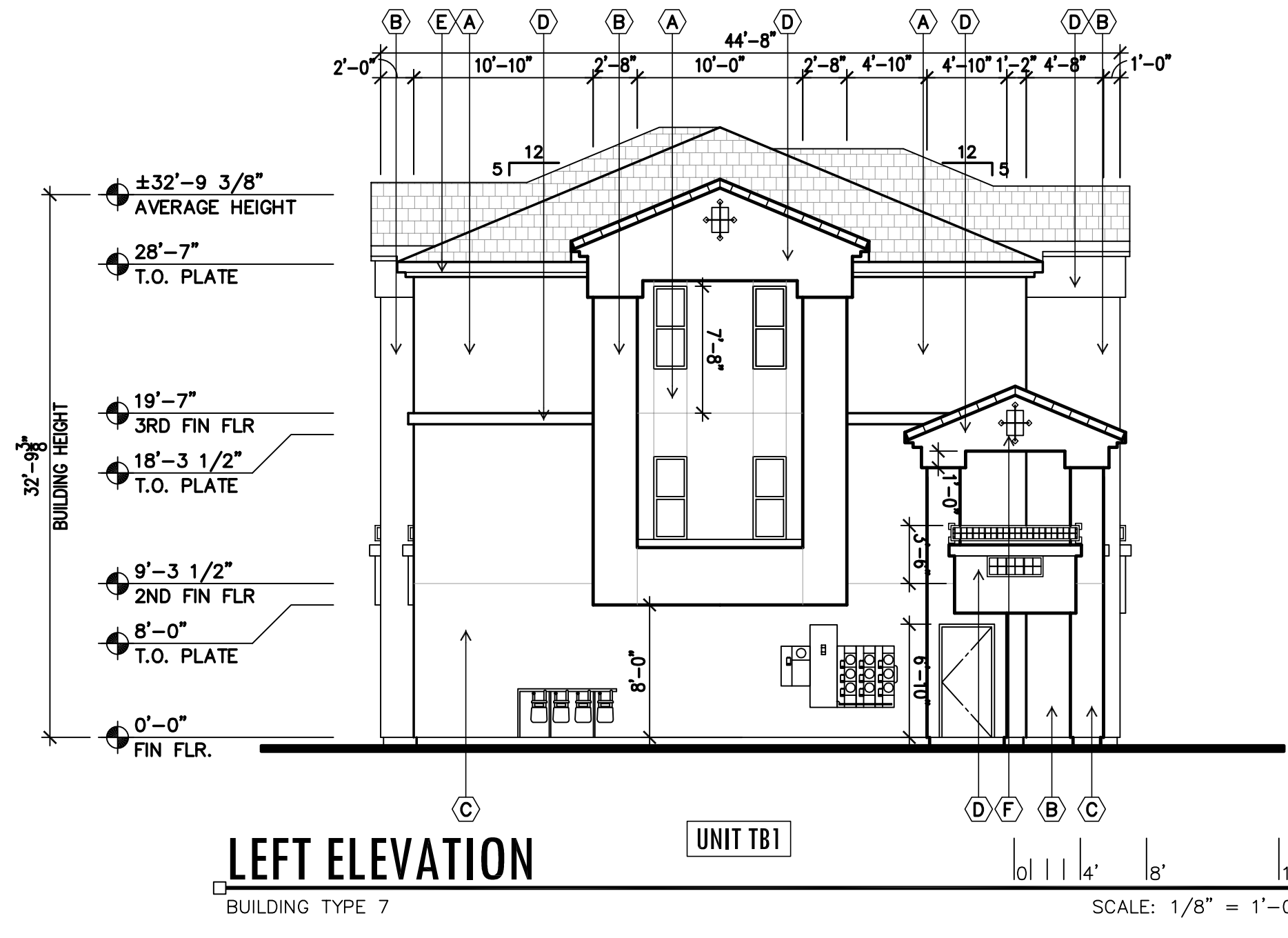
BUILDING TYPE 6
EXTERIOR ELEVATIONS



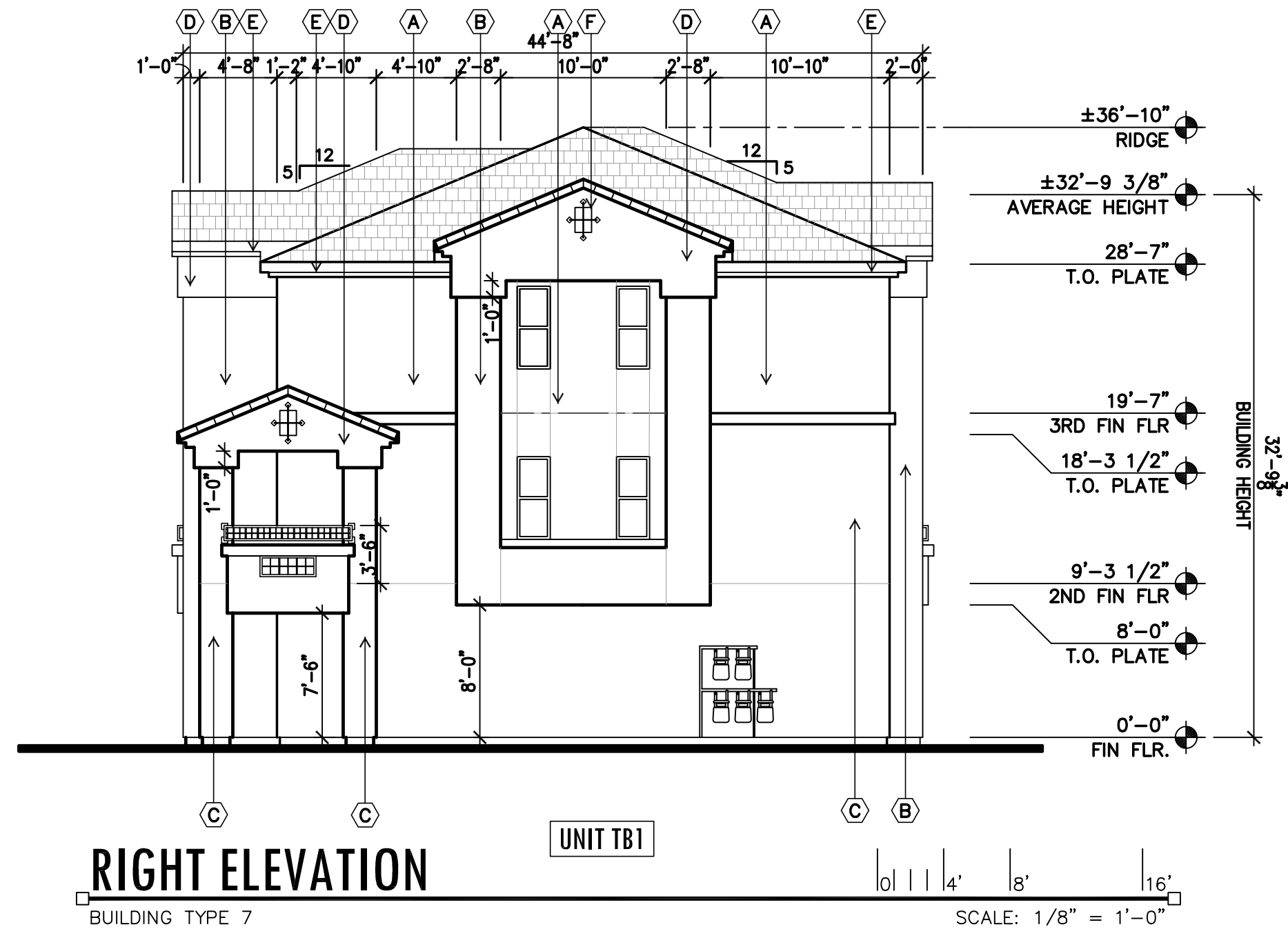
FRONT ELEVATION
BUILDING TYPE 7

MATERIAL/COLOR KEY NOTES

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(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER



LEFT ELEVATION
BUILDING TYPE 7



RIGHT ELEVATION
BUILDING TYPE 7

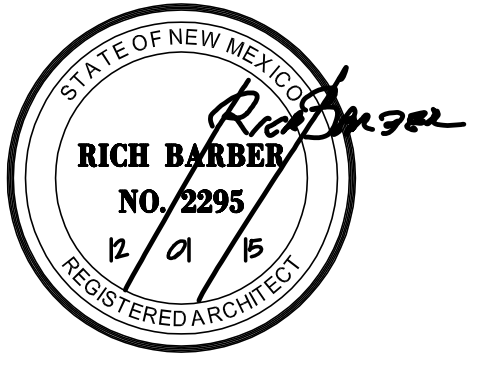


REAR ELEVATION
BUILDING TYPE 7

**BROADSTONE
NORTHPOINT**
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



WorldHQ@ORBArch.com



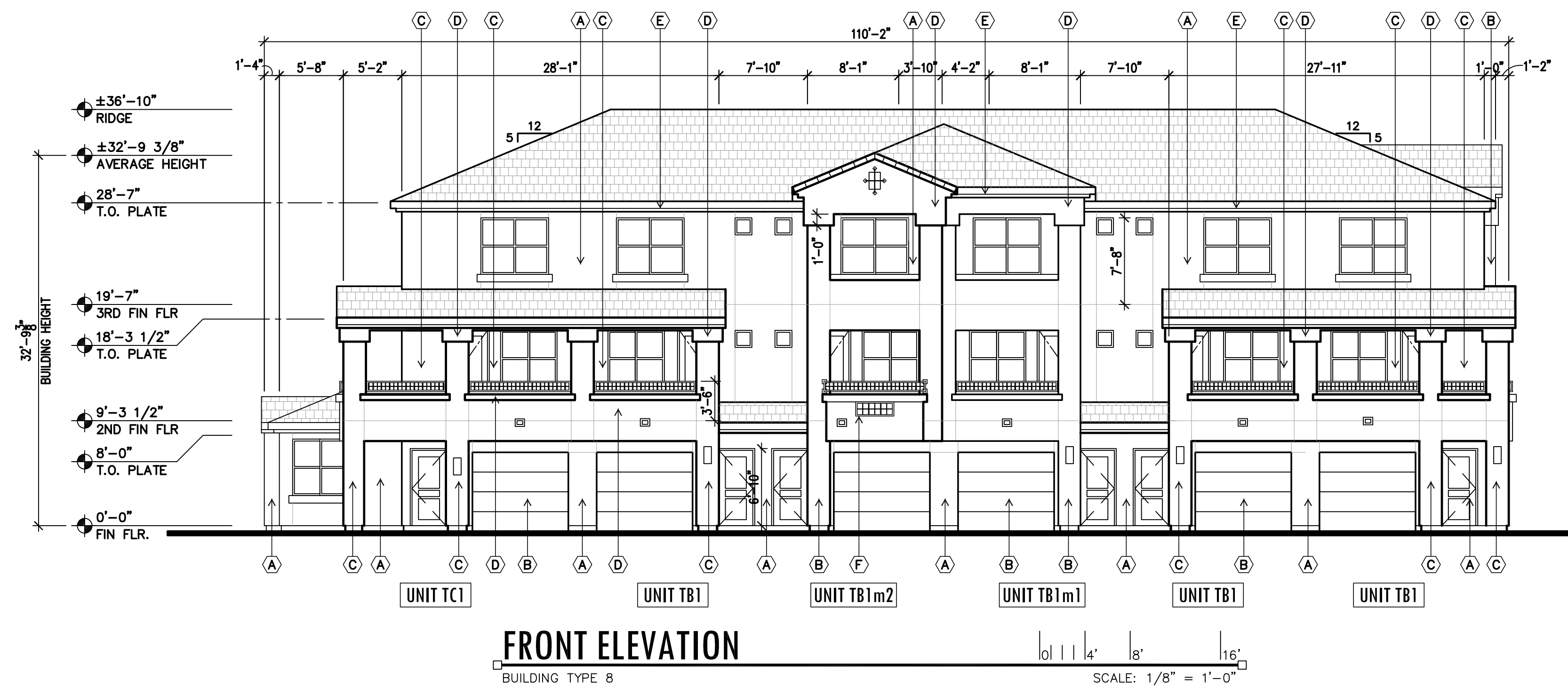
DATE: DECEMBER 1, 2015 ORB # 15-212

A13 of 18

BUILDING TYPE 7
EXTERIOR ELEVATIONS

FILE: F:\04\ORB Job Files\15-212_Titan_Northpoint\CAD Files\Preliminary\5212_A373_Bldg7_Elev.dwg USER: jca DATE: Dec, 01, 2015 TIME: 04:38 pm

FILE: F:\04\ORB Job Files\15-212_Titan_Northpoint\CAD Files\Preliminary\5212_A383_Bldg8_Elevs.dwg USER: jca DATE: Dec, 01 2015 TIME: 04:39 pm



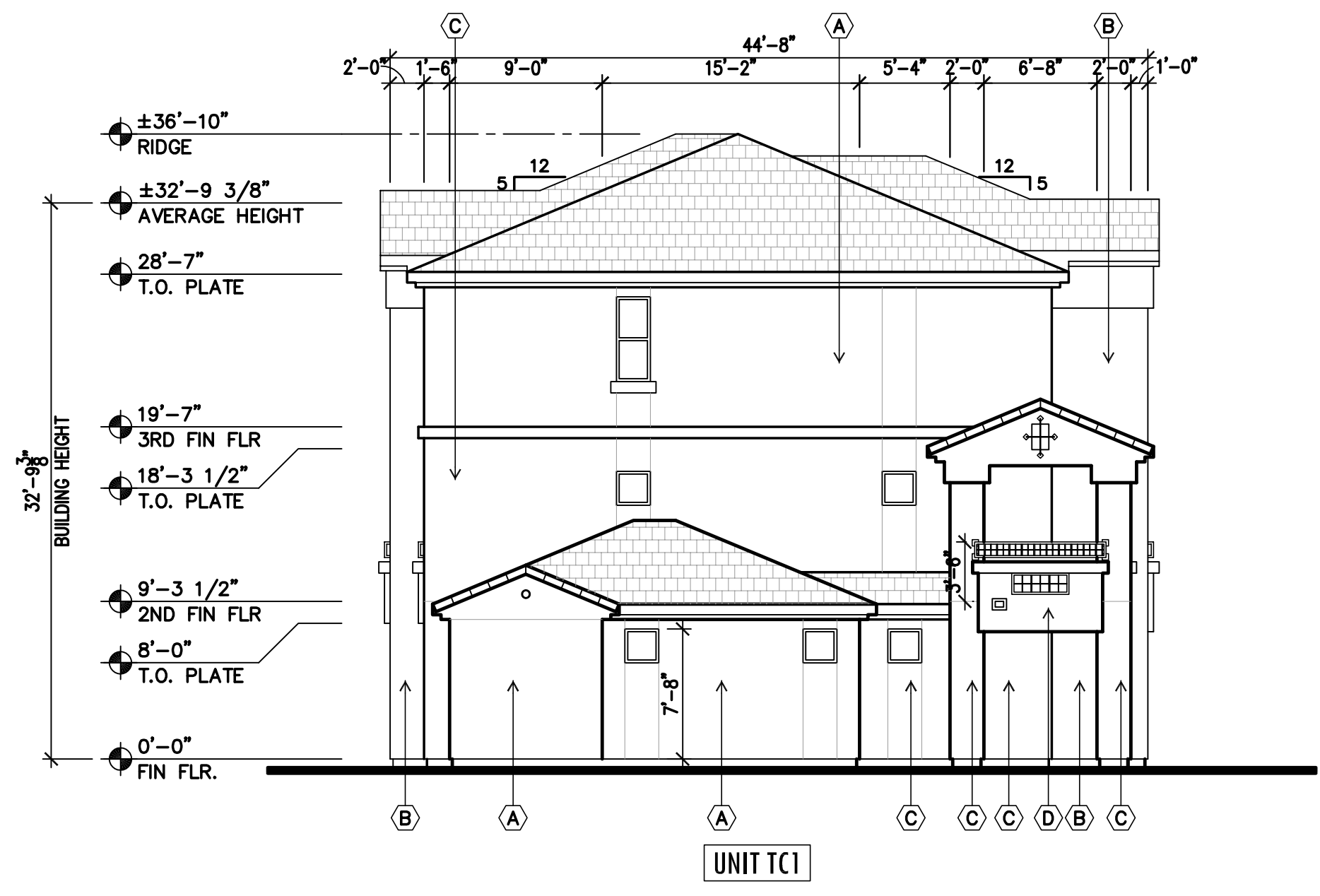
FRONT ELEVATION

BUILDING TYPE 8

SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

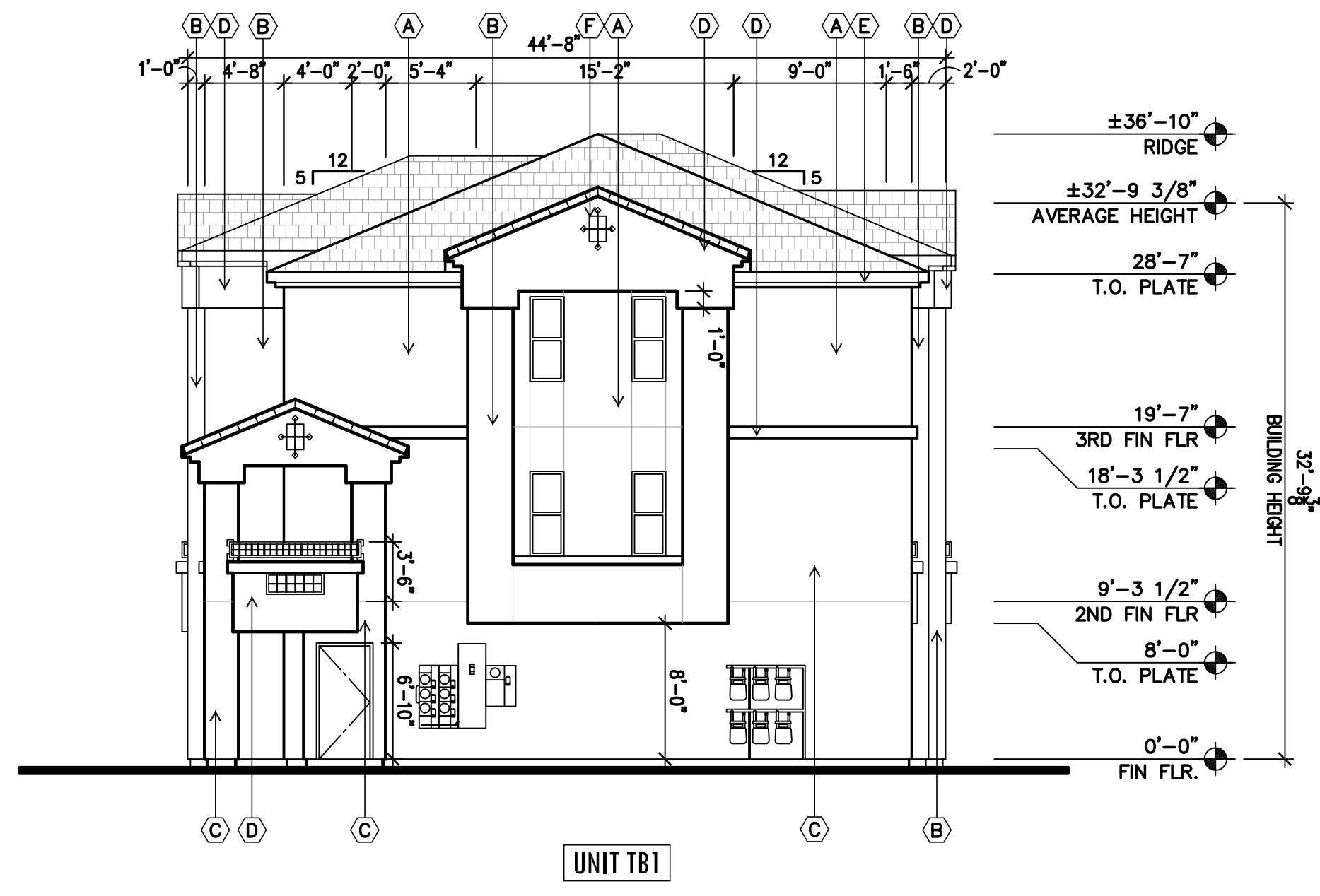
(A)	STUCCO WALL BEIGE
(B)	STUCCO WALL LIGHT BROWN
(C)	STUCCO WALL MEDIUM BROWN
(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WNDWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER



LEFT ELEVATION

BUILDING TYPE 8

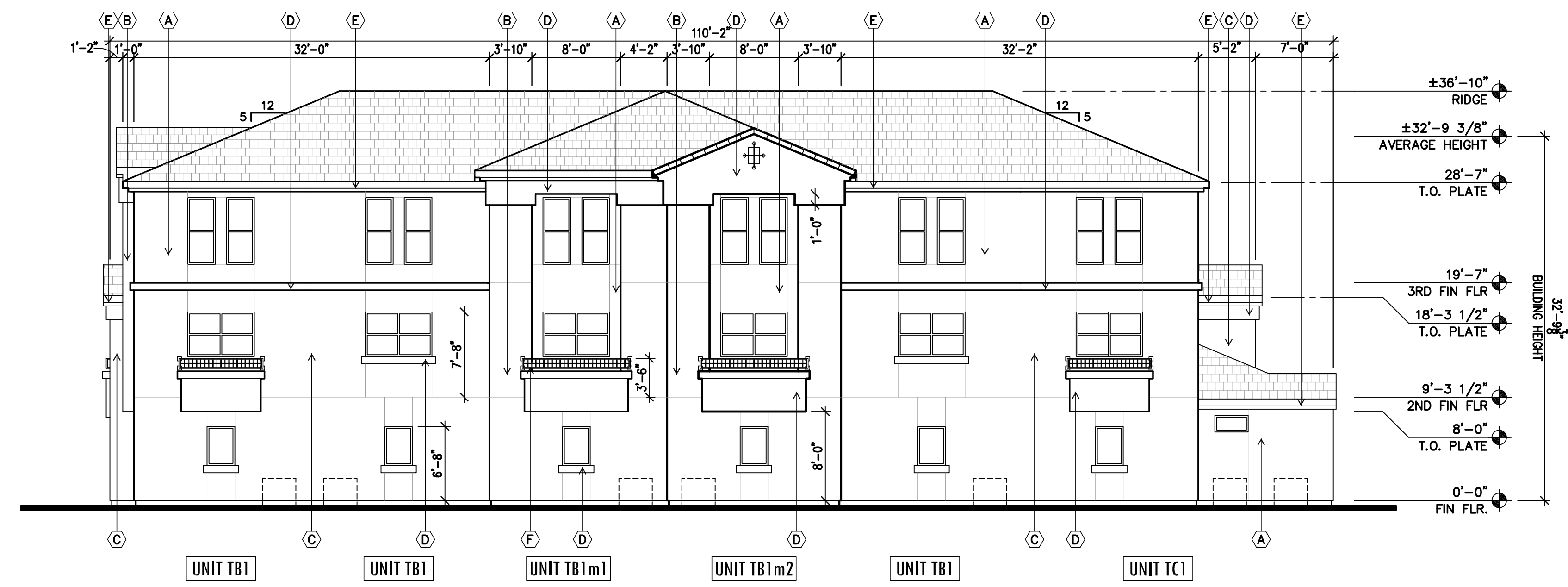
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

BUILDING TYPE 8

SCALE: 1/8" = 1'-0"



REAR ELEVATION

BUILDING TYPE 8

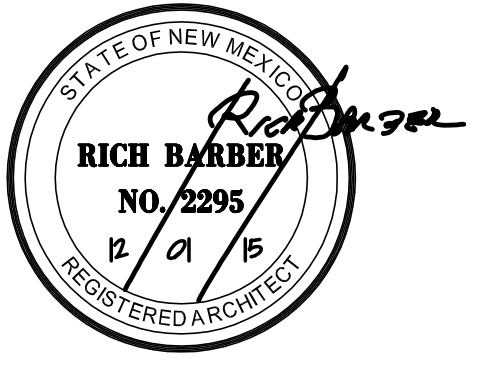
SCALE: 1/8" = 1'-0"

**BROADSTONE
NORTHPOINT**

NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



WorldHQ@ORBArch.com



DATE: DECEMBER 1, 2015 ORB # 15-212

A14 of 18

BUILDING TYPE 8
EXTERIOR ELEVATIONS

FILE: T:\04\ORB Job Files\15-212_Thon_Northpoint\CAD Files\Preliminary\5212_A393_Bldg9_Elevs.dwg USER: jca DATE: Dec, 01 2015 TIME: 04:40 pm



MATERIAL/COLOR KEY NOTES

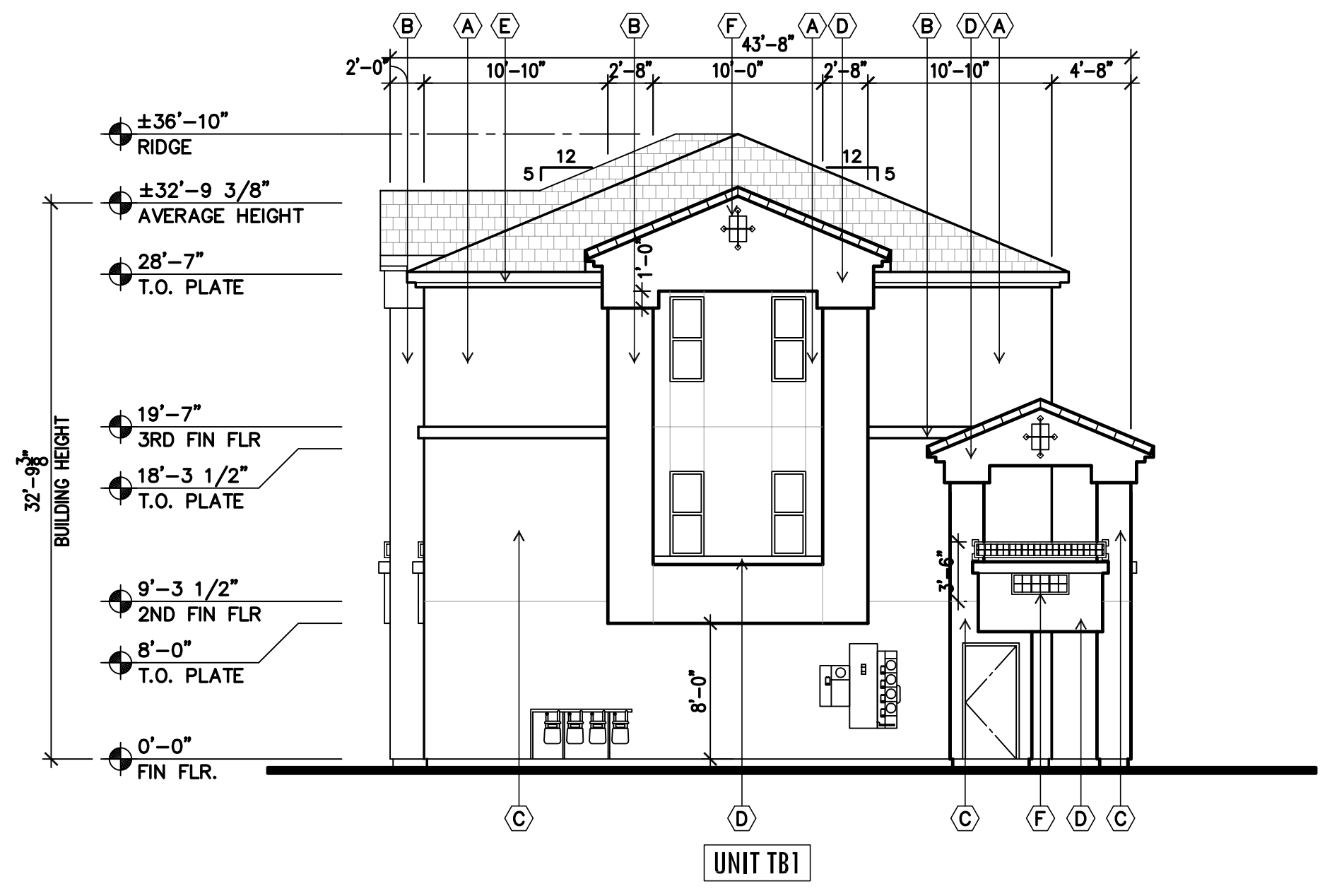
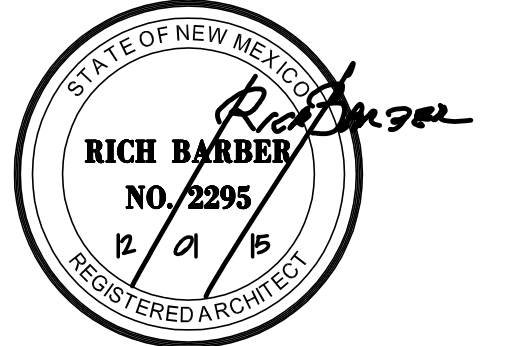
(A)	STUCCO WALL BEIGE
(B)	STUCCO WALL LIGHT BROWN
(C)	STUCCO WALL MEDIUM BROWN
(D)	STUCCO FOAM TRIM DARK BROWN
(E)	STUCCO ROOF FASCIA DARK BROWN
(F)	METAL RAILING DARK BROWN
(G)	CONCRETE TILE
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND
(K)	STONE VENEER

**BROADSTONE
NORTHPOINT**

NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico



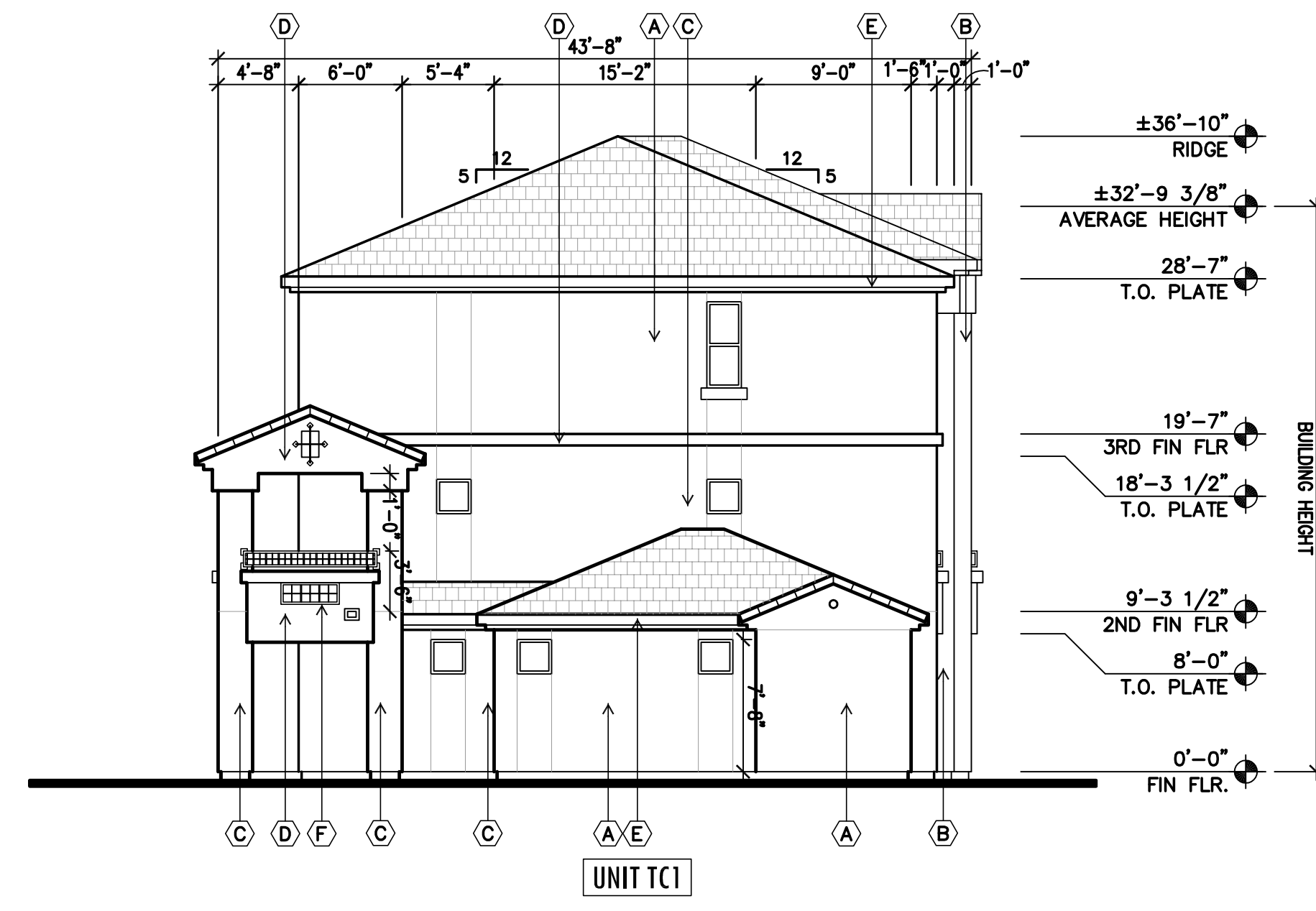
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LEFT ELEVATION

BUILDING TYPE 9

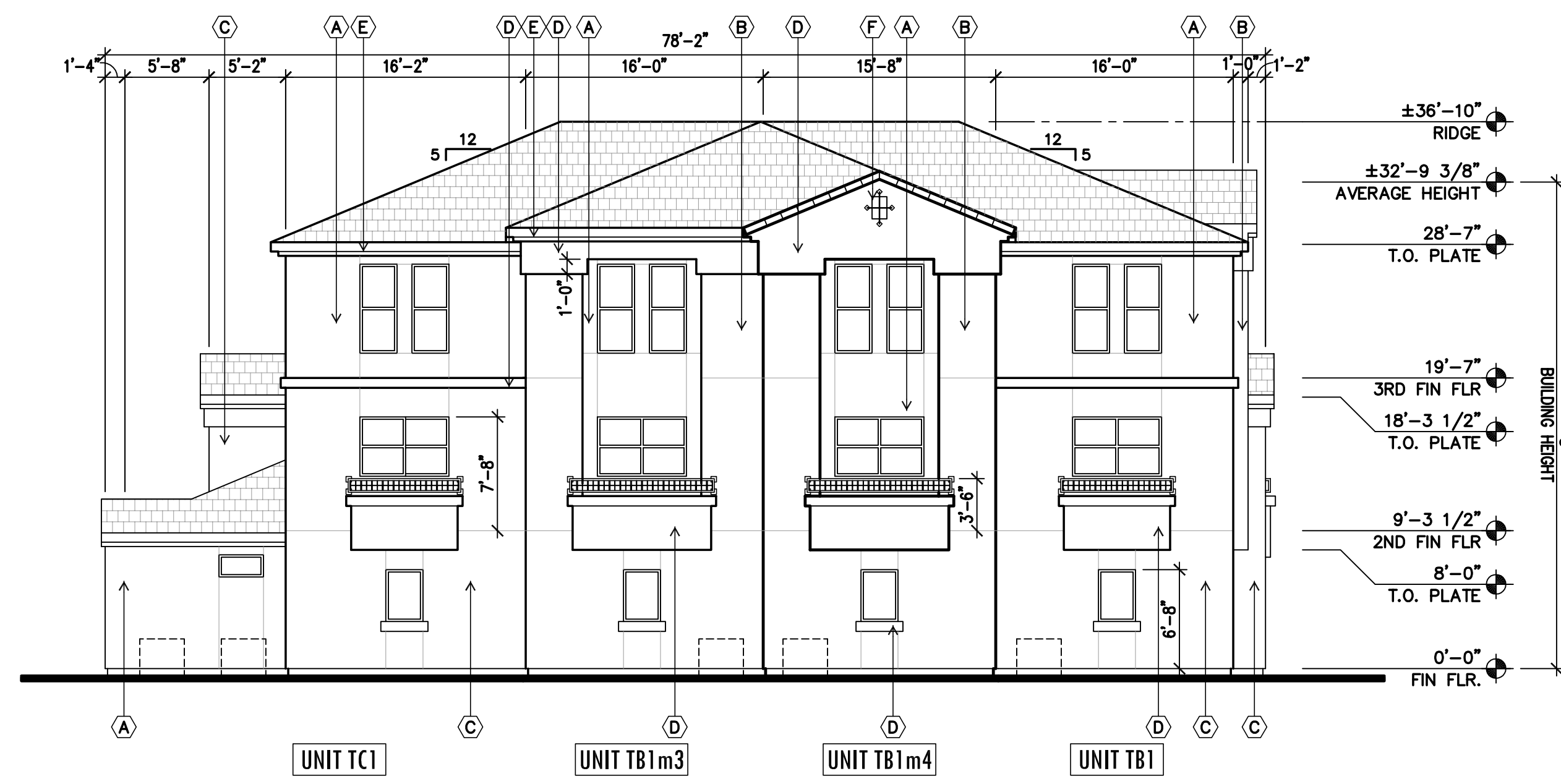
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

BUILDING TYPE 9

SCALE: 1/8" = 1'-0"



REAR ELEVATION

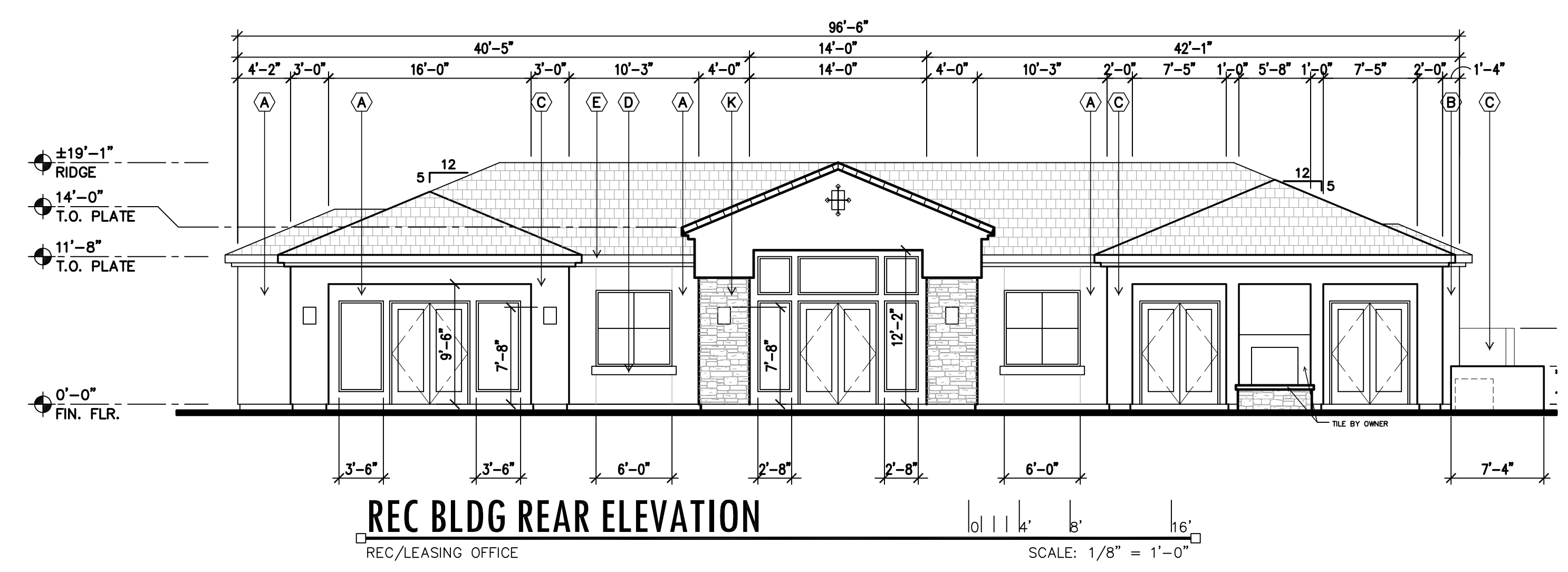
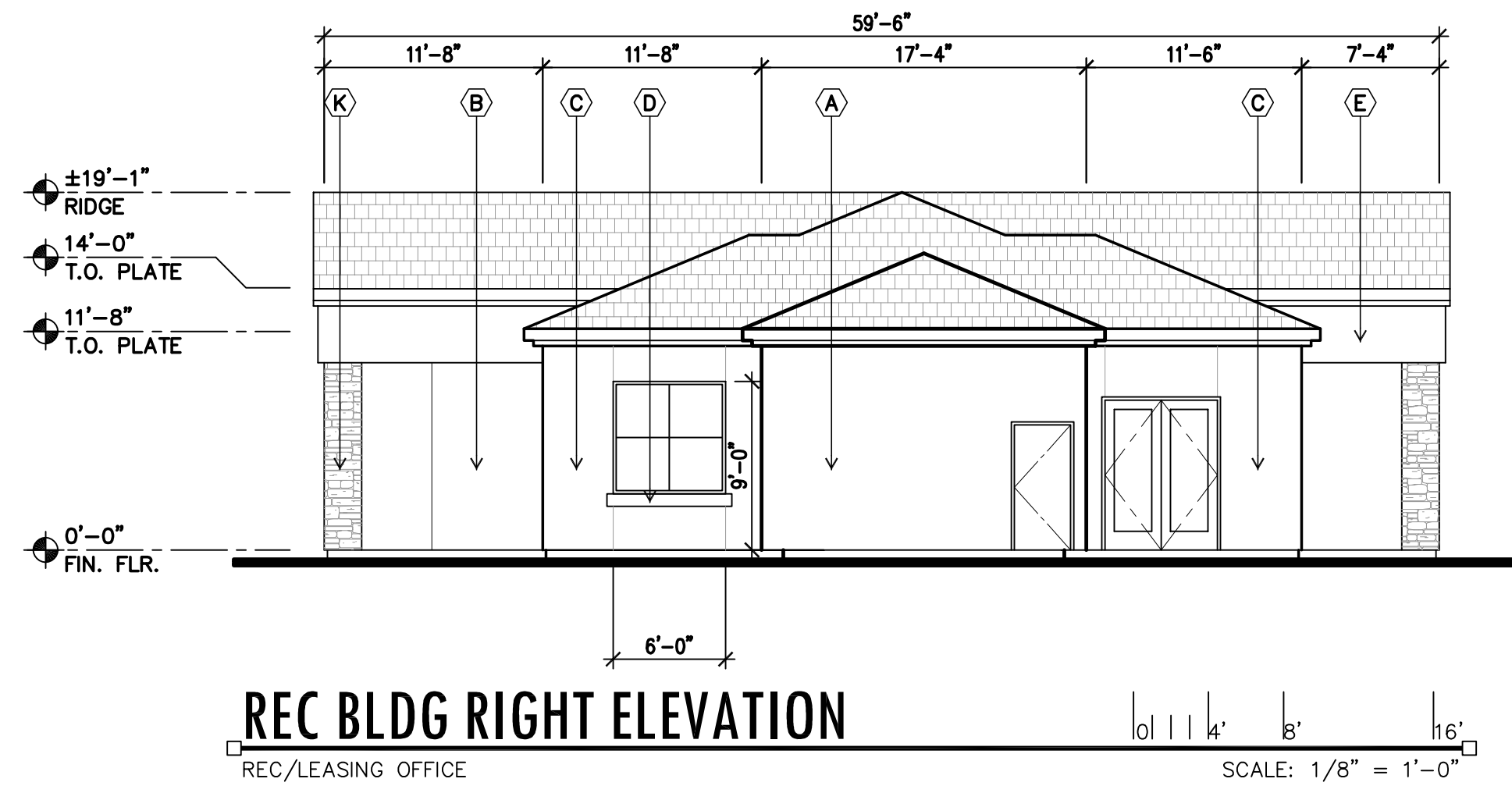
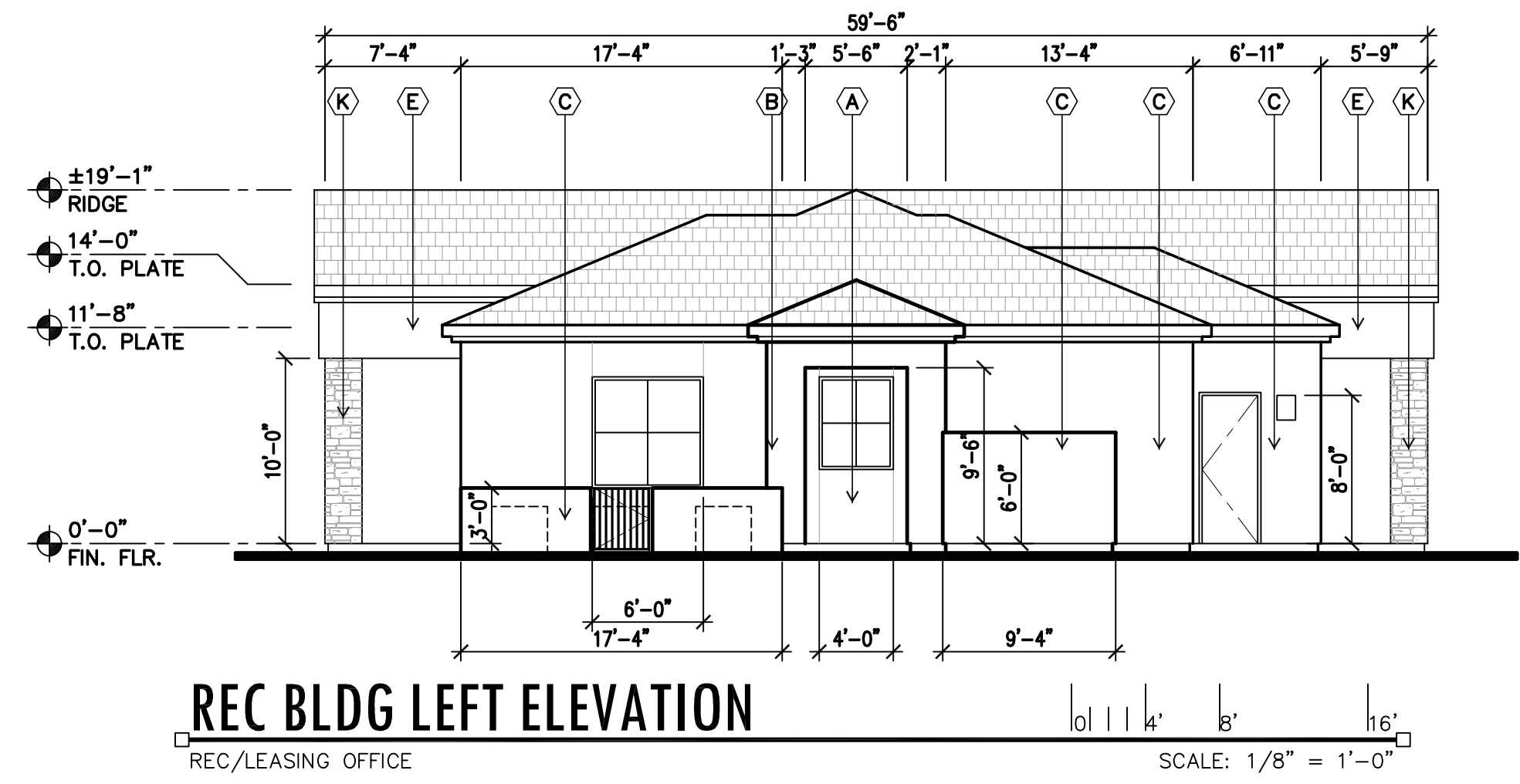
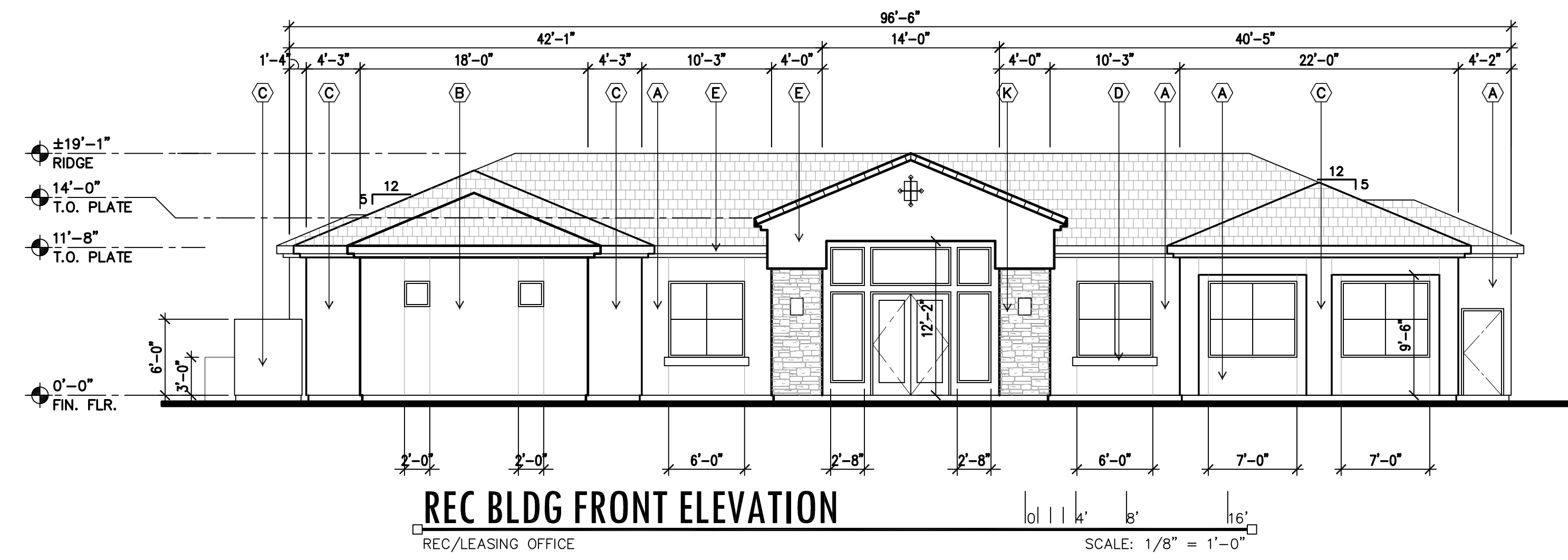
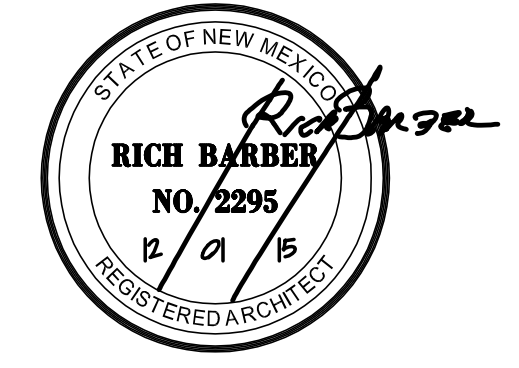
BUILDING TYPE 9

SCALE: 1/8" = 1'-0"

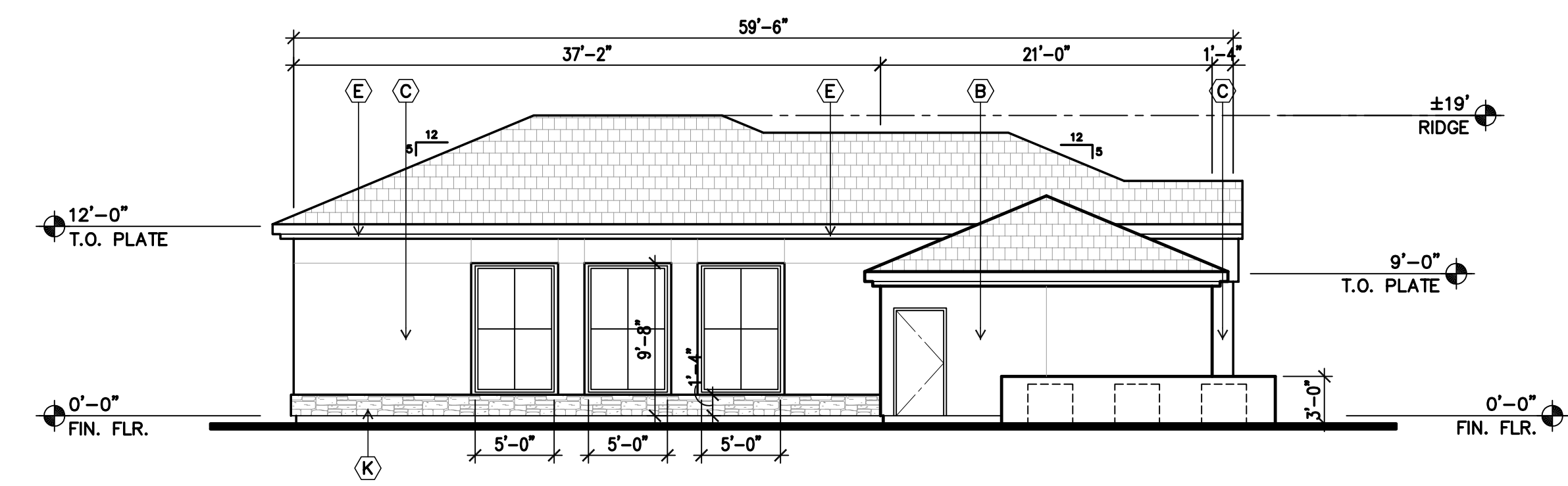
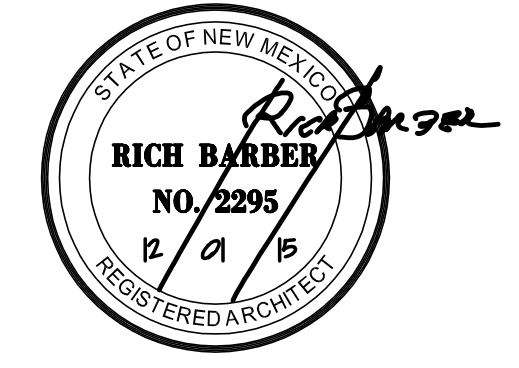
DATE: DECEMBER 1, 2015 ORB # 15-212

A15 of 18

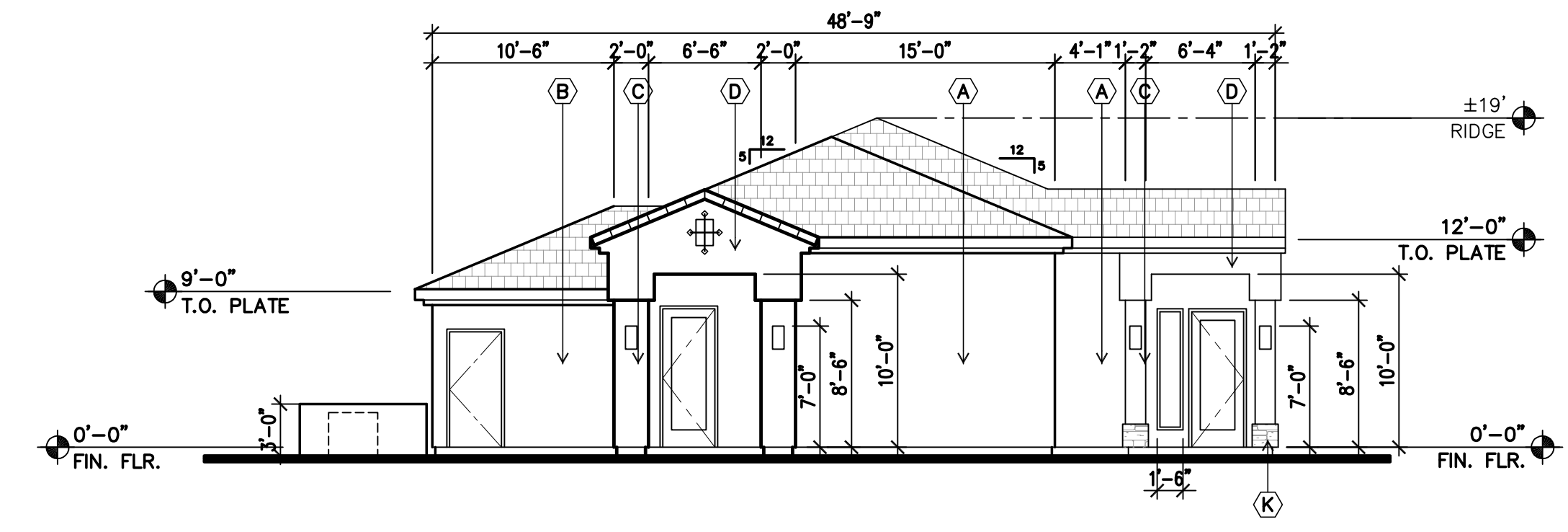
BUILDING TYPE 9
EXTERIOR ELEVATIONS



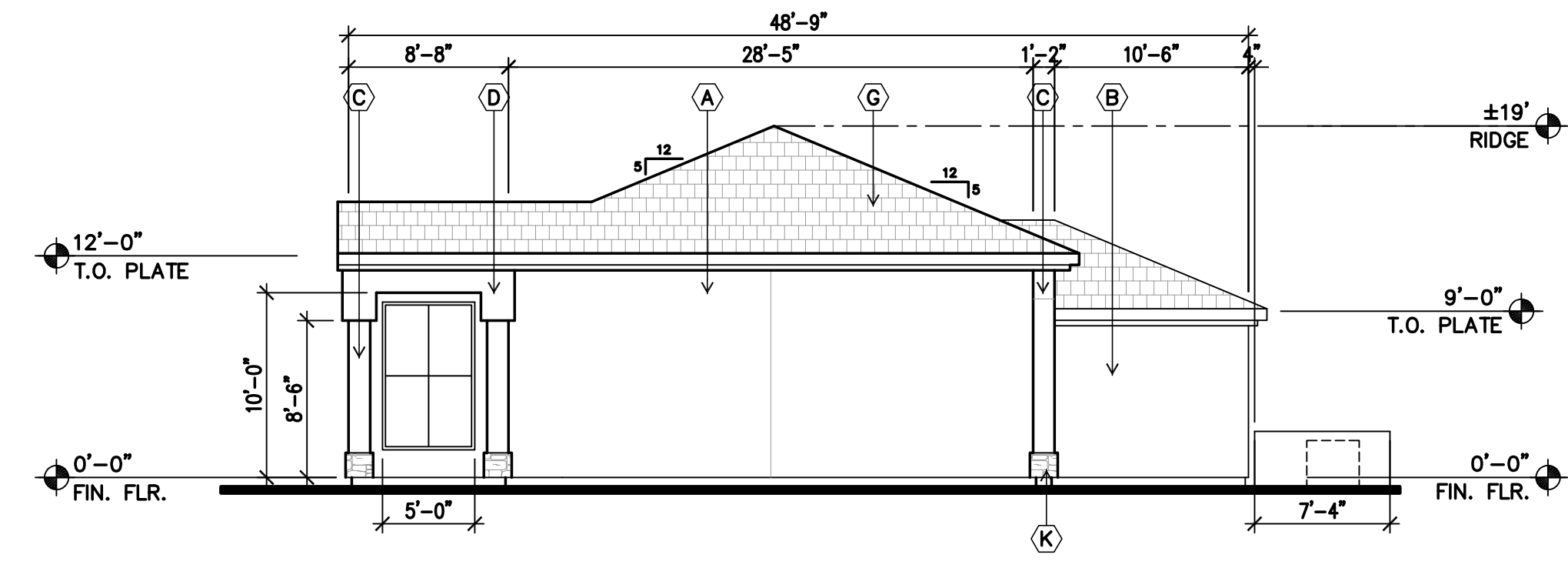
FILE: F:\04\ORB Job Files\15-212_Titan_Northpoint\CAD Files\Preliminary\5212_A513_Rec Elev.dwg USER: jca DATE: Dec. 01 2015 TIME: 04:40 pm



REAR ELEVATION
FITNESS BUILDING
SCALE: 1/8" = 1'-0"



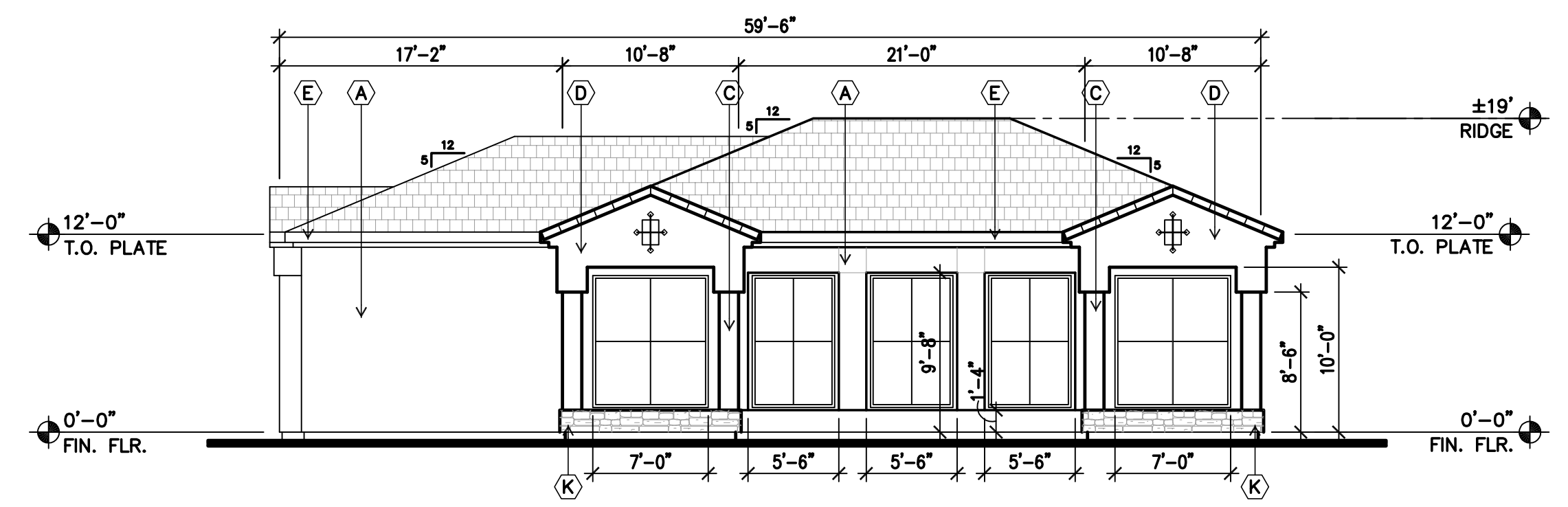
LEFT ELEVATION
FITNESS BUILDING
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
FITNESS BUILDING
SCALE: 1/8" = 1'-0"

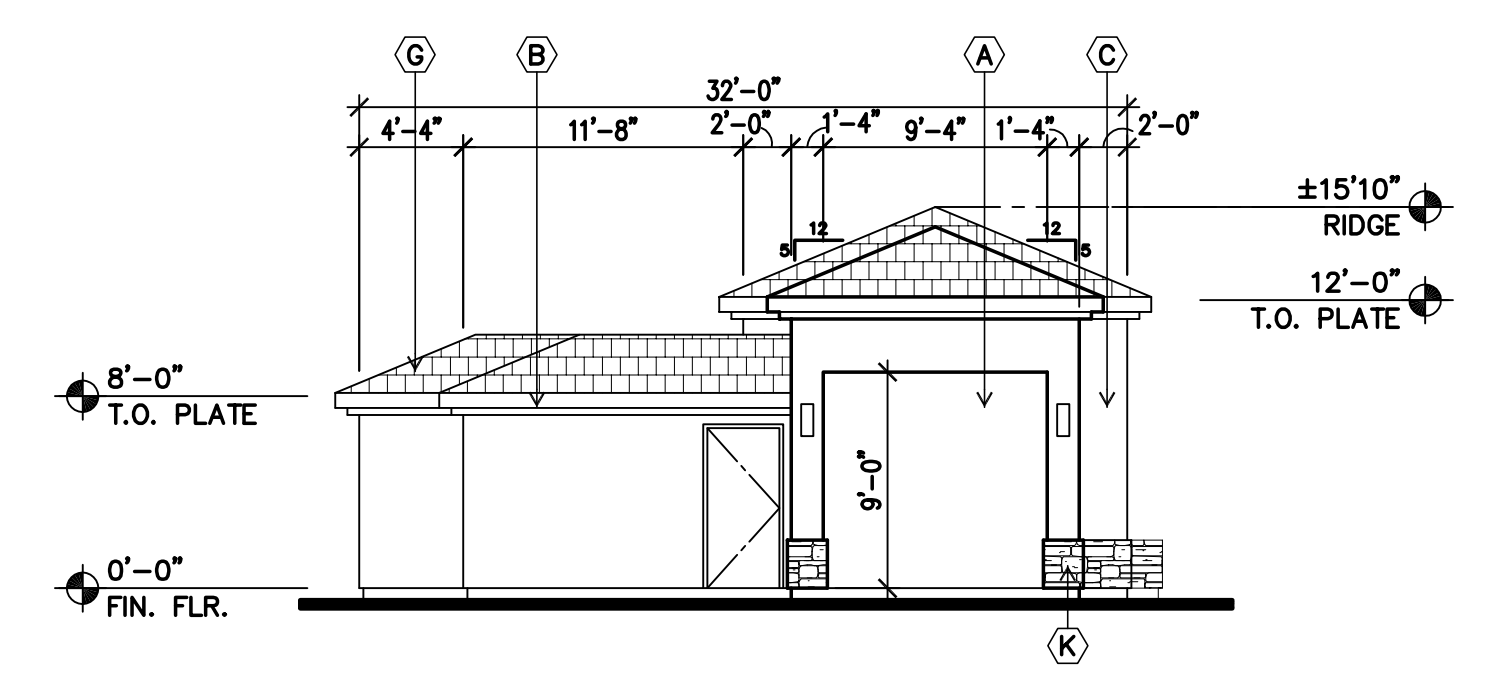
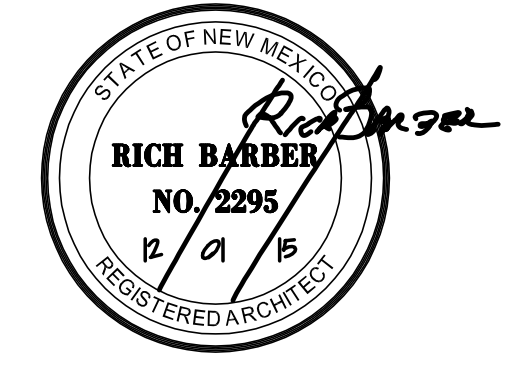
MATERIAL/COLOR KEY NOTES

(A)	STUCCO WALL BEIGE	
(B)	STUCCO WALL LIGHT BROWN	
(C)	STUCCO WALL MEDIUM BROWN	
(D)	STUCCO FOAM TRIM DARK BROWN	
(E)	STUCCO ROOF FASCIA DARK BROWN	
(F)	METAL RAILING DARK BROWN	
(G)	CONCRETE TILE	
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E	
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND	
(K)	STONE VENEER	

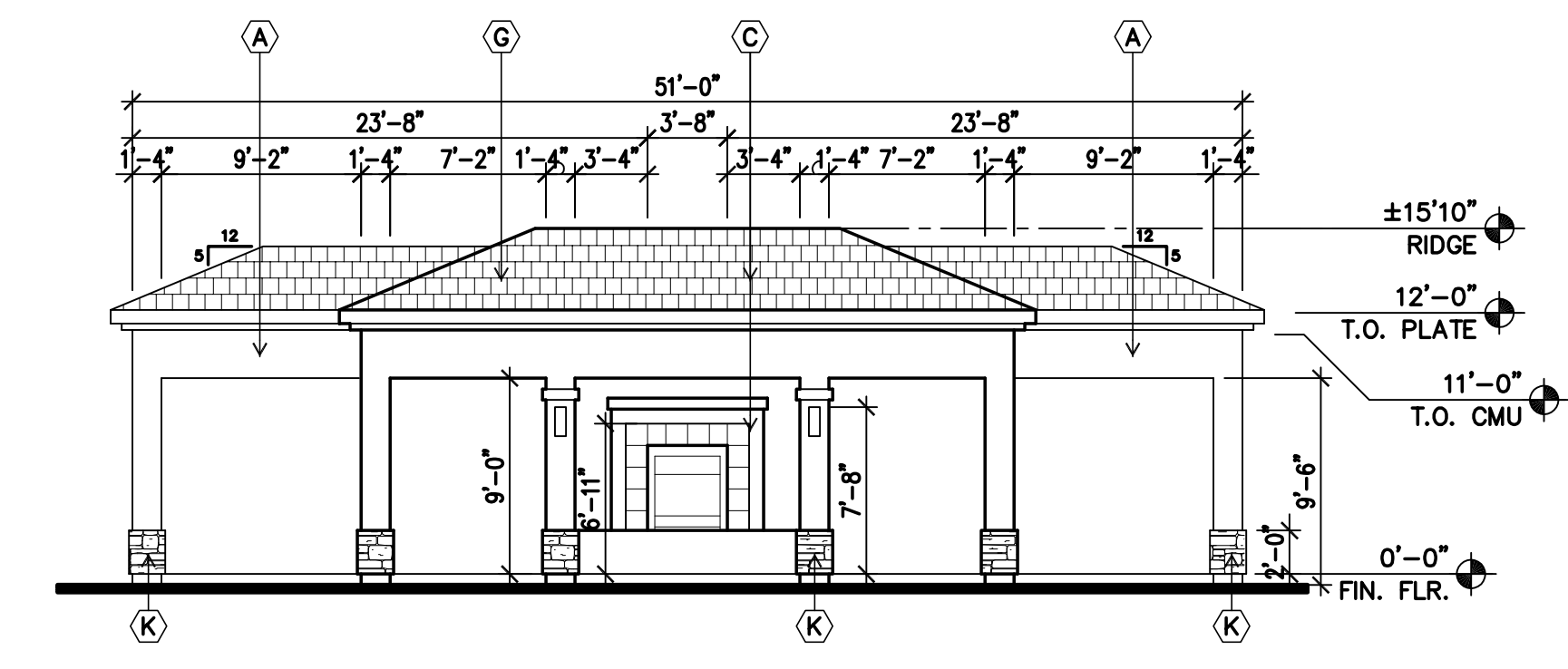


FRONT ELEVATION
FITNESS BUILDING
SCALE: 1/8" = 1'-0"

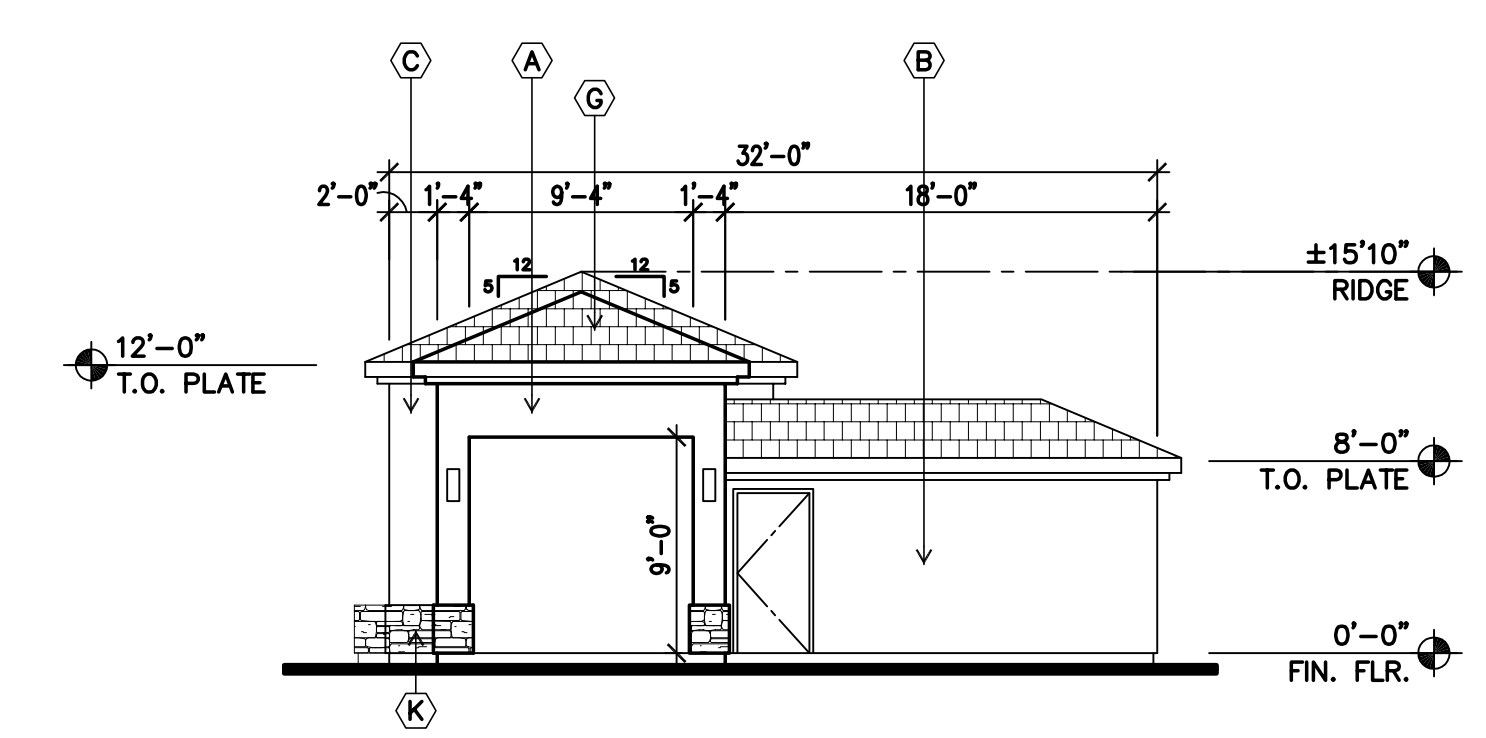
FILE: F:\04\ORB Job Files\15-212_Titan_Northpoint\CAD Files\Preliminary\5212_A522_Fitness Elevations.dwg USER: jaa DATE: Dec. 01 2015 TIME: 12:11 pm



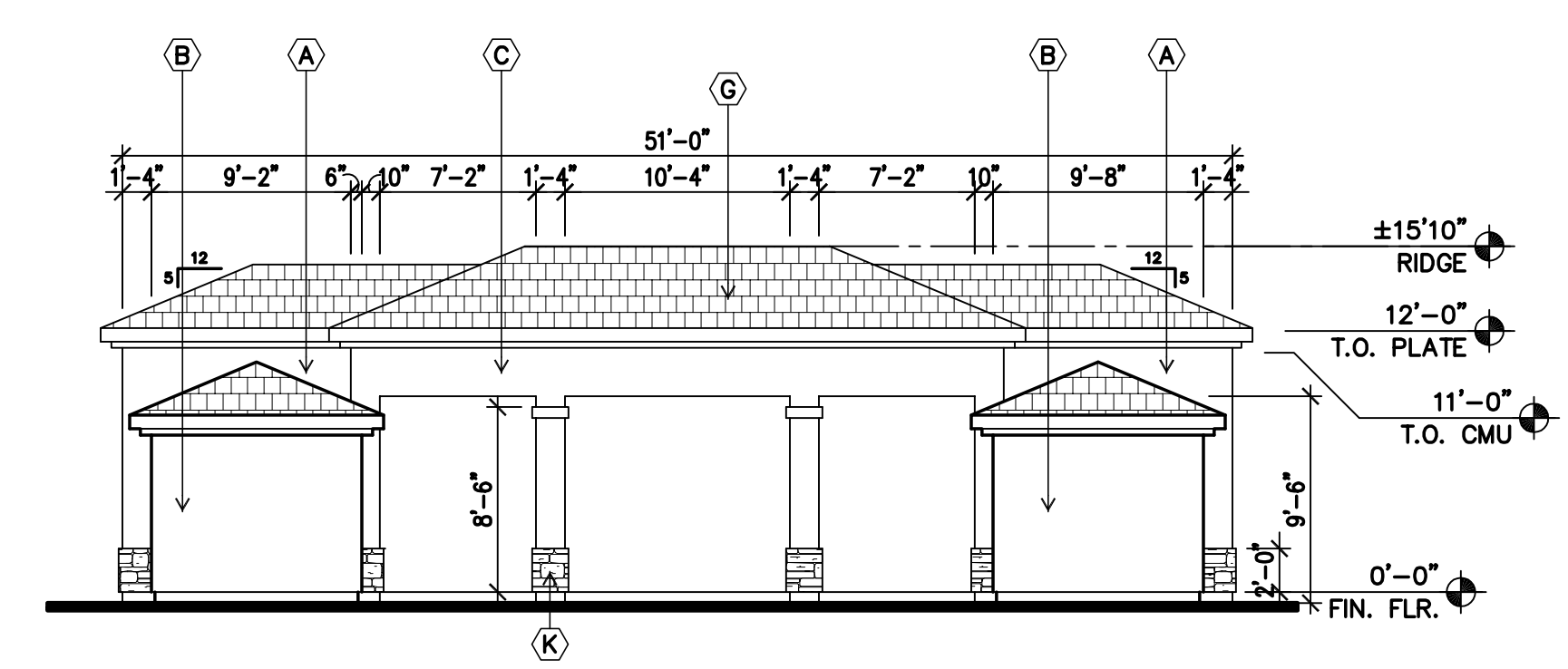
RIGHT ELEVATION



FRONT ELEVATION



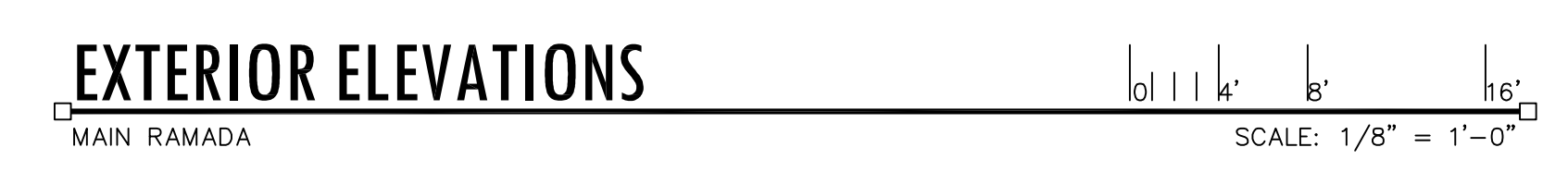
LEFT ELEVATION



REAR ELEVATION

MATERIAL/COLOR KEY NOTES

(A)	STUCCO WALL BEIGE	
(B)	STUCCO WALL LIGHT BROWN	
(C)	STUCCO WALL MEDIUM BROWN	
(D)	STUCCO FOAM TRIM DARK BROWN	
(E)	STUCCO ROOF FASCIA DARK BROWN	
(F)	METAL RAILING DARK BROWN	
(G)	CONCRETE TILE	
(H)	ALUMINUM WINDOWS ANODIZED BRONZE DUAL PANE / LOW-E	
(J)	S.E.S. CLOSET WALL AND DOOR PAINTED TO MATCH WALL BEHIND	
(K)	STONE VENEER	



FILE: F:\04\ORB Job Files\15-212_Titan_Northpoint\CAD Files\Preliminary\5212_A530_Main_Ramada_Plan.dwg USER: jfo DATE: Dec. 01 2015 TIME: 12:13 pm