

EXECUTIVE HILLS
TRACT 1-A-1-A-1
(05-21-86, C30-112)

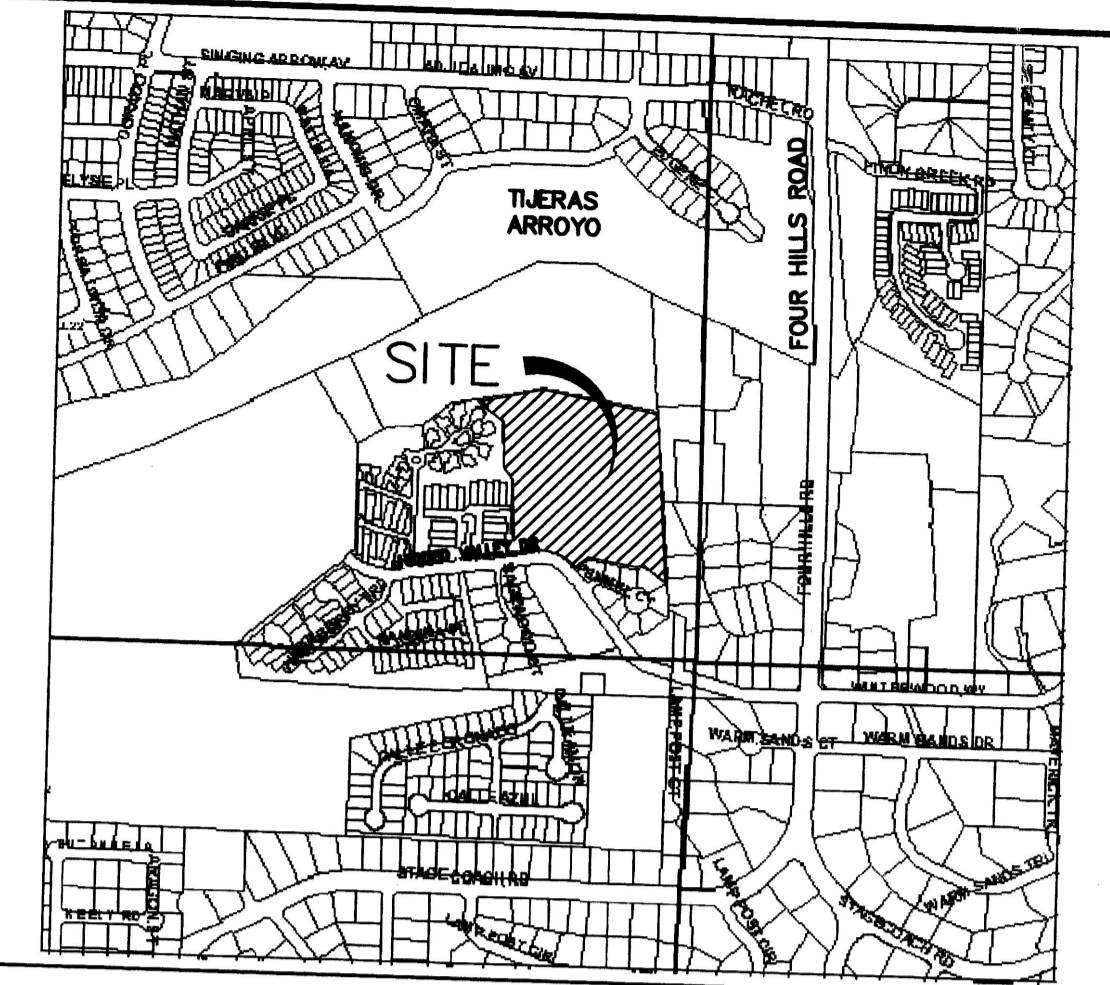
EXISTING RESIDENTIAL DEVELOPMENT
EXECUTIVE HILLS
TRACT 1-A-1-B
(10-20-81, B19-57)

EXECUTIVE HILLS
(01-12-89, C38-62)

EXISTING RESIDENTIAL DEVELOPMENT
HIDDEN VALLEY, PHASE 2
(10-22-75, D7-73)
* (11-03-78, C14-43)

NOTES

- SITE INFORMATION**
 - SITE AREA: 11 ACRES
 - EXISTING ZONING: SU-1/PRD
 - PREVIOUS APPROVALS: SITE DEVELOPMENT PLAN FOR 55 UNITS IN 1986
 - PROPOSED DEVELOPMENT: PLANNED RESIDENTIAL DEVELOPMENT FOR 53 UNITS
 - DENSITY: 4.8 DU/AC
- BUILDING SETBACKS (MIN)**
 - FRONT: 15'
 - REAR: 10'
 - SIDE: NONE, PROVIDED 10' EXISTS BETWEEN BUILDINGS
 - DRIVEWAY: 20' FROM GARAGE TO STREET
- DWELLINGS**
 - MAXIMUM BUILDING HEIGHT IS 26'
 - SELECTED UNITS ARE TWO-STORY.
- WALLS**
 - COURTYARD WALLS ARE TO BE OPTIONAL
 - SITE PERIMETER WALL SHALL BE 5' OR 6' HIGH SPLIT AND CONSIST OF FACE CMU OR STUCCO SURFACING.
 - ON-SITE WALLS SHALL NOT ENCROACH INTO THE CLEAR-SIGHT TRIANGLE.
- TRANSPORTATION, PEDESTRIAN CIRCULATION AND ACCESS**
 - ALL ON-SITE STREETS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - EACH LOT CONTAINS 4 PARKING SPACES.
- LIGHTING**
 - STANDARD COA LIGHTING IS TO BE INSTALLED PERIODICALLY ALONG THE INTERNAL PRIVATE STREETS.
- UTILITIES**
 - ALL COMMUNICATION, POWER AND GAS FACILITIES ARE UNDERGROUND.
 - ALL WATER AND SEWER LINES ARE TO BE PRIVATE AND TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- REFUSE**
 - INDIVIDUAL ROLL-OUT REFUSE CONTAINERS ARE TO BE UTILIZED ON SITE AND HIDDEN FROM VIEW WHEN STORED.
- OPEN SPACE**
 - A MINIMUM OF 2400 SF OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ON-SITE OR IN ACCORDANCE WITH SECTION 14-16-3-8A OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
 - THE LARGEST HOME MODEL ON A TYPICAL LOT IS EXPECTED TO PROVIDE APPROXIMATELY 2100 SF OF OPEN SPACE ON THE LOT.
 - THE ON-SITE ARROYO AND THE PEDESTRIAN PATHWAY THROUGH THE SITE PROVIDES APPROXIMATELY 105,000 SF OF OPEN SPACE.
 - TRACTS A AND B ARE TO BE DEDICATED TO THE HIDDEN VALLEY OWNER'S ASSOCIATION AND MAINTAINED AS COMMUNITY OPEN SPACE.
- LANDSCAPING**
 - LANDSCAPING WITHIN THE FRONT YARD (FROM THE SIDE YARD WALL TO THE STREET) IS TO BE INSTALLED BY THE HOME BUILDER IN ACCORDANCE WITH THE LANDSCAPE PLAN AND IS TO BE MAINTAINED BY THE HIDDEN VALLEY HOME OWNER'S ASSOCIATION.
 - COMMUNITY LANDSCAPING ALONG INTERIOR SITE ROADS IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION CONSISTENT WITH OTHER COMMUNITY AREAS WITHIN HIDDEN VALLEY.



VICINITY MAP ZONE MAP: L-22-Z

LEGEND

- NEW CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPERTY LINE
- EASEMENT LINE

APPROVED AND ACCEPTED BY:

Project No. 1000313 EPC 0128-00122
01410-000-00661 (PP) 01450-00000-00791 (SP)
DRB Application No.

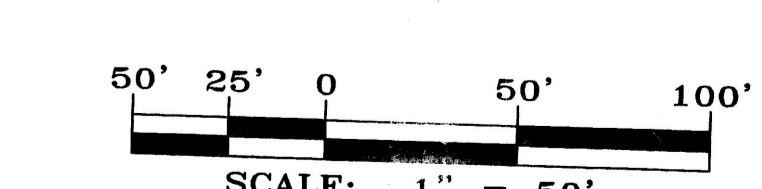
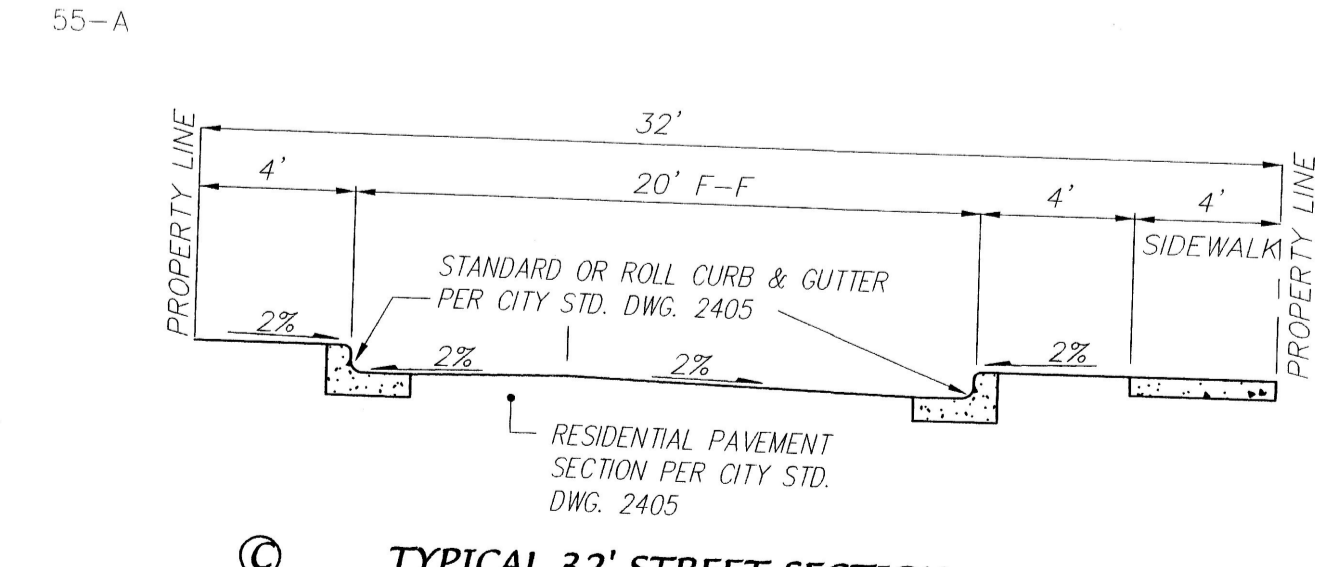
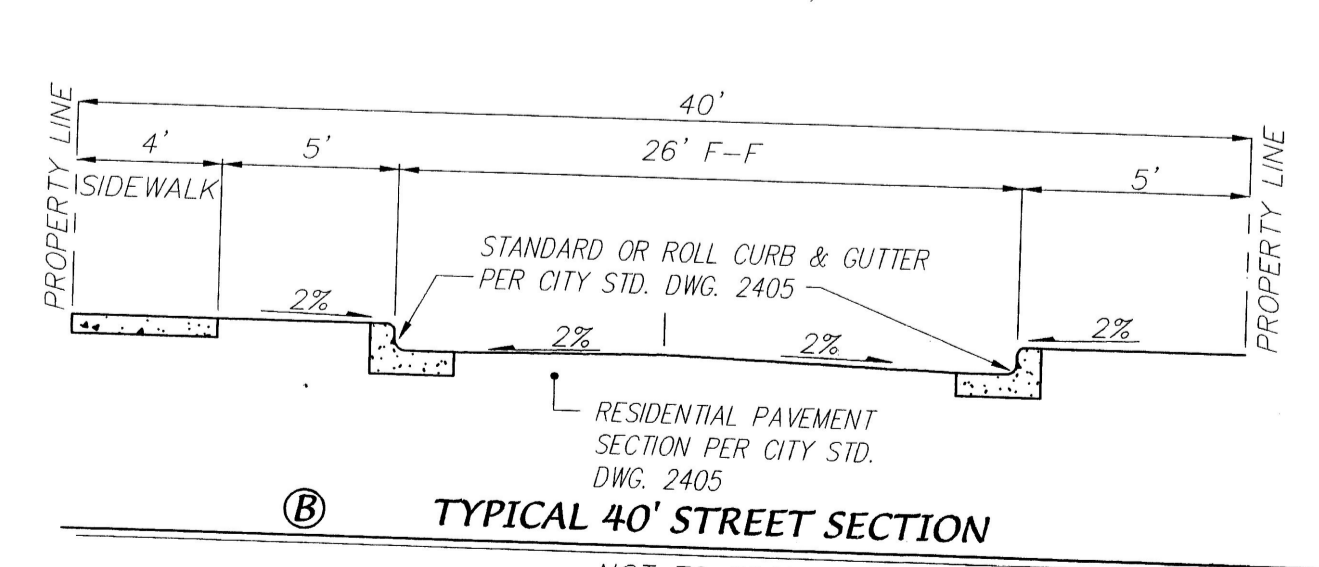
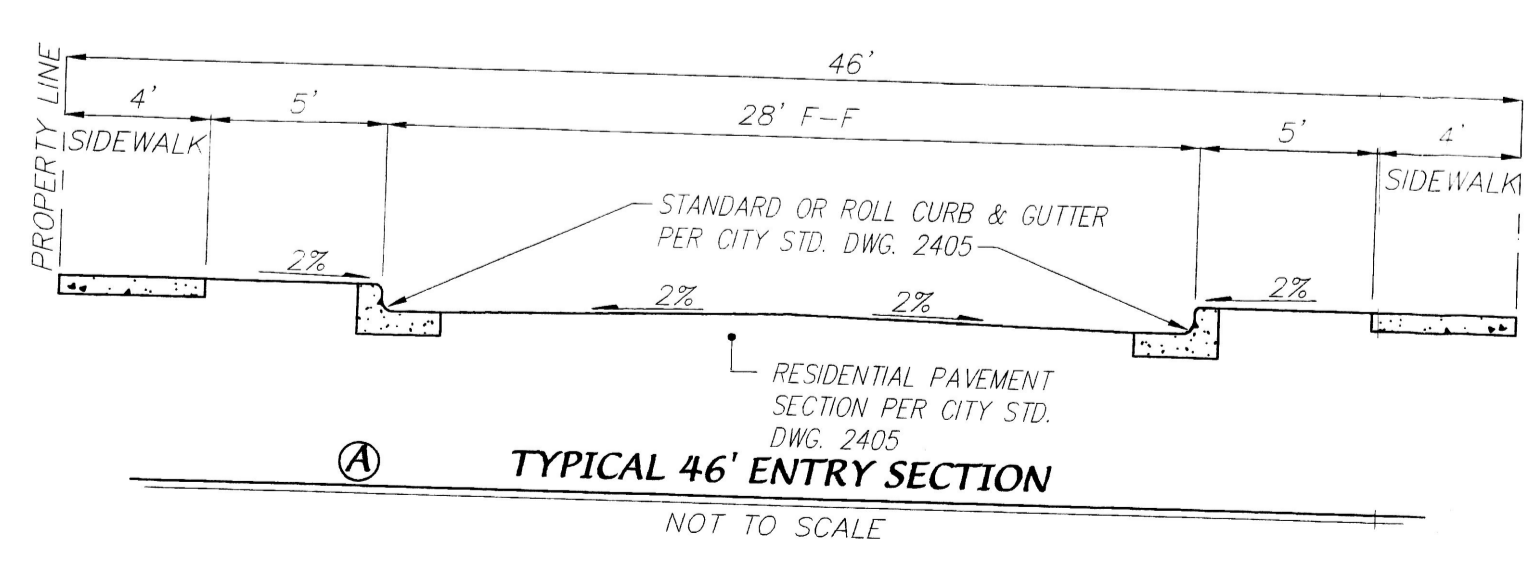
Planning Department	7/24/02
City Engineer	7/8/02
Transportation Development	7-18-01
Utility Development	7-18-01
Parks and Recreation	7-18-01

EPC Case Planner
dhz

**EL VALLADO SUBDIVISION
SITE DEVELOPMENT PLAN FOR SUBDIVISION**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

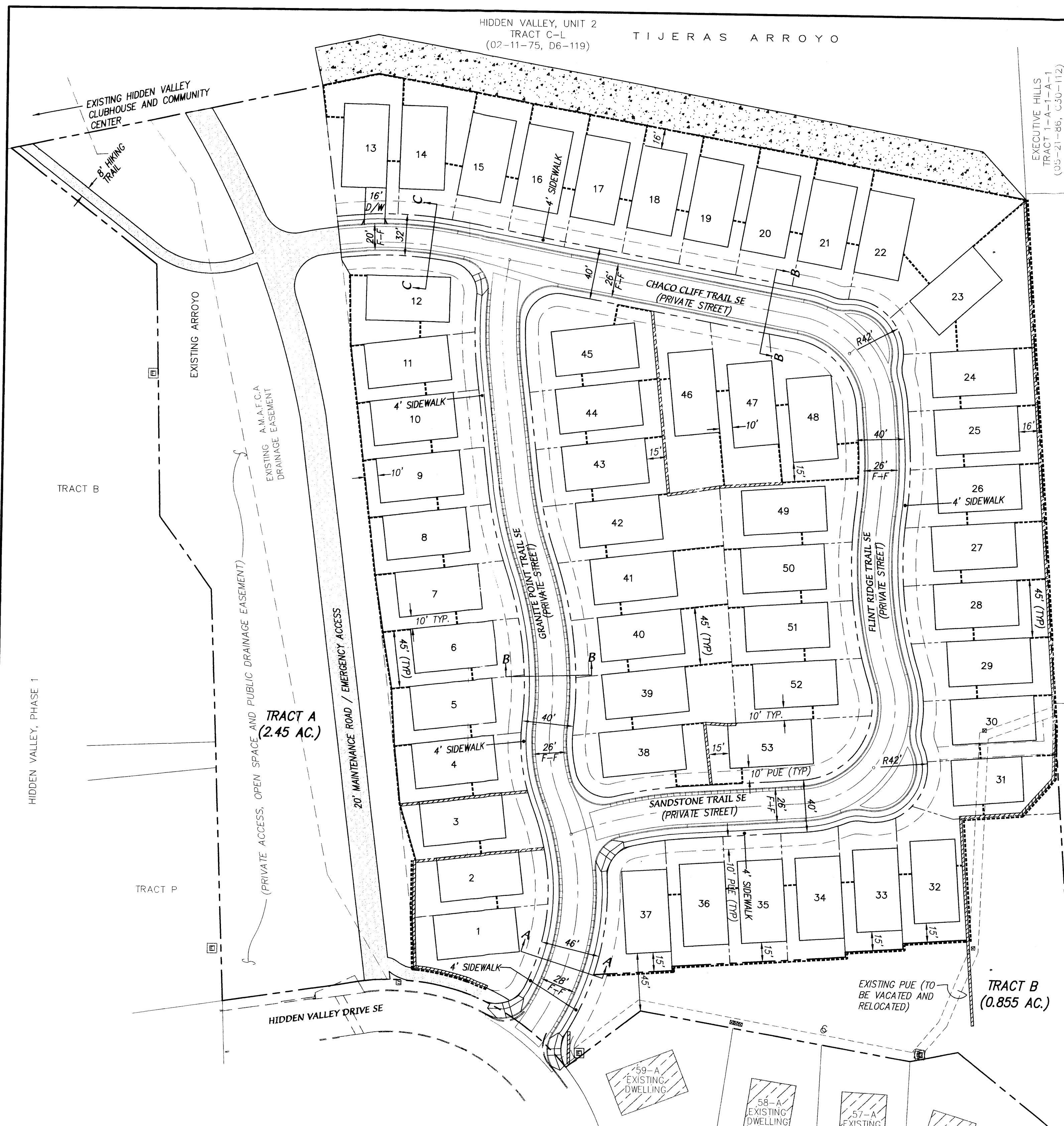
Designed: JMM	Drawn: MJR	Checked: DMG	Sheet 1 of 9
Scale: 1" = 50'	Date: 05-8-01	Job: A00036	



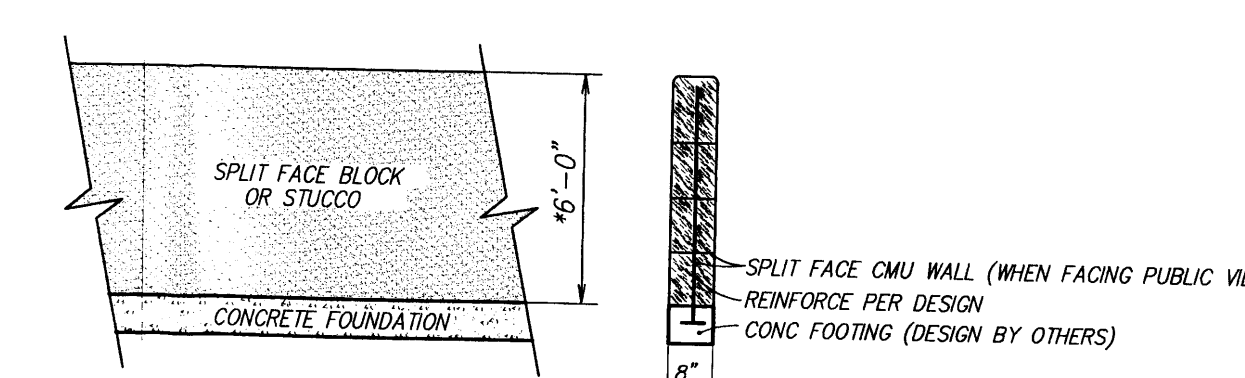
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PROJ 1000313

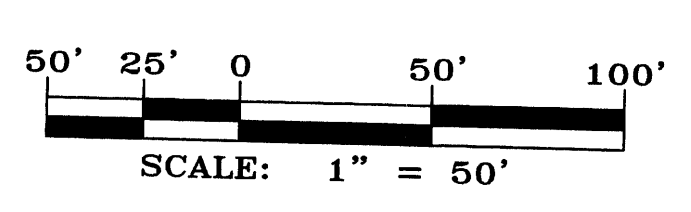
HIDDEN VALLEY, UNIT 2
TRACT C-L
(02-11-75, D6-119) TIJERAS ARROYO



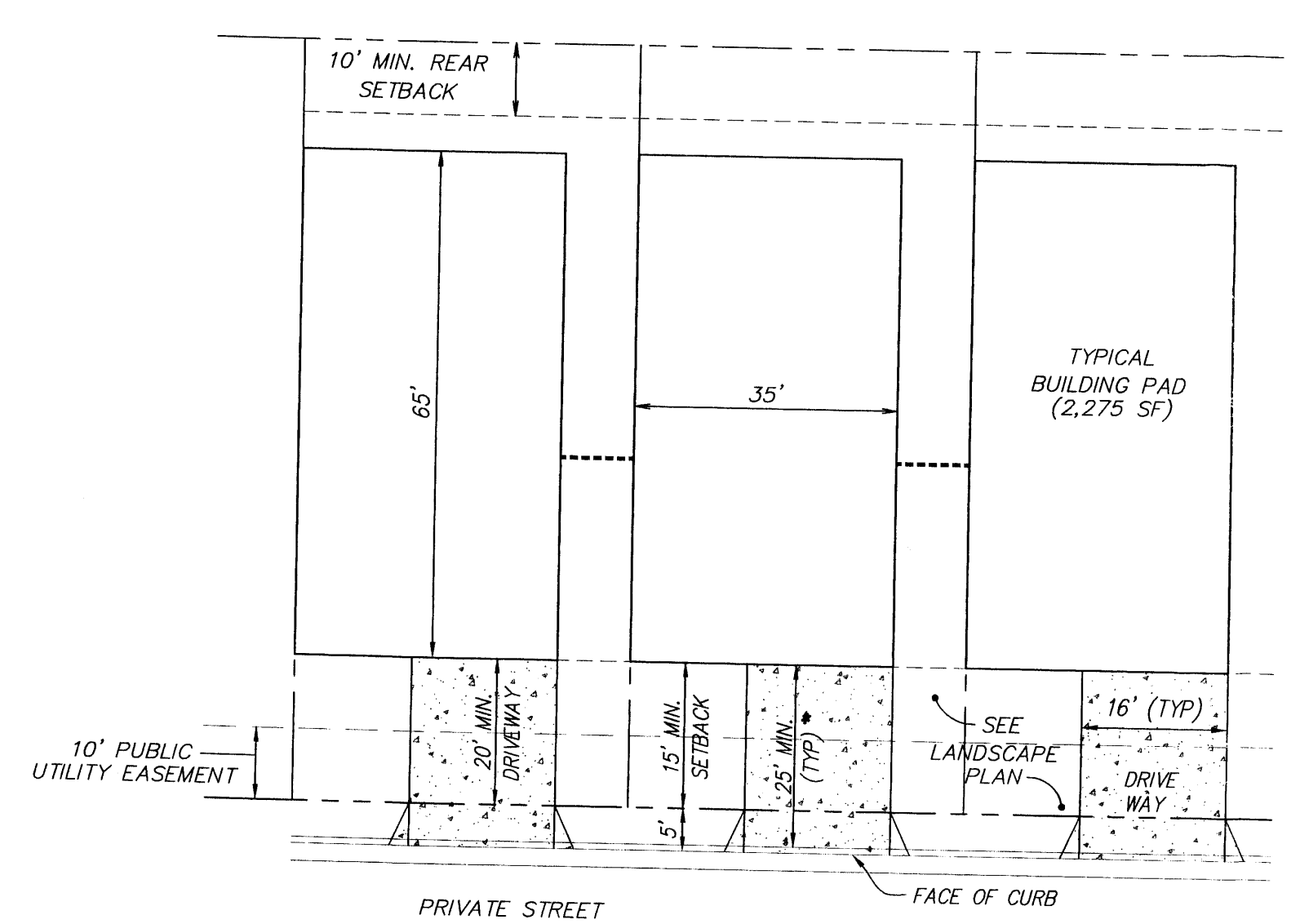
- LEGEND**
- GARDEN WALL
 - ===== RETAINING WALL
 - ===== NEW MOUNTABLE CURB & GUTTER
 - ===== NEW STANDARD CURB & GUTTER
 - PROPERTY LINE
 - EASEMENT LINE
 - SETBACK LINE
 - SOIL CEMENT EROSION PROTECTION
 - COMPACTED GRAVEL BASE COURSE
 - NEW WL
 - NEW SAS
 - NEW WATERLINE
 - NEW SEWER LINE
 - NEW CONCRETE DRIVEWAY



SITE PERIMETER AND REARYARD WALL
NOT TO SCALE
* 6' ALONG EAST BOUNDARY - 5' ELSEWHERE



NEW UTILITY LAYOUT (UTILITY DEVELOPMENT)
SCALE: 1" = 100'



TYPICAL BUILDING LAYOUT
SCALE: 1" = 20' * WITH 4' SIDEWALK DISTANCE IS 29' TO FACE OF CURB

APPROVED AND ACCEPTED BY:

Project No. 1000313 EPC 01128-00123
01410-000-00661 (PP), 01450-00000-00791 (SP)
DRB Application No.

[Signature] 7/24/02
Planning Department

[Signature] 7/8/02
City Engineer

[Signature] 7-18-01
Transportation Development

[Signature] 7-18-01
Utility Development

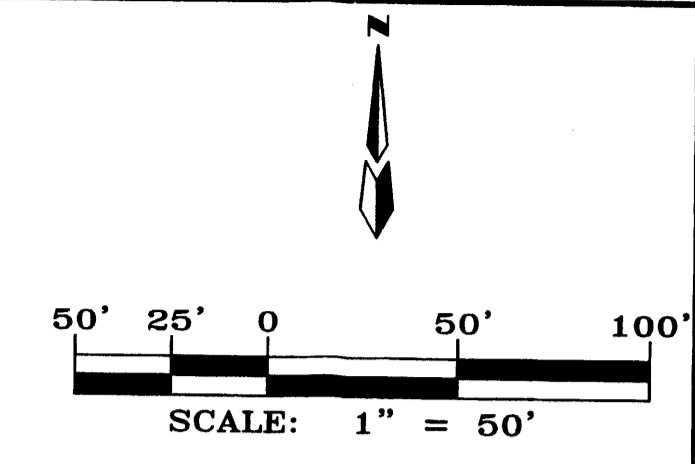
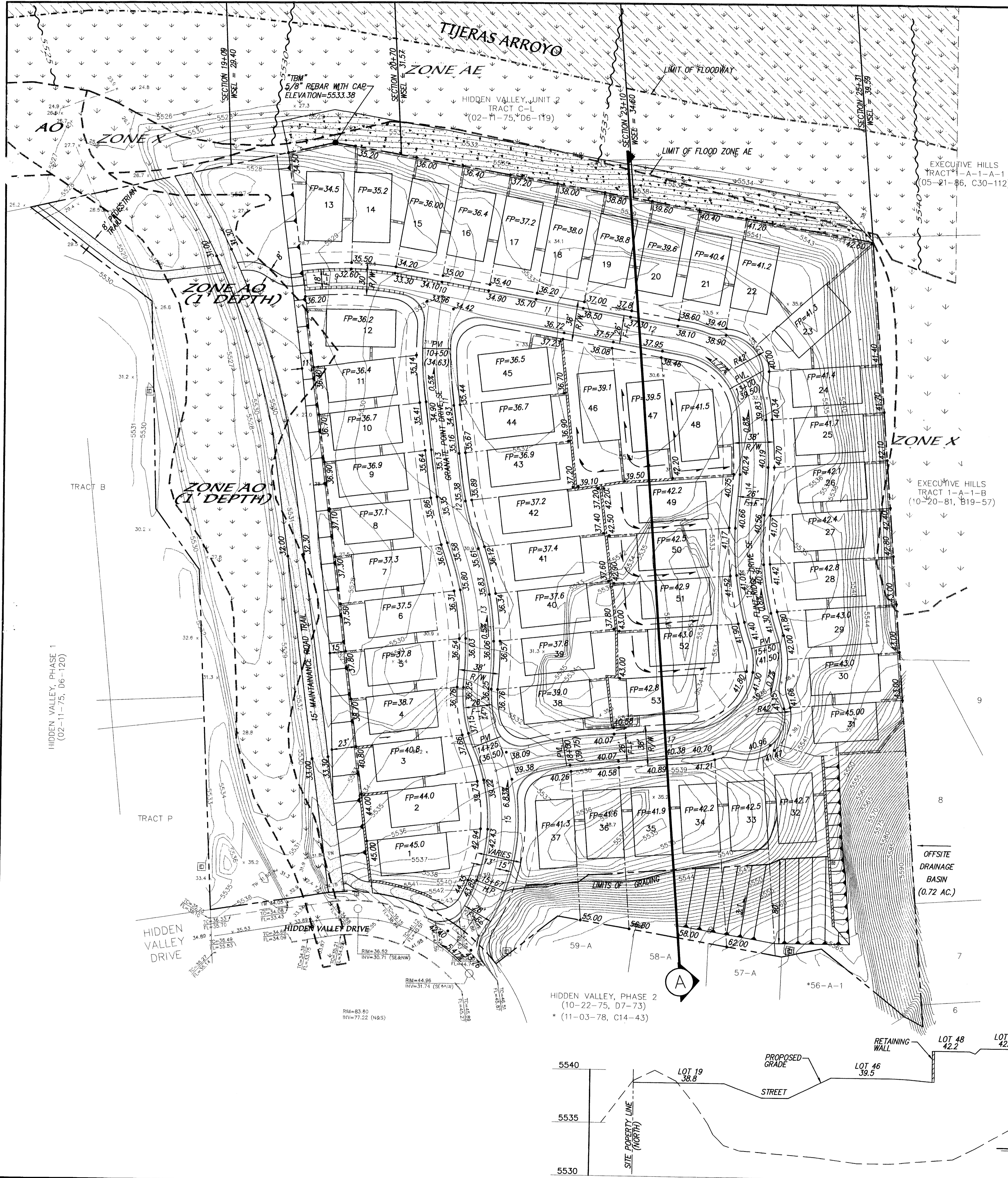
[Signature] 7-18-01
Parks and Recreation

[Signature]
EPC Case Planner

EL VALLADO SUBDIVISION
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: MJR Checked: DMG
Scale: 1" = 50' Date: 05/08/01 Job: A00036 Sheet 2 of 9



VICINITY MAP ZONE MAP: L-22-Z

T B M (TEMPORARY BENCHMARK)

ACS BENCHMARK

STATION IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF THE MUNICIPAL LIMITS LINE, 77.9' SE OF POWER POLE #SE37, AND 186.0' NW OF POWER POLE #60. STATION IS STANDARD ACS BRASS DISK SET IN A CONCRETE MONUMENT IN GROUND. STATION IS STAMPED "5-22.1975ACS". ELEVATION = 5594.518 (SLD 1929)

LEGAL DESCRIPTION

A TRACT OF LAND SITUATE WITHIN SECTION 27, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING THE REMAINDER OF HIDDEN VALLEY AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 13, 1974 IN VOLUME D6, FOLIO 84 AND CONTAINING 10.9747 ACRES MORE OR LESS.

LEGEND

- ZONE AE**
BASE FLOOD ELEVATIONS DETERMINED.
- ZONE AO**
FLOOD DEPTHS OF 1 TO 3 FEET (NORMALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.
- ZONE X**
AREAS OF 500 YR. FLOOD; AREAS OF 100 YR. FLOOD WITH AVERAGE DEPTH OF LESS THAN 1' OR WITH DRAINAGE AREAS LESS THAN 1 SQ. MILE; AND AREAS PROTECTED BY LEVEES FROM 100 YR. FLOODS.
- FLOODWAY AREAS IN ZONE AE
- EXISTING CONTOUR
- EXISTING CURB
- EXISTING SPOTS
- EXISTING TOP OF CURB
- EXISTING FLOWLINE
- NEW RIGHT-OF-WAY
- NEW PADS
- NEW LOT LINES
- NEW RETAINING WALL
- NEW GARDEN WALL
- SOIL CEMENT EROSION PROTECTION
- LIMIT OF FLOODWAY FROM FIRM
- LIMIT OF FLOOD PLANE FROM FIRM
- WATER SURFACE CONTOURS FROM FIRM
- CROSS SECTION LINE & WATER SURFACE ELEVATION AYRES ASSOC. 1999

THE FLOOD HAZARD ZONES SHOWN HEREON ARE BASED ON THE FLOOD INSURANCE RATE MAP, FIRM, PANELS #35001C0367 & 35001C0386 EFFECTIVE SEPTEMBER 20, 1996.

**EL VALLADO SUBDIVISION
CONCEPTUAL GRADING &
DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JDH Drawn: STAFF Checked: DMG Sheet 3 of 9
Scale: 1" = 50' Date: 01-18-01 Job: A00036

EXISTING CONDITIONS
THIS 11 ACRE SITE IS CURRENTLY UNDEVELOPED AND DOES NOT PRODUCE SURFACE WATER RUNOFF. IT IS PROTECTED FROM THE TIJERAS ARROYO BY A LEVEE ON THE NORTH BOUNDARY AND FROM AN AMAFCA MAINTAINED EARTH LINED CHANNEL (10" - 450 CFS) ON THE WEST ALSO BY A LEVEE. THE TWO LEVEES (3' TO 10' HIGH) PREVENT ONSITE SURFACE DRAINAGE FROM LEAVING THE SITE. IN ADDITION TO THE AMAFCA CHANNEL RUNNING THROUGH THE WEST SIDE OF THE SITE THERE IS A SMALL EXISTING OFFSITE DRAINAGE AREA AT THE SOUTH EAST CORNER WHICH DRAINS INTO THIS SITE.

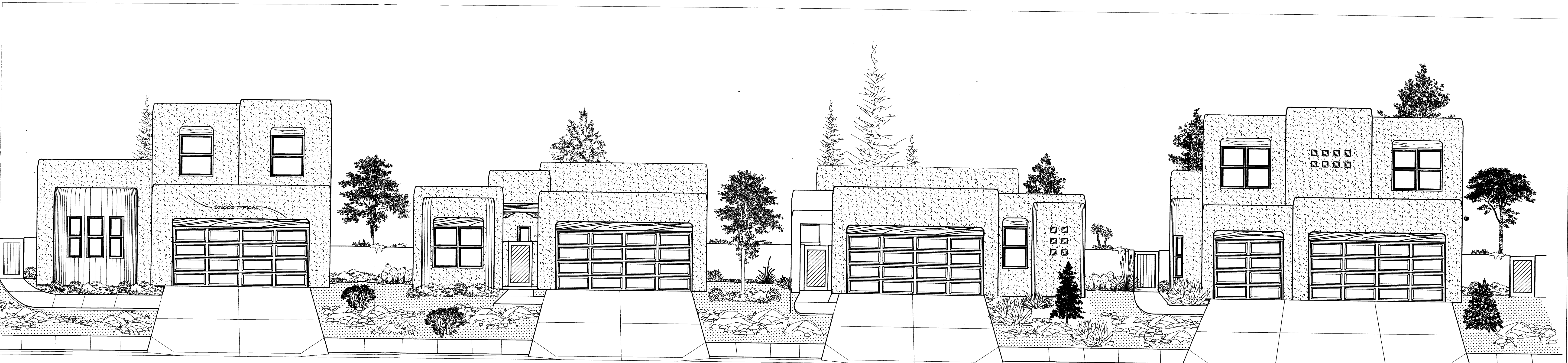
DRAINAGE MANAGEMENT PLAN
FREE DISCHARGE TO THE TIJERAS ARROYO IS ANTICIPATED. THE EXISTING FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE STUDY (FIS) INDICATES 100 YR. FLOWS OF 13,600 CFS, BUT SEPARATE STUDIES INDICATE FUTURE 100 YR. FLOWS IN THE TIJERAS ARROYO OF ABOUT 22,600 CFS (FROM "TIJERAS ARROYO DRAINAGE MANAGEMENT PLAN" (DMP), PHASE I, AUGUST 1987, BY LEEDSHILL HERKENHOF, INC.). THE FIS IDENTIFIES 500 YR. FLOWS OF ABOUT 28,000 CFS AND THE PROFILES IN THAT REPORT SHOW AN APPROXIMATE INCREASE IN WATER SURFACE ELEVATION OF ABOUT 1.5' FROM THE 100 YR. TO THE 500 YR. ELEVATIONS. GENERALLY SPEAKING THE REQUIRED FREEBOARD SHOULD BE 2' ABOVE THE 100 YR. ELEVATION, BUT ONE ADDITIONAL FOOT IS RECOMMENDED FOR BETTER INSURANCE RATES. SO EACH PAD ELEVATION IS SET 3' ABOVE THE EXISTING 100 YR. WATER SURFACE ELEVATION FROM THE FIS WHICH IS ALSO ABOUT 2' ABOVE THE MSEL THAT MAY RESULT IF THE FUTURE 100 YR. FLOWS ARE INCREASED TO 22,600 CFS. A SCOUR WALL OF SOIL CEMENT WILL BE CONSTRUCTED ADJACENT TO THE TIJERAS ARROYO TO PREVENT LATERAL MIGRATION OF THE ARROYO INTO THIS DEVELOPMENT.

A SEPARATE STUDY DONE BY AYRES ASSOCIATES FOR AMAFCA DATED JULY 1999, USED A 100 YR. FLOW OF 18,065 CFS IN A NEW HEC-RAS HYDRAULIC MODEL AND CAME UP WITH SOME 100 YR. WATER SURFACE ELEVATIONS THAT ARE ABOUT 1.0' LOWER IN PLACES THAN THE ELEVATIONS IN THE CURRENT EFFECTIVE FIS. "THE LONG TERM EROSION ANALYSIS IN THE STUDY PREDICTED AS MUCH AS 2.8' OF DEPOSITION IN THIS REACH" (SEC 6.1) AND RECOMMENDS 3' OF FREEBOARD. BY ADDING 3' FREEBOARD TO THE FIS ELEVATION THIS DEVELOPMENT WILL MEET AND/OR EXCEED THE REQUIREMENTS OF THE AYRES REPORT. "SUMMING THE RESULTS FROM THE LONG-TERM AND SINGLE EVENT ANALYSIS INDICATES 3.3 TO 4.8 FEET OF POTENTIAL CHANNEL SCOUR FOR THE HIDDEN VALLEY SUBDIVISION AND THE UNDEVELOPED LAND" (PAGE 6.4). FOLLOWING THE RECOMMENDATIONS OF THE AYRES REPORT THE NORTH SIDE OF THIS SUBDIVISION WILL BE PROTECTED BY A SCOUR WALL OF SOIL CEMENT FROM A HEIGHT OF 3' ABOVE THE 100 YR. WATER SURFACE ELEVATION TO A DEPTH 5' BELOW THE INVERT OF THE TIJERAS ARROYO.

THE EXISTING AMAFCA CHANNEL ON THE WEST SIDE WILL REMAIN AS IS. THE CURRENTLY MAPPED FLOODPLAIN ENDOACHES INTO SOME OF THE LOTS AND MAY BE REVISED BY A LETTER OF MAP REVISION (LWMR) TO REFLECT THE EXISTING AMAFCA CHANNEL. THE MINOR OFFSITE FLOWS WILL BE RECEIVED BY PRIVATE DRAINAGE ON THE INDIVIDUAL LOTS IN THE NORTH EAST CORNER AND CONVEYED BY SURFACE DRAINAGE IN THE INTERNAL PRIVATE STREETS AND DISCHARGED INTO THE AMAFCA CHANNEL AT THE NORTH WEST CORNER OF THE SITE. A COMBINATION OF ROLL AND STANDARD CURB AND GUTTER WILL BE USED ON THE INTERNAL STREETS AS NECESSARY TO KEEP THE NORMAL DEPTH OF THE 100 YR. FLOW BELOW THE TOP OF CURB AND THE ENERGY GRADE LINE WITHIN THE PRIVATE ROADWAY TRACT AND OUT OF THE INDIVIDUAL PRIVATE LOTS.

SECTION A

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



PLAN A

PLAN B

PLAN C

PLAN D



PLAN E

PLAN F

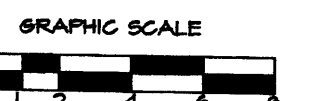
PLAN F

PLAN H

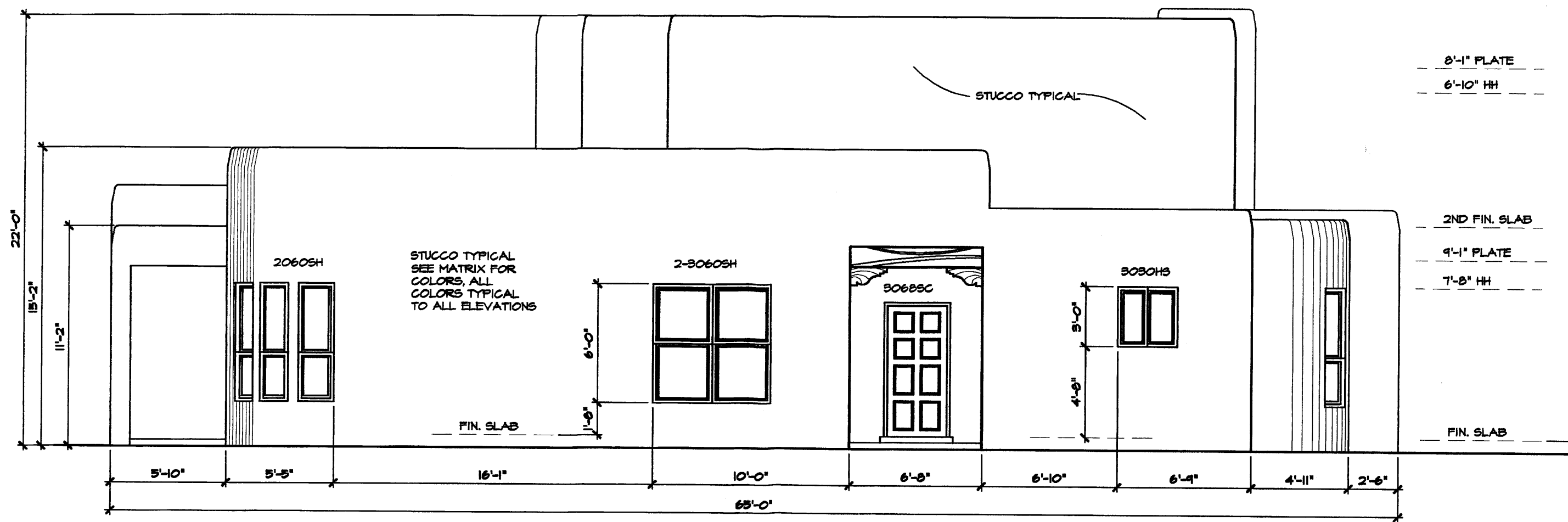
Stillbrooke

HOMES HIDDEN VALLEY

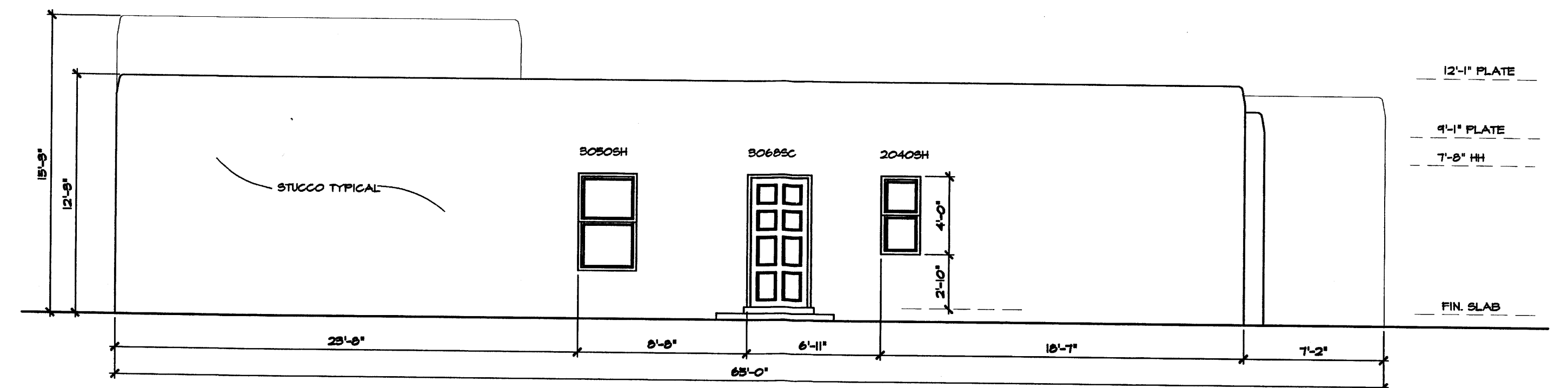
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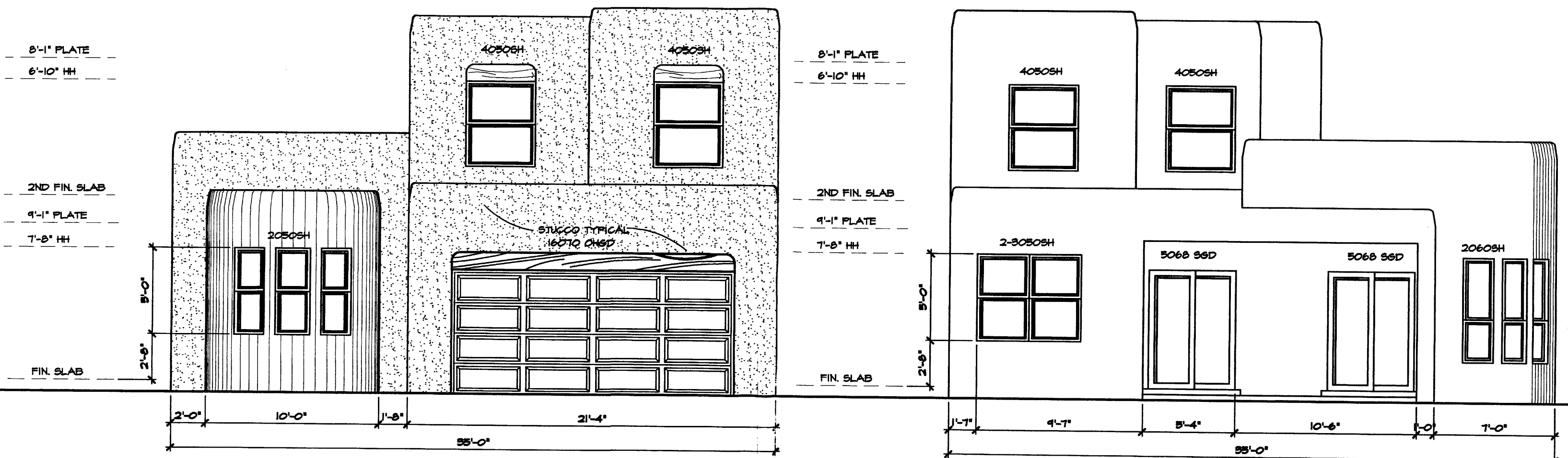
EL VALLADO			
STREET SCENE			
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: 3/16" = 1'-0"	Drawn: Date:	Checked: Job:	Sheet 5 of 9



LEFT ELEVATION 'A'

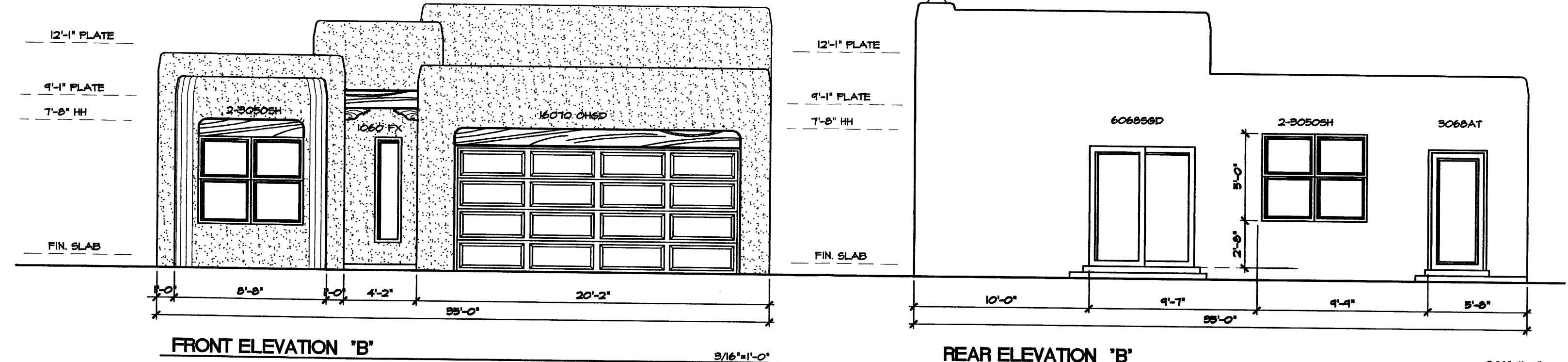


LEFT ELEVATION 'B'



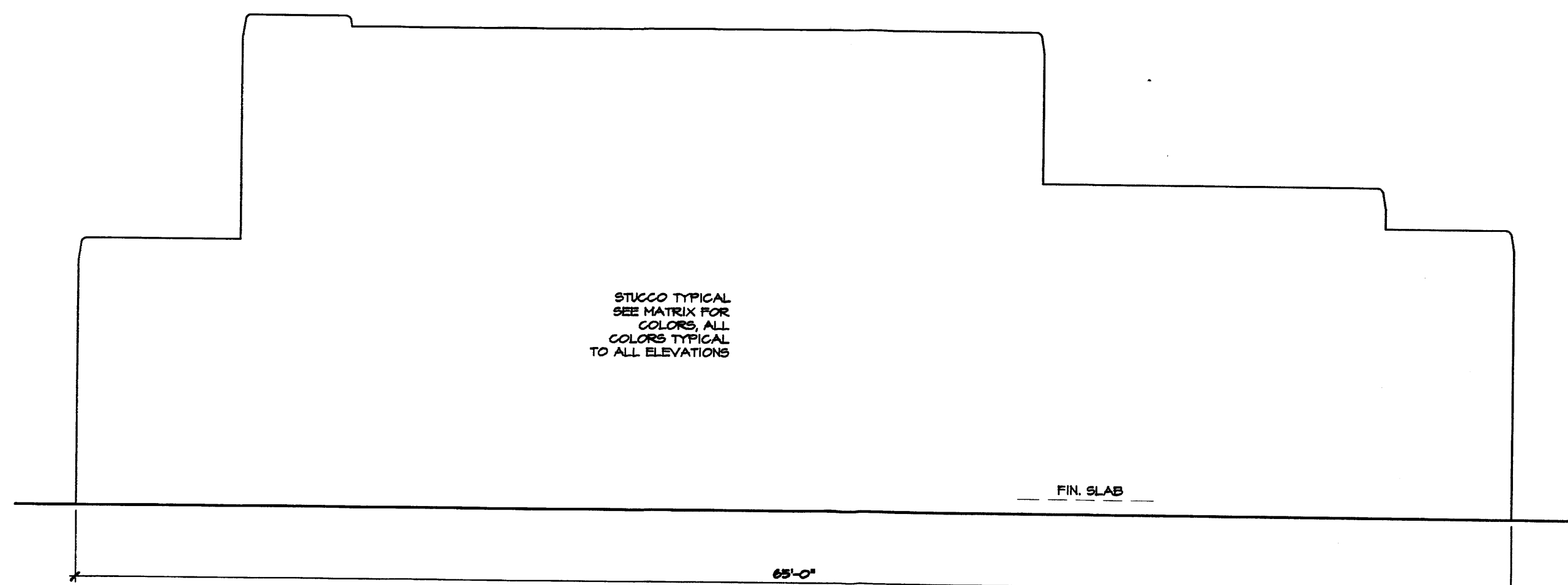
FRONT ELEVATION 'A'

REAR ELEVATION 'A'

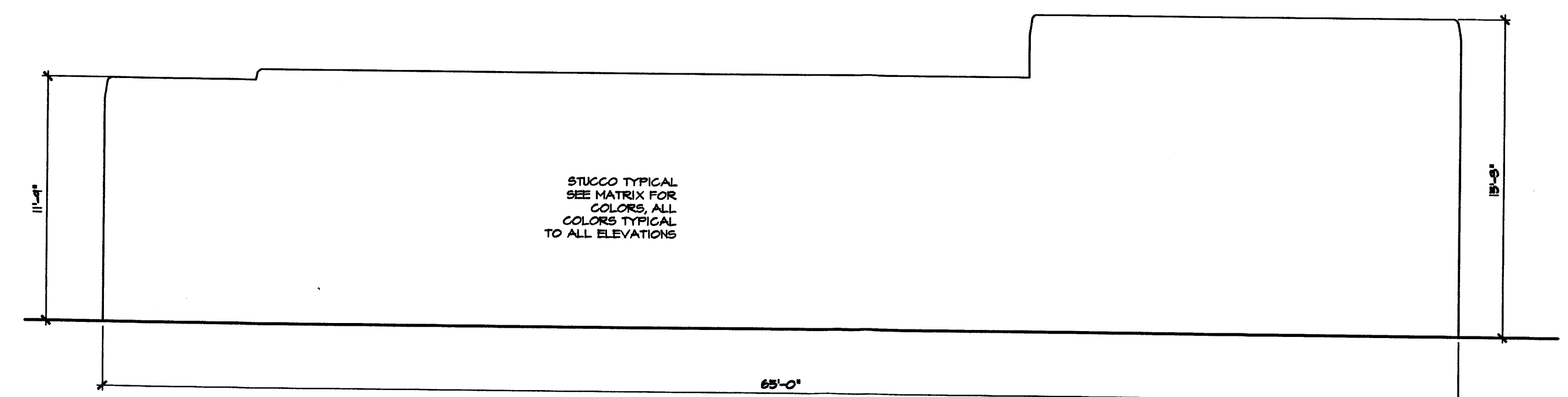


FRONT ELEVATION 'B'

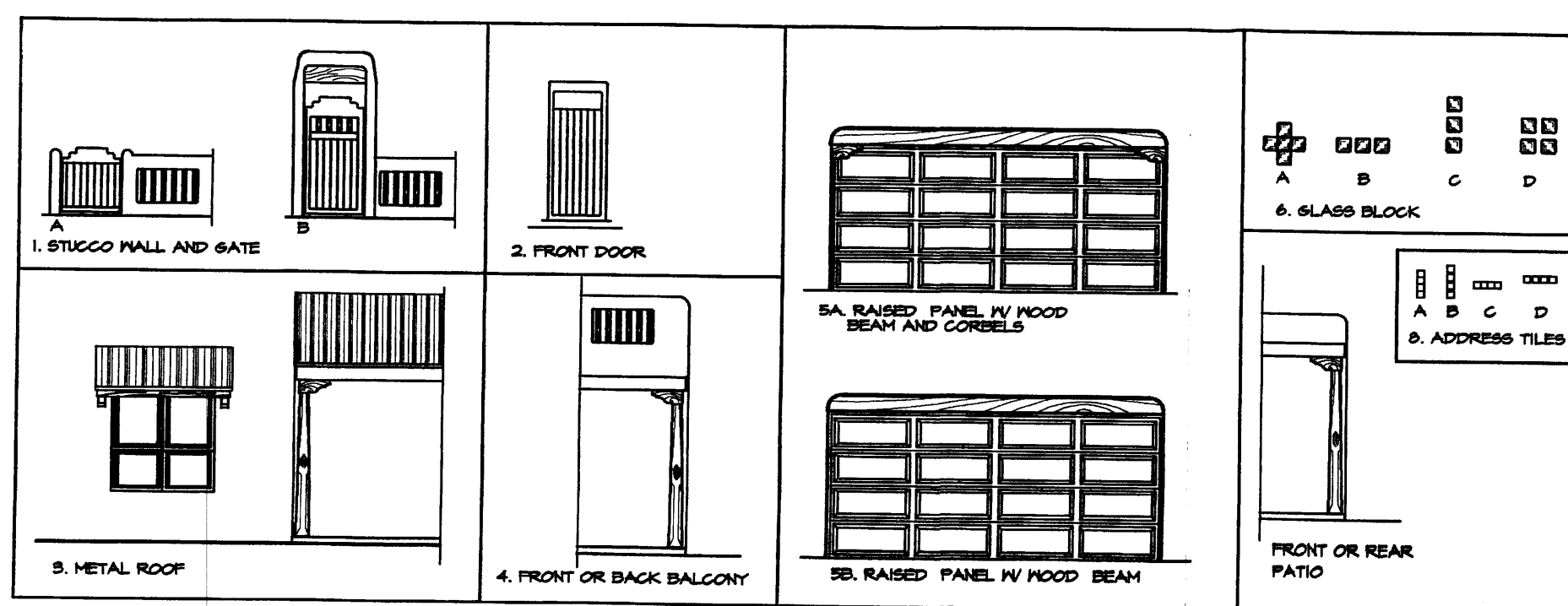
REAR ELEVATION 'B'



RIGHT ELEVATION 'A'



RIGHT ELEVATION 'B'



General Notes

- This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix includes all options available to the buyer. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.
 - each unit must have a minimum of two items from group 1 thru 5
 - group 6 thru 11 are typical to all units.
 - elements typical to all units:
 - hood header above window and garage door, stained
 - stepped parapets
- Keyed notes refer to option elements and elements common to all units. typical all elevations

OPTION MATRIX	PLANS		STUCCO WALL & GATE		FRONT DOOR		METAL ROOF		CORBELS		GLASS BLOCK		GARAGE DOOR		ADDRESS TILES		for balconies	
	A	B	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
OPTION A																		
OPTION B																		
OPTION C																		
OPTION D																		

STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS
 EL REY STUCCO
 PUEBLO SERIES
 DESERT SAND PP 001
 CACTUS FLOWER PP 014
 TACOS PP 004
 TERRA PP 012
 SAGE PP 008
 BUFFALO PP 006
 CASHA PP 021
 YELLOW HORSE PP 001
 LONATY PP 001
 VEGA PP 010
 CERRITOS PP 008
 MEX PP 007
 POTTERY PP 006
 STONE SLIP PP 001
 RIO BRAVO PP 002
 HONAN PP 012
 SILVER ROCK PP 005
 CLAY PP 011

OPTION MATRIX SEE GENERAL NOTE #1

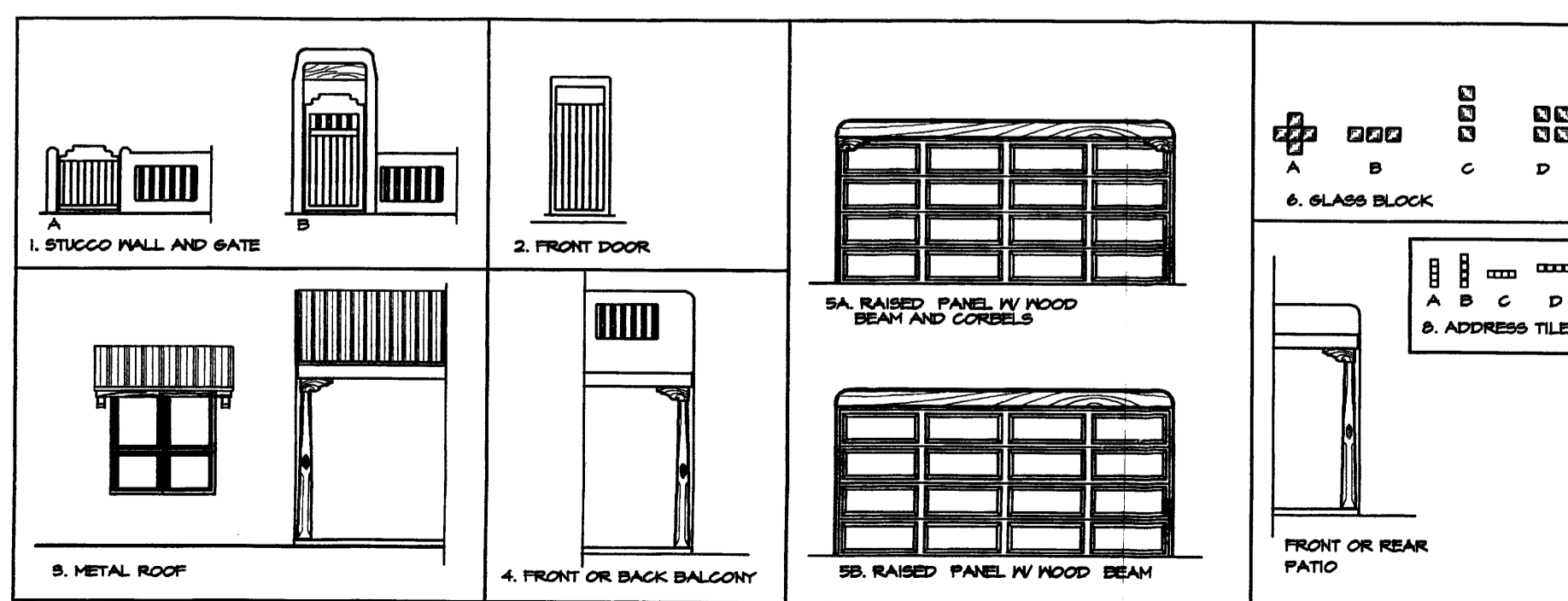
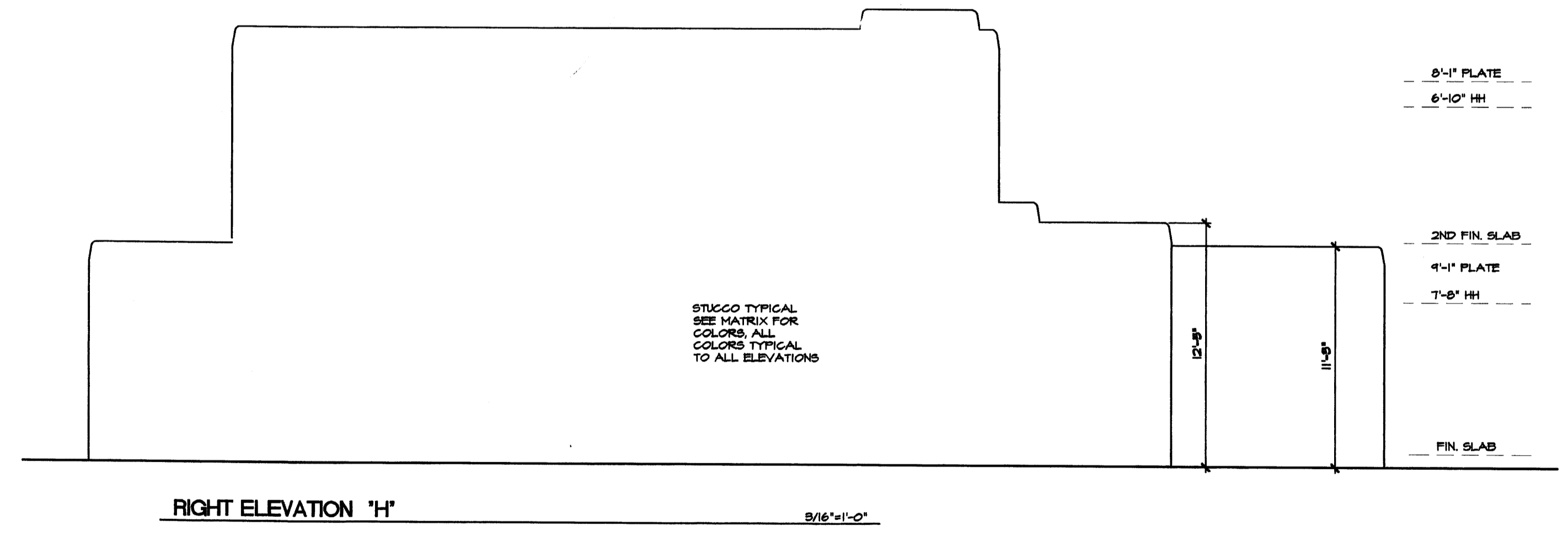
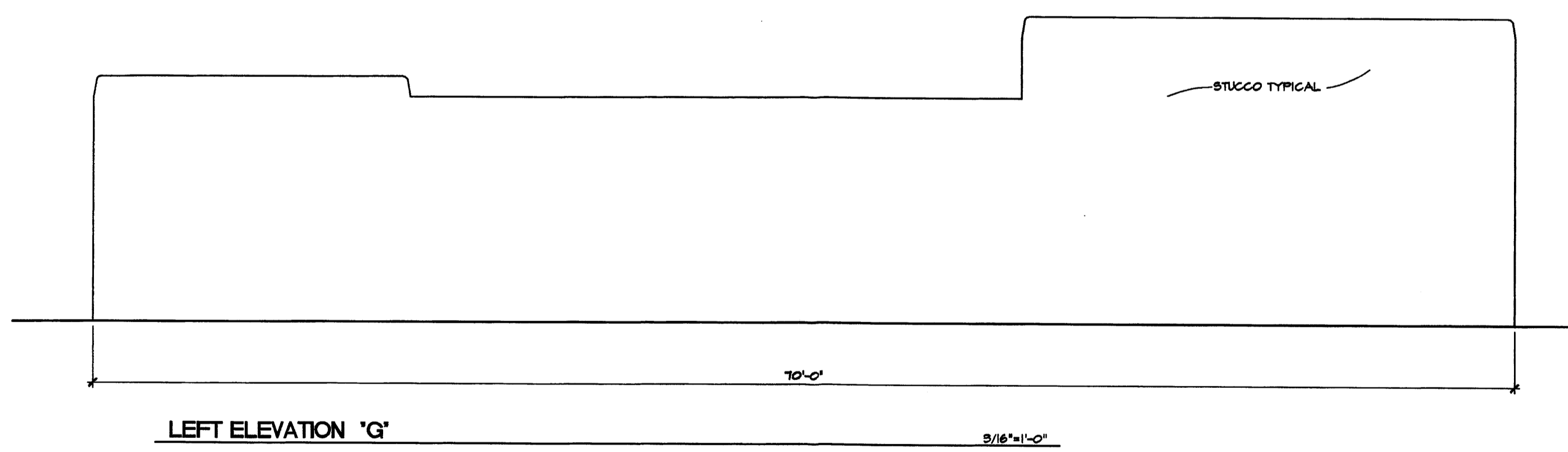
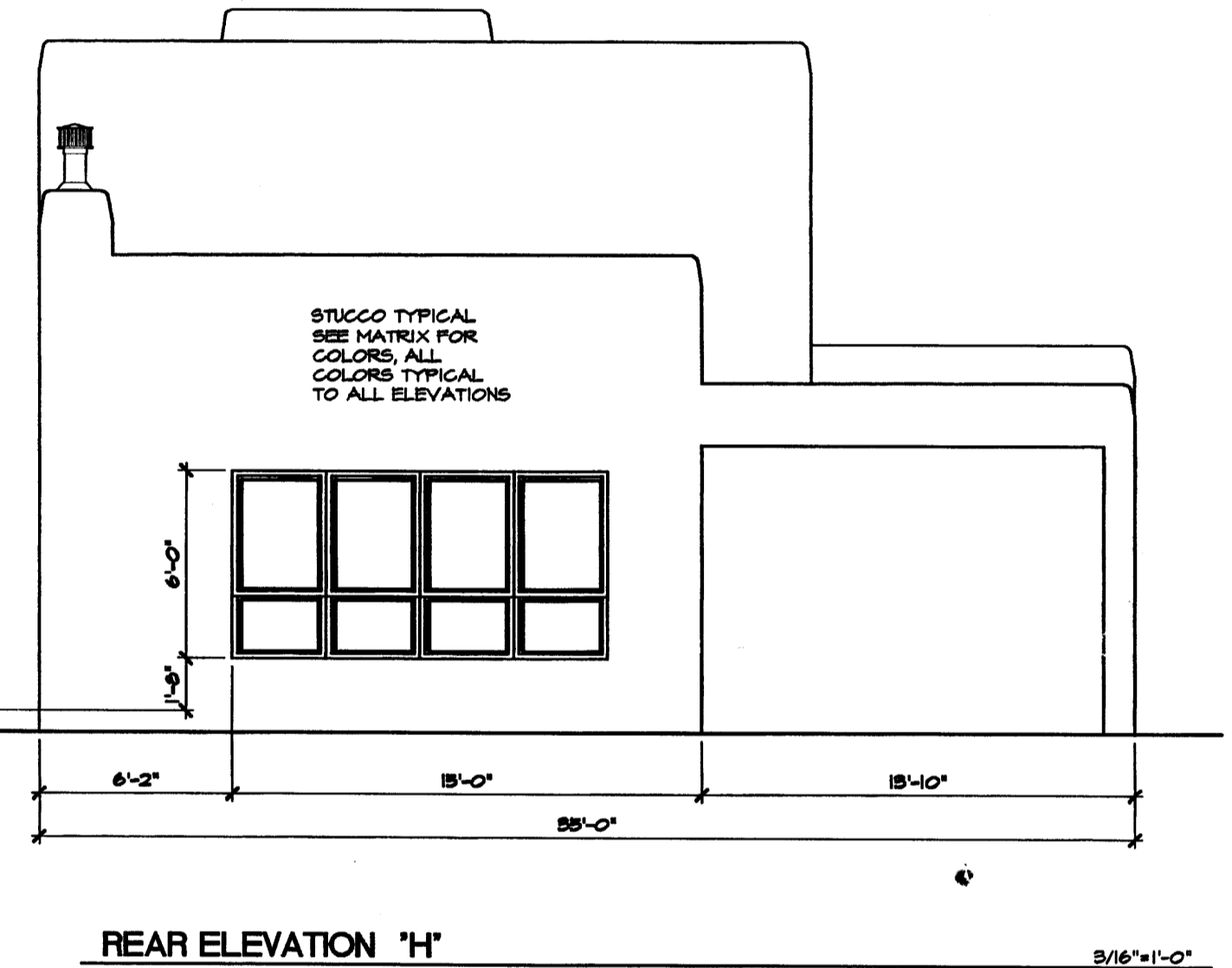
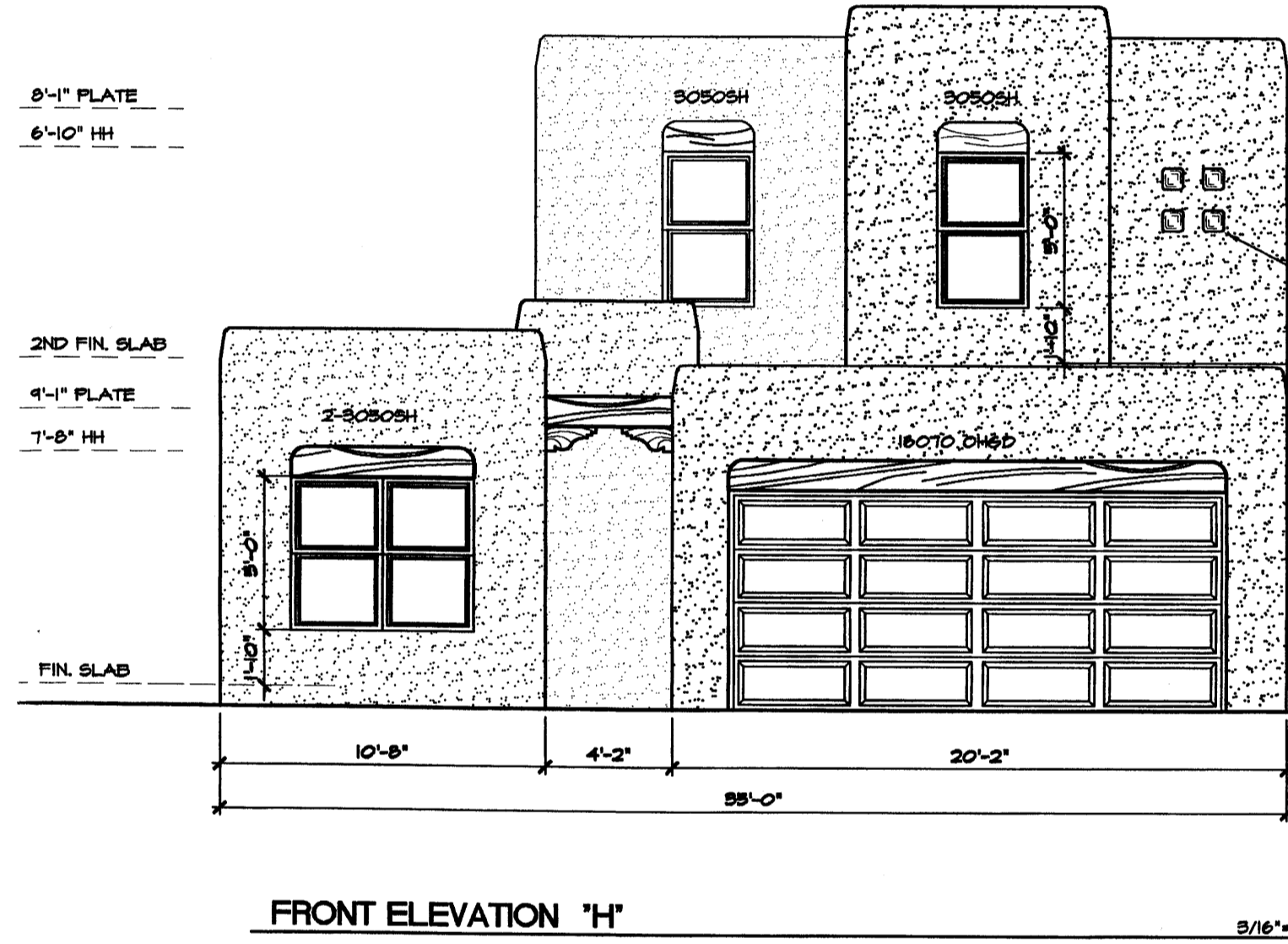
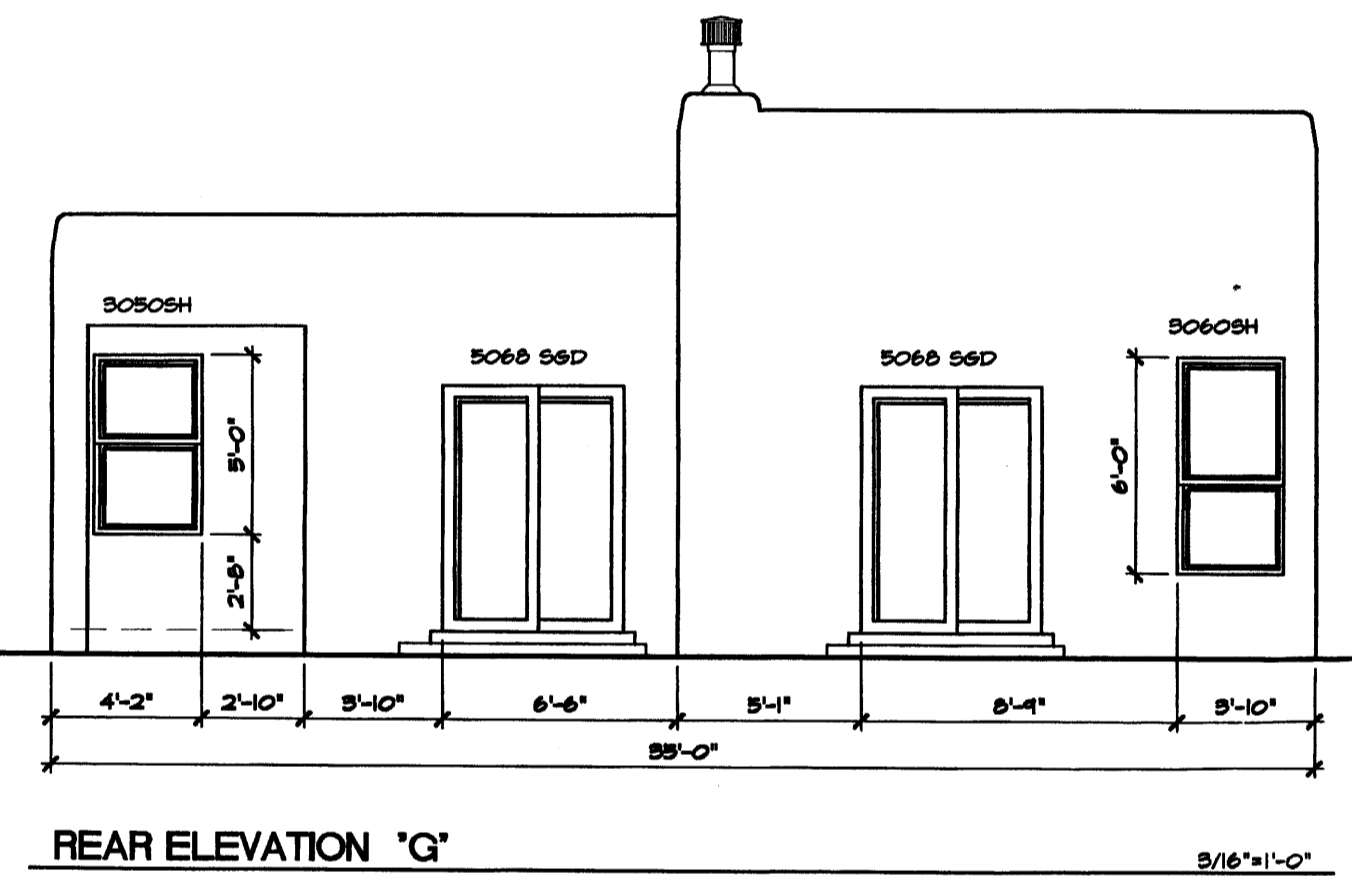
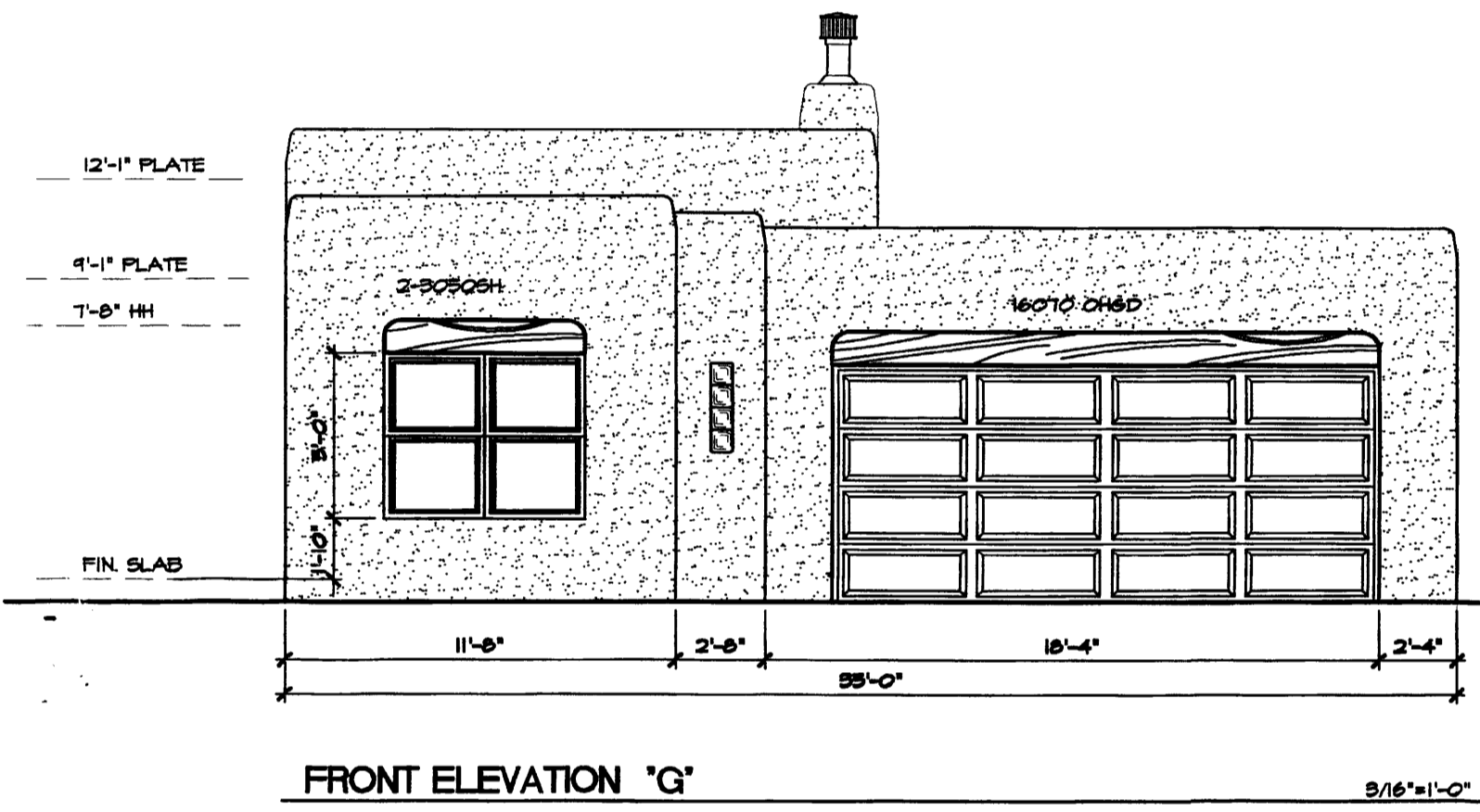
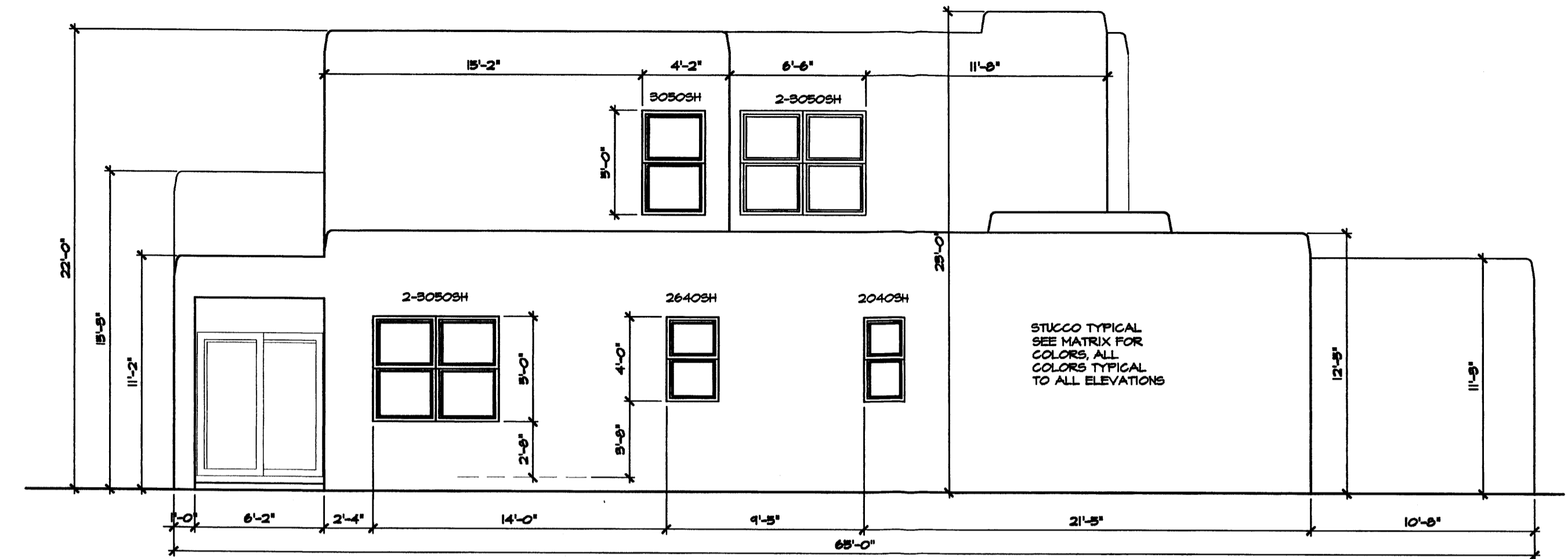
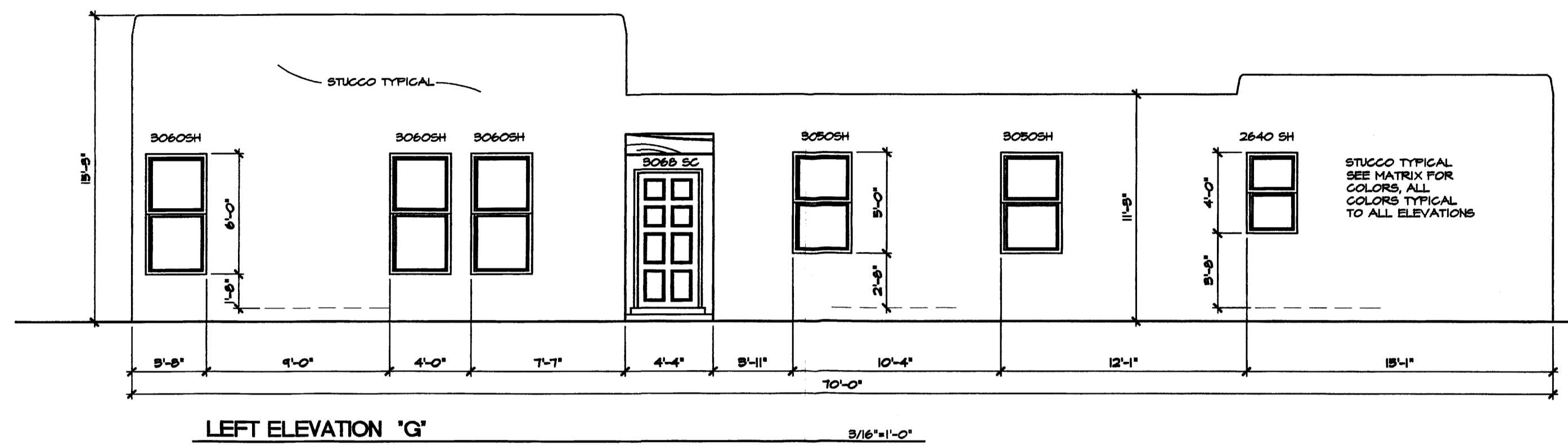


EL VALLADO
ELEVATIONS

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed:	Drawn:	Checked: DMG	Sheet 6 of 9
Scale: 3/16"=1'-0"	Date:	Job:	



General Notes

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 - elements typical to all units.
 - wood header above window and garage door, stained
 - stepped parapets
- Keyed notes refer to option elements and elements common to all units, typical all elevations

OPTION MATRIX SEE GENERAL NOTE #1

PLANS	STUCCO WALL	FRONT DOOR	METAL ROOF	BALCONY	CONCRETE	GLASS BLOCK	GARAGE DOOR	ADDRESS TILES	FINISH
A	•	•	•	•	•	•	•	•	•
B	•	•	•	•	•	•	•	•	•
C	•	•	•	•	•	•	•	•	•
D	•	•	•	•	•	•	•	•	•

STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS

EL REY STUCCO	PP01
INDIO SERIES	PP02
DRY RIVER	PP03
CACTUS FLORIN	PP 04
TAGS	PP 04
TIERRA	PP 212
SMOKE	PP 805
BUFAJO	PP06
CASA	PP 821
YELLOW HORSE	PP 801
LARAT	PP 821
YUSA	PP 870
DEERSON	PP 188
HASK	PP 181
POTTERY	PP 186
STONE BLUFF	PP 881
RIO BRAVO	PP 825
NOBAM	PP 872
RIVER ROCK	PP 185
CLAY	PP 871

GRAPHIC SCALE
0 1 2 3 4 5 6

EL VALLADO
ELEVATIONS

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