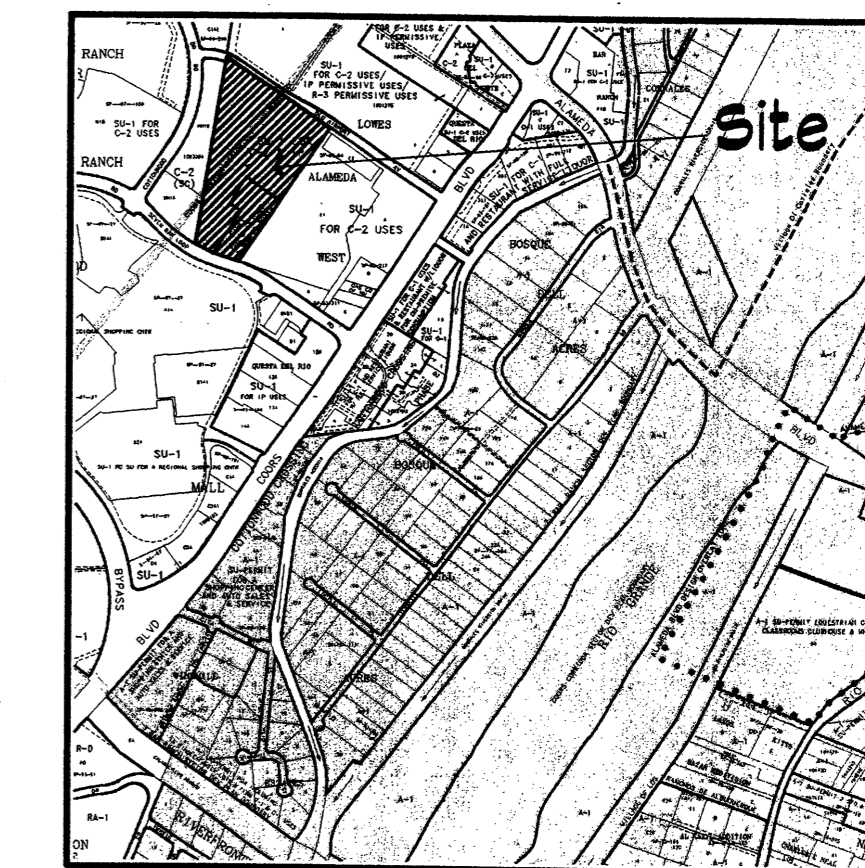


REVISIONS	DATE	DESCRIPTION
△ 10/24/05		EPC Conditions of Approval
△ 11/2/05		Per Dry Utility Coordination
△		
△		

DRAWN BY	MS
REVIEWED BY	DM
DATE	October 24, 2005
PROJECT NO.	0501B
DRAWING NAME	Site Development Plan for Subdivision

Vicinity Map
B-14-Z



Project Number: 1000316

Application Number: 05DRB-01652

Is an Infrastructure List required? Yes No
If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Approval:

<i>[Signature]</i>	11/22/05	DATE
Traffic Engineer, Transportation Division		
<i>[Signature]</i>	11-30-05	DATE
Utilities Division		
<i>[Signature]</i>	11/30/05	DATE
Parks and Recreation Department		
<i>[Signature]</i>	5/5/06	DATE
City Engineer		
N/A		
*Environmental Health Department (conditional)		
Solid Waste Management		
<i>[Signature]</i>	11/22/05	DATE
DRB Chairperson, Planning Department		
<i>[Signature]</i>	11/07/05	DATE

General Notes

- To be vacated at Final Plat: A portion (labeled "A" on this plan) of the 60' Access Road and Right of Way Agreement Filed 8-25-89, Misc. Bk. 42A, Pgs. 588-608 Amended by Corrective 30' Access Road Easement and Right of Way Agreement Filed 10-11-89, Misc. Bk. 42A, Pgs. 508-527.
- To be dedicated at Final Plat: A portion (labeled "B" on this plan) of the Public Access Road and Public Utility Easement per Document Filed 8-11-2002, Bk. A38, Pg. 1184; COA Public Roadway Underground Utility, Storm Drain, Sewer and Water Improvement Easement per Document Filed 8-28-2002, Bk. A34, Pg. 1180.
- As approved by the Traffic Engineer, Old Airport Ave. shall be restriped to provide a 100' westbound left-turn lane for access into the site. The left-turn lane shall be preceded by a 50' gap in westbound striping to indicate where vehicles should enter the left-turn lane.
- As approved by the Traffic Engineer, raised channelization should be constructed in Seven-Bar Loop Rd. for the eastbound left-in movement. The storage length should be 100' with a 150'-150' reverse curve transition taper. The island should be extended to the west to the extent practical, terminating the raised channelization so as not to impact the new bank access median opening. Appropriate striping and marking of the lane should also be installed.

Sheet Index

- SITE DEVELOPMENT PLAN FOR SUBDIVISION
- LANDSCAPE PLAN
- DESIGN STANDARDS WITH BUILDING ELEVATIONS
- LANDSCAPE DESIGN STANDARDS
- CONCEPTUAL GRADING & DRAINAGE PLAN
- CONCEPTUAL UTILITY PLAN

Site Development Plan for Subdivision
- Required Information

The Site:
The site consists of approximately 16.114 acres. Tract H will be re-platted into Tract A, Tract B and Tract C through the Development Review Board as shown on this Site Development Plan for Subdivision.

Proposed Use:
The site is zoned SU-1 IP for C-2 and IP uses/ SU-1 IP for C-2 and IP uses and Bumper Boats. The proposed use for Tracts B & C is SU-1 PRD (Planned Residential Development) for Apartments and Tract A SU-1 IP for C-2 and IP uses as shown on Site Development Plan for Subdivision.

Pedestrian Ingress & Egress:
Public sidewalks and private trails provide important connectivity within the project as well as out of the site. These private landscaped trails are proposed along Old Airport Road and between the apartments and the adjacent commercial site on the southern boundary of the site. The western boundary of the site shall allow for pedestrian access to Seven-Bar Loop Road.

Vehicular Ingress & Egress:
The primary access to the apartments in Tract B and Tract C is from Old Airport Rd. This access is aligned with the access to site directly across Old Airport road to the north. The requirements for width, radius and design configurations comply with COA standards. This primary access will be a private easement with a public utilities easement to serve both tracts. The primary access is designed within the context of the Seven Bar Ranch Sector Development Plan design requirements. The main entrance is designed to provide a transition from the surrounding commercial activity to a village-type character within the apartment development.

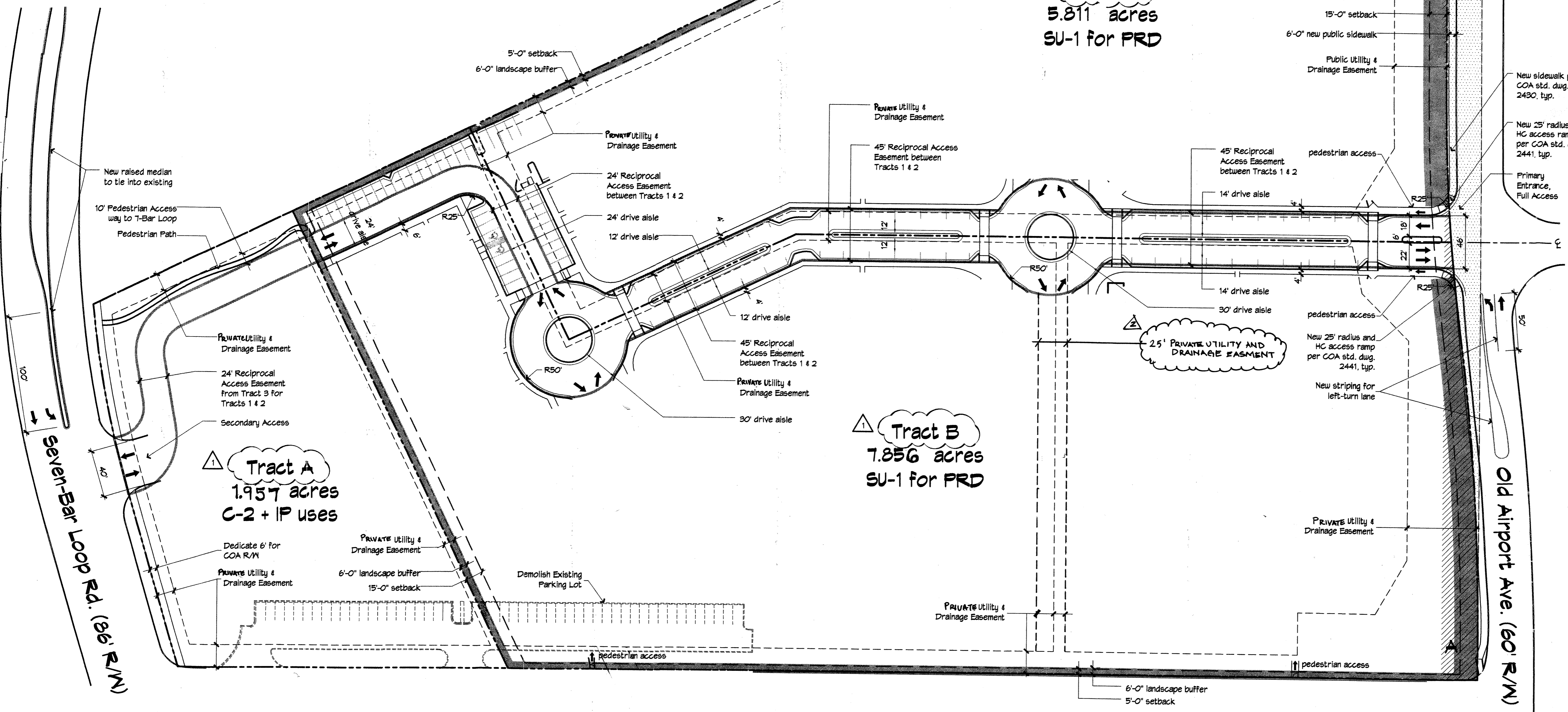
Internal Circulation Requirements:
The internal circulation with a primary access off of Old Airport road meets the required street widths, radius and configurations comply with COA standards. These dimensions are shown on the Illustrative Landscape & Building Layout Plan sheet 2 of 6. The internal circulation is designed with a Boulevard as the main circulation pattern completed with a landscaped median, parking and pedestrian friendly tree-lined sidewalks that provide residents with welcoming entrance to their residences. (Roundabouts shall meet design requirements of the Fire and Solid Waste Departments.)

Maximum/Minimum Duelling Units:
The maximum number of duelling units and/or density shall not exceed 32 DU's per acre. The minimum number of duelling units and/or density shall not be less than 28 DU's.

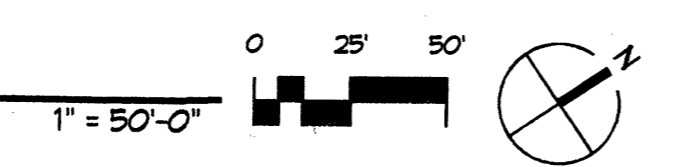
Maximum Floor Area Ratio:
The maximum floor area ratio (FAR) shall be 1.0 as required by R-3 of the comprehensive zoning code.

Maximum Building Height:
The maximum building height shall be in accordance to the height restrictions and regulations indicated in the Albuquerque Comprehensive City Zoning Code for the R-3 zone. The maximum height for Tract B and Tract C shall be 65'-10" as indicated in the Solar Study Diagram (see sheet 3 of 6).
The maximum height for Tract A shall be 26 feet.

Minimum Building Setbacks:
Setbacks for Tract B and Tract C shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the R-3 zone.
• Front Setback: 11 feet
• Side Setback: 5 feet
• Rear Setback: 15 feet
Setbacks for Tract A shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the C-1 zone:
• Front Setback: 5 feet
• Side Setback: 15 feet
• Rear Setback: 5 feet
• Junction of Driveway and Sidewalk: 11 feet



Site Plan



**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico

REVISIONS

10/24/05	EPC Conditions of Approval
△	
△	
△	

DRAWN BY: AJT/MS
REVIEWED BY: DIV/AJT
DATE: October 24, 2005
PROJECT NO.: 0501B
DRAWING NAME:

Illustrative Landscape & Building Layout Plan

- LANDSCAPE PALETTE**
- EVERGREEN TREES**
6'-8'
Austrian Pine
 - LARGE SHADE TREES**
2" Gal.
Chinese Pistache
Purple Robe Locust
Rawwood Ash
Rio Grande Cottonwood
(In Ponding Areas/ Exterior Trails Only)
 - ORNAMENTAL TREES**
15 Gal.
Flowering Pear (Along Center Strip Only)
Multi-Trunk Ornamental Trees
15 Gal.
Desert Willow
Forestiera (NM Olive)
Japanese Maple (In Inner Courtyard Areas Only)
Vitex (Chaste) Tree
 - DESERT ACCENTS**
5 Gal.
Agave
Nolina
Frickly Pear
Red Yucca
Sotol
Yucca
 - XERIC/NATIVE SHRUBS**
5 Gal.
Apache Plume
Artemisia spp.
Autumn Sage
Bird of Paradise
Blue Mist Spirea
Butterfly Bush
Chamisa
Cotoneaster
Lavender
Mugho Pine
Photinia
Potentilla
Raphiolepis
Rosemary
Russian Sage
Setbonush
Spanish Broom
Three-Leaf Sumac
 - ACCENT SHRUBS (In Inner Courtyard Areas Only)**
1 Gal.
Mahonia
Nandina
Red Twig Dogwood
Spreading Yew
 - PERENNIALS, WILDFLOWERS AND GROUNDCOVERS**
1 Gal.
Agastache
Blanketflower (Gaillardia)
Calceolite
Coneflower
Coreopsis
Creeping Rosemary
Creeping Thyme
Dwarf Plumbago (In Inner Courtyard Areas Only)
Gaura
Germander
Iceplant
Klunkinick
Liriope (In Inner Courtyard Areas Only)
Penstemon
Pincushion Flower
Primrose
Red Hot Poker
Sedum spp.
Wallflower
Yarrow
 - ORNAMENTAL GRASSES**
1 Gal.
Blue Avena Grass (Helictotrichon)
Blue Fescue (Festuca)
Deergrass (Muhlenbergia)
Threadgrass (Stipa)
5 Gal.
Maidengrass (Miscanthus)
Regal Mist (Muhlenbergia)
 - NATIVE SEED MIX**
Will include wildflowers not mentioned above such as Desert Marigold (Hemizonis) and Globemallow (Sphaeralcea) as well as Native Shrubs such as Chamisa and Apache Plume.

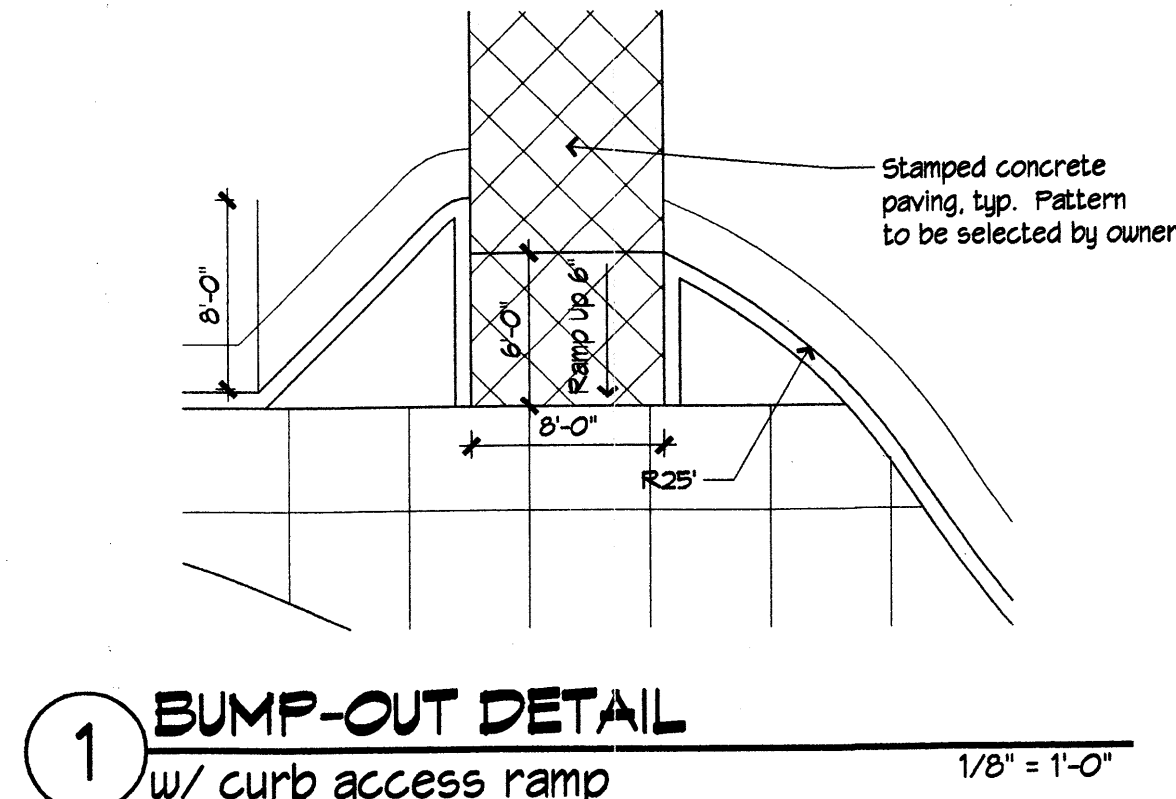
- 300 SOD
- 3/8" GREY GRAVEL WITH FILTER FABRIC
- COBBLE
- COMMERCIAL GRADE STEEL EDGE

General Notes

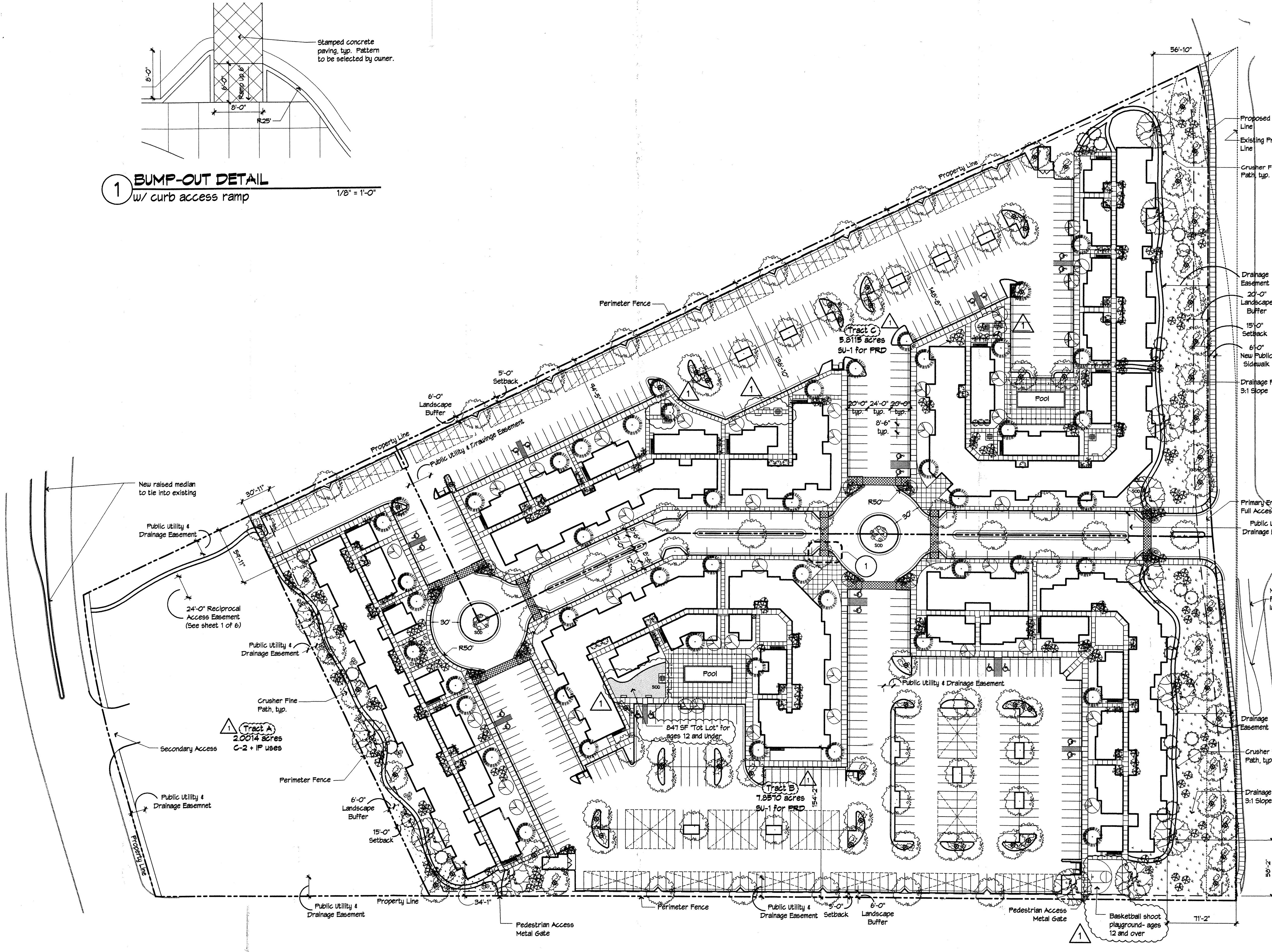
- Locations of fire hydrants shall be determined at time of building permit with guidance from the Fire Marshal.
- Refer to Landscape Design Standards in Sheet 4 of 6.

Site Legend

- Accessible Parking Space
- Walled Refuse Container
- Walled Refuse Compactor
- Concrete Sidewalk/Paving
- Carport
- Bench
- Picnic Table



1 BUMP-OUT DETAIL
w/ curb access ramp
1/8" = 1'-0"



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 10/24/05

Illustrative Landscape + Layout Plan
1" = 50'-0"

Design Standards for Planned Residential Development (PRD)

The purpose of these design standards is to establish a framework for the quality development of the subject development area shown on the site development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable and safe residential community that fosters pedestrian accessibility and creates a village-type character. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complementary to the planning and design of adjacent properties.

Minor amendments to this Site Plan for Subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

Off-Street Parking:

Off-street parking space shall be provided in compliance with regulation 14-16-3-1 of the Albuquerque Comprehensive City Zoning Code. In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design:

- Handicapped parking spaces shall be provided adjacent to building entries and accessible units.
- The total minimum amount of parking provided shall meet or exceed parking requirements in the Albuquerque Comprehensive City Zoning Code after applying the allowable transit corridor reduction.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include pedestrian links between perimeter sidewalks and adjacent buildings.
- Covered parking in the form of carports will be provided for approximately one-fourth of the total parking stalls.

Architectural Design Standards:

Dwelling Unit Sizes:

Dwelling unit sizes range from 500 to 1200 square feet.

Exterior Wall Materials and Colors:

Exterior wall materials are to be predominately vernacular based. The varying styles of vernacular Northern New Mexico Architecture shall be the basis of a more simple and contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long and flat building facade should be considered and encouraged. An articulated top-line of buildings, and the play of figure/ground planes will help the massing to achieve this goal. The building massing should also promote pedestrian site access when possible.

Attention to enhanced internal streetscape should be considered to promote a sense of place and complement pedestrian movement through the site. Utilizing the buildings to infer a street edge, applying pedestrian friendly landscape material along walking paths, or a simple plinth of the building pad up off the adjacent ground plane are all ways to help accomplish this goal and also to acknowledge the "Established Urban" zone in the Westside Strategic Plan.

The use of a stucco wall finish system (or synthetic version thereof) shall be the predominate material for buildings to reinforce the Northern New Mexico vernacular architectural expression.

Site and patio walls should reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of exposed split-face cmu.

Exterior wall color should reflect a consistent overall palette of earth-based tones for the field colors, however, more saturated earth-based tones with a much wider color palette range should be encouraged for accent colors. This is intended to add vitality to the rich mix of building uses in the area. The site is not located adjacent to a developed residential neighborhood, so building variety should be encouraged to better relate to its immediate surroundings.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet cornicing, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and minimized the overall detail variety to the extent possible.

Roof materials and colors:

Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required.

Architectural Design Standards, cont.:

Site Lighting:

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". **Fixtures shall comply with the City of Albuquerque Dark Skies requirements.**
- Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Building mounted fixtures shall also comply with this requirement.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Light pole fixtures shall be a maximum of 20' in height, consistent with the T-Bar Sector Plan and the Coors Corridor Plan.

Placement of Mechanical Units:

Care should be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through the use of walls, or landscape material. Roof mounted units shall be screened from public view through the use of parapet walls that are architecturally coordinated with the building they serve.

Signage:

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Entry identification signs shall be of the wall mounted monument type and shall complement the materials, color, and architectural character of the buildings. The maximum height of the wall to receive the sign shall not exceed the height of the perimeter fence.
- The design of the interior directional signs shall be coordinated with the design of the monument sign.
- Building mounted signs shall comply with section 14-16-3-5.c.6
- No illuminated plastic panel signs are allowed except business logos within the non-residential area to the property.

Screen Walls and Fences:

The effective use of screening devices for utilitarian spaces, such as loading and refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be away from streets, building entrances and pedestrian areas.

Screening:

These screening requirements are in addition to those listed in the parking and landscape sections.

Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet city design standards.

- Refuse enclosures shall be further screened through the use of trees and shrubs.
- Loading areas shall be located, if possible, at the rear of buildings and away from public streets. Loading areas that are visible from public streets shall be screened through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve.
- Openings for pedestrian pathways shall be provided where they occur.
- The use of barbed wire, concertina wire, chain link or plastic fencing is not allowed.

Architectural Design Standards, cont.:

Walls/Fences:

Perimeter walls and fencing are allowed on the property. However efforts shall be made to lessen the visual impact of the walls or fencing through use of landscaping, and the design and location of openings.

- Unfinished block walls, barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter fences shall be painted tube steel with vertical pickets to complement the color and architectural character of the buildings.
- Acceptable materials for perimeter and yard walls include masonry block (with decorative finish), block with stucco, split face block, stone and painted tube steel. A combination of fence and/or wall is acceptable.
- Perimeter walls and fences, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to adjacent commercial activities.
- The maximum height of perimeter walls and fences shall not exceed 6 feet in height.
- Clear sight distances shall be maintained at all driveway/entrance locations.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve.

Pedestrian Amenities:

The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for this project. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities, including benches, plazas, walkways, landscaping, signage and lighting. Other objectives include providing shaded walkways, and separating pedestrian and vehicular circulation systems in order to reinforce the village character of the project and minimize conflict between people and cars.

The use of alternative paving material for pedestrian pathways is encouraged but is not mandatory. The use of art is another site amenity that is encouraged.

Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as around the site. Private trails are proposed along Old Airport Road and between the adjacent commercial site and the apartments.

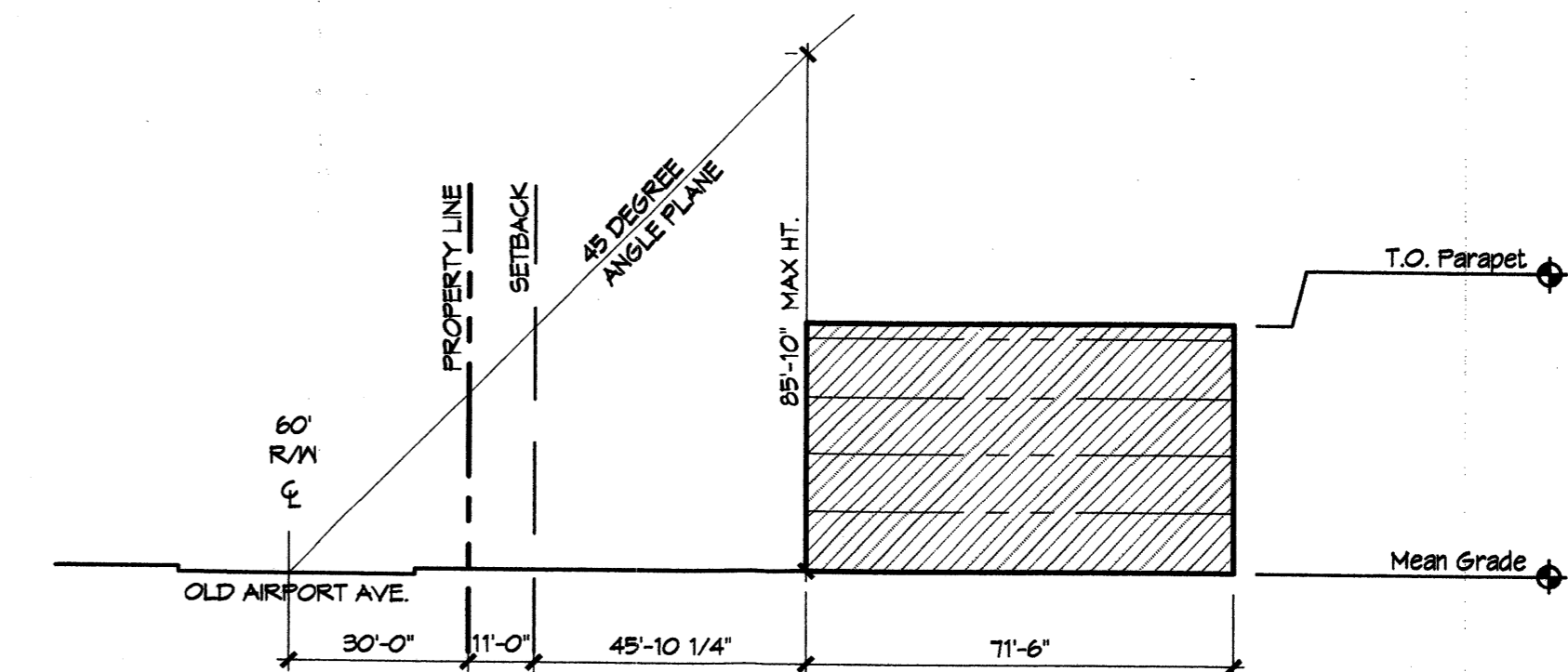
- All private trails and paths shall be soft surface, with a minimum of 6'-0". The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces, where practical. These connections should also link to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.
- Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided.
- Although there are no public trails or open space on or adjacent to the property, the site design must include pedestrian paths and trails that enable connectivity to facilities off-site.

Private Common Areas/ Public Open Space:

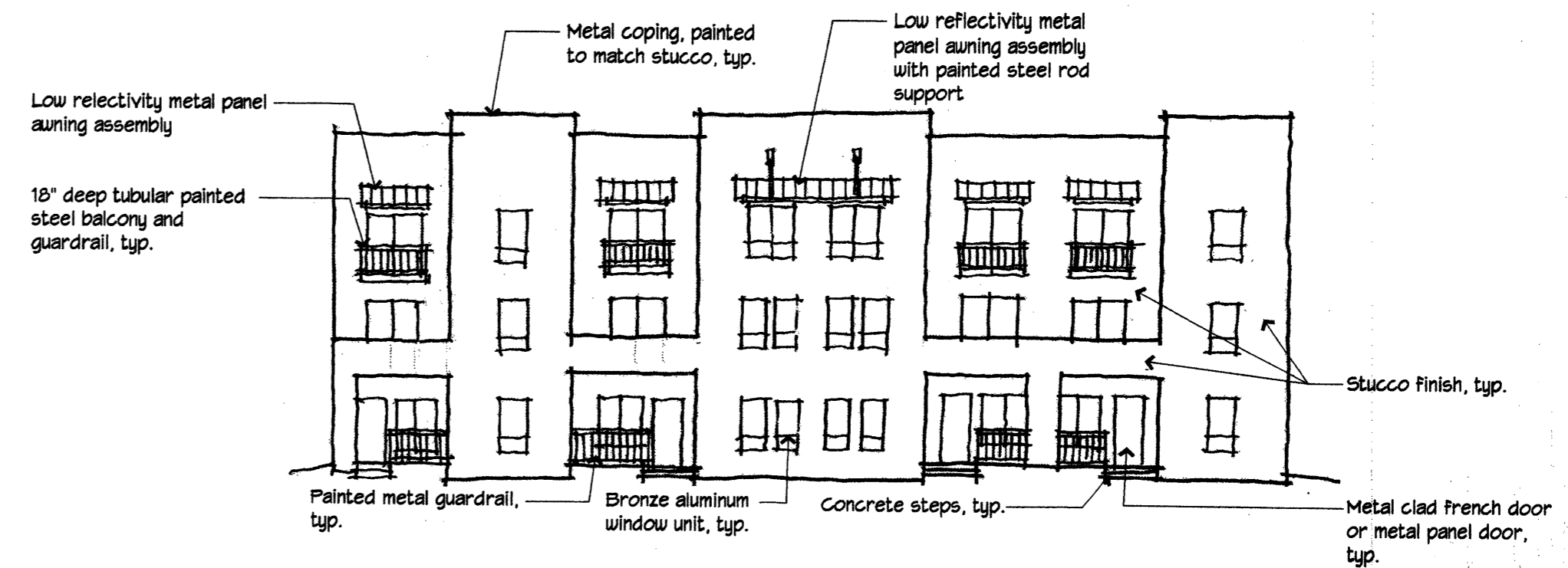
An important feature of this residential community is the inclusion of private plazas and pool areas that exist adjacent to buildings. These spaces provide visual and physical relief, as well as opportunities for residents to meet their neighbors. The site is designed to provide residents with connections to public sidewalks from internal paths/sidewalks to reach public open space areas via car, bicycle or public transportation. The site offers its own open space for residential use. Additionally, clubhouses provide amenities such as exercise facilities and meeting rooms for apartment residents. All private common area / public open space and pools will be maintained by the property owner.

Preliminary grading and drainage plan:

The drainage is designed to be an incorporated feature of the site rather than a intrusive site requirement. The ponding area will be landscaped with appropriate plant materials and maintained by owner.

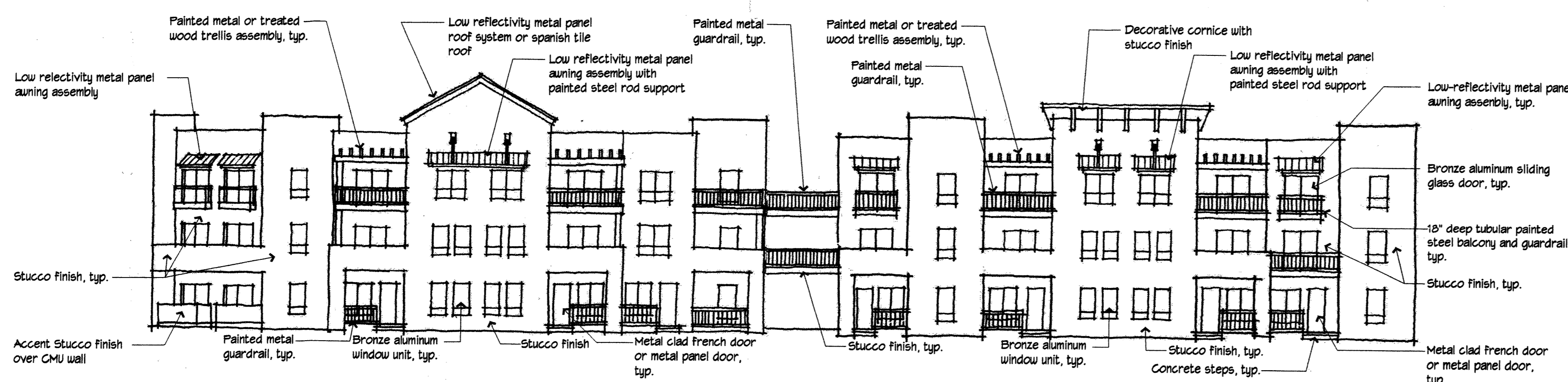


Solar Study Diagram



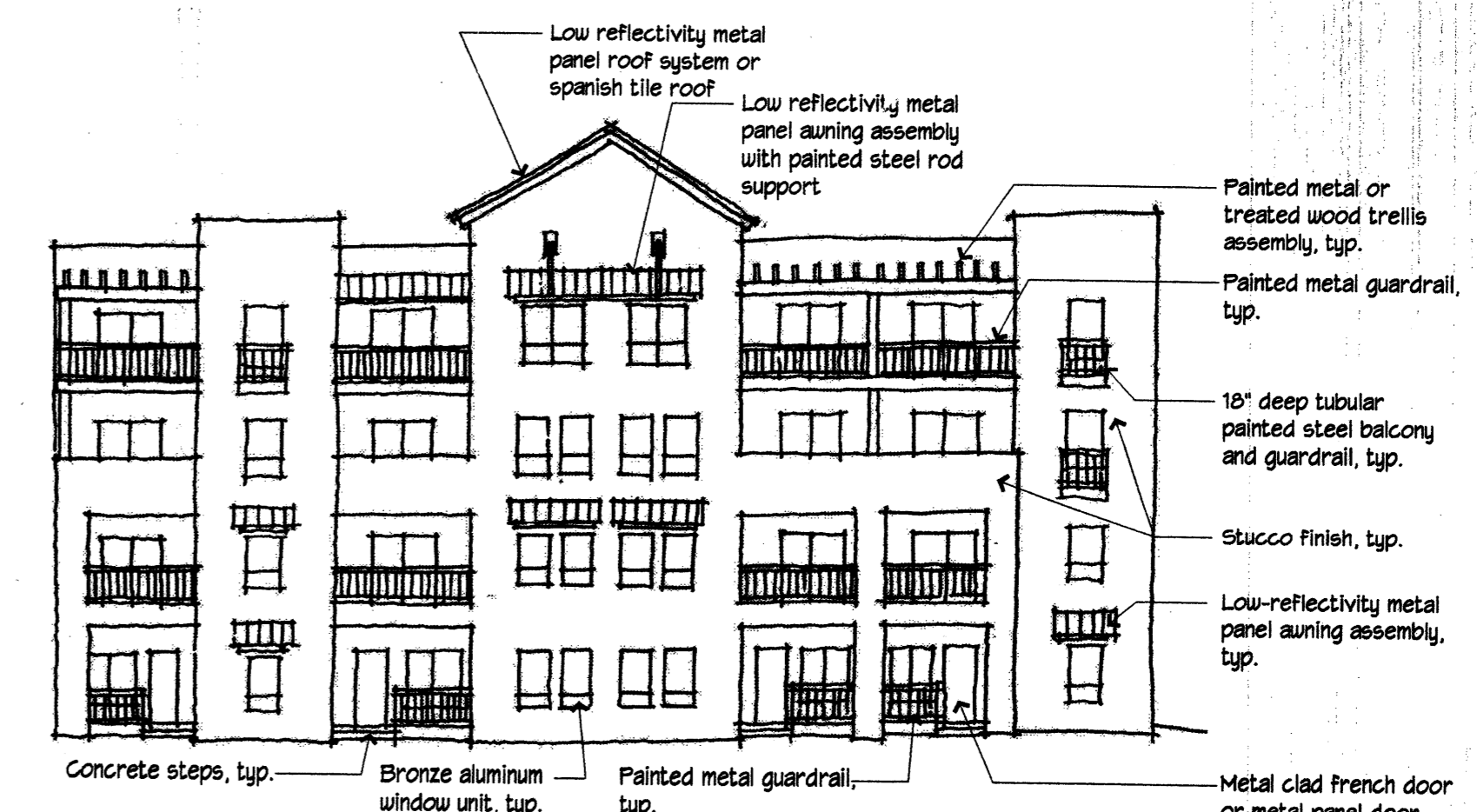
Typical Elevation Design Concept

Senior, 3- Stories



Typical Elevation Design Concept

Market, 3- Stories



Typical Elevation Design Concept

Market, 4- Stories

REVISIONS

10/24/05	EPC Conditions of Approval
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DRAWN BY AJT/MS

REVIEWED BY DW/MS

DATE October 24, 2005

PROJECT NO. 0501B

DRAWING NAME

Development
Design Standards

SHEET NO.

Design Standards for Planned Residential Development (FRD)

Landscape Design Standards:

The purpose of the following landscape standards is to provide a framework for a unifying landscape design which is considerate of the site's existing developed conditions, recent project approvals and pending development. Achieving overall project unity will generally be accomplished through a coordinated palette of low water use native and adapted plants and mulches appropriate to the site, along with guidelines that recognize existing patterns of density, variety and location of plant materials. The site is located in an urbanizing high desert grassland landscape. Landscape designs featuring native and drought tolerant grasses are encouraged to reinforce the sense of place and reduce demands for soil amendment and irrigation. All landscaping shall be in conformance with the City of Albuquerque Comprehensive Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative and environmentally sound landscape principles shall be followed in design and installation.

Minimum standards for development of specific landscape plans:

- Xeriscape principals shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- A landscape buffer shall be provided between the site and adjacent Old Airport Road right of way and shall be at least 10' wide and planted with plant material complementary to the naturalistic aesthetic of the Old Airport Road landscape improvements.
- A minimum of 15% of the net site area will be landscape area with an emphasis placed on areas with internal street and pedestrian path exposure.
- Landscaping shall comply with the intent of the City regulation requiring 75% vegetative coverage for landscape areas. No high water use turf shall be permitted.
- All planting areas shall be mulched with 3/4 inch gravel, primarily gray in color.
- One tree is required for every twenty-five linear feet of public or main access roadway. Trees shall be informally clustered or planted 25 feet on center. No more than 40-foot gaps between trees shall be permitted.
- The landscape treatment at prominent entryways shall achieve a greater concentration or density of plant material.
- Off street parking areas shall have a minimum of one tree for every ten parking spaces.
- All required parking area trees shall be deciduous and have a minimum mature height and canopy of at least 25 feet.
- Trees at medians shall have a canopy with a minimum height at the bottom of 13 feet.
- A minimum 36" high wall or landscape screen, or a combination of the wall and plantings, shall be used to obscure views of parking areas from adjacent right of way.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components should be maintained by the owner and checked periodically to ensure maximum efficiency.
- All plant matter including trees, shrubs and groundcovers shall be maintained by owners in living, attractive conditions. All area shall be maintained free of weeds and litter.

Landscape Palette Narrative:

The overall goal in selecting the plant palette should be to provide a diversity of planting materials and zonal concepts while maintaining a low-water use theme. The plant palette has been developed based on water-use, availability, and function of the specified plants. This palette represents three zonal planting areas - Interior, Transitional, and Native. Plants will be chosen as appropriate to each area.

The Interior zone includes the more formal area which composes the center entry median and the round-abouts. Planting materials should be selected based on the "urban" or "brownsone" feel intended for this formal area. Ornamental and flowering trees and shrubs, annual color, and some sod lawn is recommended to be used in this area.

The Transitional zone composes the majority of the remaining interior landscape, including the inner courtyards and pool areas. A combination of xeric and evergreen shrubs should be used to create a multi-seasonal plant palette in these areas. The theme of the transitional areas is intended to range from oasis near the pool areas, to xeric garden and ornamental accents in the remaining planting spaces. In addition, the parking lot is to be included in this area. The parking lot landscape is to consist of large shade trees and xeric shrubs and groundcover.

The Native landscape is to include the ponding areas and exterior crusher fines trails. The goal in this area is to create a colorful but low water use landscape. Xeric/ Native shrubs and desert accents shall be used in combination with cottonwood trees to develop the theme of the development. Native seed will also be used in this area.

Landscape Palette List:

Evergreen Trees:

Austrian Pine

Large Shade Trees:

Chinese Pistache
Purple Robe Locust
Raywood Ash
Rio Grande Cottonwood (In Ponding Areas/ Exterior Trails Only)

Ornamental Trees:

Flowering Pear (at Center Strip Only)

Multi-Trunk Ornamental Trees:

Desert Willow
Forestiera (NM Olive)
Japanese Maple (In Inner Courtyard Areas Only)
Vitex (Chaste) Tree

Desert Accents:

Agave
Nolina
Prickly Pear
Red Yucca
Sotol
Yucca

Xeric/ Native Shrubs:

Apache Plume
Artemisia spp.
Autumn Sage
Bird of Paradise
Blue Mist Spiraea
Butterfly Bush
Chamisa
Cotoneaster

Xeric/ Native Shrubs (cont.):

Lavender
Photinia
Potentilla
Raphiolepis
Rosemary
Russian Sage
Saltbrush
Spanish Broom
Three-Leaf Sumac

Accent Shrubs:

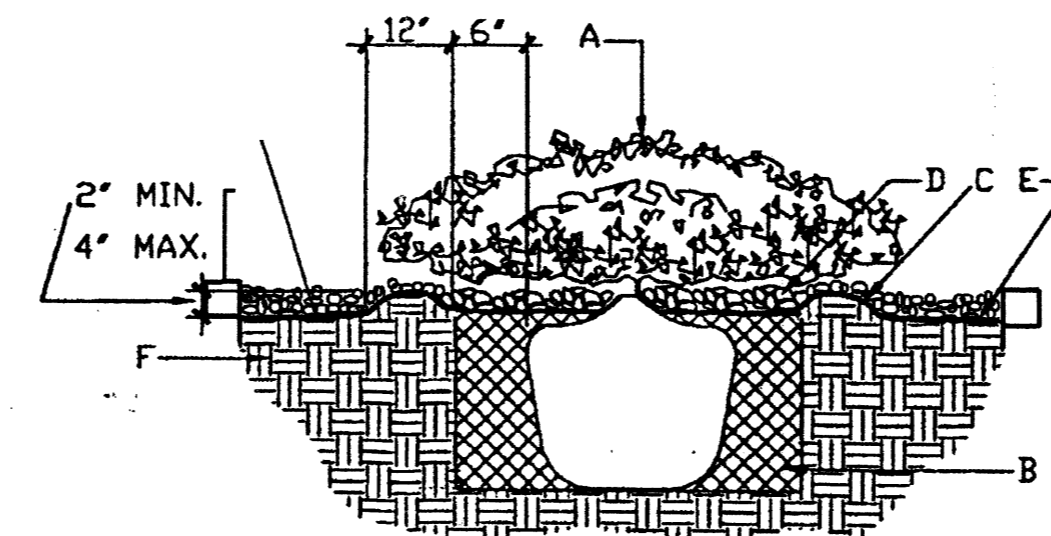
(Inner Courtyard Areas Only)
Mahonia
Nandina
Red Twig Dogwood
Spreading Yew

Perennials/ Wildflowers and Groundcovers:

Agastache
Blanketflower (Gallardia)
Catmint
Coneflower
Coreopsis
Creeping Rosemary
Creeping Thyme
Dwarf Flumbago (In Inner Courtyard Areas Only)
Gaura
Germander
Iceplant
Kinnikinnick
Liriope (In Inner Courtyard Areas Only)
Penstemon
Pincushion Flower

Landscape Buffering:

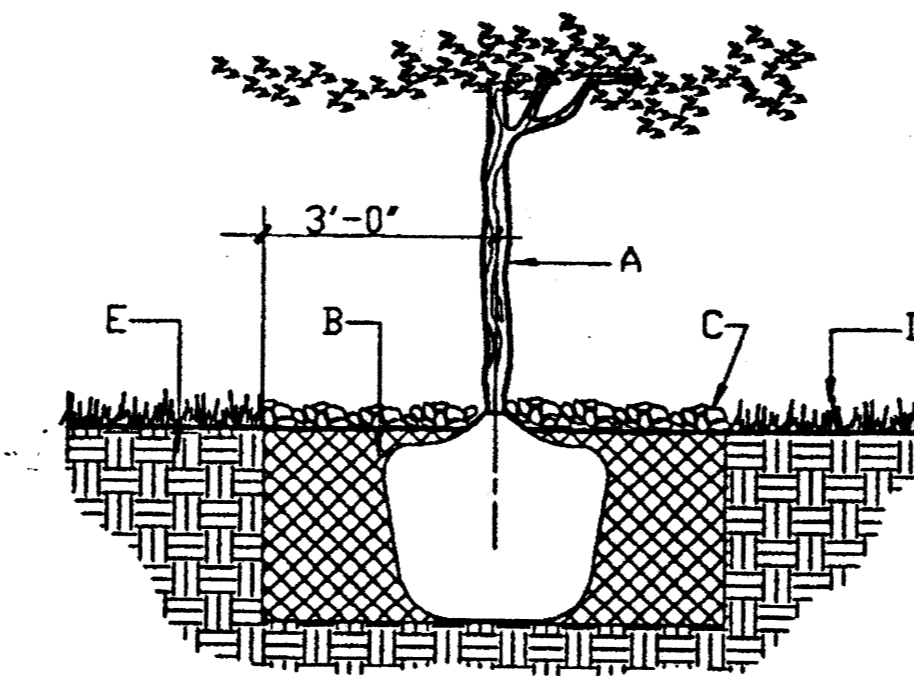
- Where parking is adjacent to public roadways, low walls, berms or landscaping shall be utilized to screen cars from view. Walls and/or mature landscaping shall be at least thirty inches but not more than forty-two inches tall.
- In cases where off-street parking is adjacent to the boundaries of the property, walls or landscaping for screening purposes shall be required.
- Minimum widths for landscape buffers are as follows:
Front - 20'-0"
Side - 6'-0"
Rear - 6'-0"
- Special Buffer Landscaping /Screening Requirements: Because this property is being developed as a residential use adjacent to non-residential uses, additional screening may be desired.



- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

Concept Planting Bed

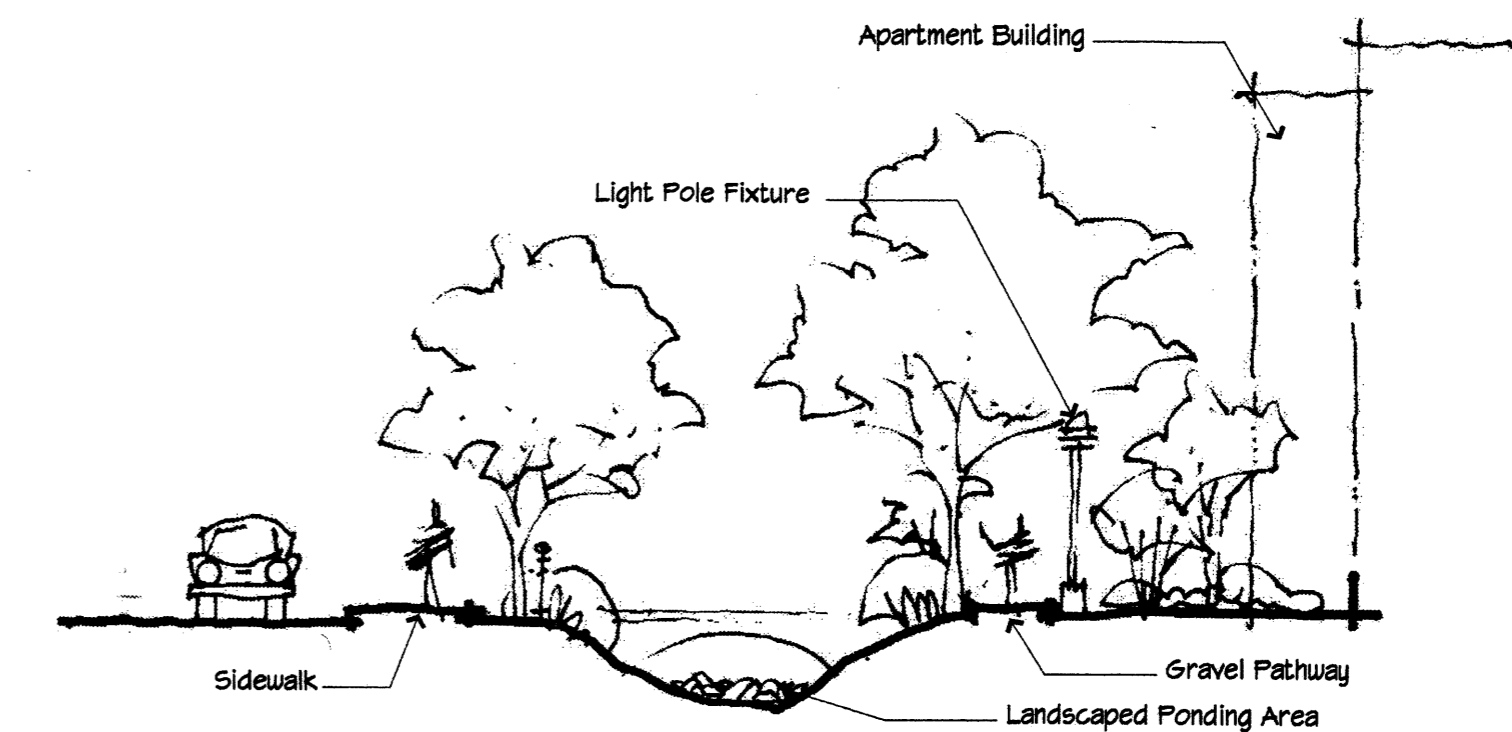
Shrubs



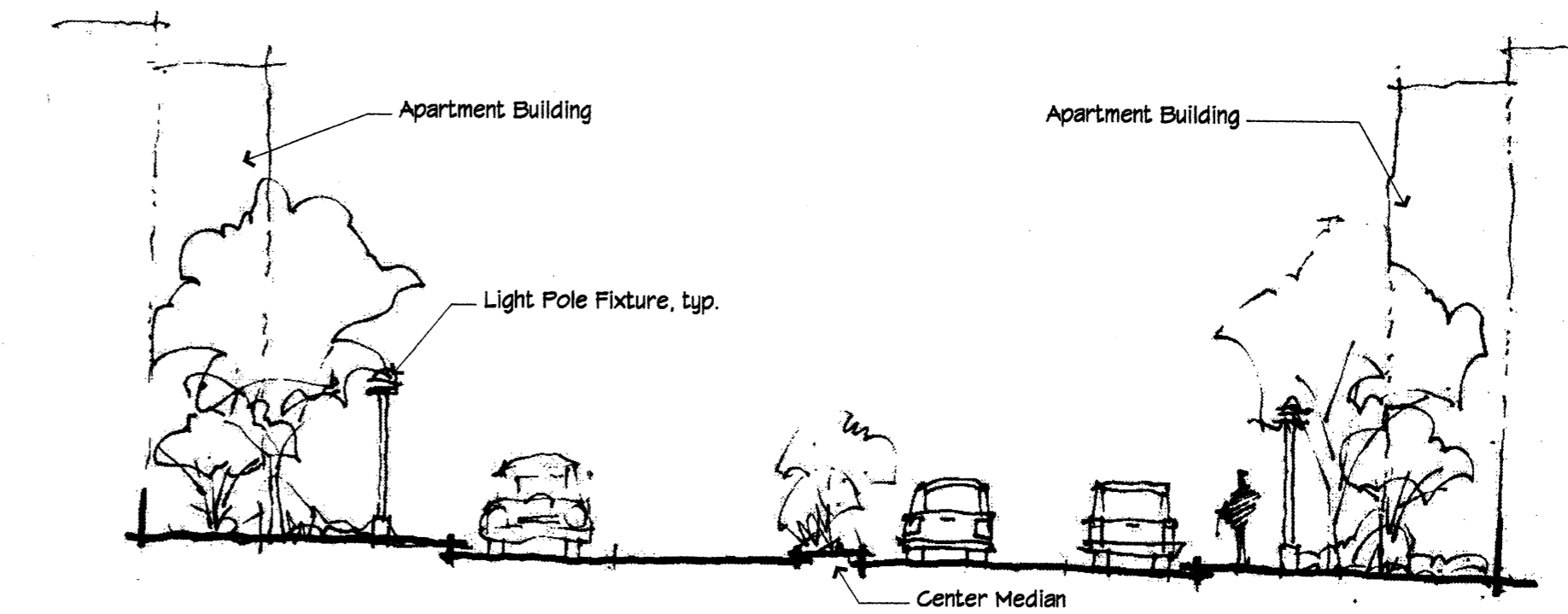
- A. TREE.
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

Concept Planting Bed

Trees

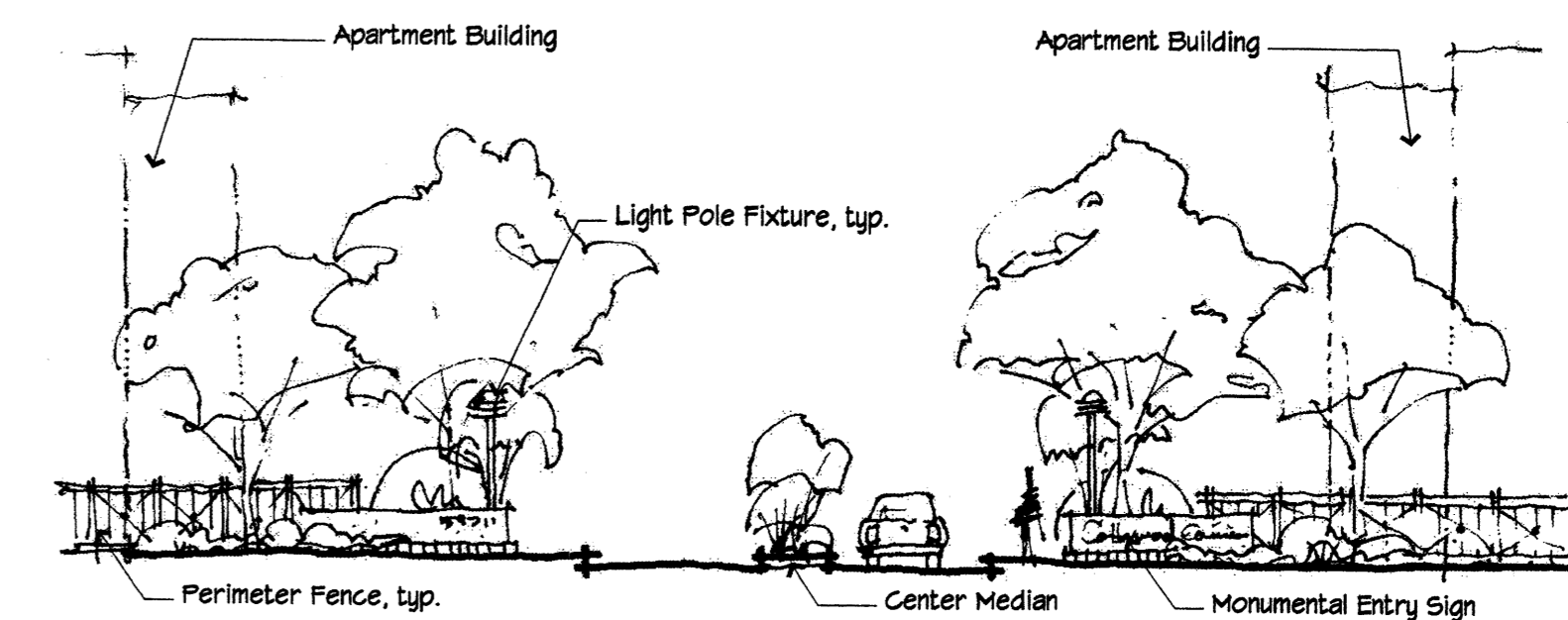


Concept Design at Ponding Area



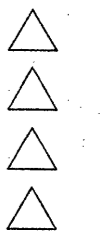
Concept Design at Main Drive

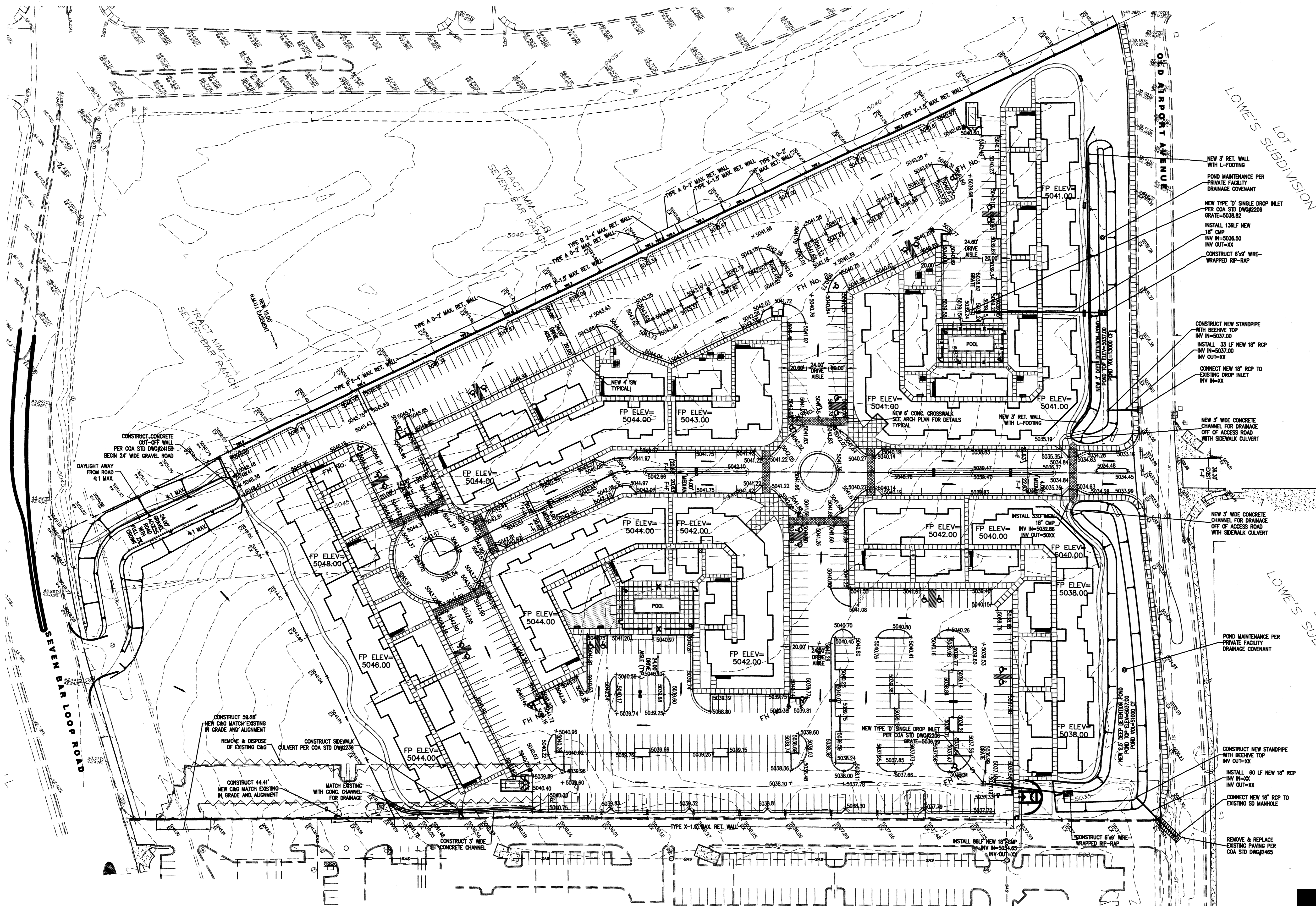
Reciprocal Access Easement



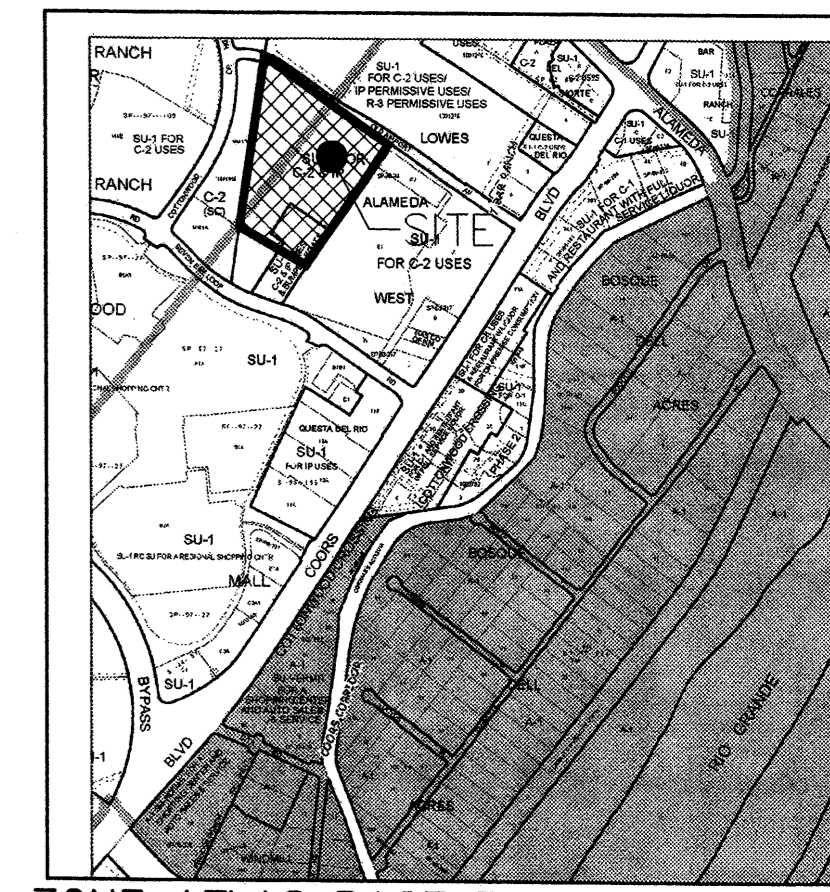
Concept Design Entrance

View from Old Airport Ave.





FIRM PANEL 35001C0109



ZONE ATLAS PAGE B-14-Z

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

Designed By:
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-3141 Fax (505) 892-3259

S.O. 19 REQUIREMENTS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

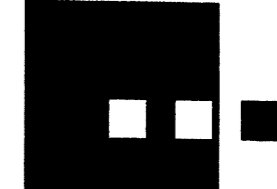
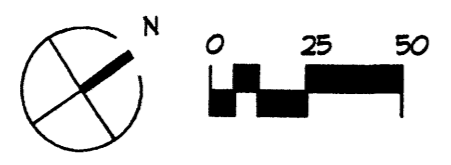
FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0109 DATED SEPTEMBER 20, 1996 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

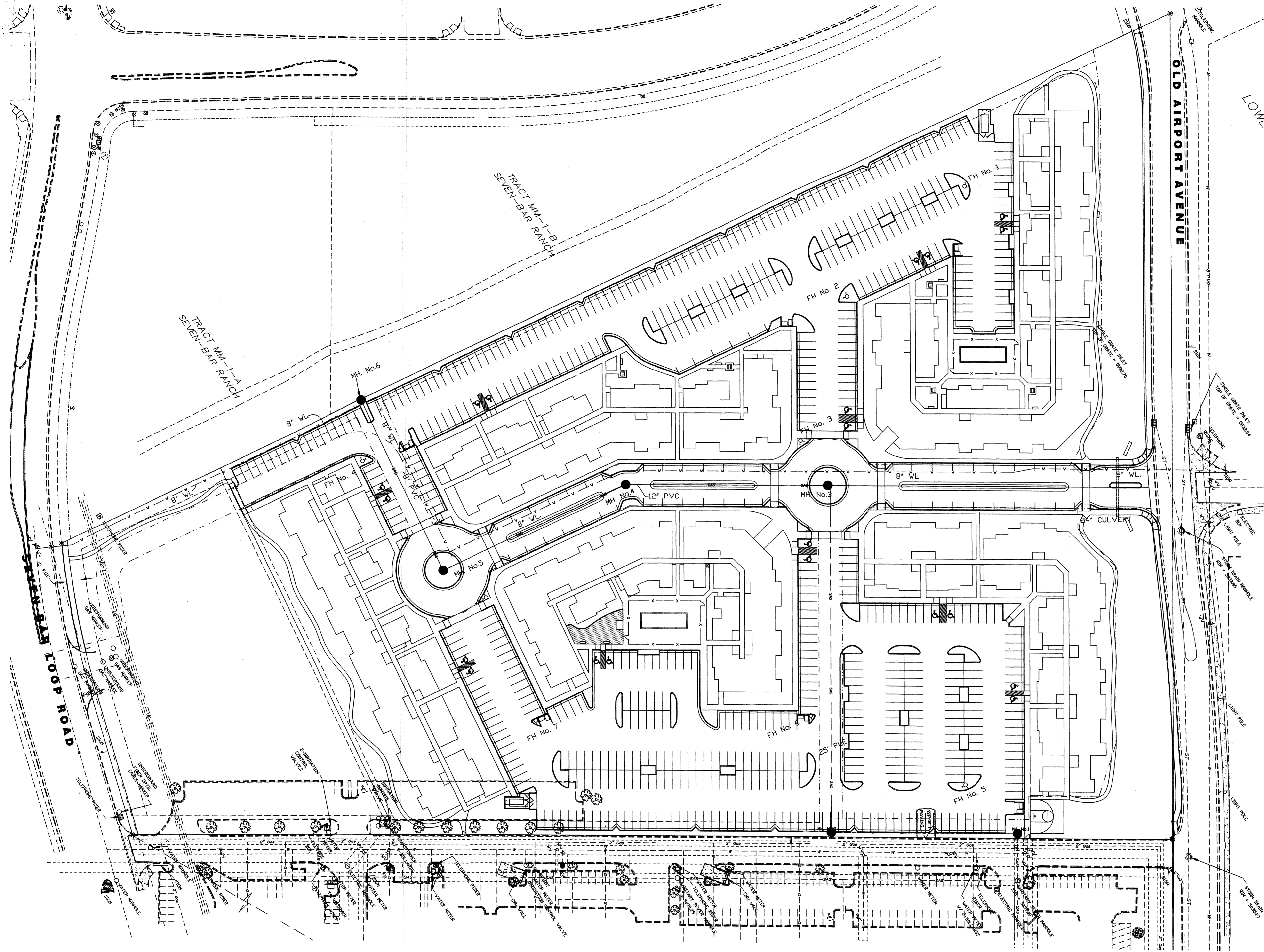
ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

GSL - Cottonwood
 Albuquerque, New Mexico



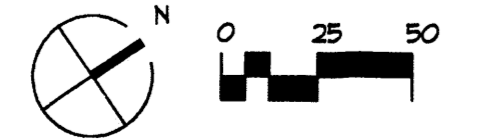
Dekker/Perich/Sabatini
 architecture ■ interiors ■ planning ■ engineering
 6801 Jefferson NE, Suite 100 Albuquerque, NM 87109
 505 761-9700 fax 761-4222



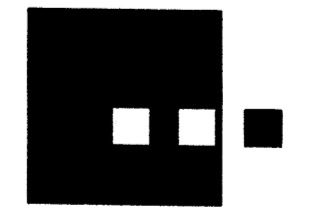
LEGEND

---	PROPERTY LINE
- - -	NEW EASEMENT
- SAS -	EXISTING SANITARY SEWER
- W -	EXISTING WATER LINE
- - -	EXISTING STORM DRAIN
□	EXISTING WATER METER
□	EXISTING CAP
⊗	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
- SAS -	PROPOSED SANITARY SEWER
- W -	PROPOSED WATER LINE
⊗	PROPOSED VALVE
⊕	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
*	PROPOSED STREET LIGHT

GSL - Cottonwood
 Albuquerque, New Mexico
 NOVEMBER 4, 2005



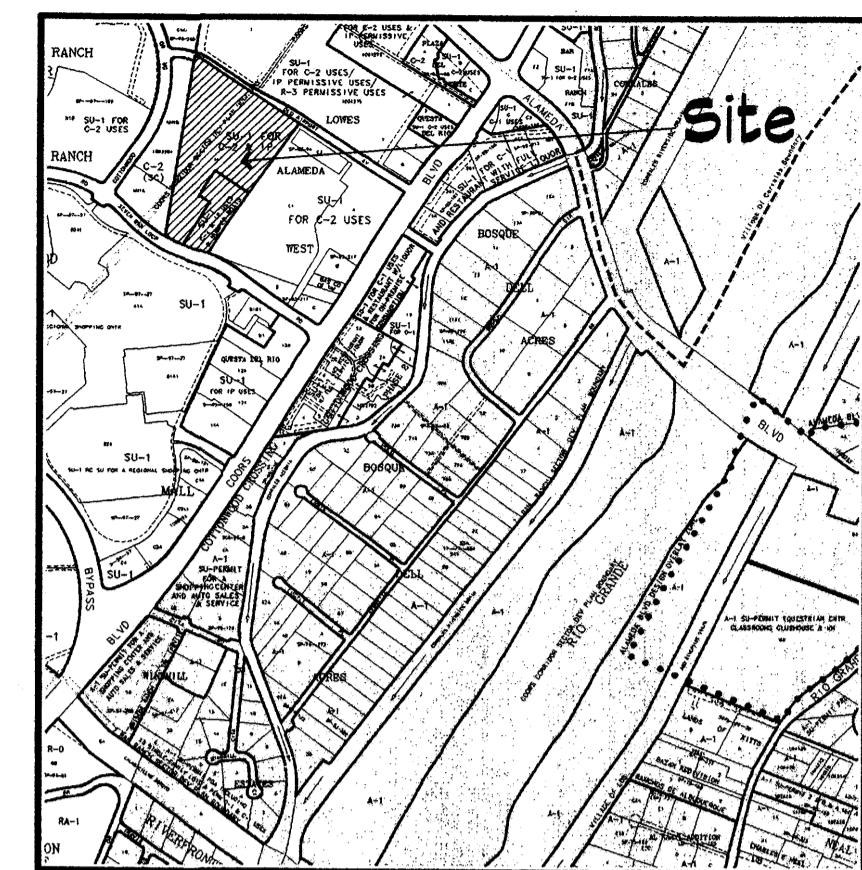
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 6801 Jefferson NE, Suite 100
 Albuquerque, NM 87109

AND PLANS CHECKING OFFICE
 926-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 R.C. JAMES 11/30/05
 ENGINEER & PAUSE

Vicinity Map
B-14-Z



Parking

Per EPC approved Site Development Plan for Subdivision. Parking shall be in accordance with the Albuquerque Comprehensive City Zoning Code section 14-18-3-1 (A)(24)(b). For each dwelling unit with net leasable area of less than 1000 SF, one space per bath but not less than 1.5 spaces per unit.

Tract 1	Unit type / size	Qty.	Space Factor	# Spaces
	1BR/1BA (575 SF)	60	1.5	90
	2BR/1BA (855 SF)	60	1.5	90
	2BR/2BA (842 SF)	65	2.0	130
	Clubhouse (1664 SF)	1	1 per 200 SF	5
			Subtotal:	314

10% Transit Reduction per 14-16-3-1 (C)(6)(a): (32)
Total Required Parking: 287

Designated Disabled Parking incl. Van-accessible (NMAC Table 1106.1) 8 1

Tract 2	Unit type / size	Qty.	Space Factor	# Spaces
	1BR/1BA (575 SF)	46	1.5	69
	1BR/1BA (650 SF)	62	1.5	93
	2BR/1BA (855 SF)	42	1.5	63
	2BR/2BA (450 SF)	63	2.0	126
	2BR/2BA (1100 SF)	36	2.0	72
	Clubhouse (1664 SF)	1	1 per 200 SF	5
			Subtotal:	432

10% Transit Reduction per 14-16-3-1 (C)(6)(a): (43)
Total Required Parking: 389

Designated Disabled Parking incl. Van-accessible (NMAC Table 1106.1) 12 2

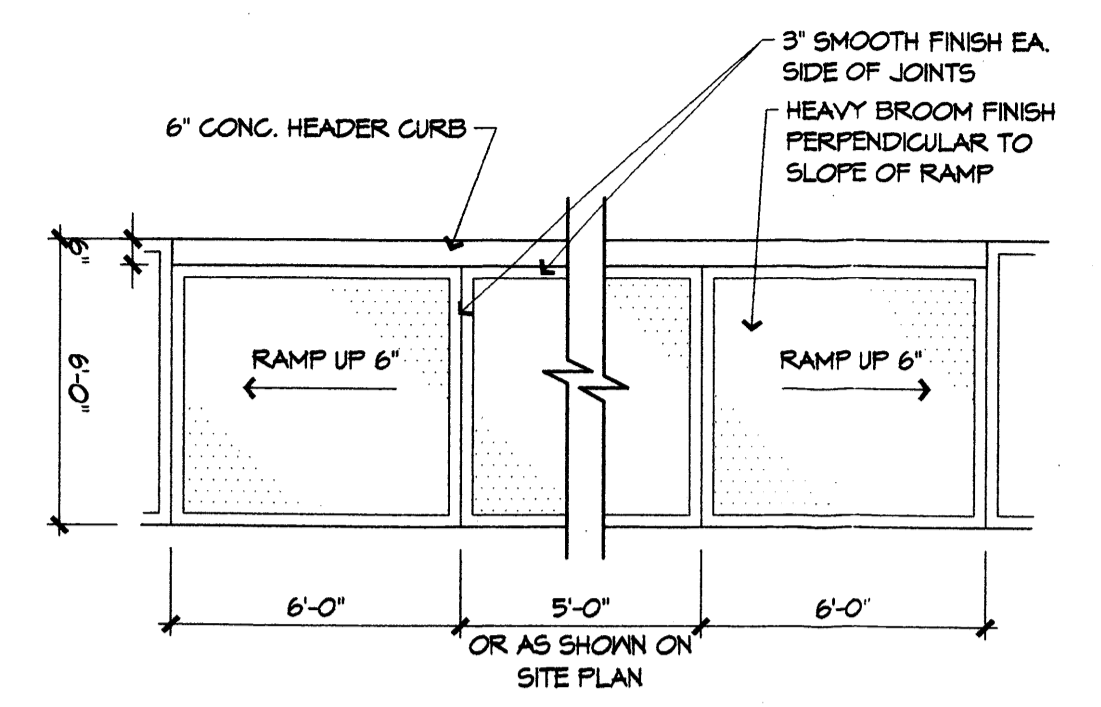
Description

Legal Description: Tract H, Seven Bar Ranch Subdivision

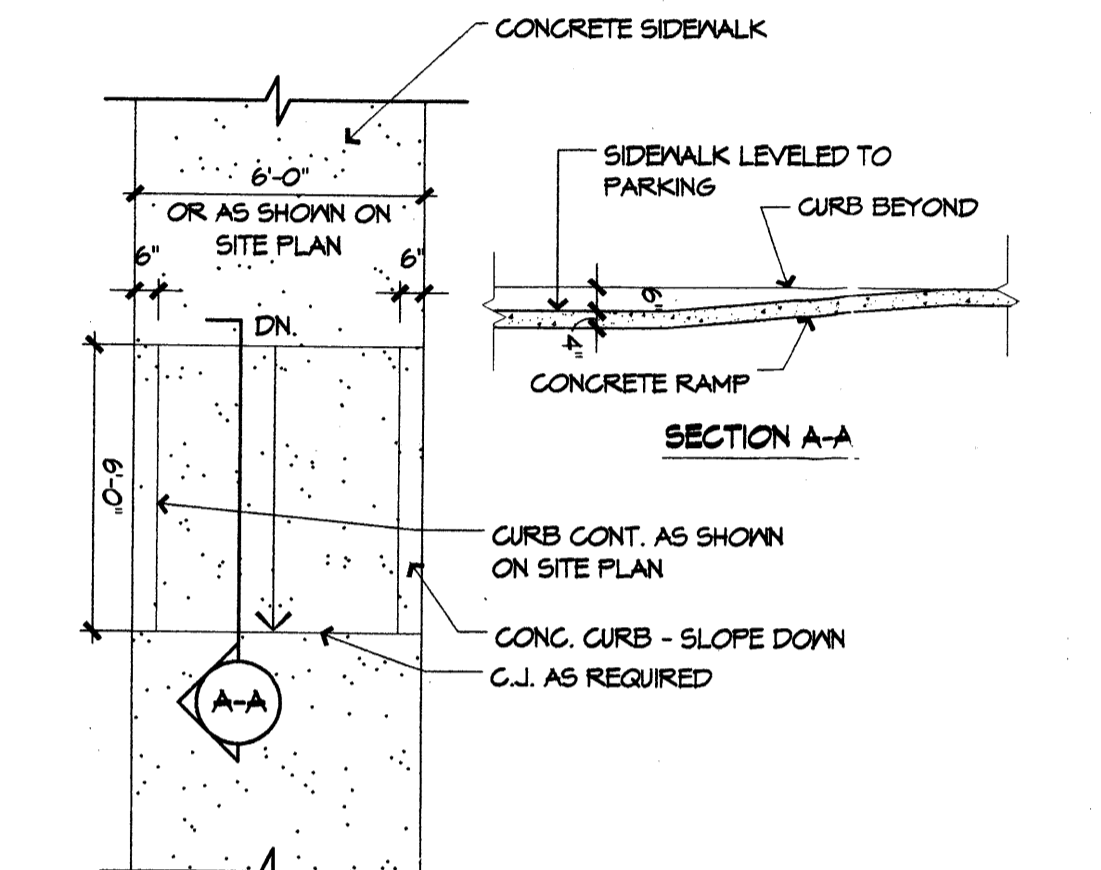
Type of Development: Apartments

Size of Development:

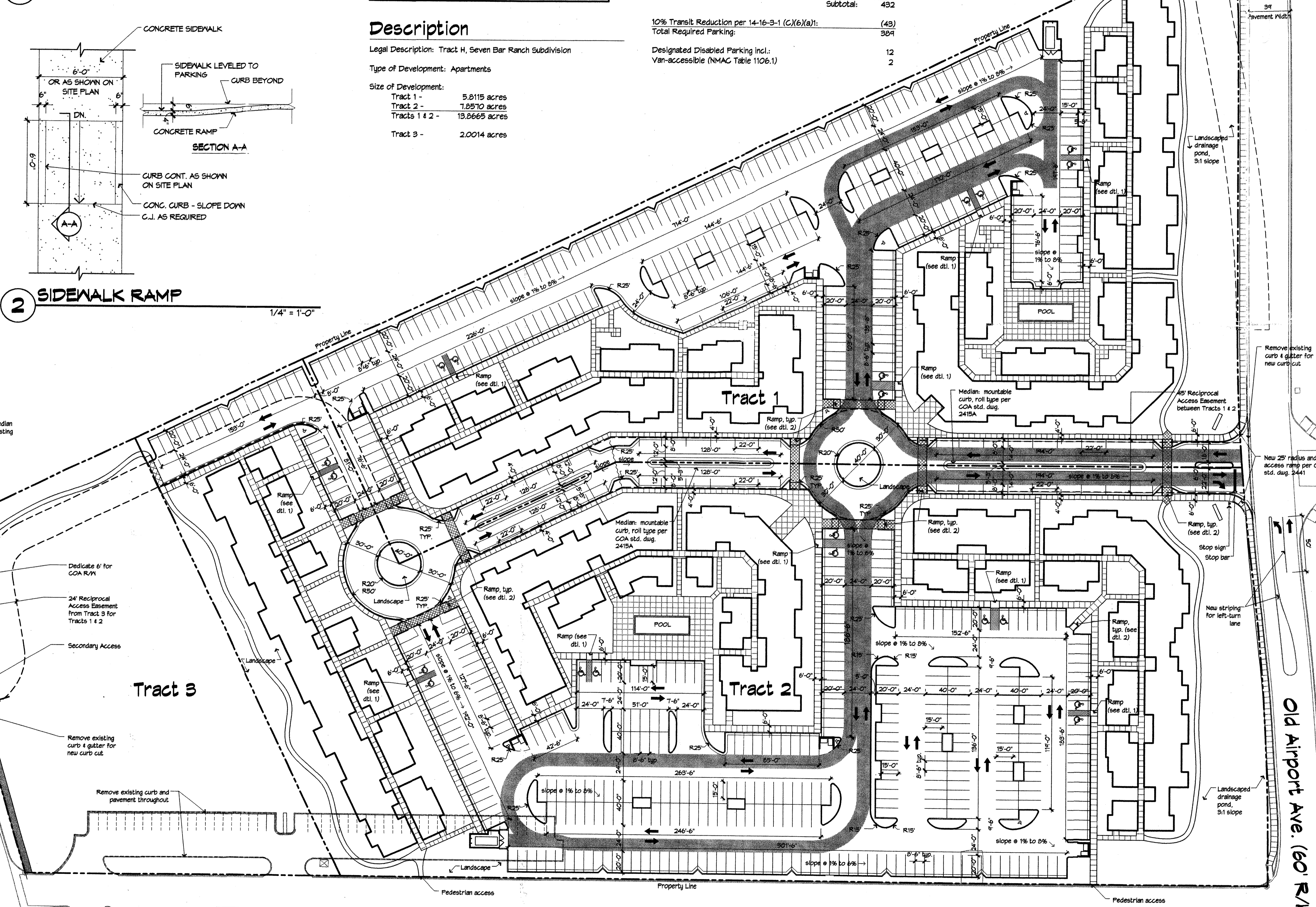
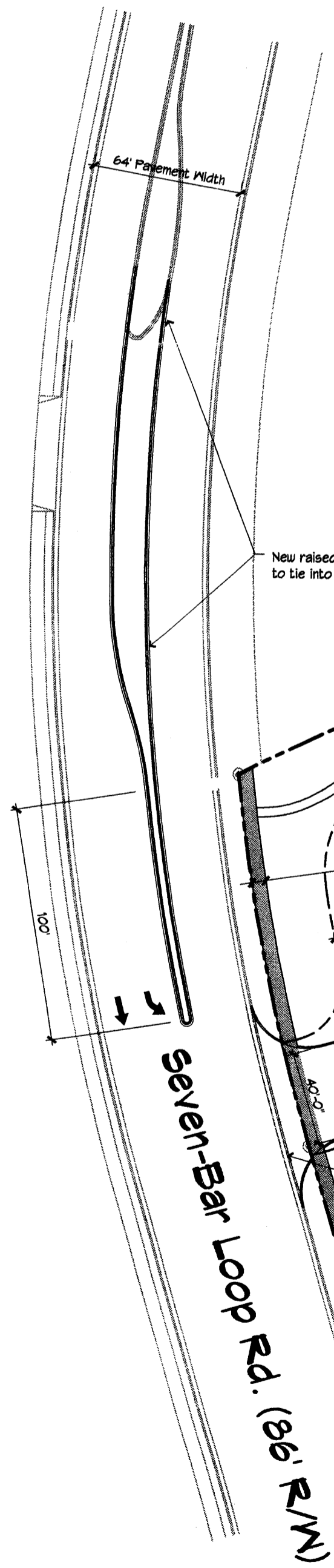
Tract 1 -	5.8115 acres
Tract 2 -	7.8510 acres
Tracts 1 & 2 -	13.6665 acres
Tract 3 -	2.0014 acres



1 CURB ACCESS RAMP
1/4" = 1'-0"



2 SIDEWALK RAMP
1/4" = 1'-0"



Traffic Circulation Plan
1" = 50'-0"

Legend

- R25' R15' Landscaped Parking Aisle Island w/ 25' radius, typ. - conc. header curb COA std. diag. 2415B
- R2' R2' Landscaped Parking Aisle Island w/ 15' radii, typ. - conc. header curb COA std. diag. 2415B
- R15' R15' Landscaped Parking Aisle Island w/ 15' radii, typ. - conc. header curb COA std. diag. 2415B
- 17'-0" Landscaped Parking Aisle Planter for Compact Spaces, typ. - conc. header curb COA std. diag. 2415B
- 8'-6" 5'-0" Accessible Parking Space for Car; 5'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- 8'-6" 8'-0" Accessible Parking Space for Van; 8'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- Refuse Container Enclosure (no truck access req.)
- Compactor (truck access req.)
- Proposed Sidewalk, typ.
- Stamped concrete paving, typ. Pattern to be selected by Owner
- Proposed Curbside Pedestrian Trail, typ.
- Path of Travel - Solid Waste Vehicle
- Property Boundary
- New Apartment Building, typ.
- Demo
- Existing
- New Standard Concrete Curb & Gutter per COA std. det. 2415A
- New Mountable Concrete Curb & Gutter per COA std. det. 2415A
- New Concrete Header Curb per COA std. det. 2415B
- Fire Lane - Paint curb red
- New Fire Hydrant
- Direction of Traffic Flow

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] 10/21/05
Data