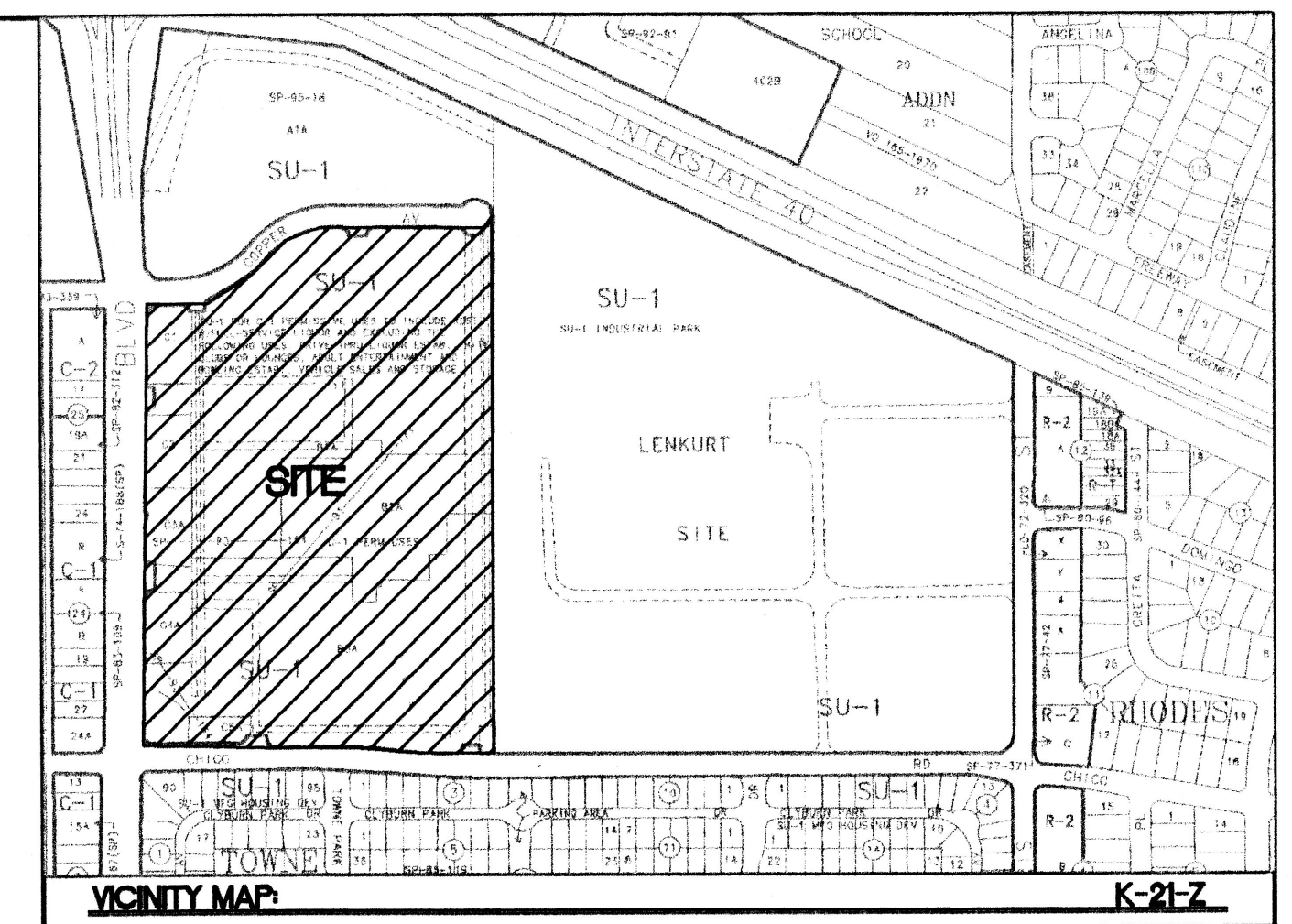


**FUTURE DEVELOPMENT
BY OTHERS**



VICINITY MAP: K-21-Z
LEGAL DESCRIPTION: TRACT B-3A LENKURT SITE

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	157,840 SF
PARKING REQUIRED W/EXPANSION:	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION:	151 SPACES
NEW PARKING PROVIDED:	154 SPACES
TOTAL PARKING PROVIDED IN BACK:	121 SPACES
TOTAL PARKING PROVIDED ON SIDES:	46 SPACES
TOTAL PARKING PROVIDED IN FRONT:	516 SPACES
TOTAL PARKING PROVIDED:	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES 2 SPACES VAN ACCESSIBLE

SHOPPING CENTER PARKING RATIO			
	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,512 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

GENERAL NOTES:
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

PROJECT # 1000317
CASE NUMBER: Z-00128-00000-00291 AND Z-00-12

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on January 28, 2008 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	<u>7-19-00</u> Date
Director, E. Cuddeback Parks & General Services Department	<u>7-19-00</u> Date
Roger A. Khan Public Works, Water Utilities Division	<u>7-19-00</u> Date
Tommy D. Mc... City Engineer, Engineering Division / AMAFCA	<u>1/19/01</u> Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	<u>1/22/01</u> Date
City Planner, Albuquerque / Bernalillo County Planning Division	<u>12-12-00</u> Date
Sharon Sue B... Solid Waste	<u>12-12-00</u> Date

PLNZ (10706) 4/96

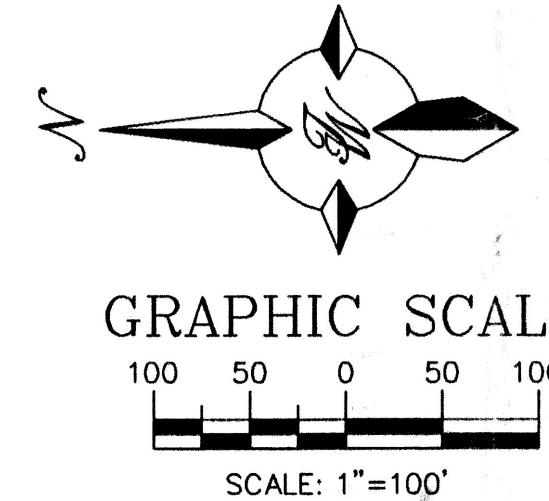
EXISTING PARKING DATA (from approved site plan Z-90-21-2)

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
TOTAL	328,957	1645	1956
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
TOTAL	349,642	1748	1999
OVERALL RATIO W/EXPANSIONS:			5.72

* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

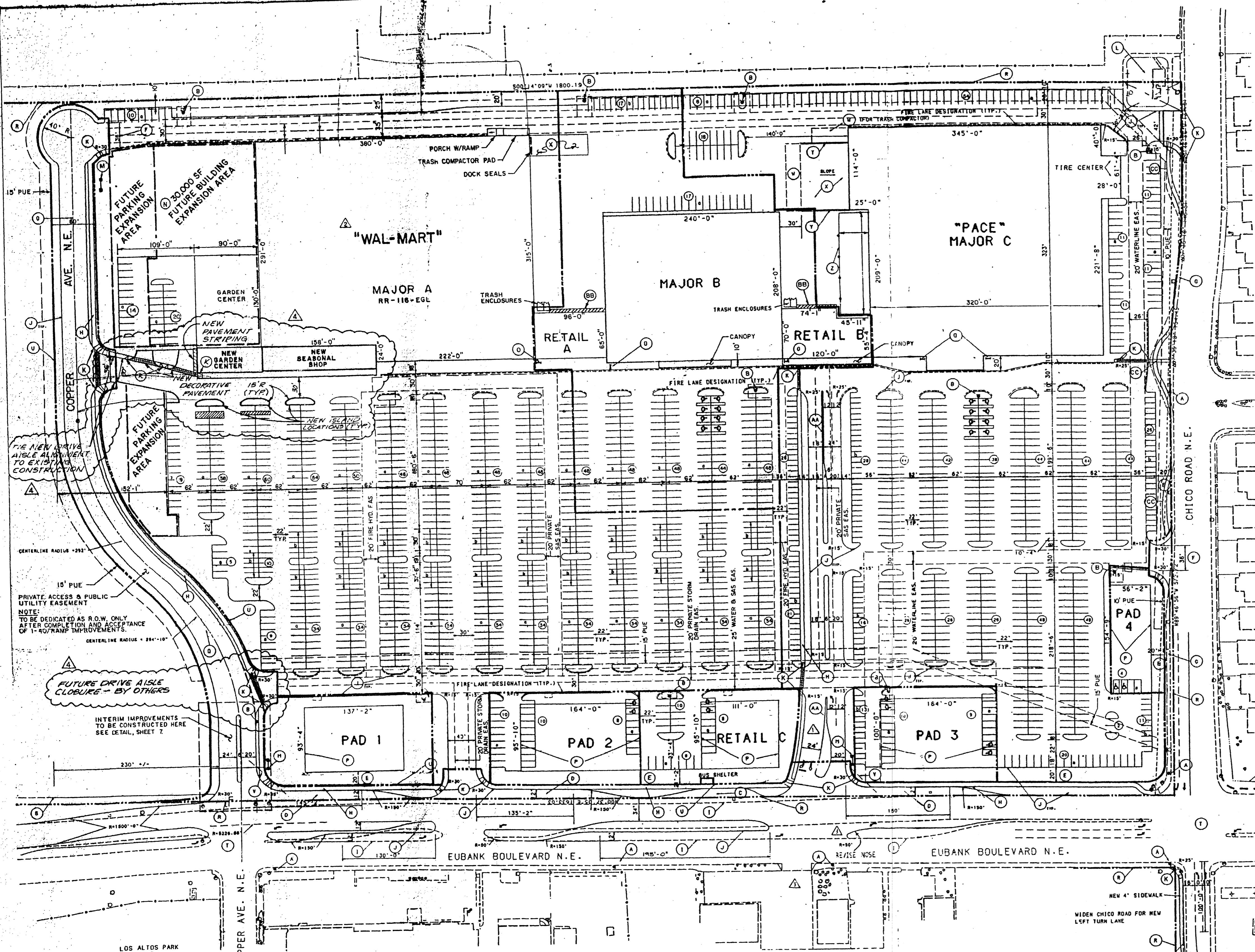
SHEET INDEX

- TOWN PARK PLAZA**
1. AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
 2. APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
 3. SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
 4. LANDSCAPING PLAN
 5. MASTER UTILITY PLAN
 6. GRADING AND DRAINAGE PLAN
 7. BUILDING ELEVATIONS
- 501 MORRIS**
8. AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
 9. APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
10. SITE PLAN FOR BUILDING PERMIT
 11. GRADING AND DRAINAGE PLAN
 12. ELEVATIONS



	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION	DRAWN BY BDG
	AMENDED SITE PLAN FOR SUBDIVISION	DATE 7-07-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	9929SPS.DWG
		SHEET # 1
		JOB # 990029

PROJECT 1000317



KEYED NOTES

- (A) EXISTING FIRE HYDRANT
- (B) NEW FIRE HYDRANT
- (C) NEW BUS BAY
- (D) NEW RIGHT TURN LANE
- (E) 20'-0" MINIMUM LANDSCAPE BUFFER STRIP
- (F) TRUCK SERVICE ENTRANCE
- (G) EXISTING 4' SIDEWALK
- (H) NEW 6' SIDEWALK
- (I) EXISTING CURB AND OUTER
- (J) NEW CURB AND OUTER
- (K) NEW HANDICAP RAMP
- (L) ELECTRICAL SUBSTATION AND EASEMENT
- (M) PROJECT SIGN - NOT TO BE CONSTRUCTED WITHIN THE CLEAR SITE TRIANGLE (KEYED NOTE V) - SEE SIGN DETAIL - ELEVATION SHEET. SIGN SIZES TO BE AS FOLLOWS:
ONE SIGN WITH A MAXIMUM SIGN FACE OF 75 SQUARE FEET
ONE SIGN WITH A MAXIMUM SIGN FACE OF 100 SQUARE FEET
ONE SIGN WITH A MAXIMUM SIGN FACE OF 200 SQUARE FEET
SIGNS SHALL BE LIMITED TO 2 SIGNS ON EUBANK AND ONE SIGN ON COPPER
- (N) 30,000 SQUARE FOOT POSSIBLE EXPANSION
- (O) BIKE RACK
- (P) PAD ENVELOPE
- (Q) CENTERLINE
- (R) PROPERTY LINE
- (S) NEW 8'-0" ASPHALT BIKE PATH TO EXTEND TO END OF EXISTING BIKE PATH - APPROXIMATELY 230'-0" TO THE NORTH (INCLUDING 12' EASEMENT)
- (T) MODIFIED TRAFFIC SIGNAL THIS INTERSECTION
- (U) NEW ROADWAY EASEMENT CONFIGURATION
- (V) CLEAR SITE TRIANGLE
- (W) CONCRETE PAD
- (X) TRUCK ROCK
- (Y) RETAINING WALL
- (Z) FENCE
- (AA) "CHATTER CURB" THIS AREA - SEE DETAIL THIS SHEET.
- (AB) NO PARKING ZONE
- (AC) MEANDERING SIDEWALK & EASEMENT

SITE DATA

LOCATION: Development is located at northeast corner of Chico Rd., N.E. and Eubank Blvd., N.E., Albuquerque, New Mexico.

DEVELOPERS: Cambridge Properties, Inc. 4021 First Alliance Highway, Concord, California, 94524

ARCHITECTS: Skidmore, Inc. 200 Union Blvd., Suite 440 Lakewood, Colorado, 80228

CIVIL ENGINEERS & LANDSCAPE ARCHITECTS: Bohannon Huston, Inc. 7500 Jefferson St., N.E. Albuquerque, New Mexico, 87109

LEGAL DESCRIPTION: A tract of land situated within the City of Albuquerque, Bernalillo County, New Mexico, and tract being also within the West 1/2 of the West 1/2 of Section 21, T10N, R1E, N.M.P.M., and also known as the Lantieri site.

ZONING: SU-1 for C-1 general use to include restaurant with full service liquor and including the following uses: drive-through liquor establishments, night club or lounge, adult entertainment establishments, and vehicle sales and storage.

ZONE ATLAS PAGE: K-21-2

TOTAL ACRES: 31.5 Acres

TOTAL BUILDING AREA: 330,957 sq. ft.

FLOOR AREA RATIO: 0.25 (Maximum) (343,035 sq. ft.)

TOTAL PARKING AND LANDSCAPE AREA: 1,052,778 sq. ft.

TOTAL LANDSCAPE AREA: 208,229 sq. ft.

PROPORTION OF LANDSCAPE AREA TO: Site area 1.25% Paved area 2.5%

LANDSCAPE AREA: Site Area 131.5 Acres 1,372,140 sq. ft. Paved Area 11.1 Acres 1,225,600 sq. ft. Landscaped Within R.O.M. 8,427 sq. ft.

CALCULATIONS: Area to be landscaped 1,039,112 sq. ft. 1.15% Landscape Area Required 155,717 sq. ft. Landscape Area Provided 208,229 sq. ft.

- APPROVED AS AMENDED**
1. ADDED SEASONAL SHOP, GARDEN CENTER AND DRIVE AISLE MODIFICATIONS.
 2. ADDED NOTE FOR DRIVE AISLE CLOSURE - NW CORNER OF SITE.
 3. AMENDED PARKING QUANTITY CHART AND BUILDING SQUARE FOOTAGE DATA.

PLANNING DEPT.	DATE
TRANSPORTATION DEVELOPMENT	DATE
UTILITY DEVELOPMENT	DATE
CITY ENGINEER	DATE
C.I.R.	DATE

PARKING ANALYSIS

BUILDING SIZE	PARKING REQUIRED BY TENANT	PARKING PROVIDED
MAJOR A 120,643	592	644-921
MAJOR B 42,920	299	702
MAJOR C 24,240	687	0
RETAIL A 6,240	37 (23)	0
RETAIL B 8,000	60 (23)	130
RETAIL C 28,500	171 (23)	0
PADS 1-4 374,500	1952	4979-1956
OVERALL RATIO	6:1	5.09:1
		6.05:1

(1) DATA MAJOR A EXPANSION 360,957 1961 4684-SPACES PROVIDED 5.49:1

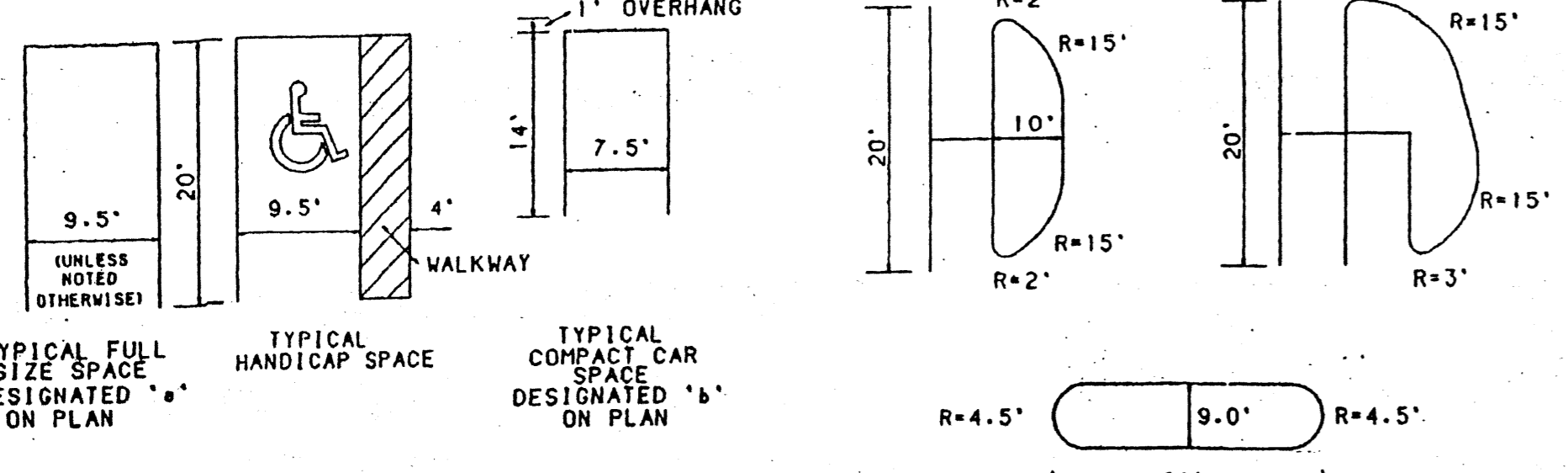
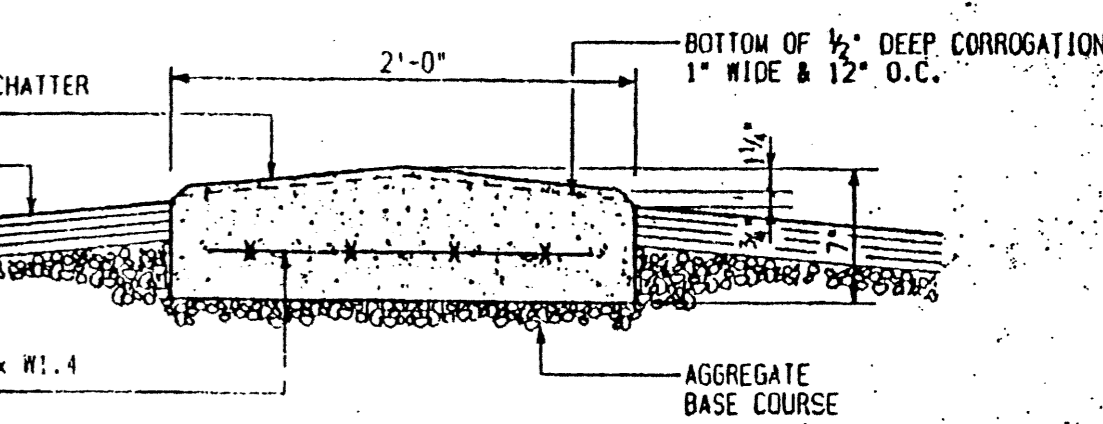
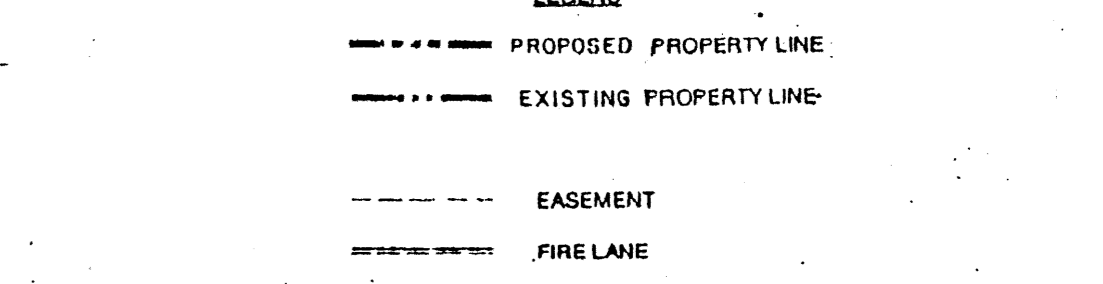
(2) DATA MAJOR B EXPANSION 343,035 1961 4684-SPACES PROVIDED 5.78:1

(3) DATA MAJOR C EXPANSION 330,957 1961 4684-SPACES PROVIDED 5.11

(4) DATA MAJOR D EXPANSION 308,900 1961 4684-SPACES PROVIDED 5.11

(23) Spaces included with Space for Garden Center (6641+114,800 sq. ft.)

* REFLECTS 5350 S.F. SEASONAL SHOP AND GARDEN CENTER ADDITION: 10/98 ADMINISTRATIVE AMENDMENT



CASE NUMBER Z-90-21-2

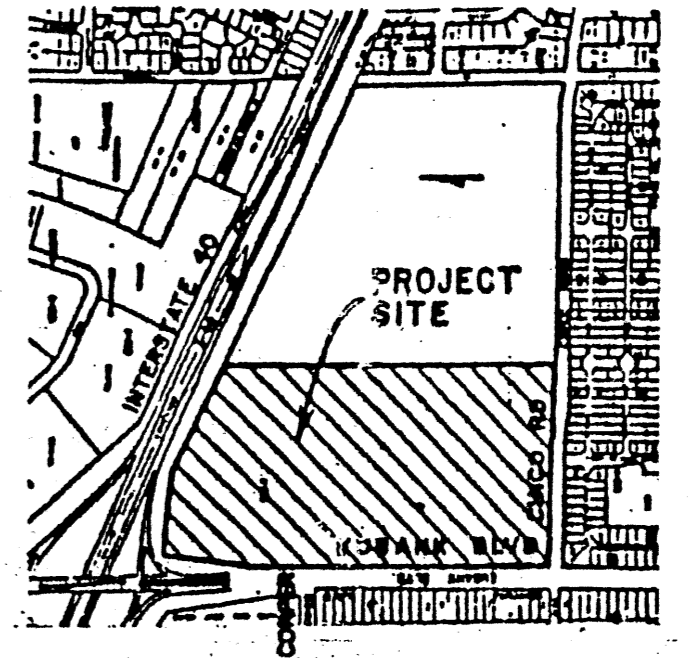
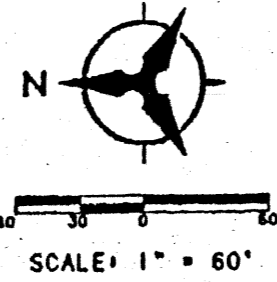
I certify that this case is under SU-1 for C-1 limited use and restaurant serving liquor and that this plan is in accordance with the specific Site Development Plan approved by the Environmental Planning Commission, E.P.C. on September 20, 1990, and that the findings in the Official Notice of Decision have been complied with.

SITE DEVELOPMENT PLAN
Jack Claw 12-5-91 DATE
 PLANNING DIRECTOR
Robert W. Kane 11-6-91 DATE
 CITY OF ALB. UTILITIES DEVELOPMENT DIVISION

TRANSPORTATION DEVELOPMENT
Frank J. Lopez 10-22-91 DATE
 CITY ENGINEER - TRANSPORTATION

REVISIONS
Don M. Stone 10-22-91 DATE
 PARKS AND RECREATION DEPARTMENT

TOWNE PARK PLAZA SITE DEVELOPMENT PLAN



VICINITY MAP

NO SCALE

ZONE MAP E-21

12/98	WAL-MART EXPANSION - ADDED SEASONAL SHOP & GARDEN CENTER	RLB
4-21-91	DELETE ALLEY AND RELATED IMPROVEMENTS	RLB
10-15-91	WAL-MART STORE REVISIONS	RLB
11-19-91	ENTRANCE REVISION	HBM
04-04-92	REVISIONS	RLB

Job Title: TOWNE PARK PLAZA ALBUQUERQUE, NEW MEXICO

Job no: 91114.03, 91282.41

Sheet Title: DIMENSIONED SITE PLAN

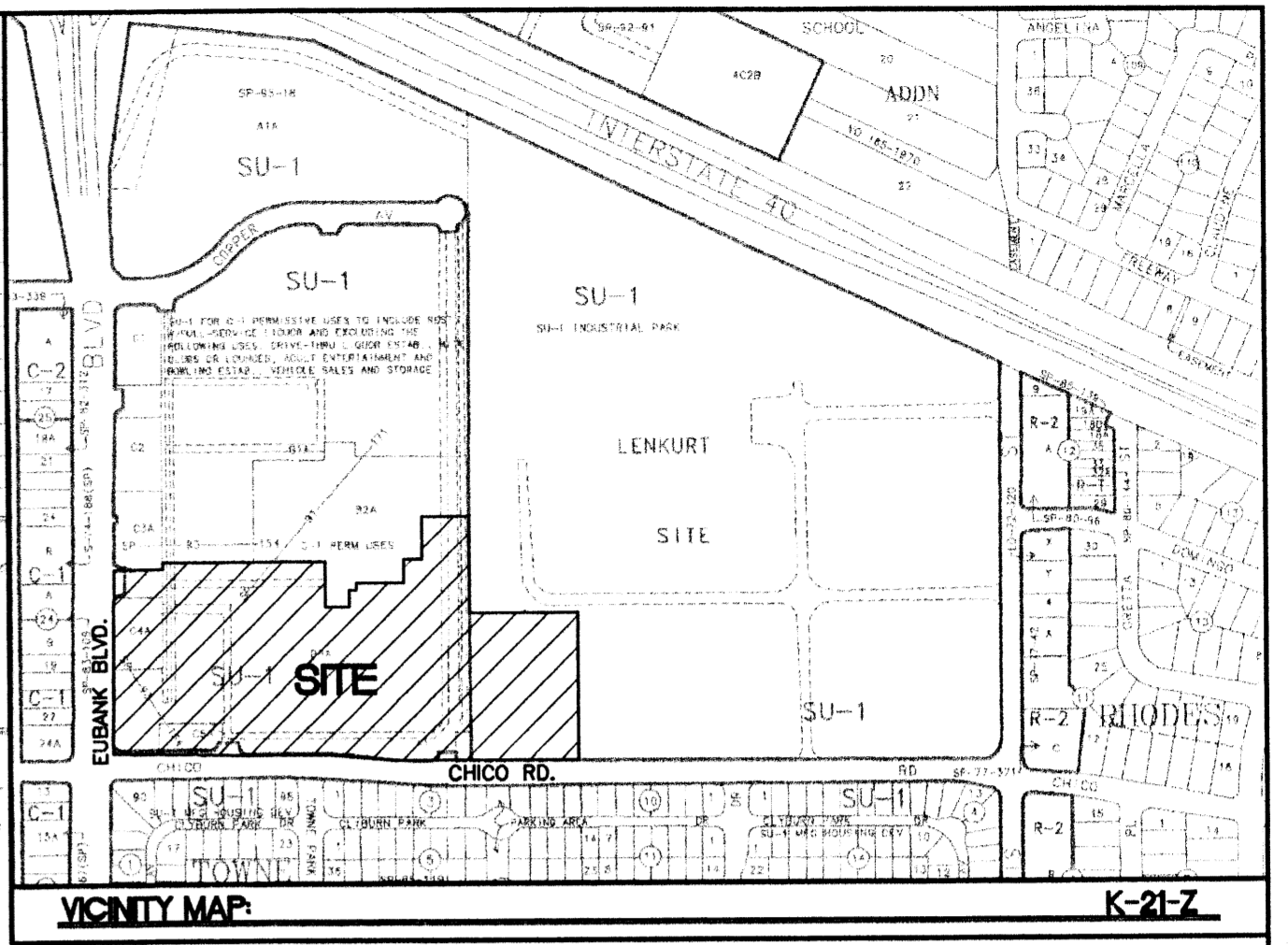
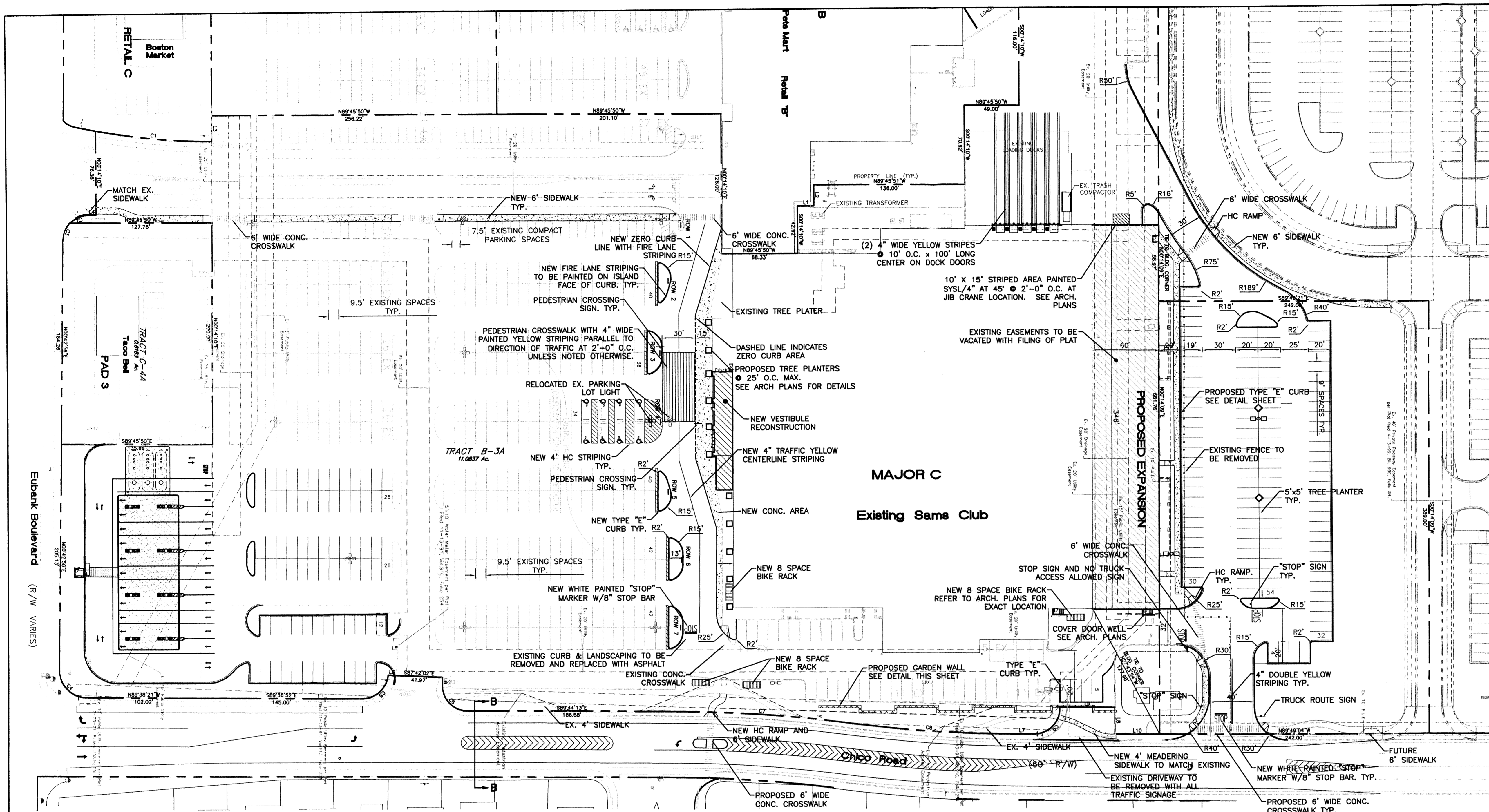
Sheet no: 1/2

DATE: 3/26/91

BY: PMW

CHECKED: RLB

BOHANNAN HUSTON INC. COURTYARD 1 7500 JEFFERSON N.E. ALBUQUERQUE, N.M. 87109



LEGAL DESCRIPTION:
TRACT B-3A TOWNE PARK PLAZA AND LOT 4 LENKURT PROPERTIES

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	
EXISTING BUILDING:	114,329 SF
PROPOSED BUILDING EXPANSION:	21,758 SF
TOTAL BUILDING AREA:	136,087 SF
PARKING REQUIRED W/EXPANSION:	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION:	151 SPACES
NEW PARKING PROVIDED:	154 SPACES
TOTAL PARKING PROVIDED IN BACK:	121 SPACES
TOTAL PARKING PROVIDED ON SIDES:	46 SPACES
TOTAL PARKING PROVIDED IN FRONT:	516 SPACES
TOTAL PARKING PROVIDED:	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	2 SPACES VAN ACCESSIBLE

- GENERAL NOTES:**
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - SEE SHEET 8 FOR THE PROPOSED EASEMENTS.
 - SEE SHEET 3 FOR THE PAVING SECTION LOCATIONS AND DETAILS.
 - THE SETBACKS ARE PER THE APPROVAL SITE PLAN FOR BUILDING PERMIT.

SHOPPING CENTER PARKING RATIO

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	136,087 SF	5.02
EXISTING SAM'S CLUB	702	114,329 SF	6.14

LEGEND

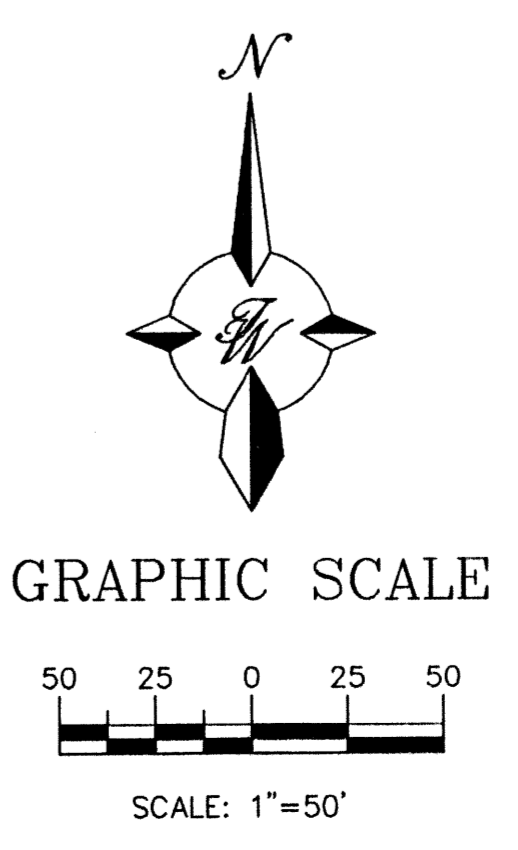
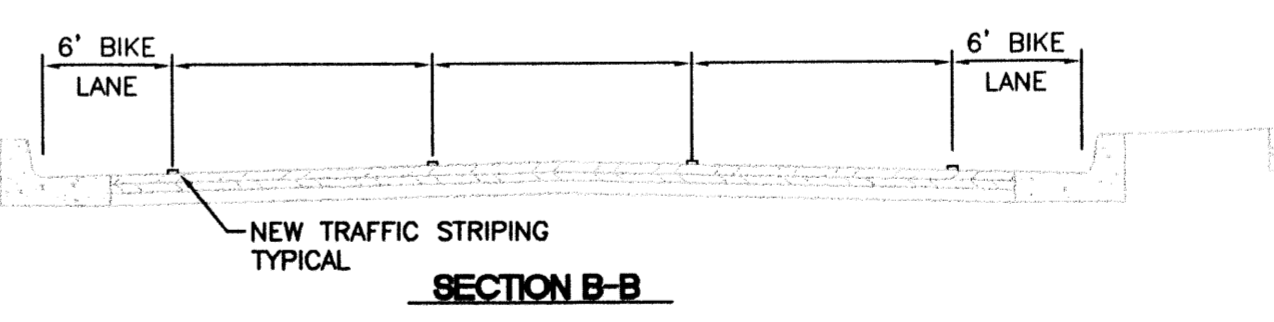
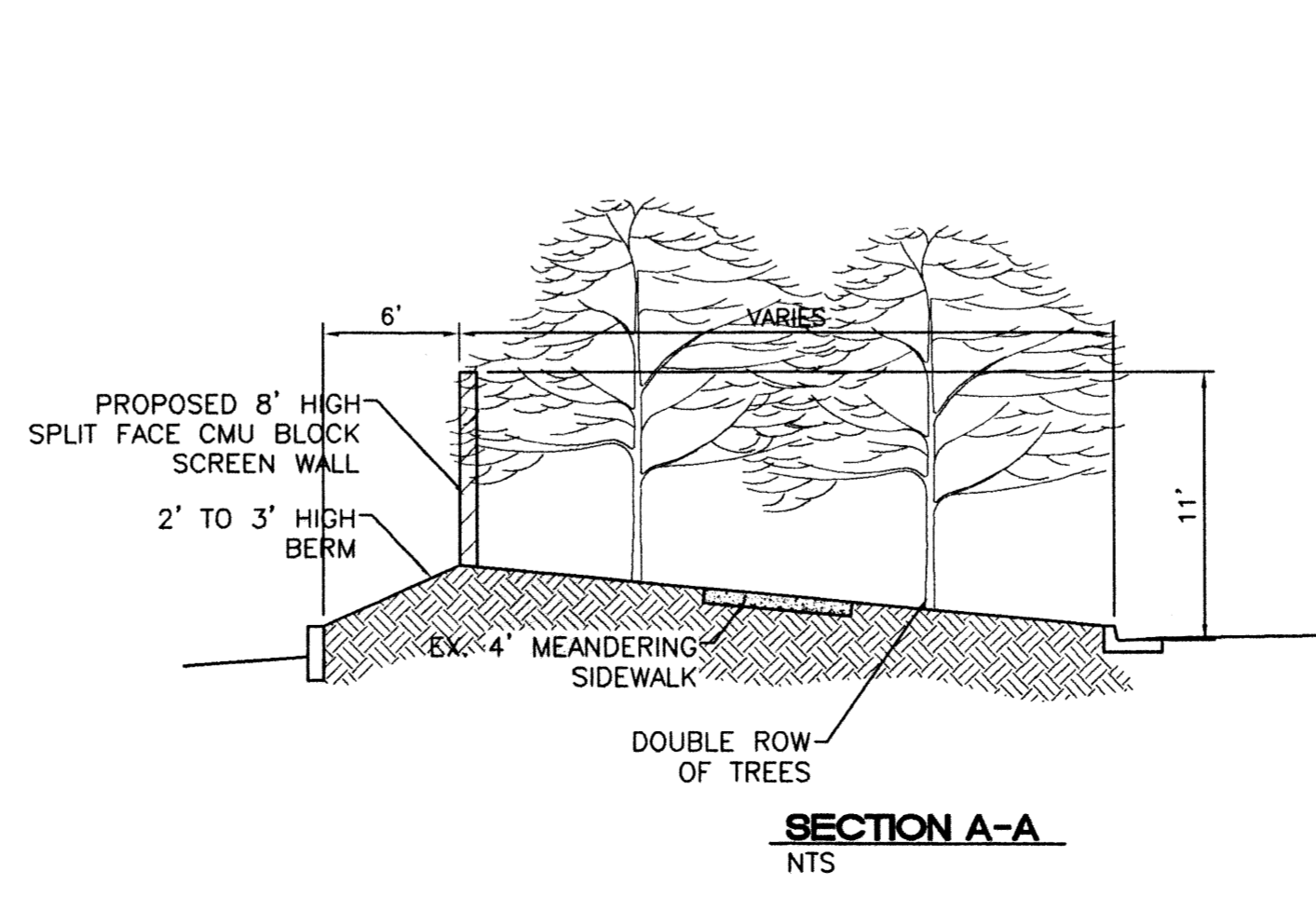
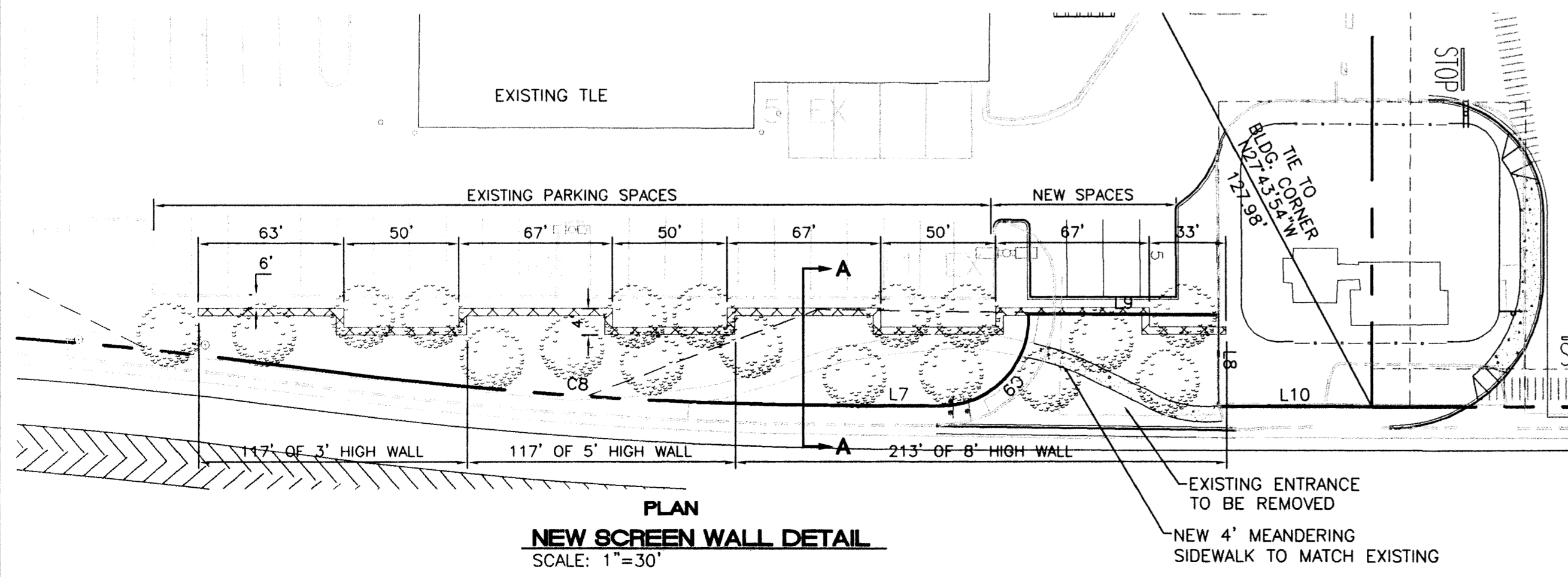
- EXISTING CURB
- - - EASEMENT
- - - FUTURE IMPROVEMENTS
- ▬ EXISTING BUILDING
- ▬ PROPOSED EXPANSION
- ▬ PROPOSED CURB
- ▬ BOUNDARY LINE
- ▬ PROPOSED SIDEWALK
- ▬ PROPOSED CONC. CROSSWALK
- ▬ EXISTING CART CORRALS
- ▬ EXISTING PARKING LOT LIGHT
- ▬ PROPOSED PARKING LOT LIGHT

LINE TABLE

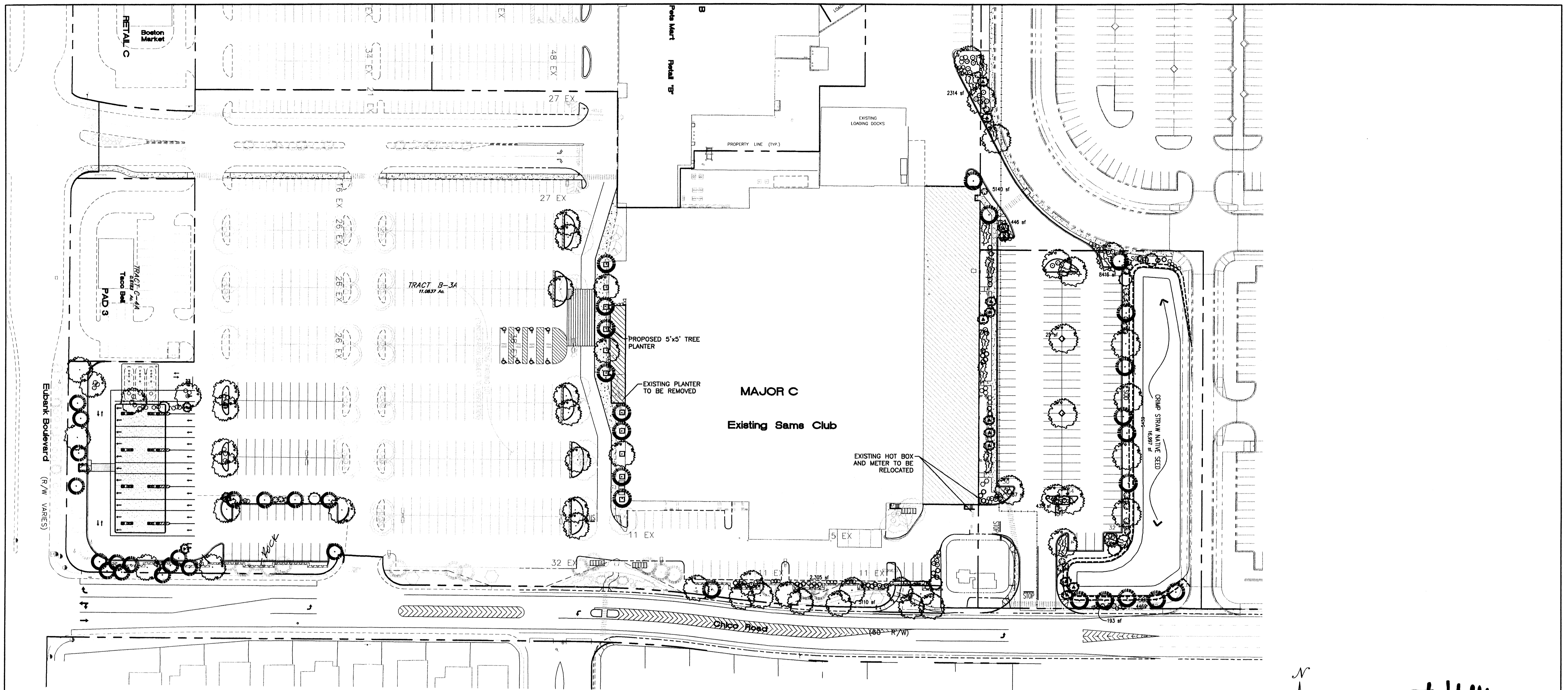
LINE	LENGTH	BEARING
L1	14.67	N89°45'50"W
L2	19.17	S00°14'10"W
L3	23.49	S00°14'10"W
L4	6.99	N89°45'50"W
L5	6.93	S87°42'02"E
L6	7.65	S00°14'24"W
L7	21.50	S89°35'52"E
L8	24.03	S00°14'10"W
L9	49.50	S89°43'13"E
L10	39.90	N89°49'04"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	104.74	574.46	52.52	10°26'48"	S84°20'51"E	104.60
C2	18.67	23.00	9.89	46°31'01"	S67°08'26"W	18.16
C3	17.39	23.00	9.14	43°19'46"	S22°13'02"W	16.98
C4	39.43	25.00	25.16	90°22'11"	S44°27'35"E	35.47
C5	34.40	23.00	21.33	85°41'01"	N47°32'37"E	31.28
C6	36.05	23.00	22.92	89°48'12"	S44°56'21"E	32.47
C7	154.50	1166.20	77.36	7°35'26"	N85°59'30"W	154.39
C8	146.50	1106.20	73.36	7°35'17"	S86°01'05"E	146.40
C9	37.58	23.00	24.50	93°36'35"	N43°38'24"E	33.54



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE SAM'S EXPANSION, NM: 6672	
DRAWN BY: BDG		DATE: 7-07-00	
PROJECT: 9929SPB-DC.DWG		SHEET #: 3	
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		JOB # 990029	

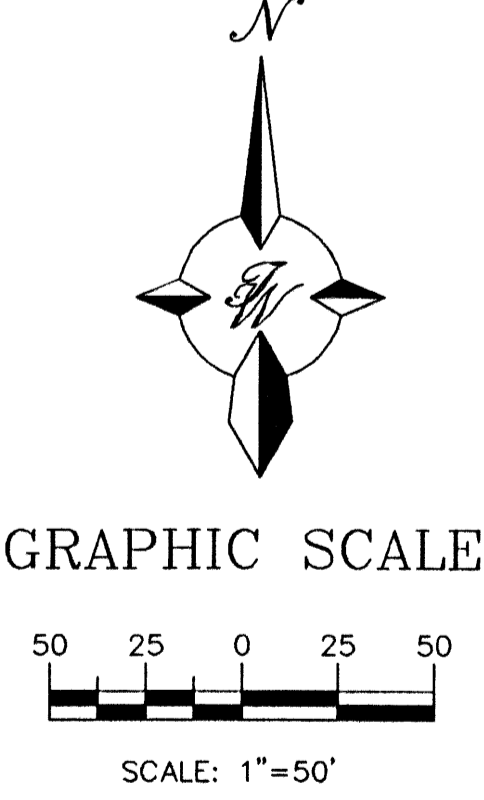


PLANT LEGEND

	ARIZONA ASH (H) 47 Fraxinus velutina 2" cal		EXISTING ASH		EXISTING SOD
	AUSTRIAN PINE (H) 31 Pinus nigra 6-8"		EXISTING CHINESE PISTACHE		3/4" GREY GRAVEL W/ FILTER FABRIC
	DESERT WILLOW (L) 12 Chilopsis linearis 15 gal		EXISTING REDBUD		NEW SOD
	NEW MEXICO OLIVE (M) 23 Forestiera neomexicana 15 gal		EXISTING BRADFORD PEAR		CRIMP STRAW NATIVE SEED
	BLUE MIST (M) 38 Coryopteris spp. 5 gal		EXISTING AUSTRIAN PINE		COMMERCIAL GRADE STEEL EDGE
	AUTUMN SAGE (M) 19 Salvia greggii 5 gal		EXISTING NEW MEXICO OLIVE		
	GREY COTONEASTER (M) 70 Cotoneaster glaucophylla 5 gal		EXISTING GREY COTONEASTER		
	CHAMISA (L) 101 Chrysothamnus nauseosus 1 gal		EXISTING INDIAN HAWTHORN		
	WILDFLOWER 67 1 gal		EXISTING BLUE MIST		
	TAM JUNIPER (M) 75 JUNIPERUS SABINA 5 gal		EXISTING AUTUMN SAGE		
	EXISTING JUNIPER GROUND COVER				

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

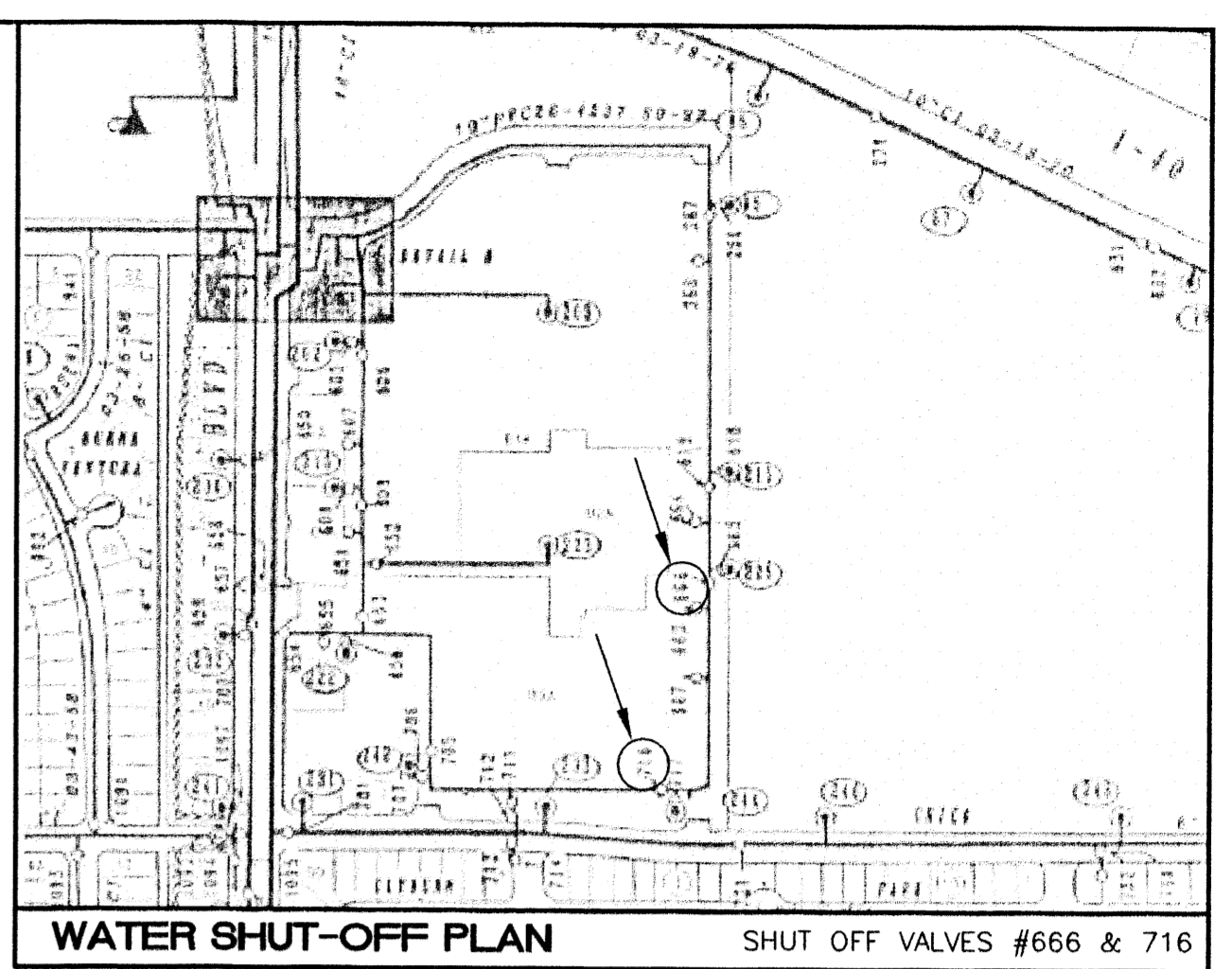
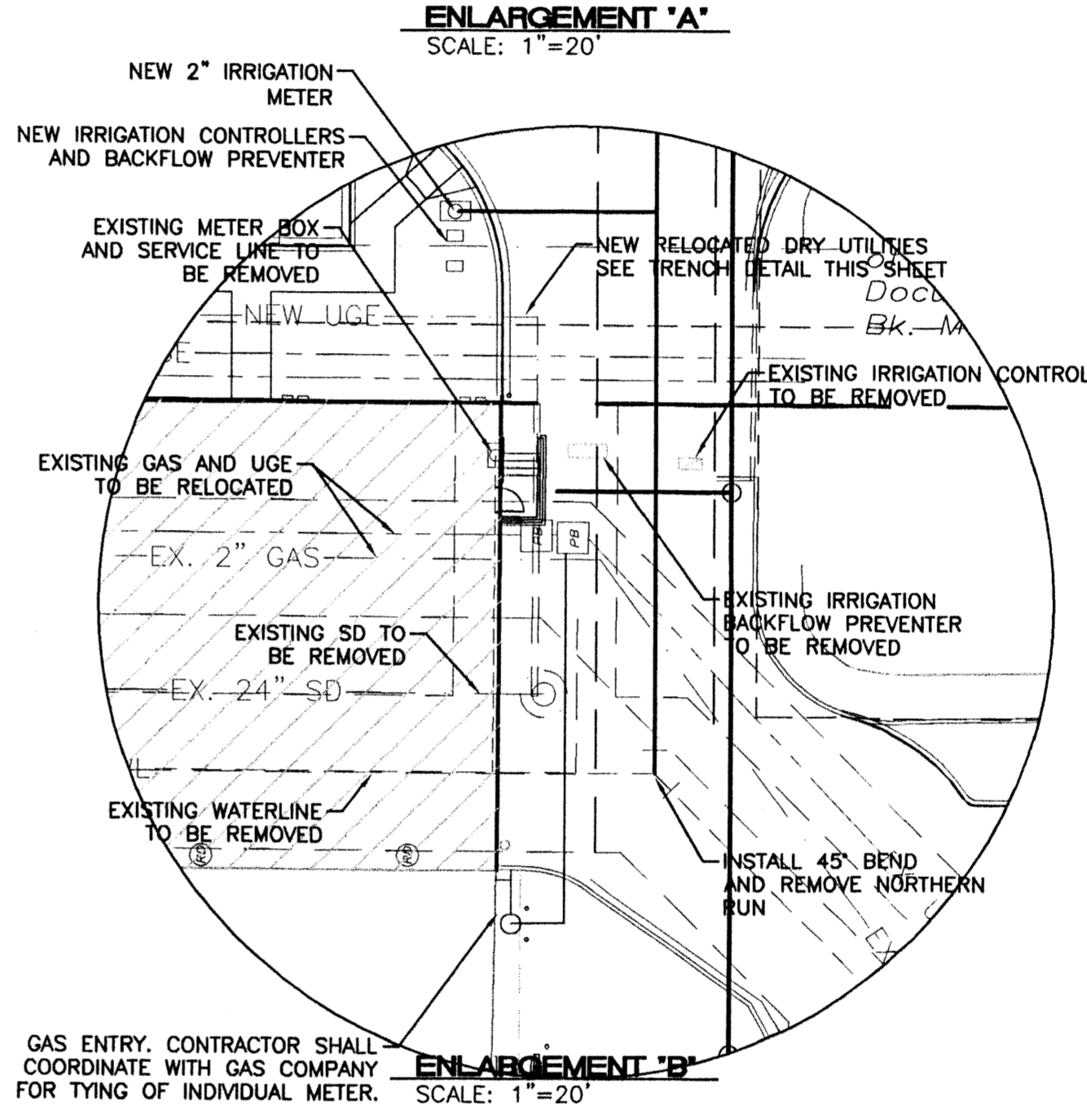
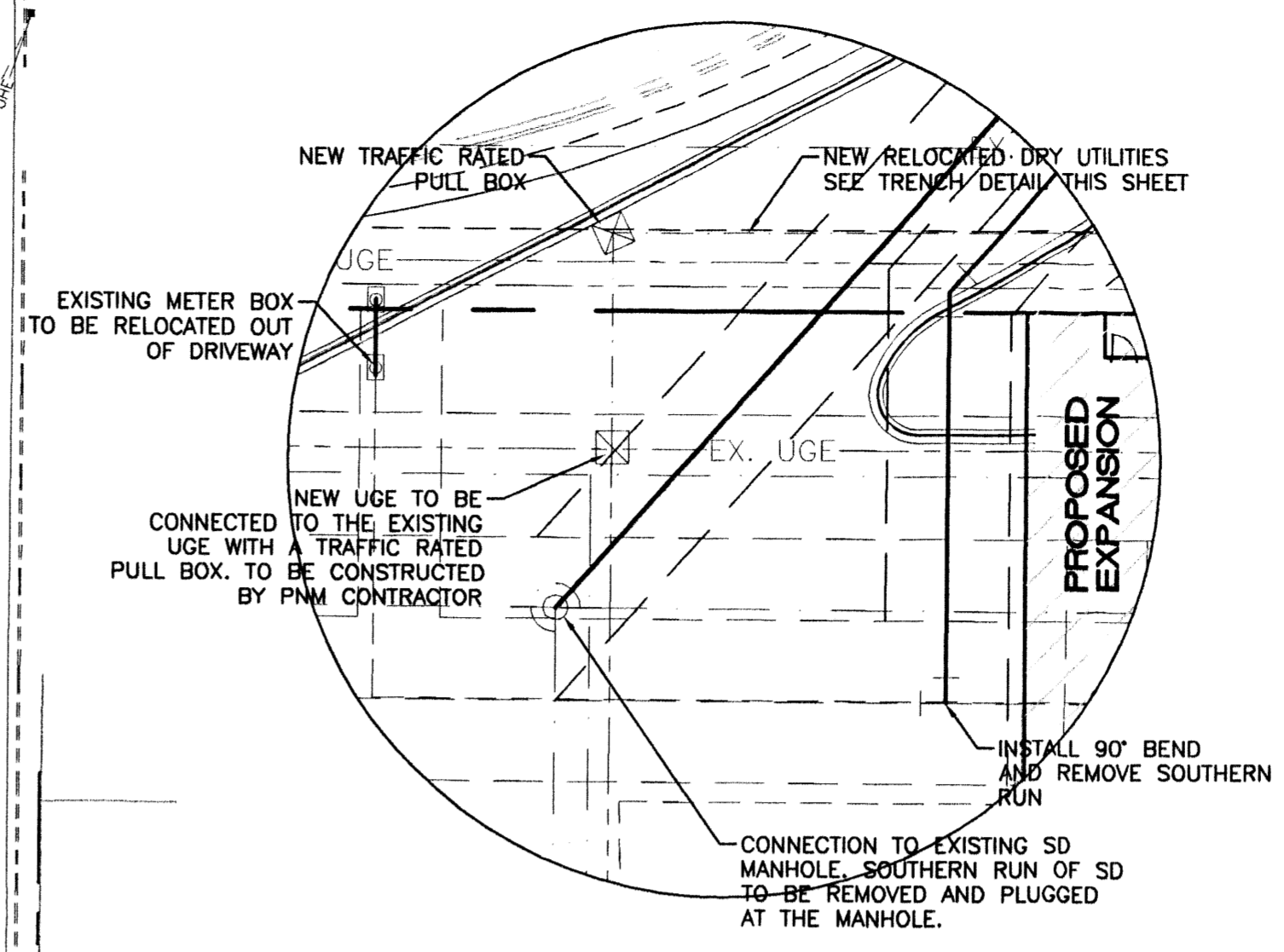
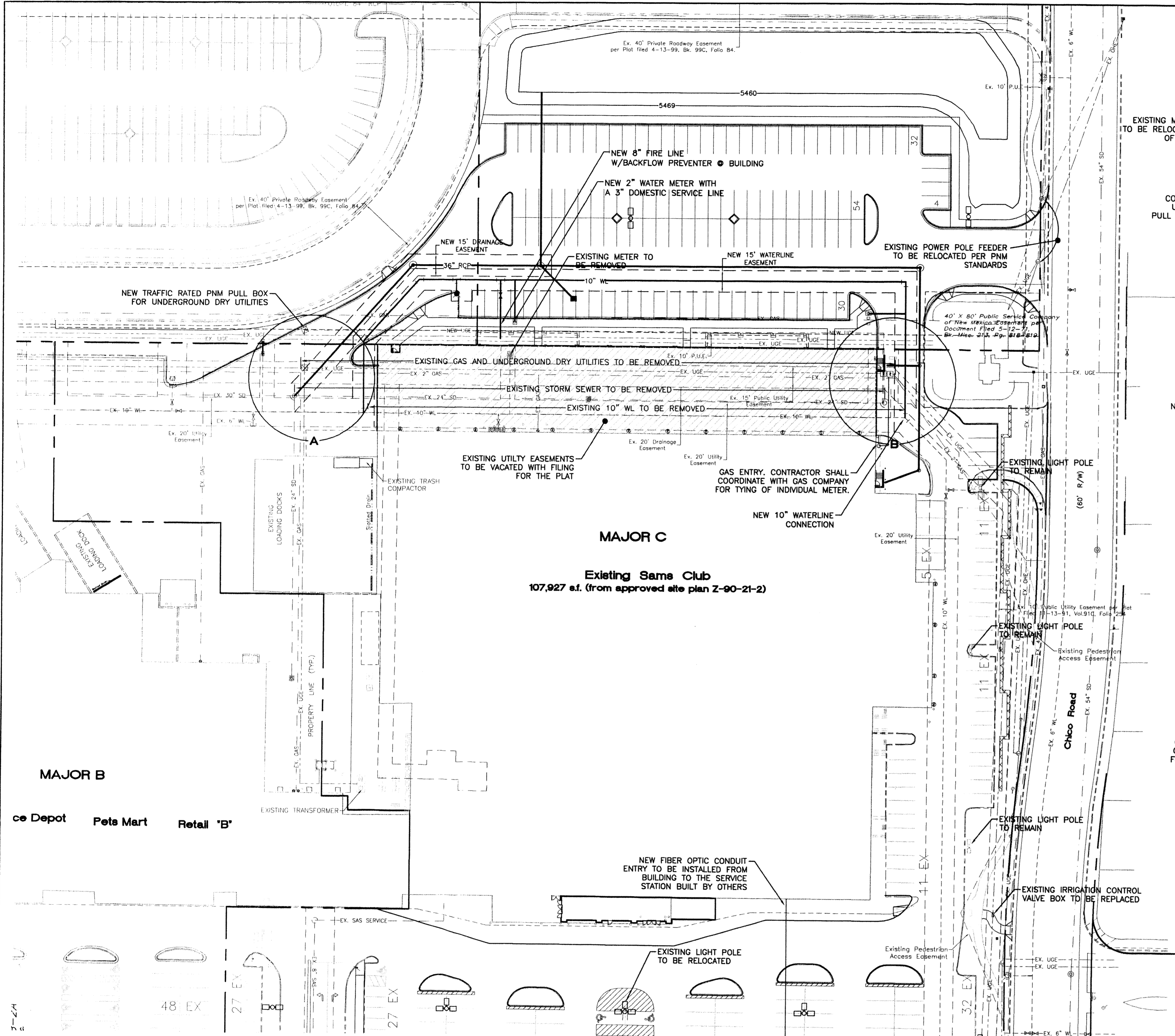
LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and waste water ordinance. Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at Maturity.
3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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ENGINEER'S SEAL	ALBUQUERQUE SAM'S EXPANSION, NM: 6672	DRAWN BY BDG
	LANDSCAPE PLAN	DATE 7-07-00
		9929LP-DC.DWG
		SHEET #
		4
		JOB # 990029
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	



- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
 5. SEE IRRIGATION PLANS FOR IRRIGATION IMPROVEMENTS AND DETAILS

LEGEND

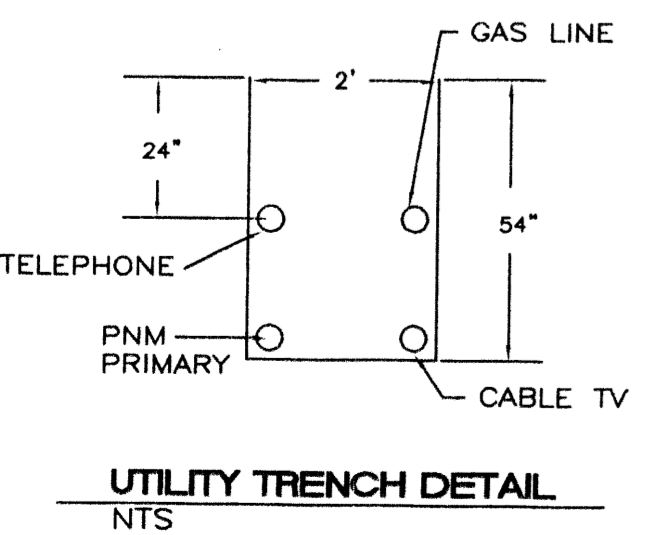
	EXISTING SD MANHOLE
	EXISTING ROOF DRAIN
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING SPRINKLER CONTROL BOX
	EXISTING FIRE PROTECTION VALVE
	EXISTING POWER POLE WITH FEED
	EXISTING POWER POLE WITH FEED & LIGHT
	EXISTING POWER POLE
	EXISTING POWER POLE WITH LIGHT
	EXISTING PULL BOX
	EXISTING GAS VALVE
	EXISTING BOLLARD
	EXISTING PARKING LOT LIGHT
	PROPOSED PARKING LOT LIGHT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT

NOTICE TO CONTRACTORS

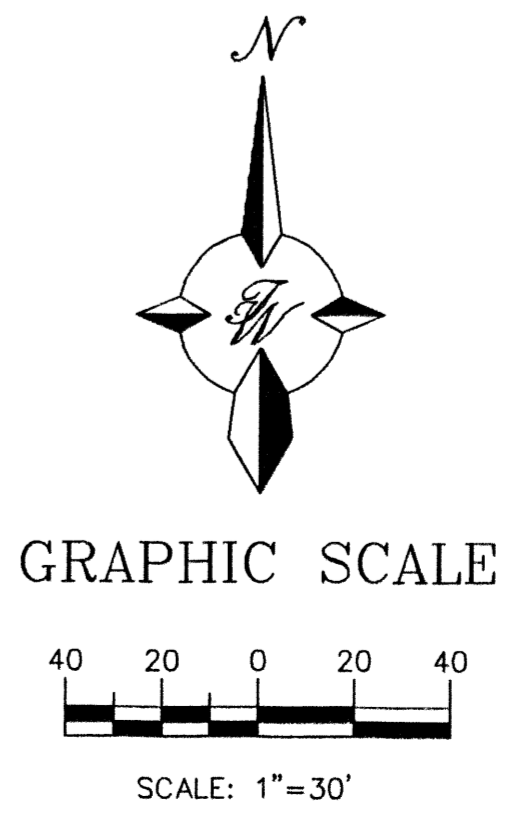
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

GENERAL NOTES:

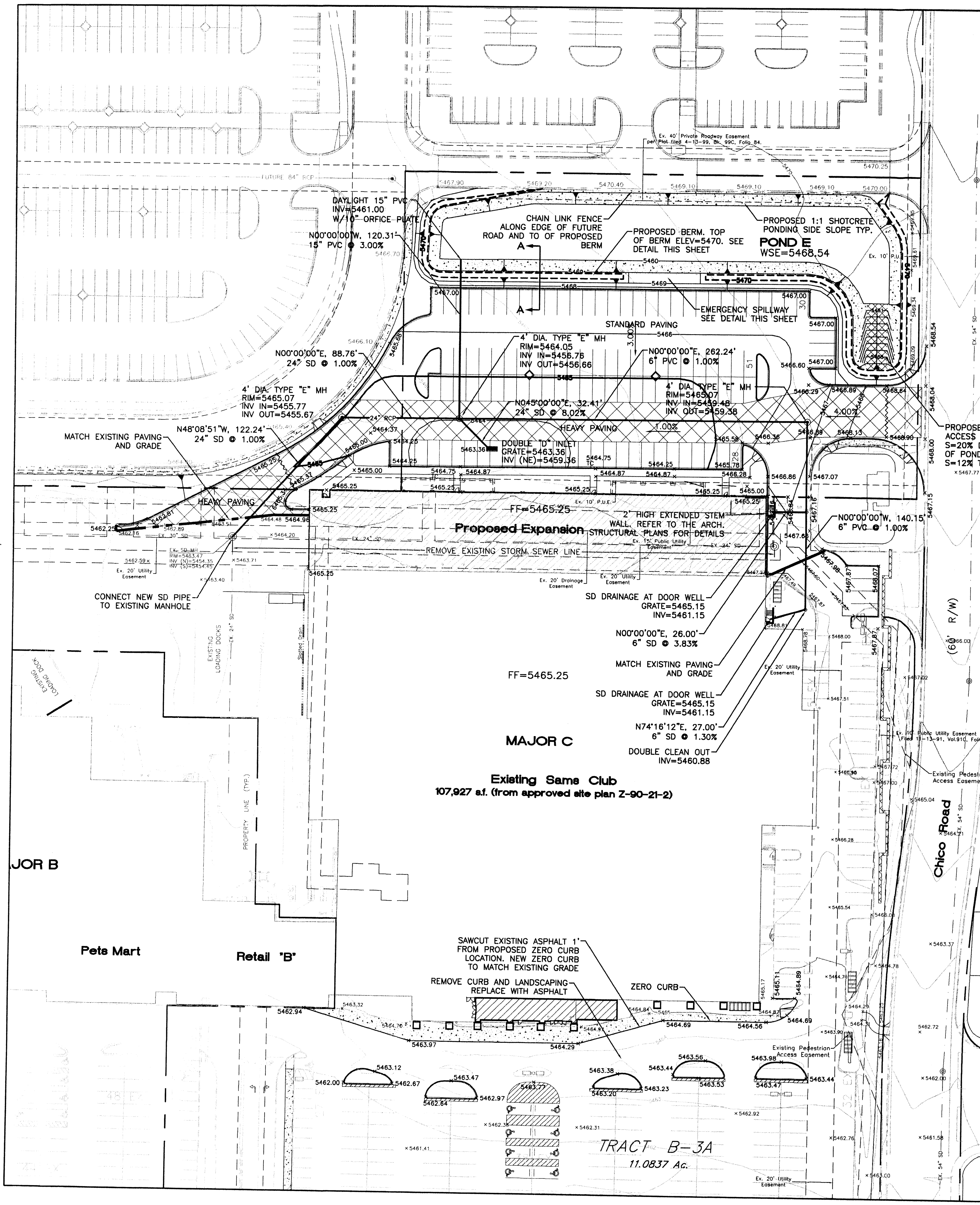
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



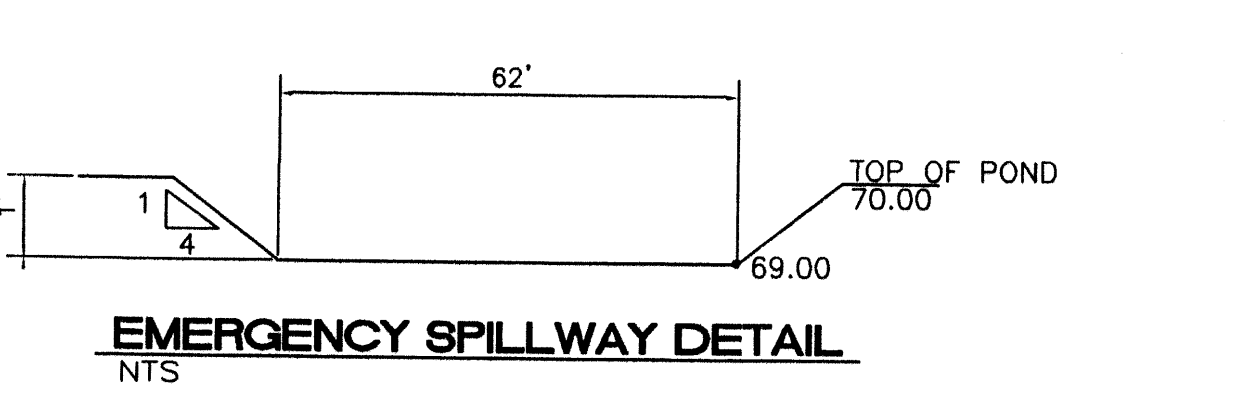
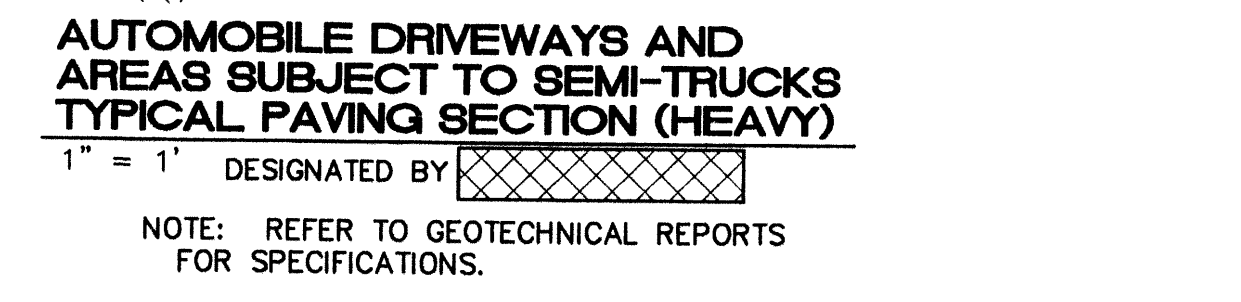
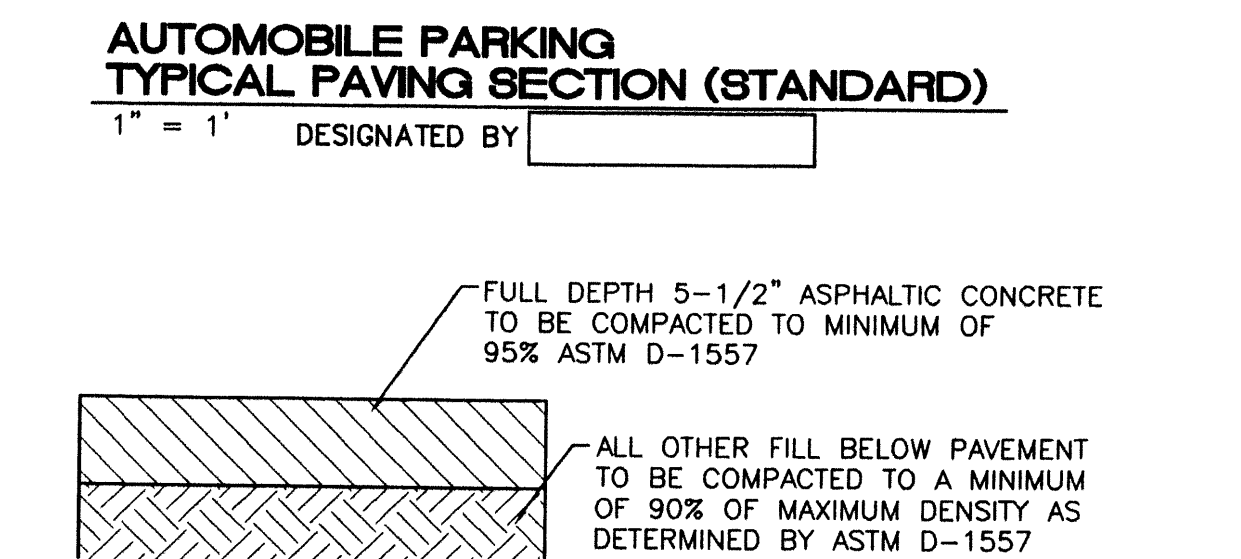
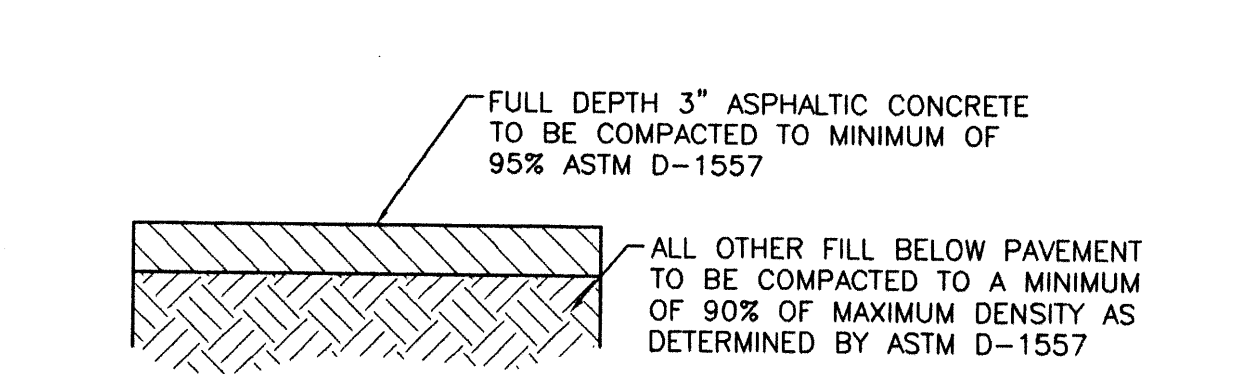
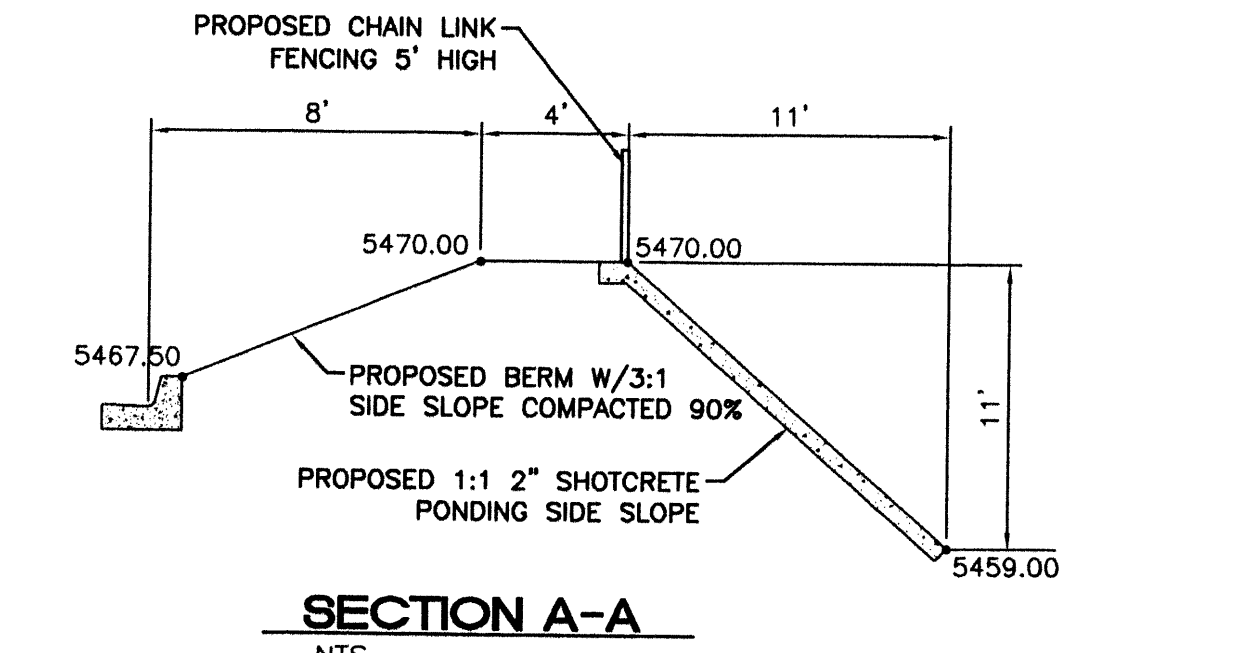
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



	ALBUQUERQUE SAM'S EXPANSION, NM: 6672	DRAWN BY: BDC DATE: 7-07-00 9929MU-DC.DWG
	MASTER UTILITY PLAN	SHEET # 5
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 990029



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
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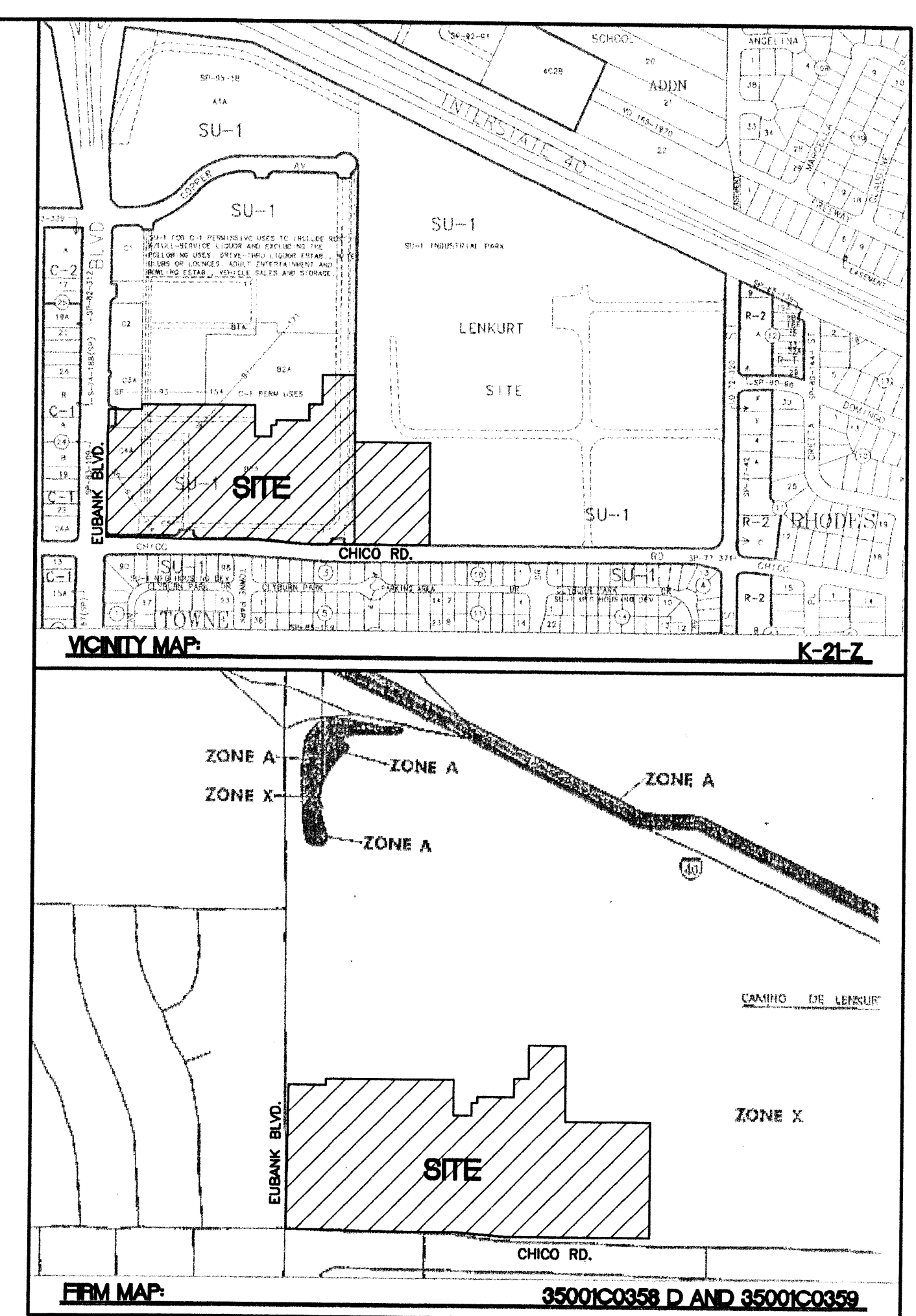


CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION OF UTILITIES & OTHER IMPROVEMENTS.

LEGEND

- EXISTING CURB
- FUTURE IMPROVEMENTS
- EXISTING BUILDING
- PROPOSED EXPANSION
- PROPOSED CURB
- BOUNDARY LINE
- GRADE CHANGE

GRAPHIC SCALE
40 20 0 20 40
SCALE: 1"=40'



LEGAL DESCRIPTION:
TRACT B-3A TOWNE PARK PLAZA AND LOT 4 LENKURT PROPERTIES

FOUNDATION SUBSURFACE PREPARATION

Unless specifically indicated otherwise in the drawings and/or specifications, the limits of this subsurface preparation are considered to be that portion of the site directly beneath and 10 feet beyond the building and appurtenances. Appurtenances are those items attached to the building proper (refer to drawing sheet SP1) and typically include, but not limited to the building sidewalks, garden center, porches, ramps, stoops, truck wells/ docks, concrete aprons at the automotive center, compactor pad, etc. The subsurface and vapor barrier do not extend beyond the limits of the actual building and the appurtenances.

Establish the final subgrade elevation at 11 1/2 inches below the finished concrete elevation when using a 5 1/2 inch slab to allow for the slab thickness and a 6 inch granular base. The granular base shall have a plasticity index less than or equal to 3 and the percentage of material passing the No. 200 sieve size shall be between 0 and 5. The granular base shall be compacted to a minimum of 95 percent of maximum dry density as determined in accordance with ASTM D1557. The contractor is responsible for obtaining accurate measurements for all cut and fill depths required.

All vegetation, asphalt, concrete, and debris shall be removed from throughout the building area and any other areas of the site to receive structural fill. Any existing uncontrolled fill or other deleterious materials shall also be removed. The exposed ground surface shall then be observed by a representative of the geotechnical engineer prior to the excavation of footings or the placement of any structural fill. The exposed ground surface shall then be scarified to a minimum depth of 8 inches, brought to near the optimum moisture content, and compacted as discussed below.

Following site surface preparation, the site shall be brought to finished subgrade elevation with properly compacted structural fill. All structural fill shall be spread in layers not exceeding 8 inches in thickness, watered as necessary and compacted. The moisture content of the fill during compaction shall be within 2 percent of the optimum moisture content. A density of not less than 95 percent of maximum dry density within the building pad shall be obtained. Structural fill and native soils outside the building pad shall be compacted to a minimum of 90 percent of maximum dry density. The optimum moisture content and maximum dry density for each soil type used shall be determined in accordance with ASTM D1557.

Structural fill required to bring the site to finished subgrade elevation shall be free of vegetation and debris, and meet the following gradation requirements:

Sieve Size (Square Openings)	Percent Passing by Weight
3 inch	100
No. 4	50-100
No. 200	25-60

The plasticity index of structural fill material shall not exceed 15. Most of the native soils at the site will meet these requirements, although some blending may be required.

ENGINEER'S SEAL

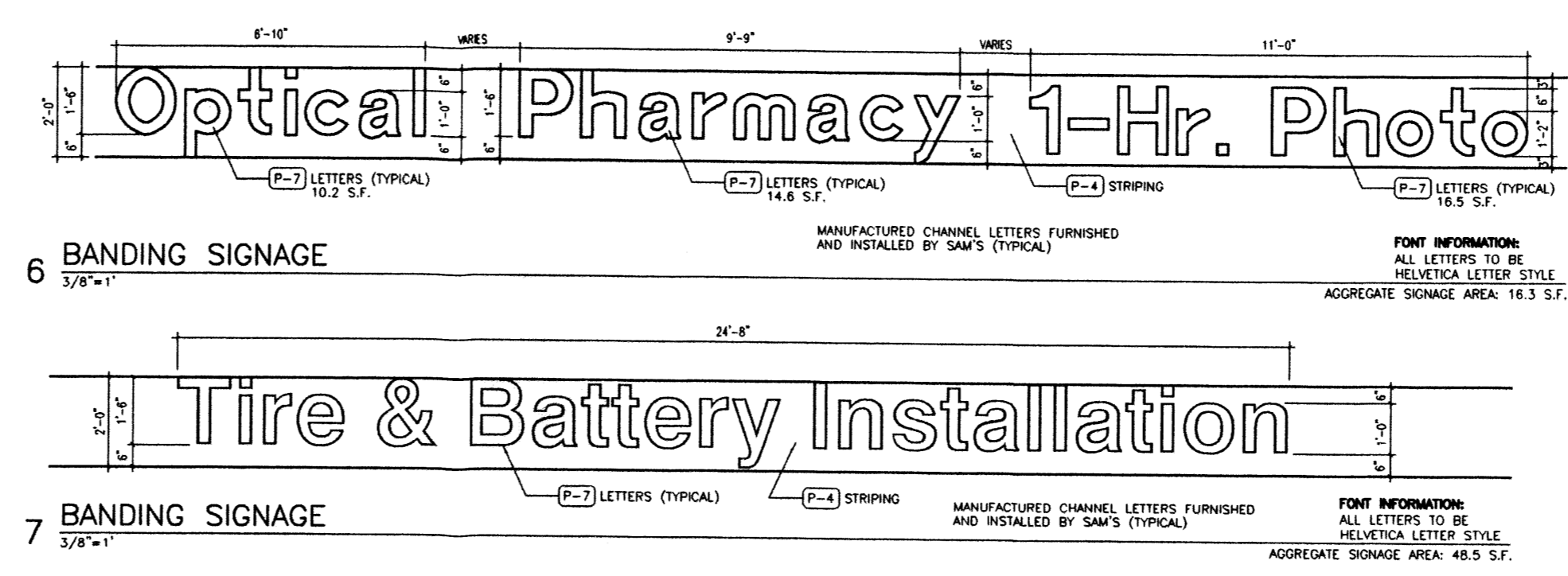
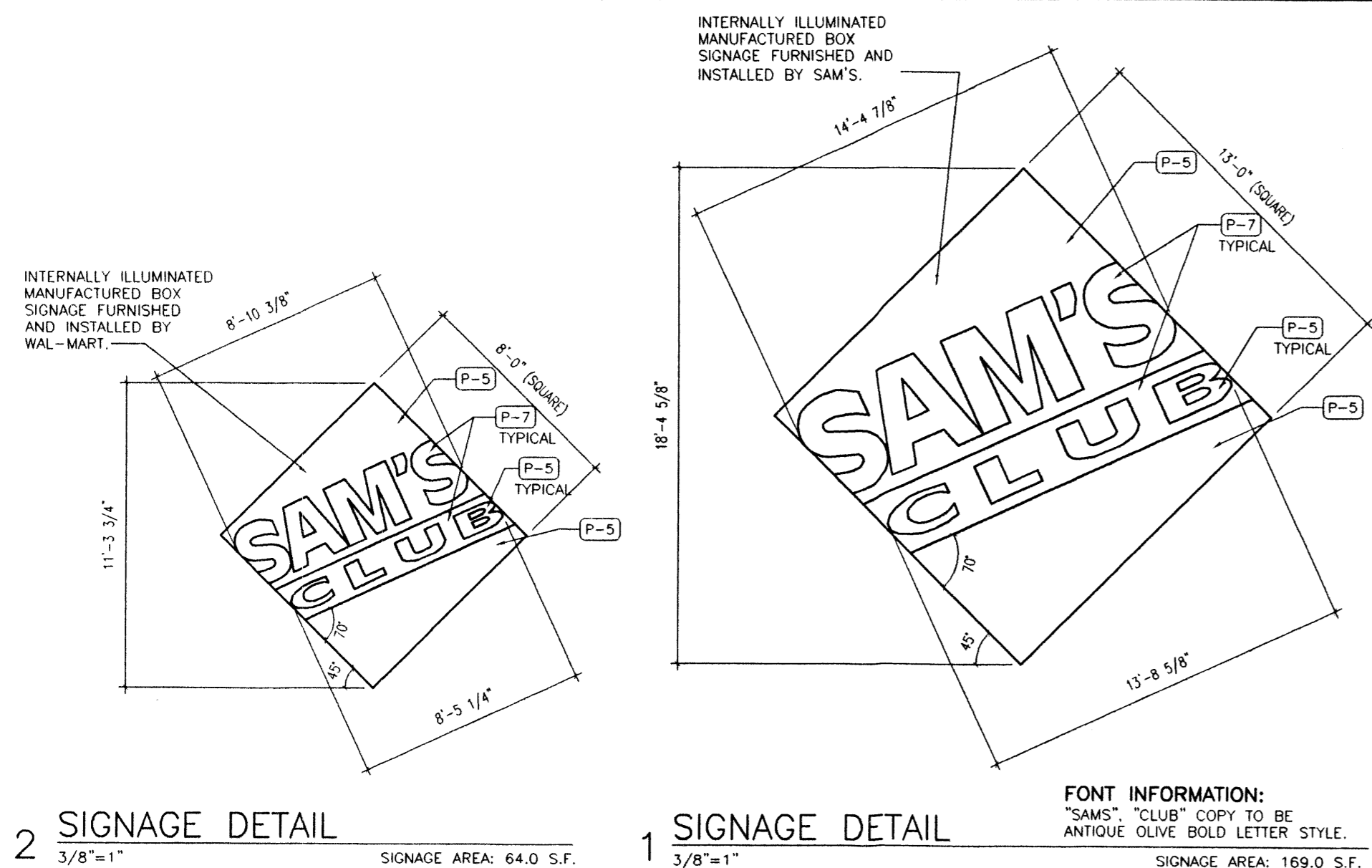
ALBUQUERQUE SAM'S EXPANSION, NM: 6672

GRADING AND DRAINAGE PLAN

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

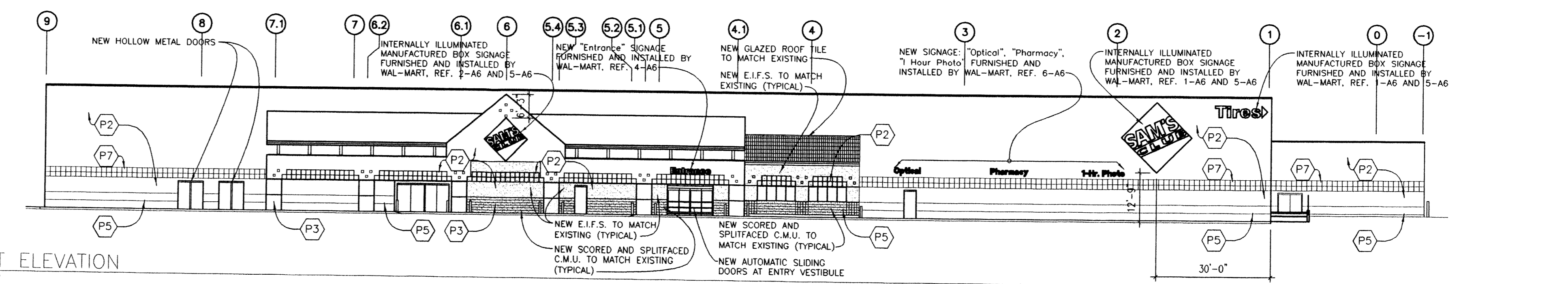
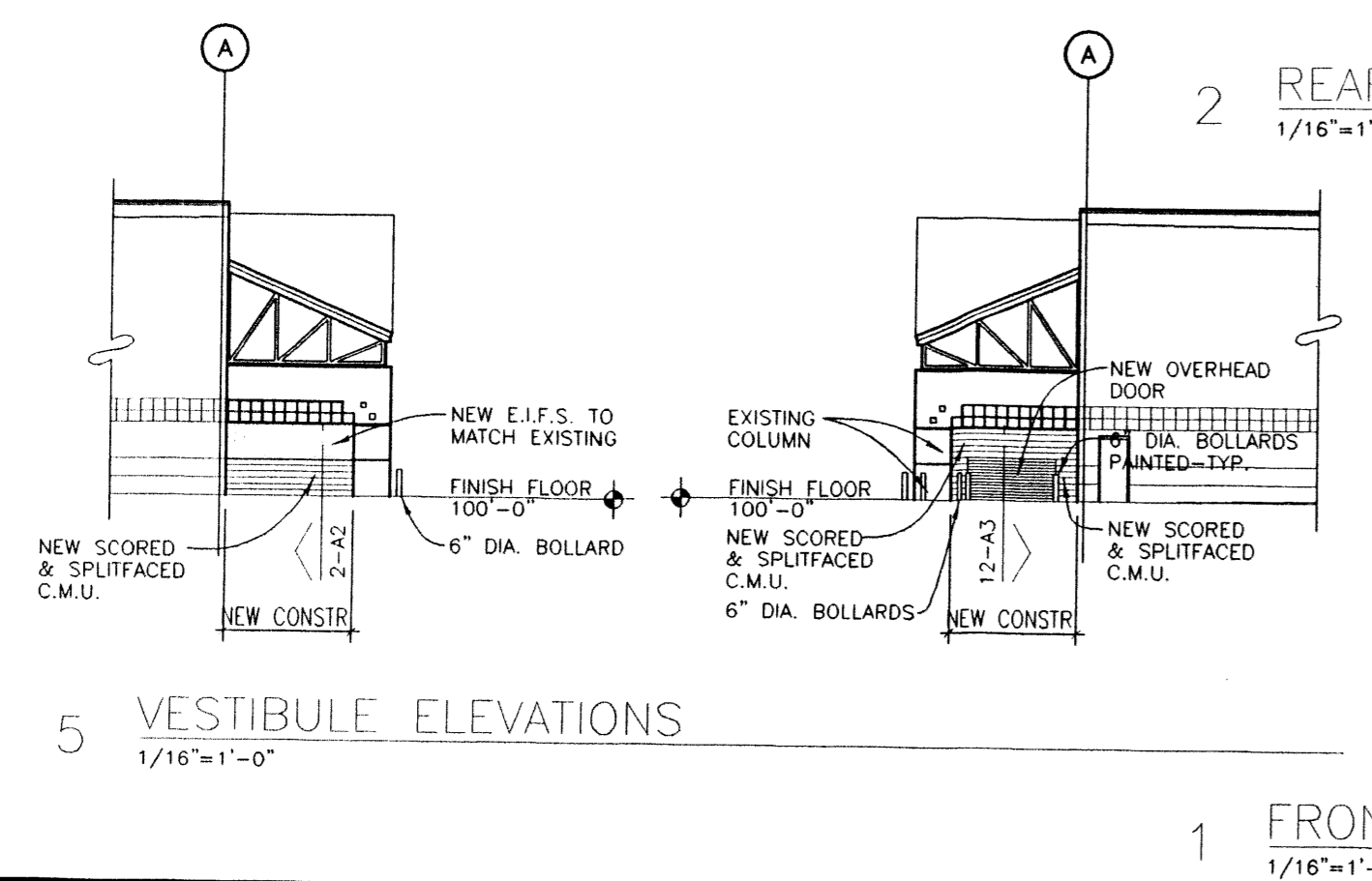
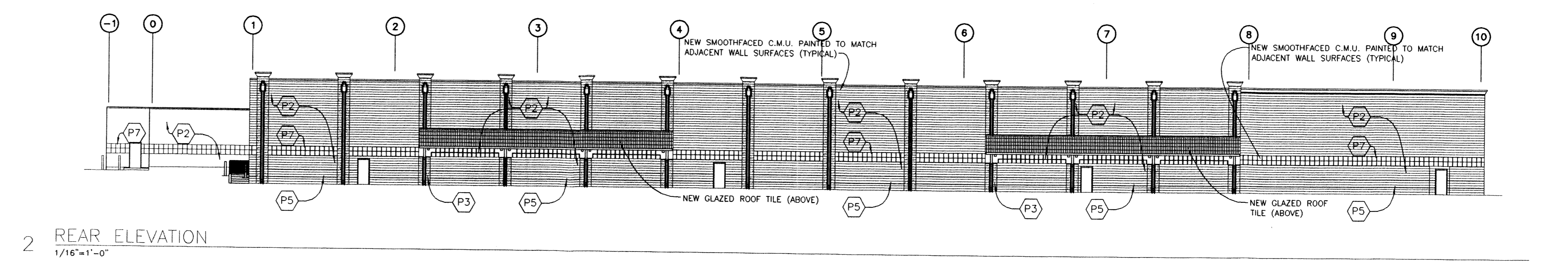
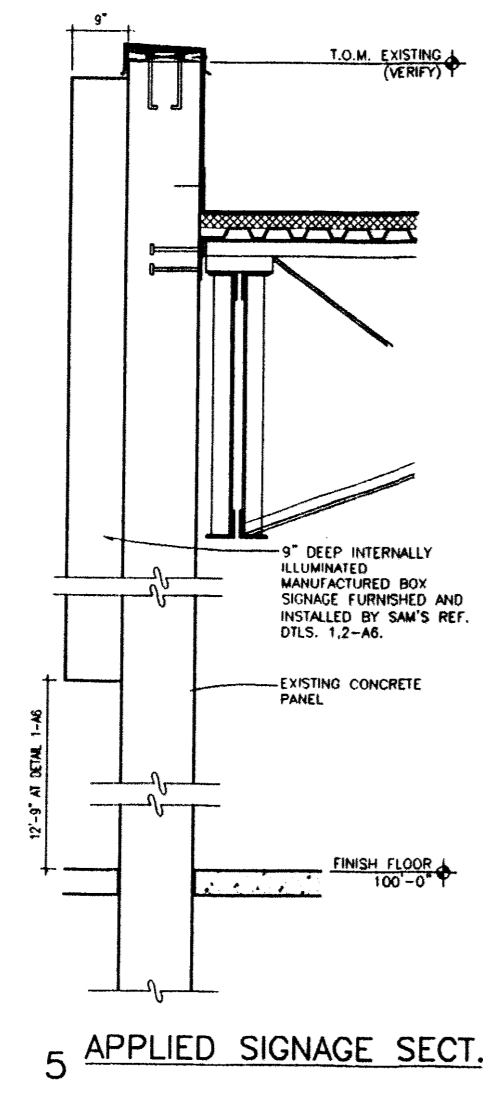
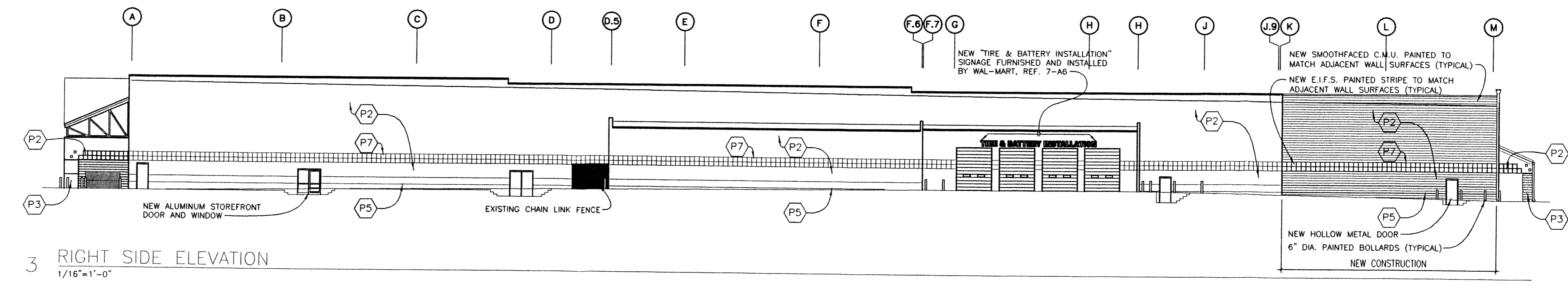
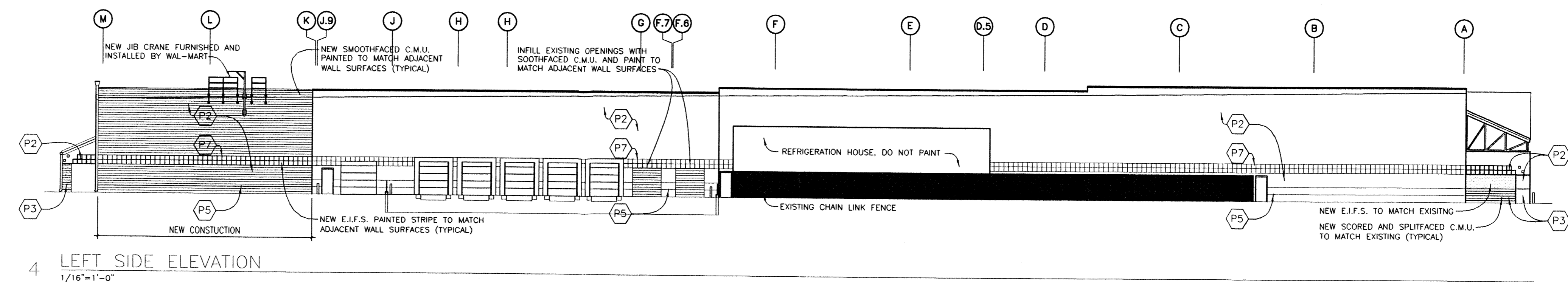
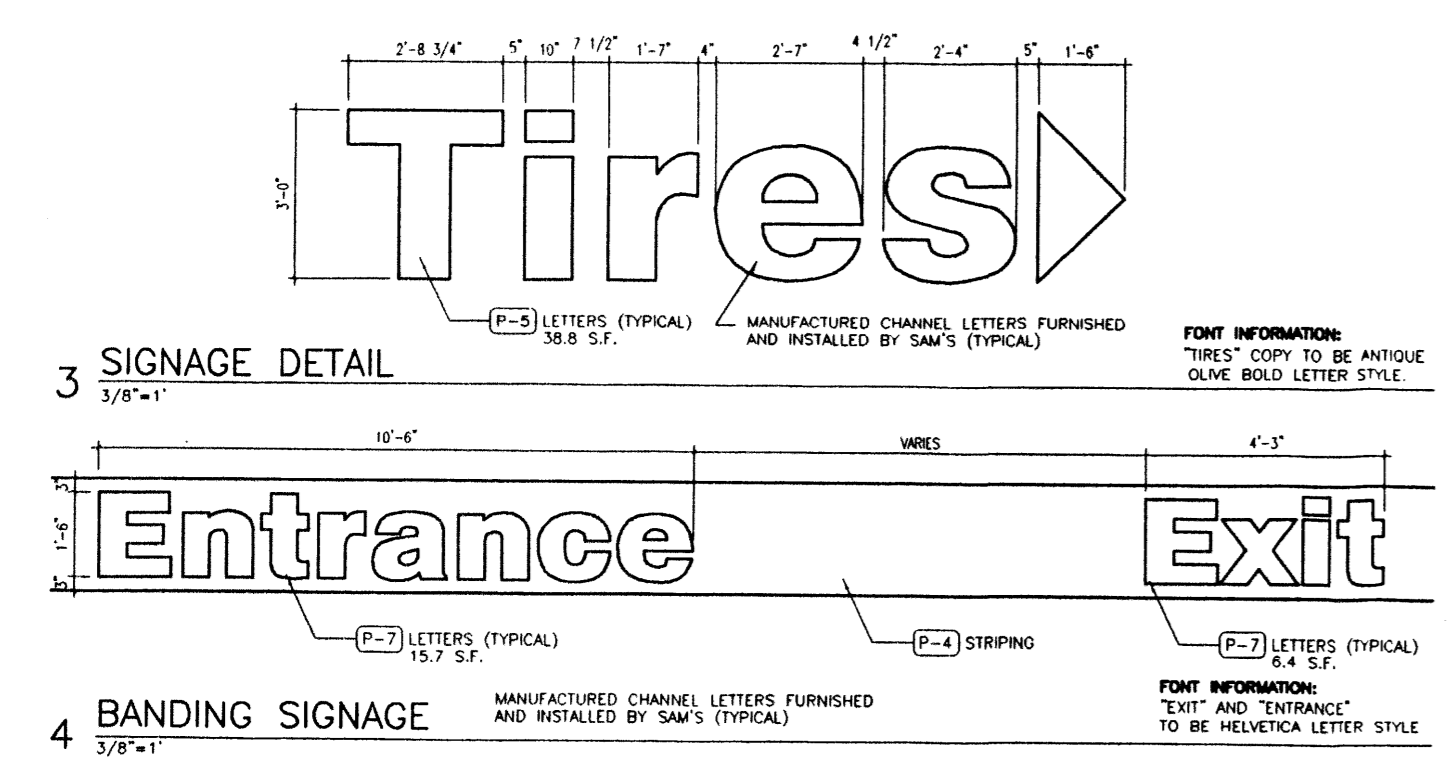
RONALD R. BOHANNAN
P.E. #7868

DRAWN BY
JDN
DATE
7-07-00
9929GR-DC.DWG
SHEET #
6
JOB #
990029



COLOR SCHEDULE		
SYMBOL	COLOR	CHARACTERISTICS
(P1)	LIGHT BEIGE	MATCH EXISTING
(P2)	MED. BEIGE	MATCH EXISTING
(P3)	DARK BEIGE	MATCH EXISTING
(P4)	RED	MATCH EXISTING
(P5)	BLUE	MATCH EXISTING
(P6)	YELLOW	OSHA STANDARD "SAFETY YELLOW"
(P7)	WHITE	MATCH EXISTING

NOTES:
1. PAINT ALL DOORS, FRAMES, DRIP CAPS, HANDRAILS, GUTTERS, SCUPPERS, DOWNSPOUTS, WALL MOUNTED PANELS AND MISCELLANEOUS METALS TO MATCH ADJACENT BUILDING UNLESS NOTED OTHERWISE.
2. VERIFY ALL PAINT COLORS AND COLOR LOCATIONS WITH WAL-MART CONSTRUCTION MANAGER.
3. VERIFY ALL SIGN LOCATIONS WITH WAL-MART CONSTRUCTION MANAGER.
4. REPLACE ALL WALL PACK SECURITY LIGHT LENS COVERS WITH NEW COVERS TO MATCH EXISTING.
5. CONTRACTOR SHALL PAINT NEW 10'-0"x10'-0" "SAM'S CLUB" SIGN CENTERED IN LOCATION TO RECEIVE NEW 13'-0"x13'-0" INTERNALLY ILLUMINATED SIGNAGE IF SIGNS ARE NOT READY FOR INSTALLATION WHEN FRONT WALL PAINTING IS COMPLETE.



211 N. Record St. Suite 222
Dallas, Texas 75202
Telephone 214/749-0526



CLUB # 6672
ALBUQUERQUE,
NM

WAL-MART STORES INC.
SAM M. WALTON DEVELOPMENT COMPLEX
2001 SE 10TH STREET
BENTONVILLE, AR 72712-6489

Sheet Contents:
ELEVATIONS

Drawn By: BB
Checked By: RH
Revisions:

Project Number: 00803
Date: 19 JULY 2000

Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

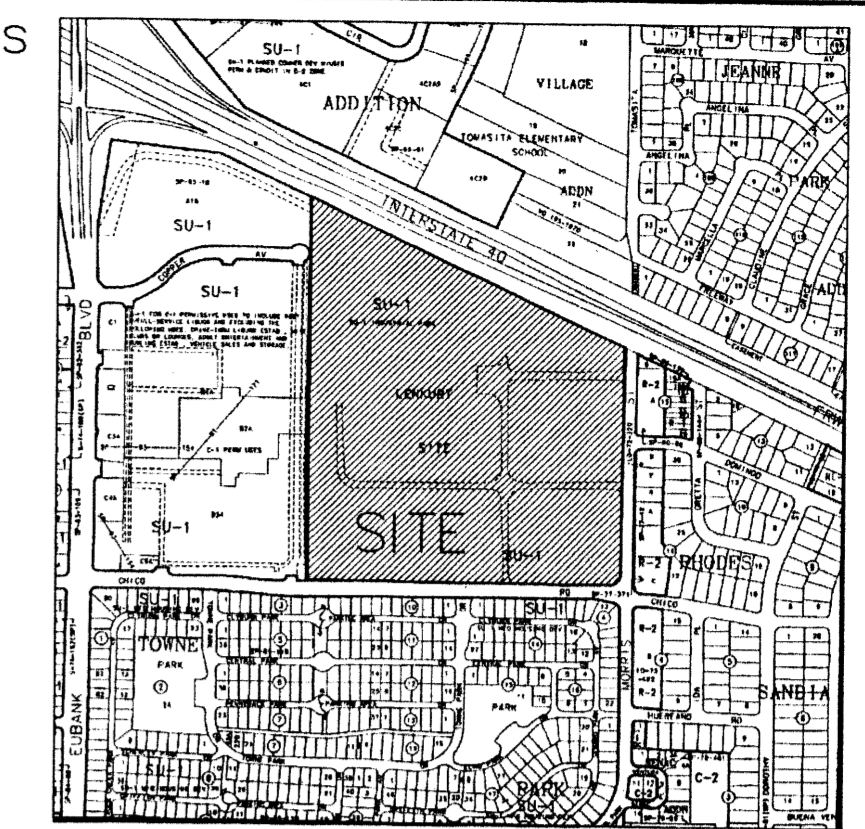
LANDSCAPE AREA REQUIREMENTS	
NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)	
LANDSCAPE REQUIREMENT (15%):	127,108 SF
LANDSCAPE PROVIDED:	138,389 SF

PROPOSED USE:	AMUSEMENT; MOVIE THEATRE
BUILDING AREAS	55,600 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACE:	
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

PARKING SPACES	1 PER 4.0 SEATS (4850 SEATS) = 1,213 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (4850 SEATS) = 1,617 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1,467 SPACES

H.C. PARKING REQUIRED:	25 SPACES
H.C. PARKING PROVIDED:	27 SPACES

BICYCLE PARKING	1:20 REQUIRED FOR AUTOS = 75 SPACES
PARKING PROVIDED:	84 SPACES



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

- ASPHALT PAVING.
- CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRY.
- EARTHSTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 35' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- BIKE RACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
- 9'x20' TYPICAL STRIPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE/DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18' ABOVE GRADE.
- 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 12, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE EPC NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

Michael Deane
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION
 DATE: 7-19-00

Adrienne E. Condelaria
 DESIGN AND DEVELOPMENT, CIVIL & LANDSCAPE
 DATE: 7-19-00

Roger J. Green
 PUBLIC WORKS, WATER UTILITIES DIVISION
 DATE: 7-19-00

CITY ENGINEER, ENGINEERING DIVISION / AMFCA
 DATE:

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE / BERNALILLO
 COUNTY PLANNING DIVISION
 PLN2 (10708) 4/98
 DATE:

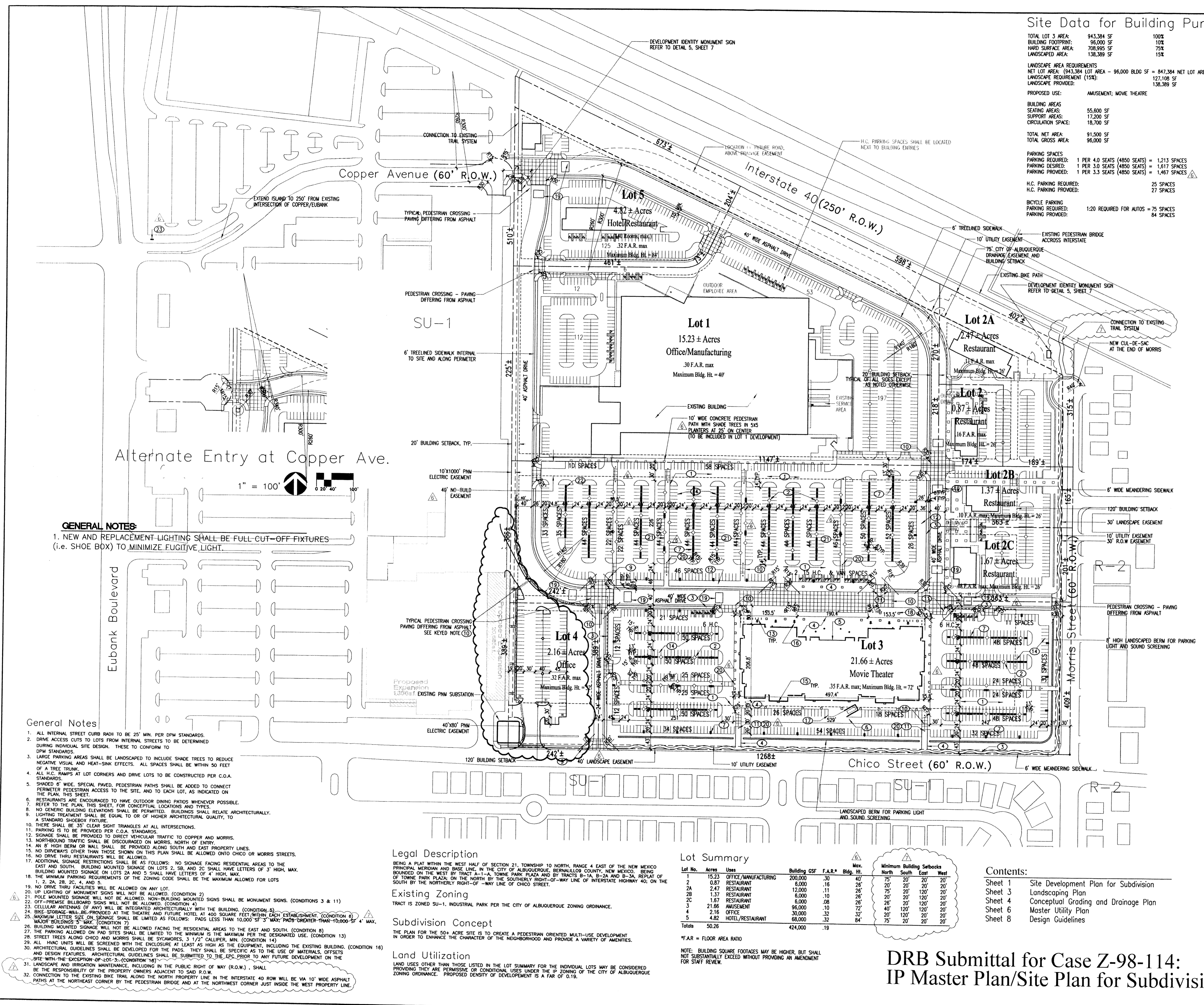
Facility Re-utilization:
 501 Morris
 Albuquerque, New Mexico

7/28/98
 10/7/98
 9/22/98
 9/16/98
 1/25/99
 12/29/98
 9/2/98
 8/31/98

Site Plan

1" = 120'

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street, N.E.
 Albuquerque, New Mexico



GENERAL NOTES:

- NEW AND REPLACEMENT LIGHTING SHALL BE FULL-CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

- General Notes
- ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
 - DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
 - LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 - ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
 - SHADED 6' WIDE, SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
 - RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
 - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
 - LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
 - THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
 - PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
 - SOILAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 - NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
 - AN 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
 - NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
 - NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
 - ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX.
 - THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
 - NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
 - POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
 - OFF-PREMISE BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
 - CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
 - BIKE STORAGE WILL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
 - MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PAID LESS THAN 10,000 SF - 3" MAX; PAID GREATER THAN 10,000 SF - 4" MAX. MAJOR BUILDINGS - 5" MAX. (CONDITION 7)
 - BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
 - THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM IS THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
 - STREET TREES ALONG CHICO AND MORRIS SHALL BE SYCAMORES, 3 1/2" CALIPER, MIN. (CONDITION 14)
 - ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE, AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 16)
 - ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITH THE EXCEPTION OF LOT 3. (CONDITION 17)
 - LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
 - CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAY OF TOWNE PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDING THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.18.

Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.*	Max. Bldg. Ht.	Minimum Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	16	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	11	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	08	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	96,000	10	72'	40' 120' 120' 20'
4	2.16	OFFICE	30,000	32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	68,000	32	84'	75' 20' 20' 20'
Totals	50.26		424,000	19		

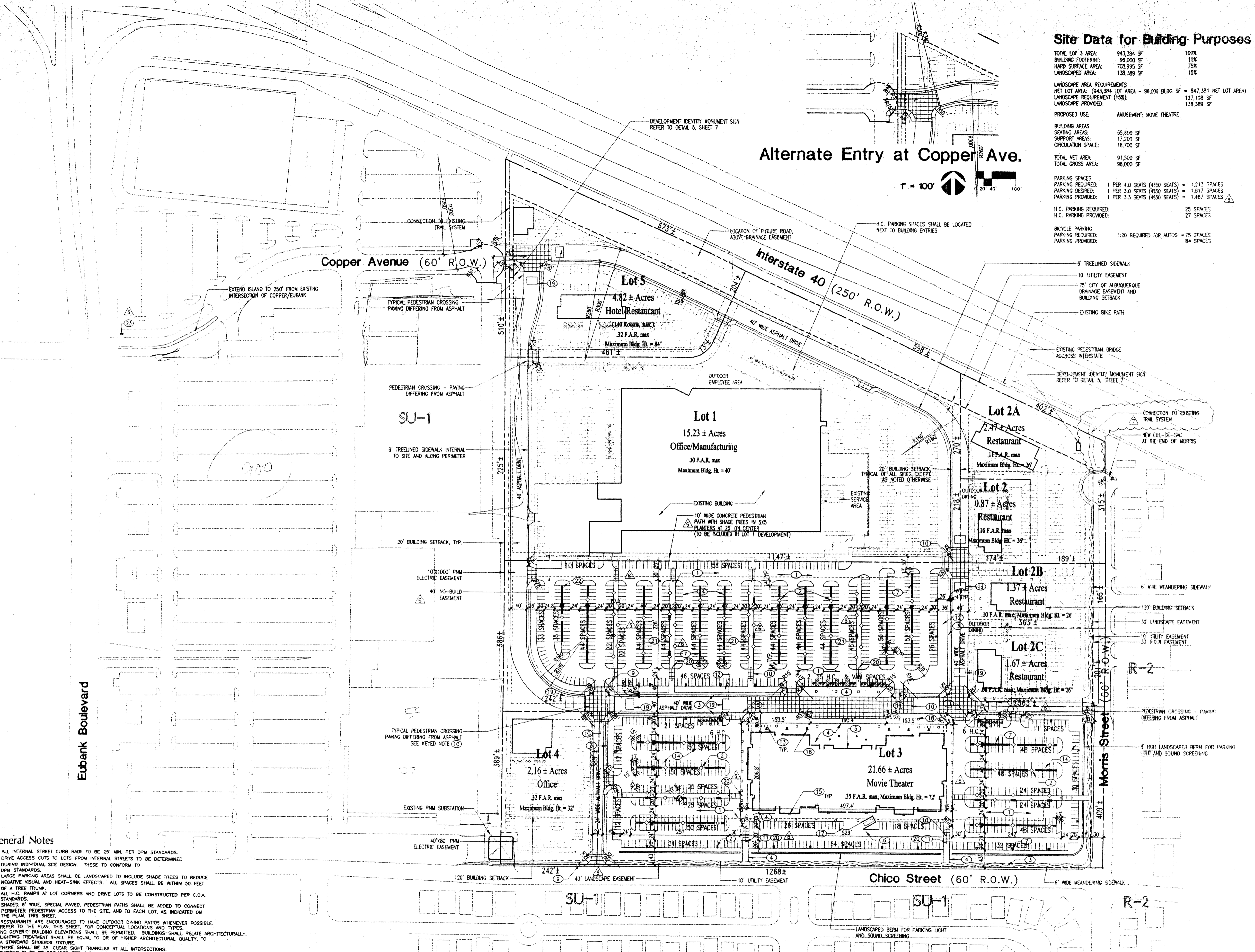
*F.A.R. = FLOOR AREA RATIO

NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

Contents:

- Sheet 1 Site Development Plan for Subdivision
- Sheet 3 Landscaping Plan
- Sheet 4 Conceptual Grading and Drainage Plan
- Sheet 6 Master Utility Plan
- Sheet 8 Design Guidelines

DRB Submittal for Case Z-98-114:
 IP Master Plan/Site Plan for Subdivision



Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,000 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS
 NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)
 LANDSCAPE REQUIREMENT (15%): 127,108 SF
 LANDSCAPE PROVIDED: 138,389 SF

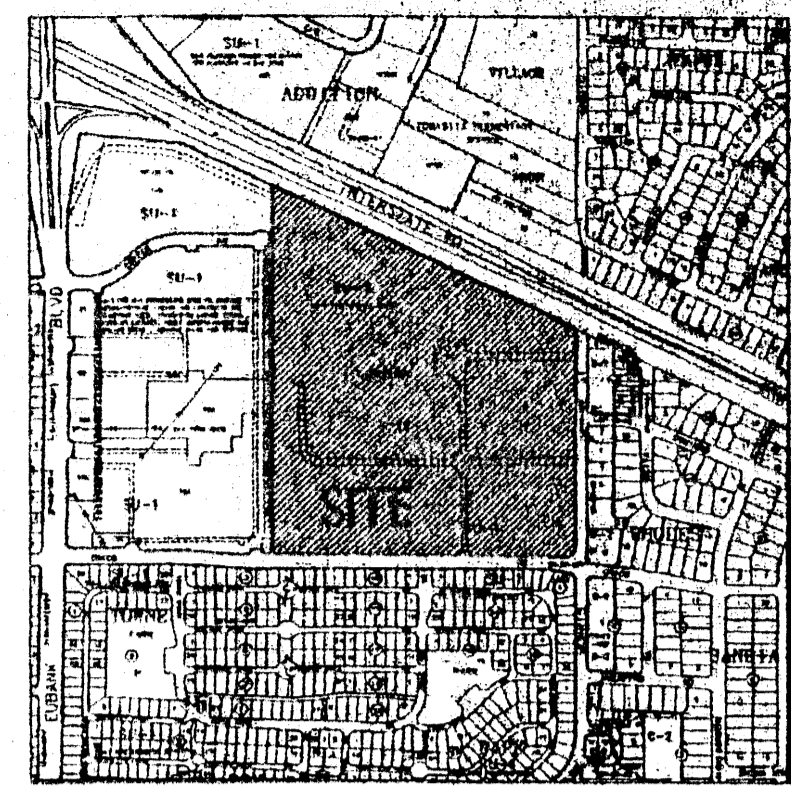
PROPOSED USE: AMUSEMENT; MOVIE THEATRE

BUILDING AREAS:	55,600 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACE:	18,700 SF
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

PARKING SPACES
 PARKING REQUIRED: 1 PER 4.0 SEATS (450 SEATS) = 1,125 SPACES
 PARKING DESIRED: 1 PER 3.0 SEATS (450 SEATS) = 1,617 SPACES
 PARKING PROVIDED: 1 PER 3.3 SEATS (450 SEATS) = 1,467 SPACES

H.C. PARKING REQUIRED: 25 SPACES
 H.C. PARKING PROVIDED: 27 SPACES

BIKE PARKING
 PARKING REQUIRED: 1:20 REQUIRED FOR AUTOS = 75 SPACES
 PARKING PROVIDED: 84 SPACES



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 4" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. FARTHWORN REFUSE ENCLOSURE TO MATCH BUILDING COLOR. REFER TO ELEVATION 4, SHEET 7.
7. LIGHT PYLE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. MET YARD.
9. 35' CLEAR SIGHT TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SCORED COLOURED CONCRETE.
11. 1/2" ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BIKE RACK PARKING FOR 42 EACH SIDE. REFER TO ELEVATION 3, SHEET 7.
14. 3' X 10' TYPICAL STRIPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SEPAK, DELIVERY AREA.
18. TREE GRATE.
19. SPEED TABLE, TYP.
20. BOUNDARY TO PREVENT VEHICULAR ACCESS, BUT NOT INVEHICULAR ACCESS, TYP.
21. 12" WIDE FREEDOM PEDESTRIANWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE APPROVED SO THAT THE LOCATION OF THE LIGHTING FEATURE, TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PARKING SPACE OR ON ANY PARKING SIGN OR SIGN.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHORE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- CHD 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FEATURE, REFER TO ELEVATION 2, SHEET 7.
- HO 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FEATURE, REFER TO ELEVATION 2, SHEET 7.
- PL 18" HIGH POLE MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW 250W HPS FEATURE, 18" ABOVE GRADE.
- PO 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FEATURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998. THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, OIP	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION 7, MAPSA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE - BERNALILLO COUNTY PLANNING DIVISION	DATE
PLATE (11/20/98) 4/98	

- ### General Notes
1. ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
 2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
 3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 4. ALL H.C. STAIRS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
 5. SHADED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN PEDESTRIAN ACCESS TO THE SITE AND TO EACH LOT AS INDICATED ON THE PLAN, THIS SHEET.
 6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
 7. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
 8. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
 9. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHEDBOX FEATURE.
 10. THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
 11. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
 12. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
 14. AN 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
 15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED TO ANY FUTURE DEVELOPMENT.
 16. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
 17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 3B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
 18. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
 19. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
 20. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
 21. OFF-ROAD SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
 22. OFF-ROAD SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
 23. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 3)
 24. BILLBOARDING SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL. AT 400 SQUARE FEET (OTHER CASE) ESTABLISHMENT (CONDITION 3)
 25. MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: SPACES LESS THAN 10,000 SF 3" MAX; SPACES GREATER THAN 10,000 SF 4" MAX. (CONDITION 2)
 26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
 27. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM IS THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
 28. STREET TREES ALONG CHICO AND MORRIS SHALL BE STYMOXES, 3 1/2" CALIPER, 1/4" (CONDITION 14)
 29. ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 10)
 30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE THEATRE, HOTEL, AT 400 SQUARE FEET (OTHER CASE) ESTABLISHMENT (CONDITION 3) AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITHIN THE SUBDIVISION PER ZONING ORDINANCE (CONDITION 10)
 31. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
 32. CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 1/2" WIRE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHEAST CORNER BY THE NORTH PROPERTY LINE.

Legal Description

BEING A PLAN WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWN PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF TOWN PARK PLAZA ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 501 MORRIS SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED IDENTITY OF DEVELOPMENT IS A F.O.D. OF 0.18.

Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.	Max. Bldg. Ht.	Min. Building Setbacks (North, South, East, West)
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	1.6	26'	75' 20' 120' 20'
2A	2.47	RESTAURANT	12,000	1.1	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	1.0	26'	75' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	1.0	26'	75' 20' 120' 20'
3	21.66	AMUSEMENT	96,000	1.0	72'	40' 120' 120' 20'
4	2.16	OFFICE	30,000	.32	32'	75' 20' 20' 20'
5	4.82	HOTEL/RESTAURANT	68,000	.32	84'	75' 20' 20' 20'
Totals	50.28		424,000	19		

*F.A.R. = FLOOR AREA RATIO
 NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

Contents:

Sheet 1	Site Development Plan for Subdivision
Sheet 3	Landscape Plan
Sheet 4	Conceptual Grading and Drainage Plan
Sheet 6	Master Utility Plan
Sheet 8	Design Guidelines

DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision

Facility Re-utilization:
501 Morris
 Albuquerque, New Mexico

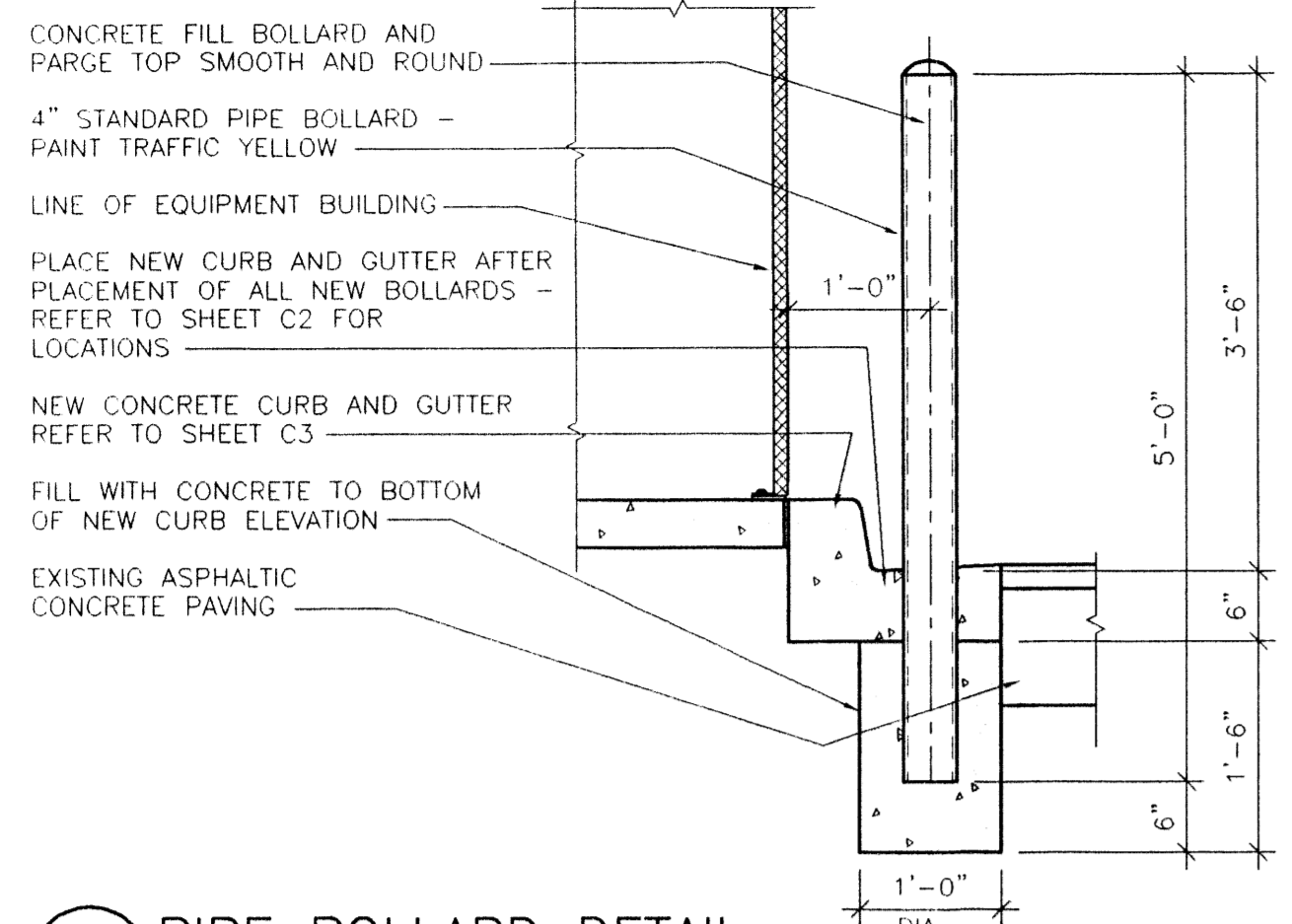
7/28/98

REVISED 10/7/98
 REVISED 9/22/98
 REVISED 9/18/98
 REVISED 10/25/98
 REVISED 12/24/98
 REVISED 8/31/98

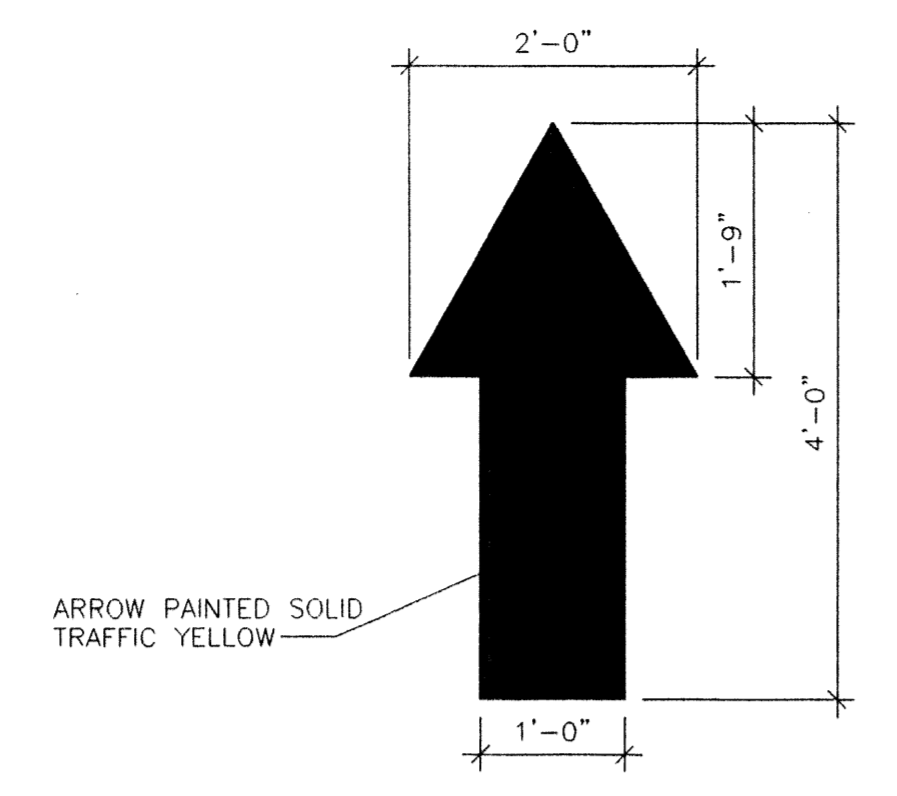
Site Plan

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Avenue Street, N.E.
 Albuquerque, New Mexico

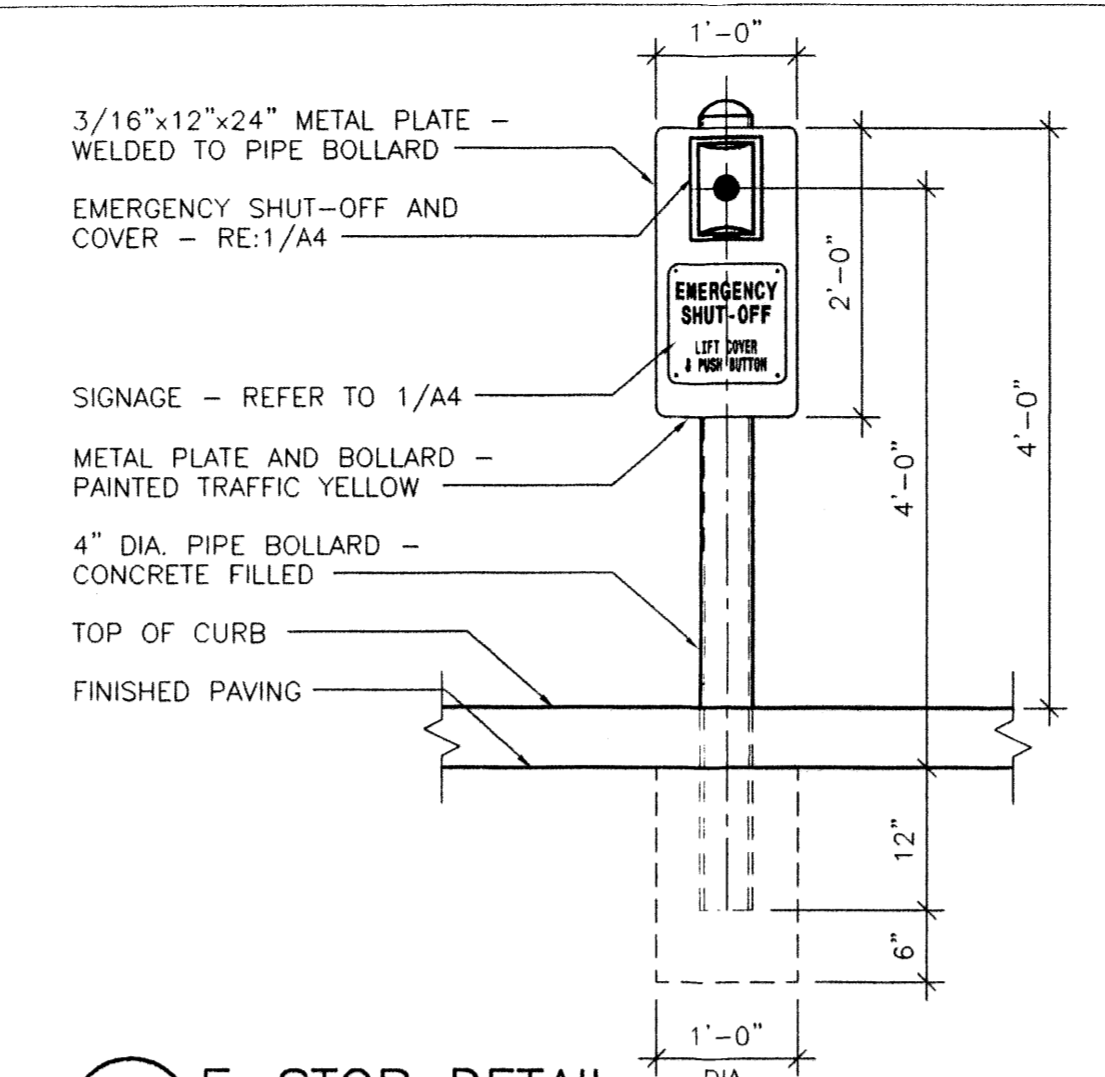
sheet **Dekker/Perich/Sabatini**
 architecture • interior • planning • graphic
 6801 Jefferson NE, Suite 100 Albuquerque, NM 87110 505 761-9100 fax 761-4222



2 PIPE BOLLARD DETAIL
BOLLARD-DWG
3/4" = 1'-0"



3 TRAFFIC ARROW
TRFC-ARROW
3/4" = 1'-0"



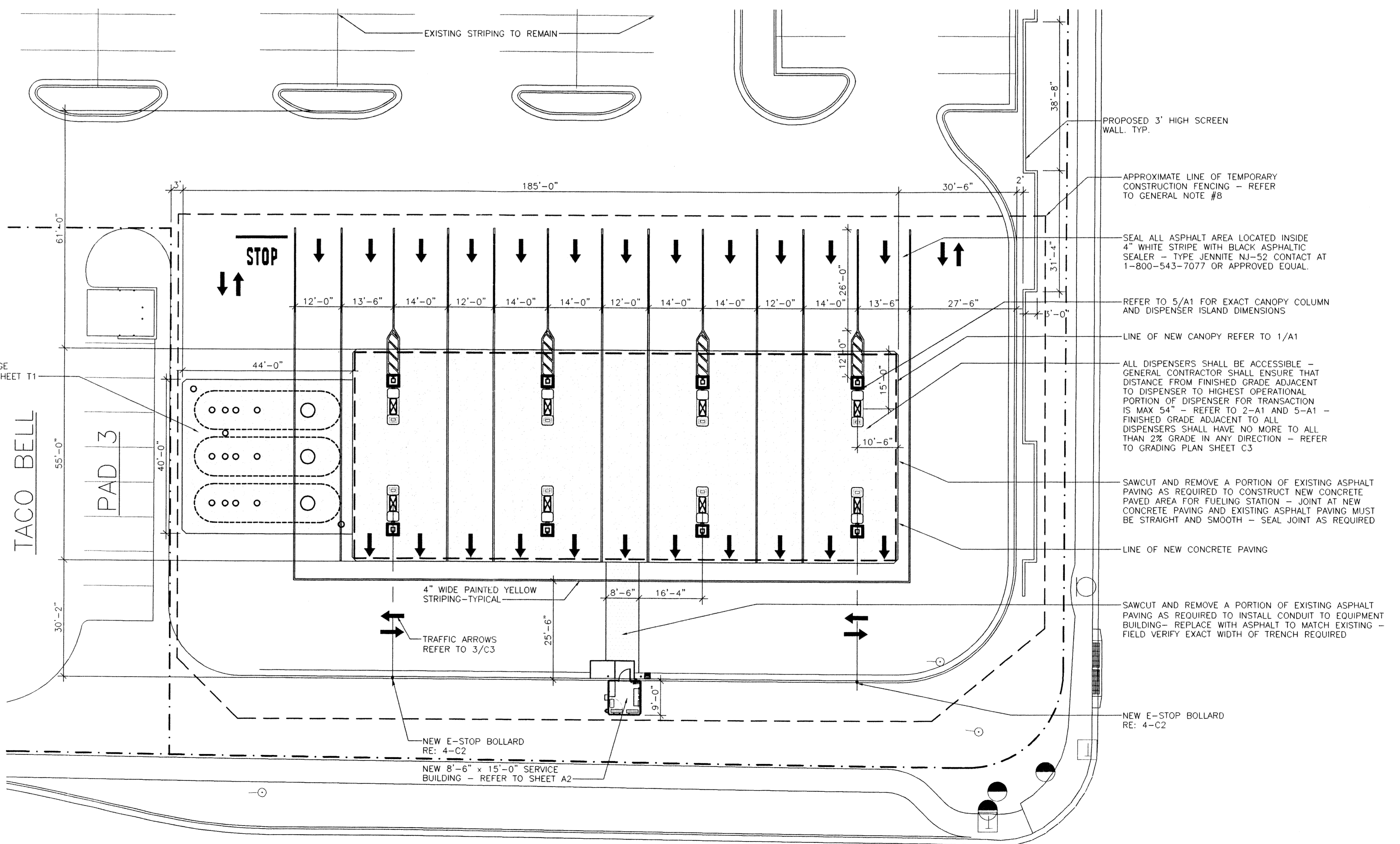
4 E-STOP DETAIL
BOLLARD-E-STOP-DWG
3/4" = 1'-0"

NOTE:
ALL LANDSCAPE REMOVED FOR FUELING STATION CONSTRUCTION SHALL BE REPLACED EQUALLY

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND APPLICABLE CODES.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND ALL SUBCONTRACTORS ARE TO INSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) ALL SUBCONTRACTORS, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
5. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
6. SAWCUT AND REMOVE A PORTION OF EXISTING ASPHALT PAVING AS REQUIRED TO INSTALL NEW UTILITIES TO NEW FUELING STATION - REPLACE TO MATCH EXISTING FLUSH AND SMOOTH.
7. ALL CONTRACTORS SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. COORDINATE RELOCATION OF ANY UTILITIES WITH SAM'S CONSTRUCTION MANAGER AND ARCHITECT.
8. PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND ENTIRE AREA OF CONSTRUCTION. FIELD VERIFY EXACT LOCATION WITH SAM'S CONSTRUCTION MANAGER. COORDINATE FENCING SPECS WITH SAM'S CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND COLD PATCH ASPHALT PAVING AS REQUIRED AT FENCE POST HOLES. ATTACH "COMING SOON" SIGN TO FENCE REFER TO 8-A4.
9. COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH SAM'S CONSTRUCTION MANAGER.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH ENTIRE FUELING STATION CONSTRUCTION AREA PRIOR TO TURNOVER TO SAM'S.
11. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO THE START OF CONSTRUCTION ANY DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
12. THE PROPOSED CANOPY COLUMN FOOTINGS SHALL BE PROVIDED BY AND INSTALLED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING TOP OF FOOTING ELEVATIONS TO ACCOMMODATE ALL NEW UNDERGROUND PIPING AND DISPENSER SUMPS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE CANOPY COLUMN ANCHOR BOLTS ARE STRAIGHT, CLEAN AND CORRECTLY LOCATED PRIOR TO THE ARRIVAL OF THE CANOPY INSTALLATION CREW.
13. SALVAGE RIGHTS FOR DEMOLISHED LIGHT POLES SHALL BE OFFERED FIRST TO CLUB MANAGER THEN TO THE GENERAL CONTRACTOR. IF THE CLUB MANAGER REFUSES SALVAGE RIGHTS THEN IT BECOMES THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE ALL DEMOLISHED LIGHT POLES FROM THE SITE. IF THE PLANS INDICATE LIGHT POLES TO BE REMOVED AND POWER IS INTERRUPTED TO OTHER POLES IN THE PROCESS, THE OTHER POLES MUST BE REENERGIZED THE SAME DAY.
14. GENERAL CONTRACTOR SHALL HAVE ALL EXISTING PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. THIS INCLUDES ALL IRRIGATION PIPING AND LIGHT POLE CONDUITS.
15. THE GENERAL CONTRACTOR SHALL SEED AND STRAW ALL AREAS OF DISTURBED SOIL AND IS RESPONSIBLE FOR ESTABLISHING TURF. FIELD VERIFY THESE AREAS WITH SAM'S CONSTRUCTION MANAGER.
16. USE OF WOODEN BLOCKS ARE ACCEPTABLE TO LEVEL DISPENSER ISLAND; ALL WOOD MUST BE REMOVED PRIOR TO FINAL PLACEMENT OF CONCRETE.
17. AREAS OF EXISTING DAMAGED ASPHALT THAT IS REMOVED AND REPLACED SHALL BE SAW CUT THEN REMOVED AND REPLACED.
18. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION TO BE PROTECTED FROM EXCAVATING EQUIPMENT STABILIZER, BUCKET AND TRACK DAMAGE.

- NOTES:
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (SHOE BOX) TO MINIMIZE FUGITIVE LIGHT. THE MAXIMUM HEIGHT OF LIGHT STANDARDS WITHIN 100 FEET OF RESIDENCES SHALL BE 16 FEET.
 2. THE FUELING CANOPY CEILING SHALL BE OF A NON-REFLECTIVE SURFACE. UNDER CANOPY LIGHT FIXTURE LENSES MUST NOT PROJECT BELOW THE CANOPY SURFACE. THE FASCIA SHOULD PROJECT A MINIMUM OF 6" BELOW CANOPY CEILING. THE LIGHTING MUST COMPLY WITH ZONE CODE 14-16-3-9 REGARDING AREA LIGHTING REGULATIONS, SPECIFICALLY CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY OR RESIDENTIAL PREMISES AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. THE MAXIMUM HEIGHT OF THE TOP OF THE CANOPY SHALL BE 22 FEET AND THE MAXIMUM HEIGHT OF THE BOTTOM OF THE CANOPY SHALL BE 18 FEET.
 3. SHALL BE A MINIMUM OF 6 CART CORRALES ON SITE. (THERE IS A TOTAL OF 10 CART CORRALES EXISTING ON THE SITE. SEE SITE PLAN FOR SUBDIVISION). SEE SHEET 3
 4. SEE SHEET 4 FOR THE OVERALL LANDSCAPING PLAN.
 5. SEE SHEET 3 FOR THE ADDED 15 FOOT SIDEWALK WITH LANDSCAPING PLANTERS ALONG THE FRONT FACADE OF THE EXISTING SAM'S CLUB BUILDING.
 6. SEE SHEET 3 FOR THE REQUIRED MINIMUM OF 6 CART CORRALES WITHIN THE SAM'S CLUB PARKING AREA.
 7. SEE SHEET 3 FOR THE EAST/WEST PEDESTRIAN WAY ALONG THE SOUTH SIDE OF THE MAIN ENTRY DRIVE.



CASE NUMBER: DRB 98-

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on January 19, 1998, and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Michael J. Davis</i>	7-19-00
Traffic Engineer, Transportation Division	Date
<i>Adrienne E. Carollana</i>	7-19-00
Design and Development, CIP Parks & Recreation	Date
<i>Roger A. Kwan</i>	7-19-00
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
Solid Waste	Date

PLNZ (10706) 4/96

HARRISON FRENCH ARCHITECTURE
502 S.W. A Street
Bentonville, Arkansas 72712
Telephone 501/273-7780

SAM'S WHOLESALE CLUB
SAM'S CLUB FUELING STATION

CLUB # 6672
ALBUQUERQUE, NEW MEXICO

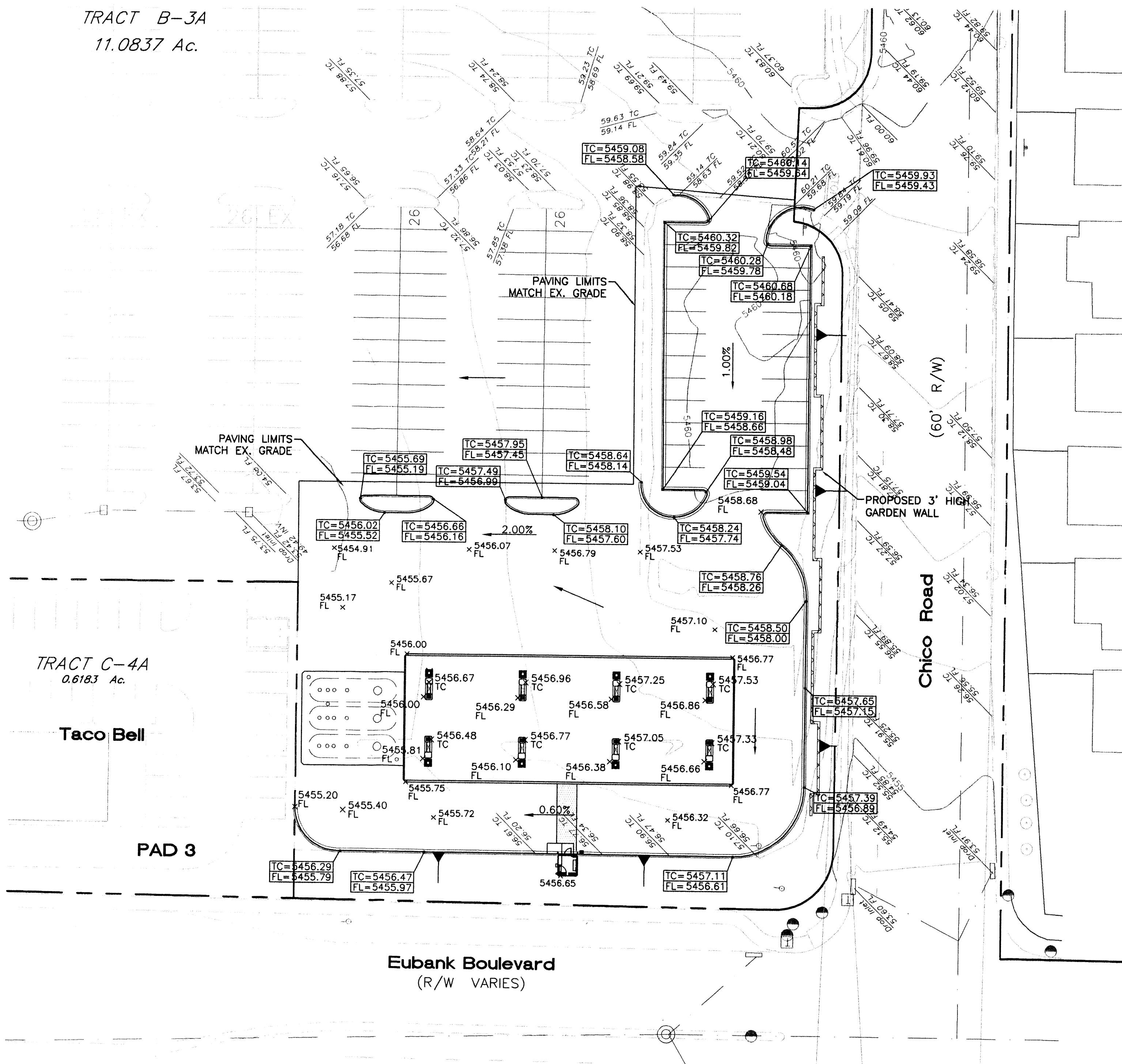
SAM'S CLUB
608 S.W. 8TH STREET
BENTONVILLE, AR 72712

Sheet Contents:
SITE PLAN - DIMENSIONS

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Checked By: TWP
Revisions:

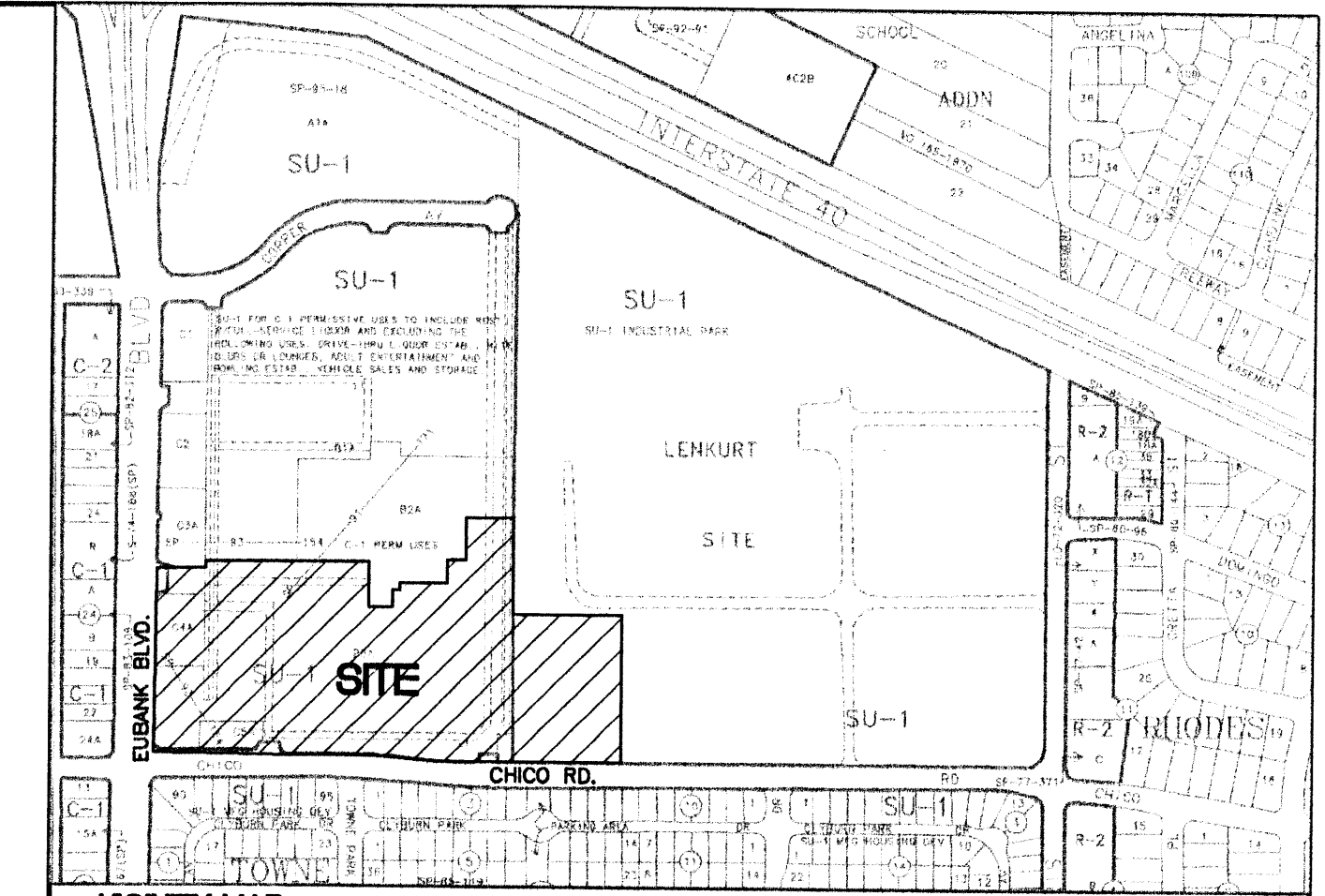
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TRACT B-3A
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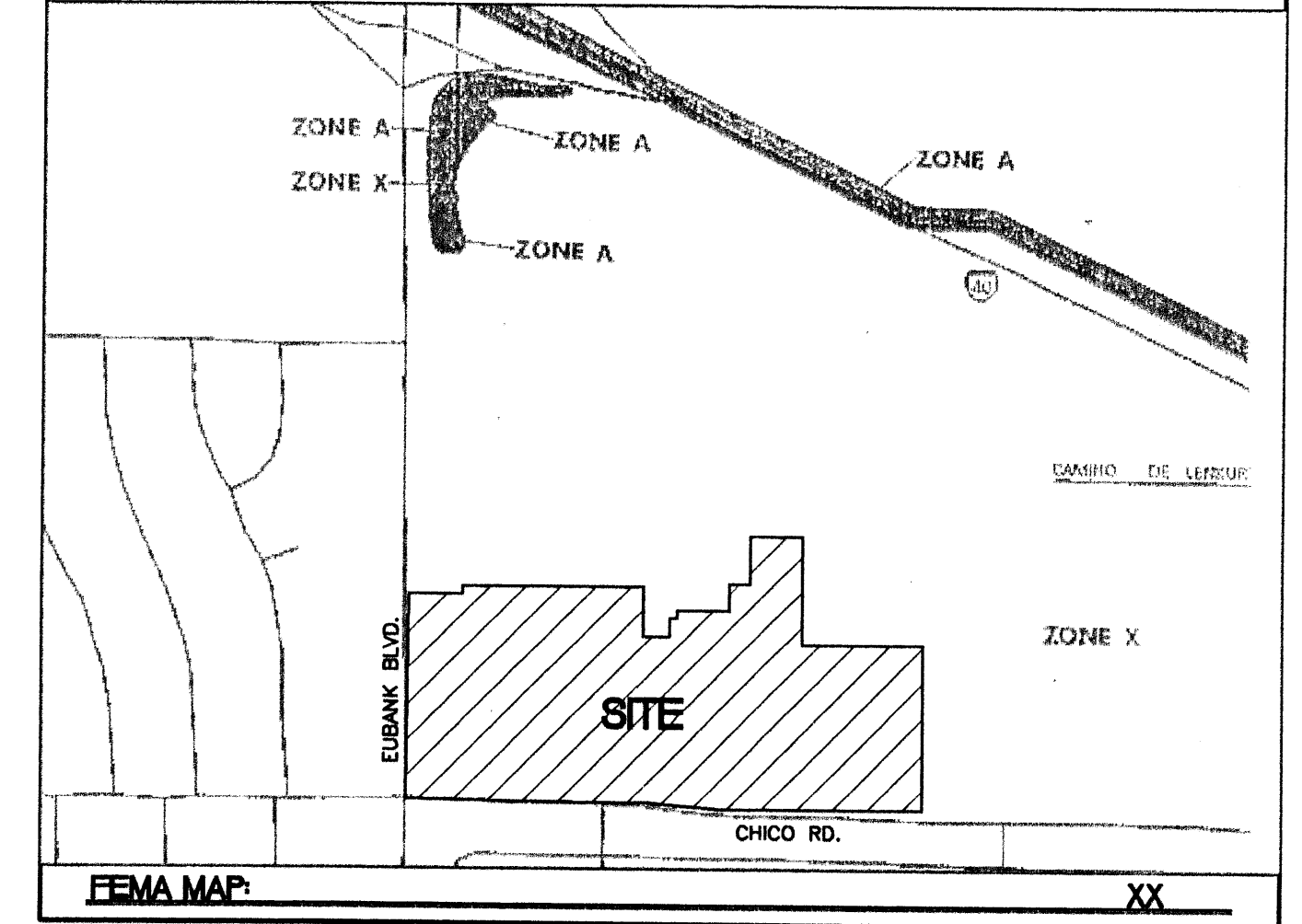


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: K-21-Z



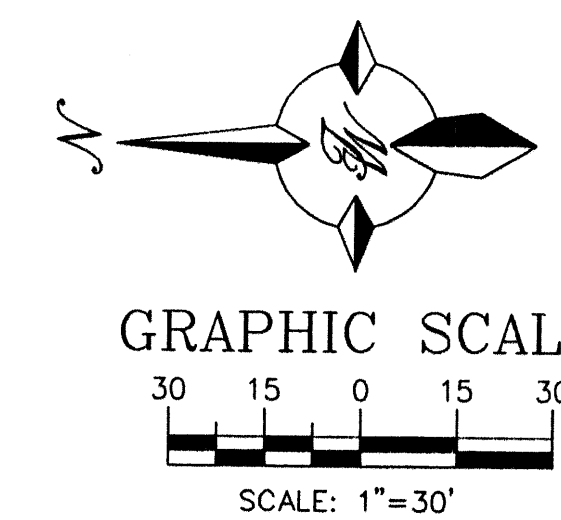
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LEGAL DESCRIPTION:
TRACT B-3A LENKURT SITE

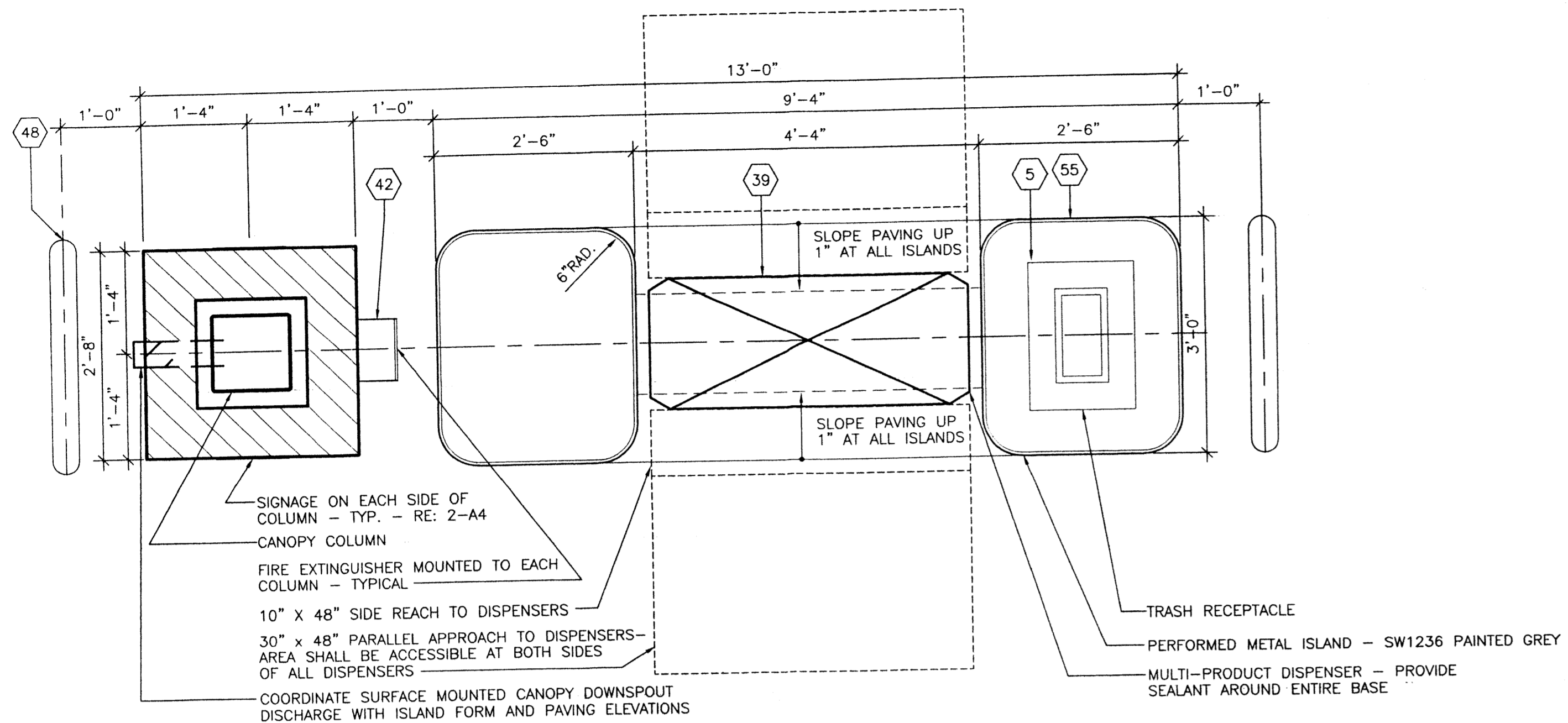
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE UNLESS OTHERWISE NOTED.

LEGEND

- EXISTING CURB & GUTTER
- 50/5 — EXISTING CONTOUR (MAJOR)
- 50/4 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- ▨ PROPOSED SIDEWALK



ENGINEER'S SEAL 	ALBUQUERQUE SAM'S, NM: 4703 GAS STATION	DRAWN BY: BDG DATE: 5-23-00
	GRADING AND DRAINAGE PLAN	9929GAS-GR.DWG
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # 11 JOB # 990029
RONALD R. BOHANNAN P.E. #7868		



5 ENLARGED ISLAND PLAN
3/4" = 1'-0"

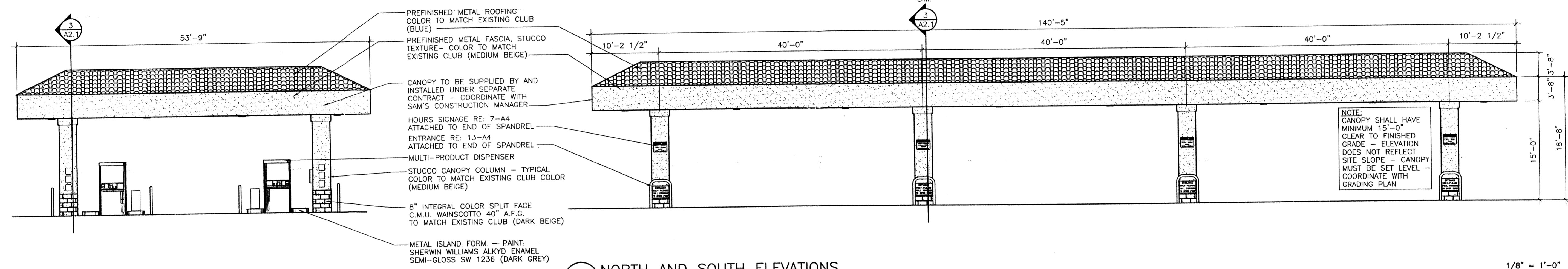
- ### GENERAL NOTES
- CANOPY MANUFACTURER SHALL COORDINATE ALL SIGNAGE REQUIREMENTS FOR CANOPY AND SPANDRELS WITH SAM'S CONSTRUCTION MANAGER AND WAL-MART SIGNAGE SHOP.
 - ALL TOPS AND FOOTING ELEVATIONS SHALL BE COORDINATED WITH GENERAL CONTRACTOR TO ACCOMMODATE UNDERGROUND PIPING AND DISPENSER SUMPS.
 - CANOPY MANUFACTURER SHALL PROVIDE TO GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND ARCHITECT SHOP DRAWINGS FOR CANOPY AND FOOTINGS PRIOR TO START OF CONSTRUCTION - NO CONSTRUCTION CAN START ON CANOPY UNTIL SHOP DRAWINGS HAVE BEEN RECEIVED AND APPROVED BY CONSTRUCTION MANAGER AND ARCHITECT.
 - CANOPY MANUFACTURER SHALL COORDINATE ALL CANOPY COLORS WITH SAM'S CONSTRUCTION MANAGER AND ARCHITECT.
 - COORDINATE CONSTRUCTION PHASING WITH SAM'S CONSTRUCTION MANAGER
 - ANCHOR BOLTS, ANCHOR BOLT TEMPLATE AND THE FOOTING DESIGN SHALL BE PROVIDED BY CANOPY MANUF. TO THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL INSTALL FOOTINGS AS PER THE CANOPY SHOP DRAWING DESIGN.
 - THE GENERAL CONTRACTOR SHALL GROUT ALL CANOPY COLUMNS AT BASE PLATE.
 - CANOPY SIGNAGE SUMMARY:
NORTH AND SOUTH ELEVATIONS:
CANOPY FASCIA = 510 SQ. FT. EA. ELEV.
PROPOSED TOTAL SIGNAGE = 27.5 SQ. FT. EA. ELEV.
EAST AND WEST ELEVATIONS:
CANOPY FASCIA = 86 SQ. FT. EA. ELEV.
 - THE ENTIRE CANOPY INCLUDING ITEMS LISTED IN NOTE 6 SHALL BE SUPPLIED BY AND INSTALLED BY CANOPY MANUFACTURER - THE FOOTINGS FOR THE CANOPY SHALL BE BY THE GENERAL CONTRACTOR.
 - ALL CONCRETE RESIDUE, DUST, DIRT AND PROTECTIVE PLASTIC WRAP TO BE REMOVED FROM DISPENSERS, ISLAND FORMS, CANOPY - COLUMNS, WASTE RECEPTACLES, ETC.

NOTE:
USE OF WOODEN BLOCKS ARE ACCEPTABLE TO LEVEL DISPENSER ISLAND; ALL WOOD MUST BE REMOVED PRIOR TO FINAL PLACEMENT OF CONCRETE.

NOTE:
THE GENERAL CONTRACTOR SHALL PREP AND PAINT ALL CANOPY COLUMNS AND ISLAND FORMS - THE CANOPY MANUFACTURER SHALL FINISH ALL OTHER ITEMS.

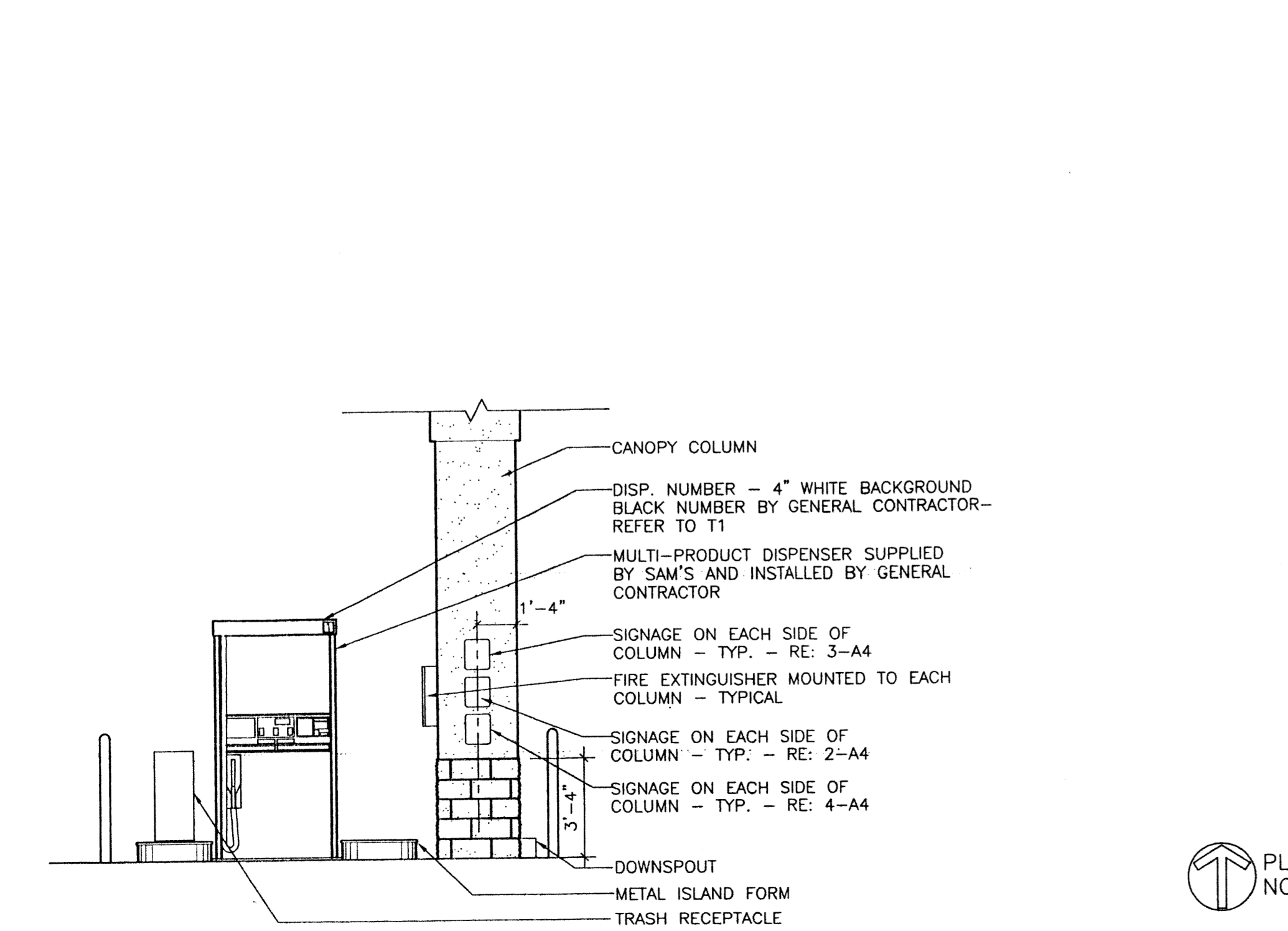
NOTE:
SIGNAGE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF ILLUMINATED FASCIA SIGNAGE WITH SAM'S CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF SIGNS.

NOTE:
ALL SIGNAGE ON THIS SHEET SHALL BE SUPPLIED BY AND INSTALLED BY WAL-MART SIGNAGE CONTRACTOR - ALL PERMITS REQUIRED FOR SIGNAGE SHALL BE SECURED BY WAL-MART SIGNAGE CONTRACTOR.

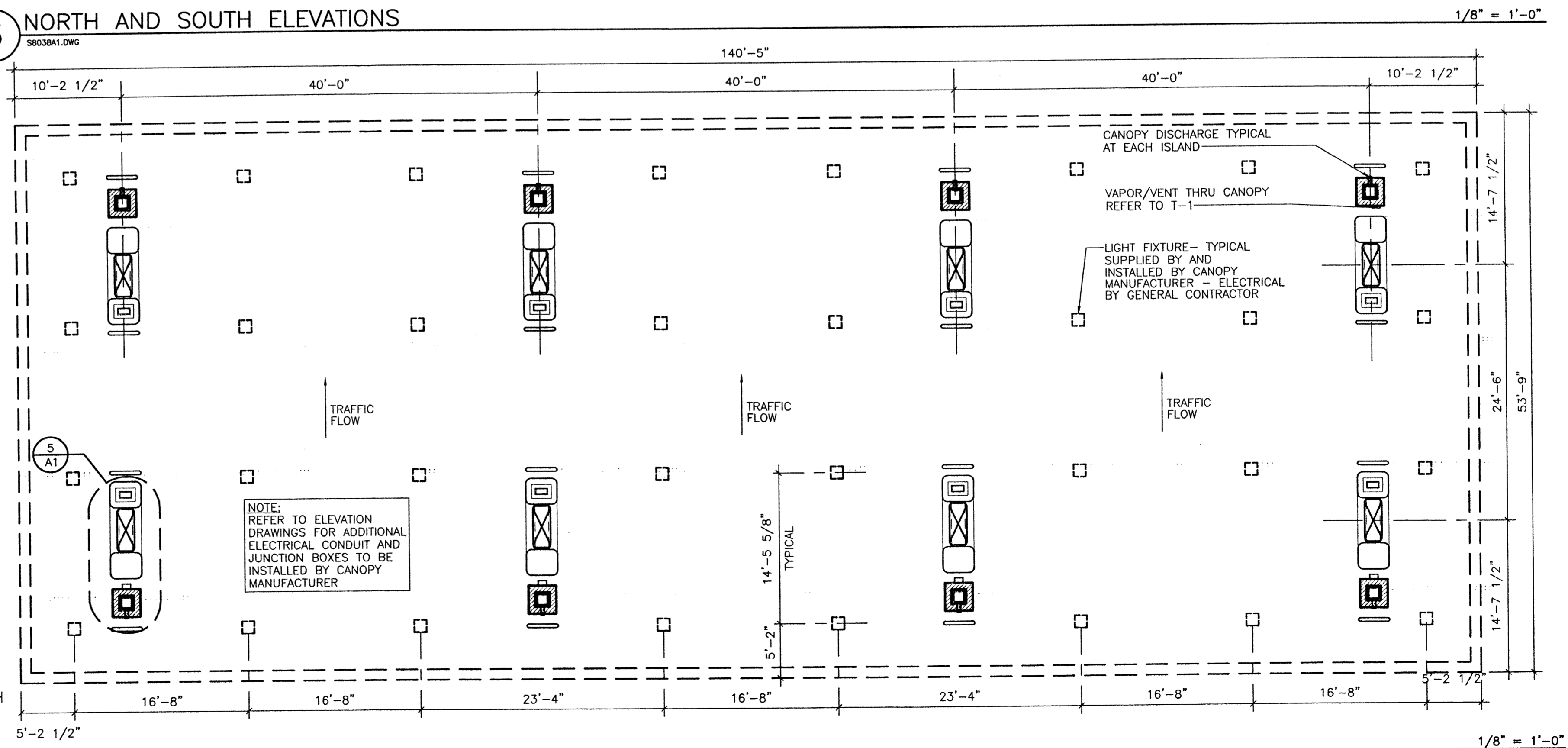


3 NORTH AND SOUTH ELEVATIONS
1/8" = 1'-0"

4 EAST AND WEST ELEVATIONS
1/8" = 1'-0"



2 DISPENSER ELEVATION
1/4" = 1'-0"



1 CANOPY PLAN
1/8" = 1'-0"



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SAM'S CLUB FUELING STATION

CLUB # **6672**
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NEW MEXICO

SAM'S CLUB
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Sheet Contents:

CANOPY PLAN AND ELEVATIONS

Drawn By: MEG, JM
Checked By: TWP
Revisions:

Project Number: WFO086
Date: 09-29-00
Sheet: 1 OF 5 SHEETS

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