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SDP-4.1	CONCEPTUAL UTILITY PLAN
(12 SHEETS) PREVIOUSLY APPROVED DEVELOPMENT PLAN	

Hotel Albuquerque
800 Rio Grande Blvd. NW
Albuquerque, New Mexico

10003181
ppwmm/ed

HOTEL ALBUQUERQUE

DRB
SUBMITTAL
June 24, 2014

PROJECT TEAM

OWNER

OLD TOWN HOTEL TENANCY
201 THIRD STREET NW
SUITE 1150
ALBUQUERQUE, NM 87102
PHONE: 505-998-5450

ARCHITECT

GENSLER
500 S. FIGUEROA ST.
LOS ANGELES, CA 90071
PHONE: 213.327.3600

LANDSCAPE ARCHITECT / PLANNER

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700
FAX: 505.761.4222

CIVIL ENGINEER

HIGH MESA CONSULTING GROUP
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NM 87109
PHONE: 505.345.4250
FAX: 505.345.4254

DATE 6.24.2014
PROJECT NO. 13-0020

SDP-C

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT
Gensler

AMENDMENT
TO EXISTING
SITE DEVELOPMENT PLAN

PROJECT

Hotel Albuquerque
800 Rio Grande Blvd. NW
Albuquerque, New Mexico

DRB
SUBMITTAL
June 24, 2014

REVISIONS
6-24-14 Revised Per EPC Conditions 5-8-14

DRAWN BY CM
REVIEWED BY MB / WG
DATE 6.24.2014
PROJECT NO. 13-0020
DRAWING NAME
SITE PLAN

SHEET NO.
SDP-1.1
OF

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
(ALL EASEMENTS ARE EXISTING)
- ○ ○ 24'-0" MAX HT. POLE LIGHT, DOUBLE. FULL CUT-OFF, DARK
COLOR TO COORDINATE WITH EXISTING FIXTURES
- ● 24'-0" MAX HT. POLE LIGHT, SINGLE. FULL CUT-OFF, DARK
COLOR TO COORDINATE WITH EXISTING FIXTURES

PROJECT NUMBER: 1000318

APPLICATION NUMBER: DRB Amendment to Existing Site Development Plan

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:
[Signature] 07-09-14
DATE

TRAFFIC ENGINEER - TRANSPORTATION DIVISION
[Signature] 07/09/14
DATE

UTILITIES DIVISION
[Signature] 09-03-14
DATE

PARKS AND RECREATION DEPARTMENT
[Signature] 7-9-14
DATE

CITY ENGINEER
[Signature] 06-23-14
DATE

SOLID WASTE MANAGEMENT
[Signature] 9-4-14
DATE

FIRE MARSHALL
[Signature] 9-4-14
DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT
[Signature] 9-4-14
DATE

GENERAL SHEET NOTES

1. THIS SUBMITTAL IS TO AMEND THE EXISTING SITE DEVELOPMENT PLAN FOR THE SHERATON OLD TOWN INN COMPLEX (#1000318)
2. IN A SEPARATE EPC SUBMITTAL TRACT D WILL BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL OBJECTIVES. SEE SITE DEVELOPMENT PLAN FOR TRACT D FOR MORE INFORMATION.
3. IT IS ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT BETWEEN THE EXISTING HOTEL (TRACTS A & B) AND TRACT D TO SUPPORT PARKING DEMAND ON TRACT D, BEYOND WHAT IS PROVIDED ON THE TRACT.
4. PHASES OF DEVELOPMENT: THE MODIFICATIONS TO THE PARKING AREA WILL BE MADE IN ONE PHASE IN ASSOCIATION WITH DEVELOPMENT OF TRACT D.

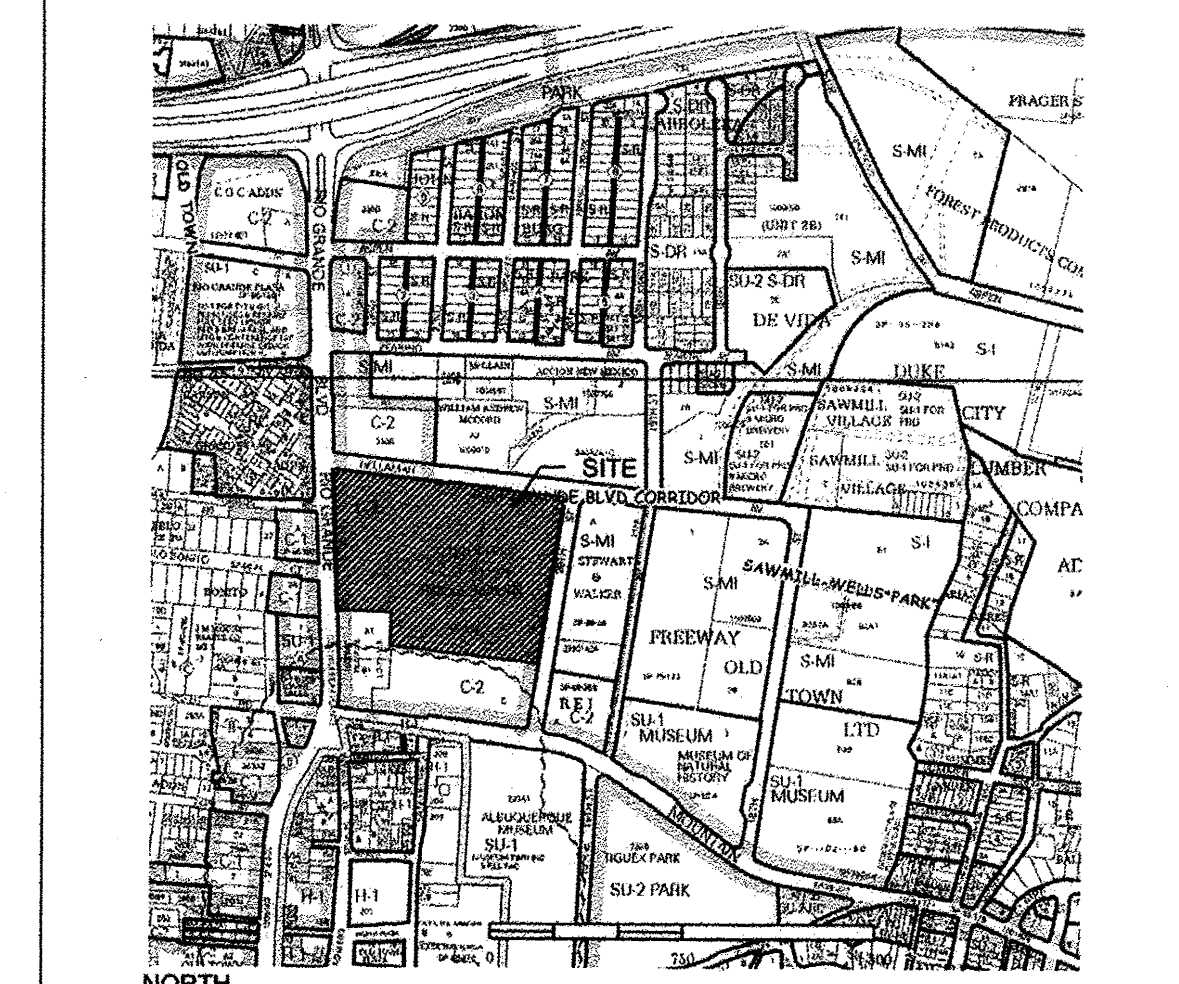
PROJECT DATA

ADDRESS: 800 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104
LEGAL DESCRIPTION: TRACTS A, B, AND D OF SHERATON OLD TOWN INN COMPLEX, IN THE CITY OF ALBUQUERQUE, NEW MEXICO
ZONE ATLAS PAGE: J-13
SITE AREA:
TRACTS A & B: 9.606 AC
TRACT D: 2.634 AC
ZONING: C-2
EXISTING BUILDING FOOTPRINT:
HOTEL TOWER / BALLROOM: 93,628 SF
CHAPEL: 2,496 SF
POOL HOUSE: 624 SF
LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

PARKING CALCULATIONS

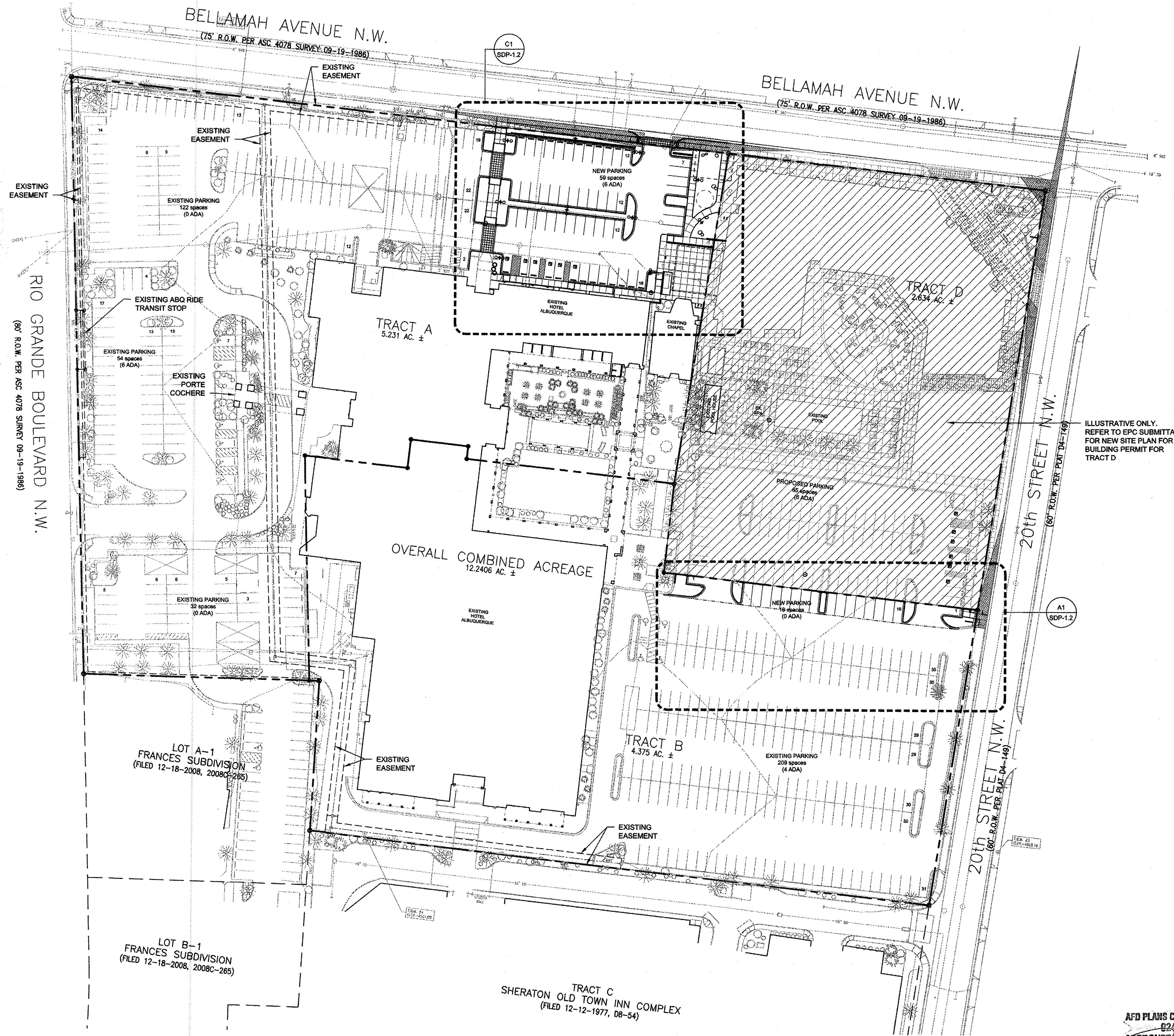
TOTAL PARKING SPACES REQUIRED PER CODE:
1 SPACE PER GUEST ROOM = 188 SPACES

TOTAL EXISTING PARKING:	TRACTS A & B	TRACT D
STANDARD CAR SPACES	504	0
ACCESSIBLE SPACES	19	0
TOTAL CAR SPACES	523	0
MOTORCYCLE SPACES	10	0
TOTAL PROPOSED PARKING:	TRACTS A & B	TRACT D IS TO BE REMOVED FROM THIS SITE DEVELOPMENT PLAN IN A SEPARATE ACTION
STANDARD CAR SPACES	478	
ACCESSIBLE SPACES	18	
TOTAL CAR SPACES	494	
MOTORCYCLE SPACES	10	
EXCESS PARKING ON SITE:	306 SPACES	



VICINITY MAP
ZONING MAP J-13

AFD PLANS CHECKING OFFICE
224-3511
APPROVED
[Signature]
SIGNATURE & DATE



SITE PLAN
1" = 50'-0"
0 50' 100'

EXISTING EASEMENT
RIO GRANDE BOULEVARD N.W.
(80' R.O.W. PER ASC 4078 SURVEY 09-19-1986)

BELLAH AVENUE N.W.
(75' R.O.W. PER ASC 4078 SURVEY 09-19-1986)

BELLAH AVENUE N.W.
(75' R.O.W. PER ASC 4078 SURVEY 09-19-1986)

20th STREET N.W.
(60' R.O.W. PER PLAN D8-149)

20th STREET N.W.
(60' R.O.W. PER PLAN D8-149)

ILLUSTRATIVE ONLY.
REFER TO EPC SUBMITTAL
FOR NEW SITE PLAN FOR
BUILDING PERMIT FOR
TRACT D

LOT A-1
FRANCES SUBDIVISION
(FILED 12-18-2008, 2008C-285)

LOT B-1
FRANCES SUBDIVISION
(FILED 12-18-2008, 2008C-285)

TRACT C
SHERATON OLD TOWN INN COMPLEX
(FILED 12-12-1977, D8-54)

OVERALL COMBINED ACREAGE
12.2406 AC. ±

TRACT A
5.231 AC. ±

TRACT B
4.375 AC. ±

TRACT D
2.634 AC. ±

REVISIONS

△	6-24-14	Revised Per EPC Conditions 5-8-14
△		
△		
△		

DRAWN BY	CM
REVIEWED BY	MB / WG
DATE	6.24.2014
PROJECT NO.	13-0020
DRAWING NAME	

**SITE PLAN
ENLARGEMENTS**

SHEET NO.
SDP-1.2
OF

GENERAL SHEET NOTES

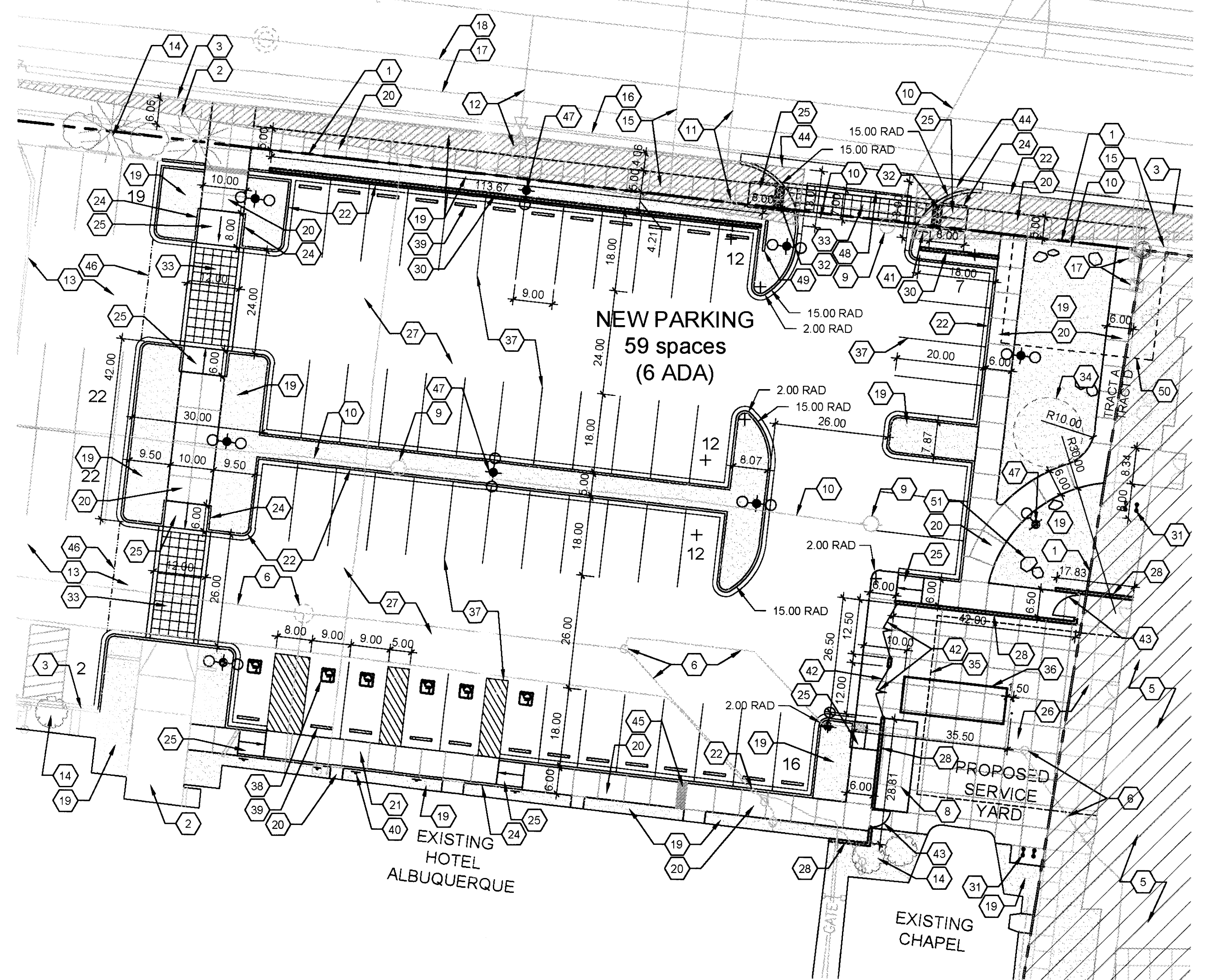
- REFER TO SDP-1.1 FOR PROJECT DATA
- SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE PLAN FOR POLE LOCATIONS.
- MECHANICAL AND ELECTRICAL EQUIPMENT WILL BE SCREENED FROM VIEW WITHIN THE ENCLOSED SERVICE YARD AREA. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF EQUIPMENT DOOR, AND 5'-6" OF CLEARANCE ON REMAINING THREE SIDES.

LEGEND

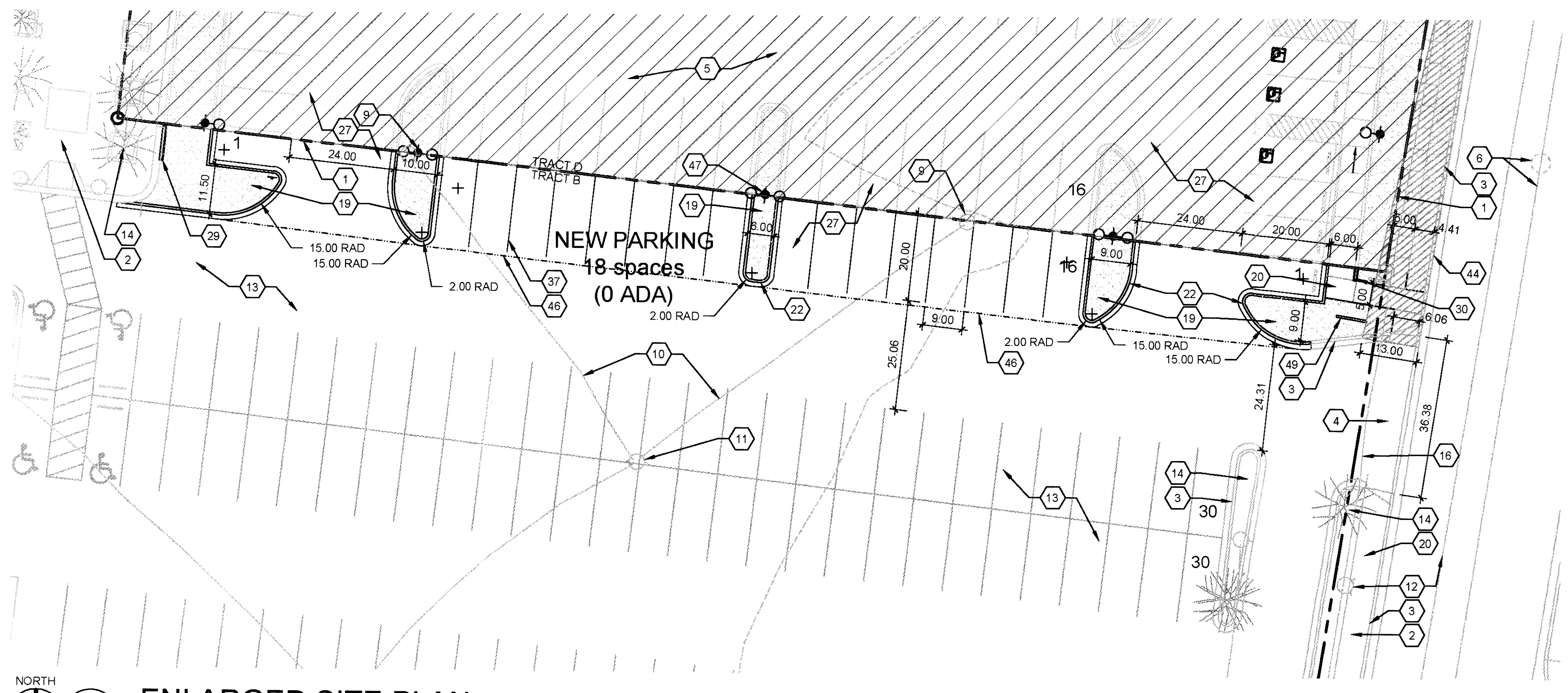
- PROPERTY LINE
- - - EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- +○ 24'-0" MAX HT. POLE LIGHT, DOUBLE, FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
- +○ 24'-0" MAX HT. POLE LIGHT, SINGLE, FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES

SHEET KEYED NOTES

- PROPERTY LINE
- EXISTING SIDEWALK TO REMAIN
- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING CURB CUT TO REMAIN
- REFER TO EPC SUBMITTAL FOR TRACT D (SHOWN FOR ILLUSTRATIVE PURPOSES)
- EXISTING SANITARY SEWER MANHOLE / CLEAN-OUT AND LINE TO REMAIN
- EXISTING UTILITY EASEMENT - NONE
- EXISTING POOL SAND FILTER TO REMAIN
- EXISTING ELECTRICAL POLE TO BE REMOVED OR RELOCATED
- EXISTING ELECTRICAL OVERHEAD LINE TO BE REMOVED OR RELOCATED
- EXISTING ELECTRICAL POLE AND OVERHEAD LINE TO REMAIN
- EXISTING FIRE HYDRANT AND WATER LINE TO REMAIN
- EXISTING ASPHALT PAVING
- EXISTING TREES TO REMAIN
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING CABLE TV LINE
- EXISTING STORM DRAIN
- LANDSCAPE AREA, SEE SDP-2.1 & 2.2
- CONCRETE SIDEWALK, PER COA DPM STD. 2430
- FLUSH CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER, PER COA DPM STD. 2415A (IN ROW, 2415B INTERNAL)
- NOT USED
- CONCRETE HEADER CURB, PER COA DPM STD. 2415B
- CONCRETE ACCESSIBLE RAMP, TYPE A, SEE D1/SDP-1.3
- REINFORCED CONCRETE PAVING IN SERVICE YARD, COLOR NONE
- NEW ASPHALT PAVING
- 10'-3" HT WALL, SEE ARCH SHEET 5.2 (TRACT D SDP)
- 7'-0" HT WALL, SEE ARCH SHEET 5.3 (TRACT D SDP)
- 3'-0" HT CMU WALL WITH CAP AND STUCCO FINISH, COLOR: CREAM, TAN, OR BROWN, ALT MATERIAL: ADOBE BRICK WALL WITH CAP OR CAST-IN-PLACE CONCRETE
- BIKE RACKS
- DETECTABLE WARNING SURFACE
- HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR: NONE, CREAM, TAN OR BROWN, ALT MATERIAL: STONE OR CONCRETE PAVERS
- PROPOSED UNDERGROUND CISTERN LOCATION
- OVERHEAD STRUCTURE, SEE ARCHITECTURAL SHEETS
- COMPACTOR, 34 CU. YD. CAPACITY, SEE A1/SDP-1.3 FOR ENCLOSURE GATE ELEVATION
- PARKING STRIPING
- ADA PAVEMENT MARKING
- PARKING BUMPER
- ACCESSIBLE PARKING SIGN, SEE C1/SDP-1.3
- STOP SIGN, SEE C1/SDP-1.3
- SERVICE ENCLOSURE GATE, DOORS TO REMAIN CLOSED, SEE A1/SDP-1.3
- DECORATIVE PEDESTRIAN GATE
- CLEAR SIGHT TRIANGLE
- SIDEWALK CULVERT, SEE CIVIL
- EXTENT OF NEW ASPHALT PAVING
- SIGHT LIGHTING, SEE LEGEND
- CONCRETE PRIVATE ENTRANCE DRIVE, PER COA STD. 2426
- DIRECTIONAL SIGN, SEE C3/SDP-1.3
- PROPOSED WATER UTILITY EASEMENT, SEE CIVIL
- BOULDERS, COLOR: LOCAL AS AVAILABLE



NORTH
C1
ENLARGED SITE PLAN
1" = 20'-0"
0 20' 40'



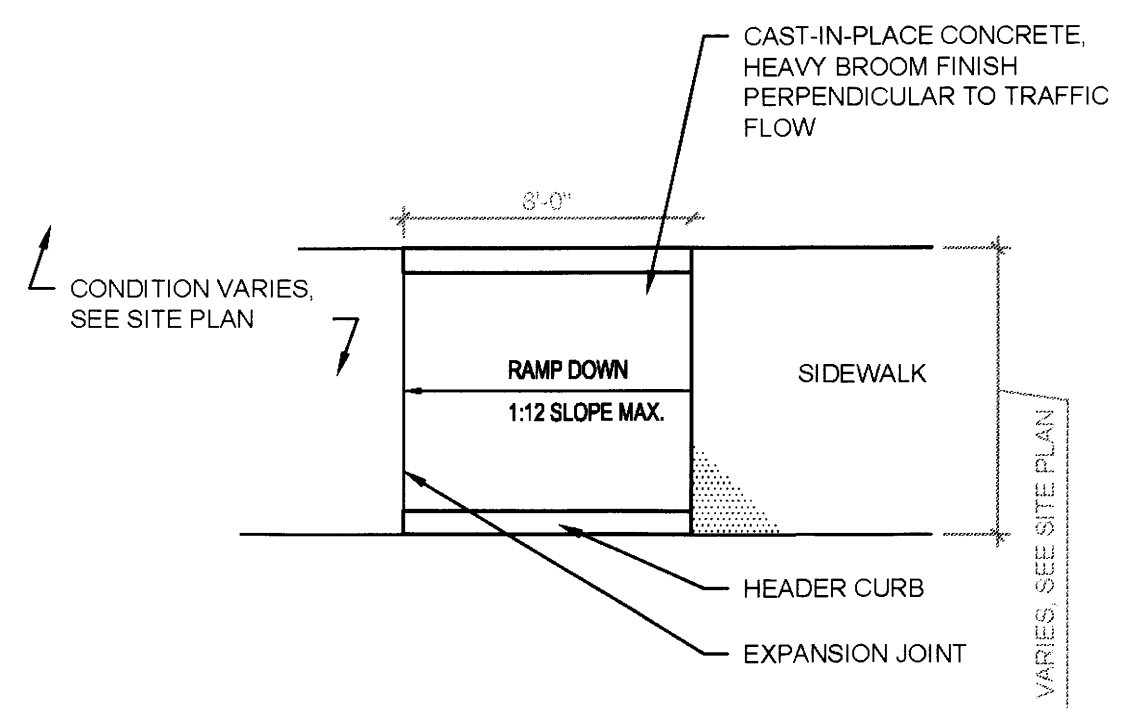
NORTH
A1
ENLARGED SITE PLAN
1" = 20'-0"
0 20' 40'

REVISIONS

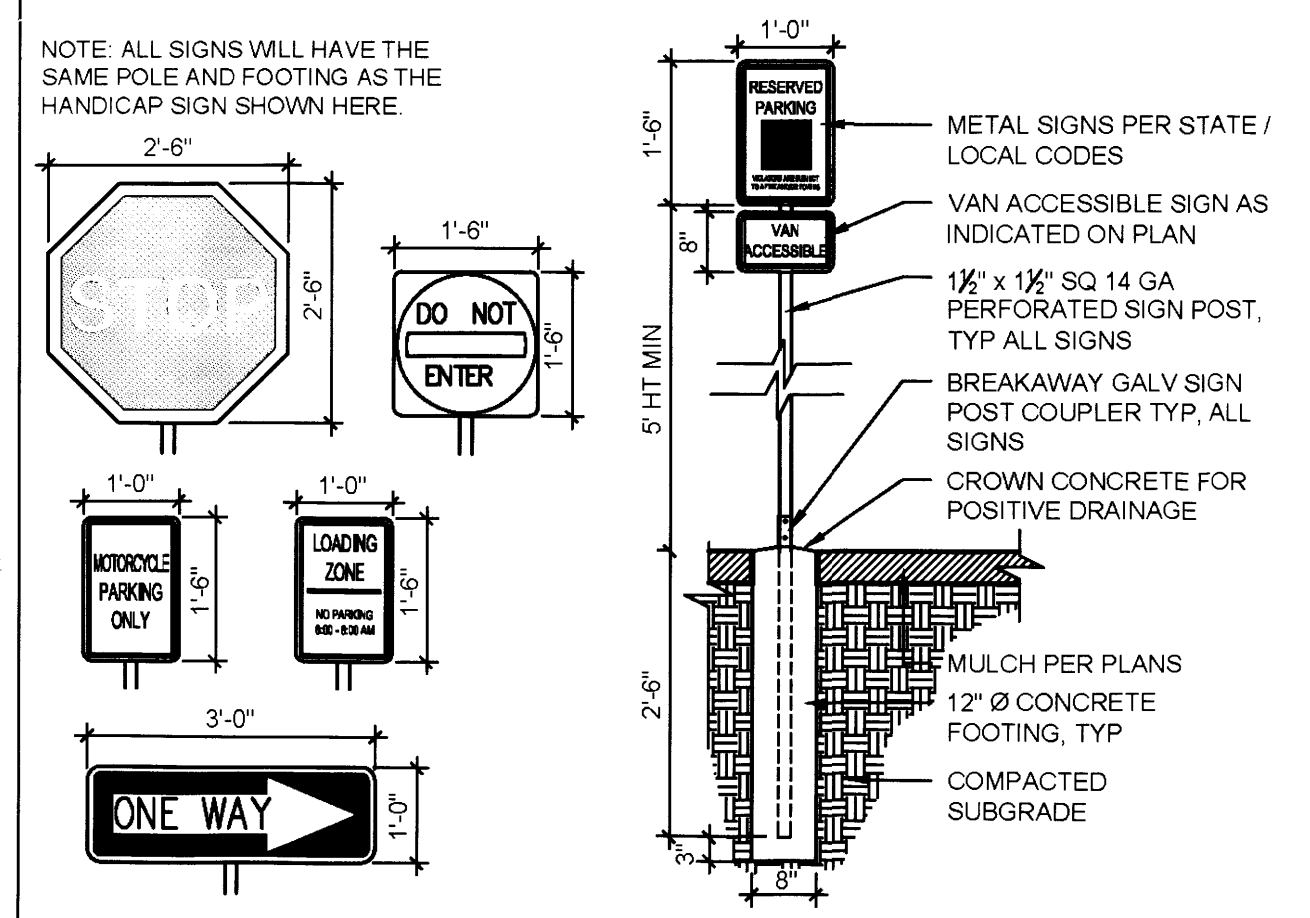
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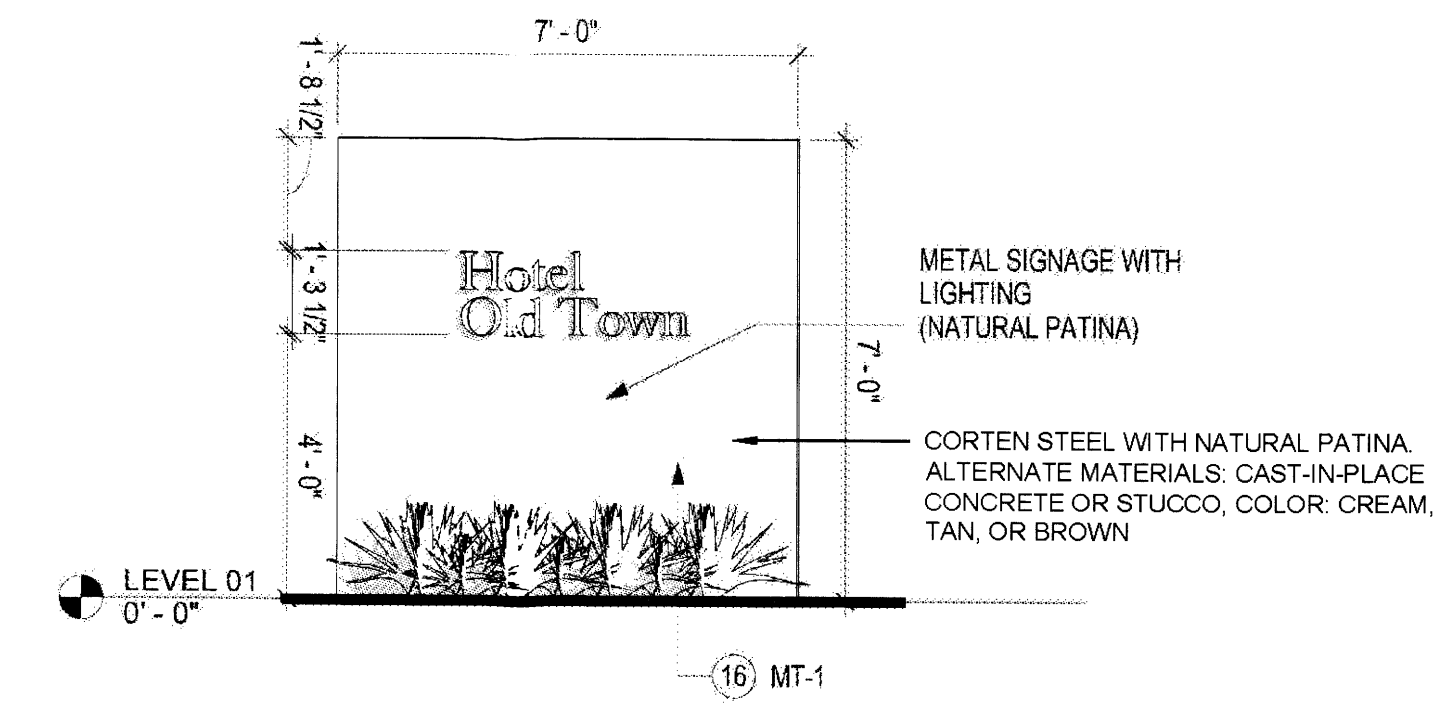
SITE DETAILS



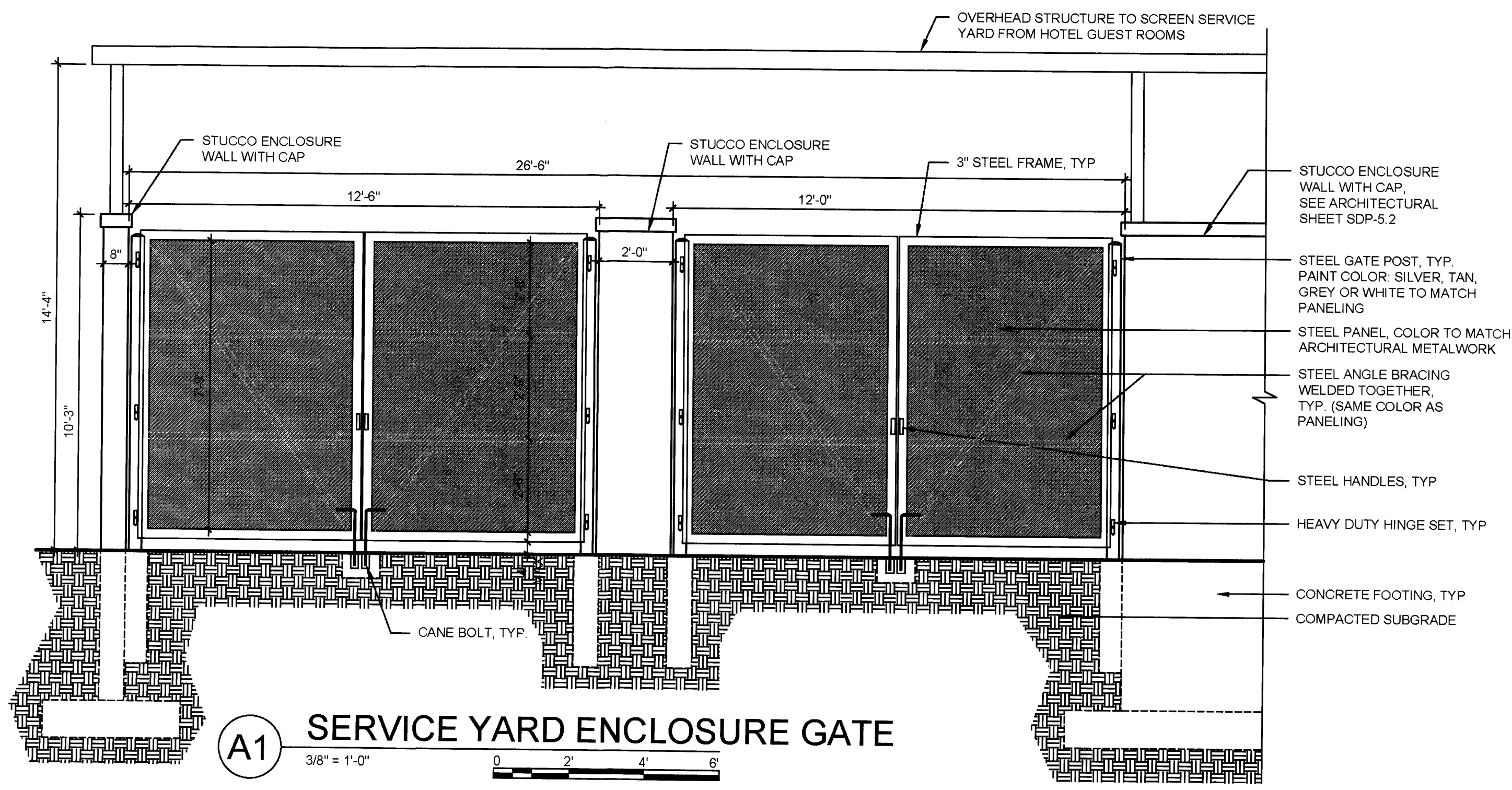
D1 ACCESSIBLE RAMP, TYPE A
1/4" = 1'-0"



C1 SITE SIGNAGE
1/2" = 1'-0"



C3 SITE SIGNAGE, TYP
3/8" = 1'-0"



A1 SERVICE YARD ENCLOSURE GATE
3/8" = 1'-0"

GENERAL SHEET NOTES

1. NEW LANDSCAPE AND IRRIGATION WORK ON TRACTS A AND B IS LIMITED TO PARKING LOT RENOVATIONS ASSOCIATED WITH NEW DEVELOPMENT ON TRACT D.
2. TRACT D SITE DEVELOPMENT PLAN IS BEING SUBMITTED SEPARATELY FOR REVIEW AND APPROVAL.
3. A 3'-0" TALL SCREEN WALL WILL BE USED TO SCREEN PARKING ALONG BELLAMAH AVE.

PLANTING NOTES

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-18-3-10. THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT.
3. EXISTING PLANT MATERIALS: THE PLANT MATERIAL ON THE MAJORITY OF THE PROPERTY WILL NOT BE AFFECTED BY THE PROPOSED CHANGES TO TRACTS A AND B. IN THE NORTH PARKING LOT, A FEW TREES WILL NEED TO BE REMOVED TO ACCOMMODATE THE NEW DESIGN. THESE TREES WILL BE REPLACED BY NEW STREET TREES.
4. STREET TREE PLAN: STREET TREES ARE PLANTED 25' ON CENTER OR LESS AS INDICATED ON THE PLANS. STREET TREES WILL BE PLANTED IN A CONTINUOUS TREE TRENCH IN ORDER TO MAXIMIZE THE AMOUNT OF SPACE AVAILABLE FOR TREE ROOT GROWTH. STREET TREE PLACEMENT HAS BEEN COORDINATED WITH ON-STREET PARKING STRIPING IN ORDER TO ALLOW EASY ACCESS TO THE SIDEWALK AND TO PROTECT THE TREES.
5. TURF AREA: GRASS TURF AREAS ARE NOT INCLUDED IN THIS PLAN.
6. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE TRACT D BUILDING'S OCCUPANCY. LANDSCAPE IMPROVEMENTS WILL BE PHASED IN ASSOCIATION WITH THE PHASED SITE DEVELOPMENT INDICATED FOR THE TRACT D SITE DEVELOPMENT PLAN.
7. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION MULCH OR SEED.
8. VEGETATION: A MINIMUM OF 40% OF INSTALLED SHRUBS, ACCENT PLANTS AND ORNAMENTAL GRASSES WILL BE EVERGREEN IN ORDER TO PROVIDE SIGNIFICANT WINTER INTEREST AND VISUAL IMPACT.
9. WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE PLANS. SEE IRRIGATION NOTES.
10. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 'S' AND 'S' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

IRRIGATION NOTES

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION INSTALLATION DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATE OF COMPLIANCE WITH WATER CONSERVATION REGULATIONS: THE IRRIGATION DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
3. IRRIGATION DESIGN DESCRIPTION: A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE PLANTS IN THE PROJECT AREA. IRRIGATION MAY BE DESIGNED IN PART OR IN TOTAL AS AN EXTENSION OF THE EXISTING IRRIGATION SYSTEM FOR THE EXISTING HOTEL. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO WATER REQUIREMENTS. ON AVERAGE, EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS EACH AND ALL OTHER PLANT MATERIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS EACH.
4. WATER SOURCE AND PROTECTION: THE WATER SOURCE FOR PROJECT IRRIGATION WILL BE CITY WATER. IF THE EXISTING IRRIGATION SYSTEM DESIGN IS INSUFFICIENT TO ACCOMMODATE THE LANDSCAPING FOR THE NEW HOTEL, IRRIGATION WATER SUPPLY WILL BE PROVIDED OFF OF THE HOTEL DOMESTIC SUPPLY LINE. A NEW BACKFLOW PREVENTER AND MASTER VALVE WILL BE PROVIDED PER COA STANDARD DETAIL 2701.
5. WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE ENLARGEMENT PLANS (SEE SHEET SDP-2.2). THE NEW HOTEL WILL DIRECT ROOF STORMWATER TO CISTERNS IN ORDER TO MANAGE OFF-SITE STORMWATER FLOWS. THE WATER IN THE CISTERNS WILL BE USED FOR IRRIGATION PURPOSES IN ORDER TO REDUCE POTABLE WATER USE FOR IRRIGATION.

LANDSCAPE CALCULATIONS

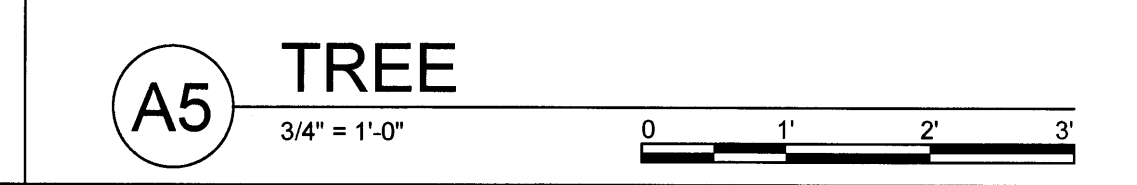
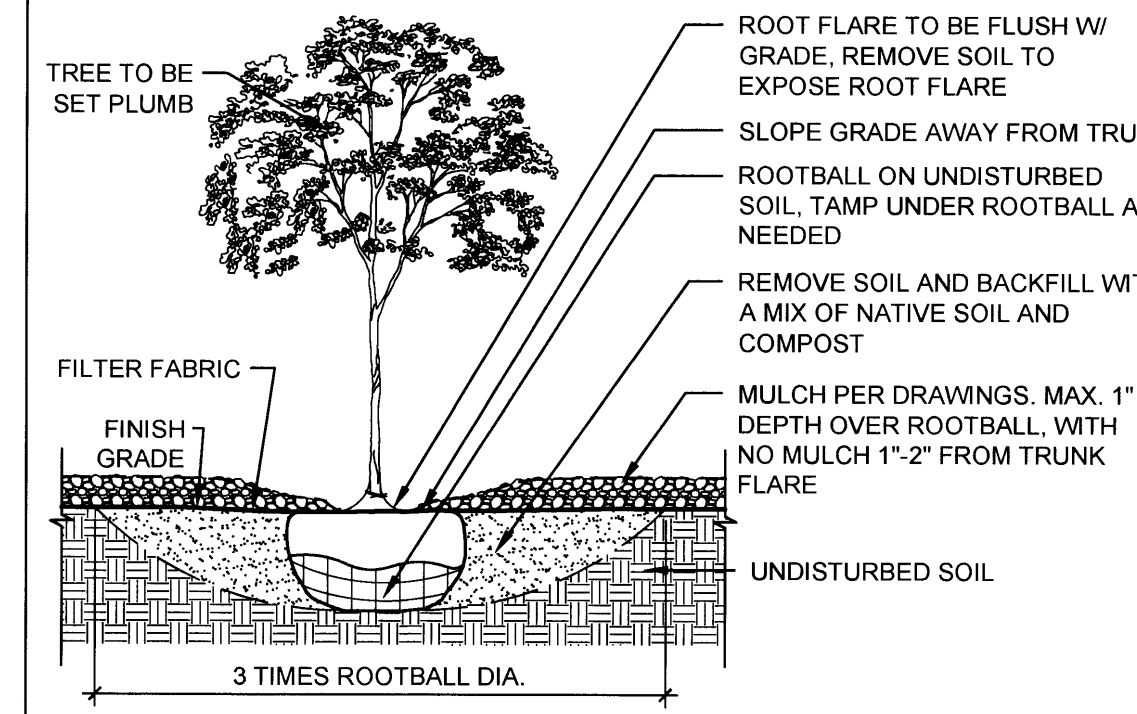
TRACTS A & B
TOTAL AREA OF THE LOT (TRACT A & B) = 9,606 AC = 418,437 SF
AREA OF LOT COVERED BY BUILDING = 96,748 SF
NON-PARKING AREA W/ NO LANDSCAPING AND MIN. 6' TALL SCREEN = 2,137 SF
NET LOT AREA = 319,552 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 47,933 SF
PROVIDED LANDSCAPE AREA = 53,777 SF = 16.8%

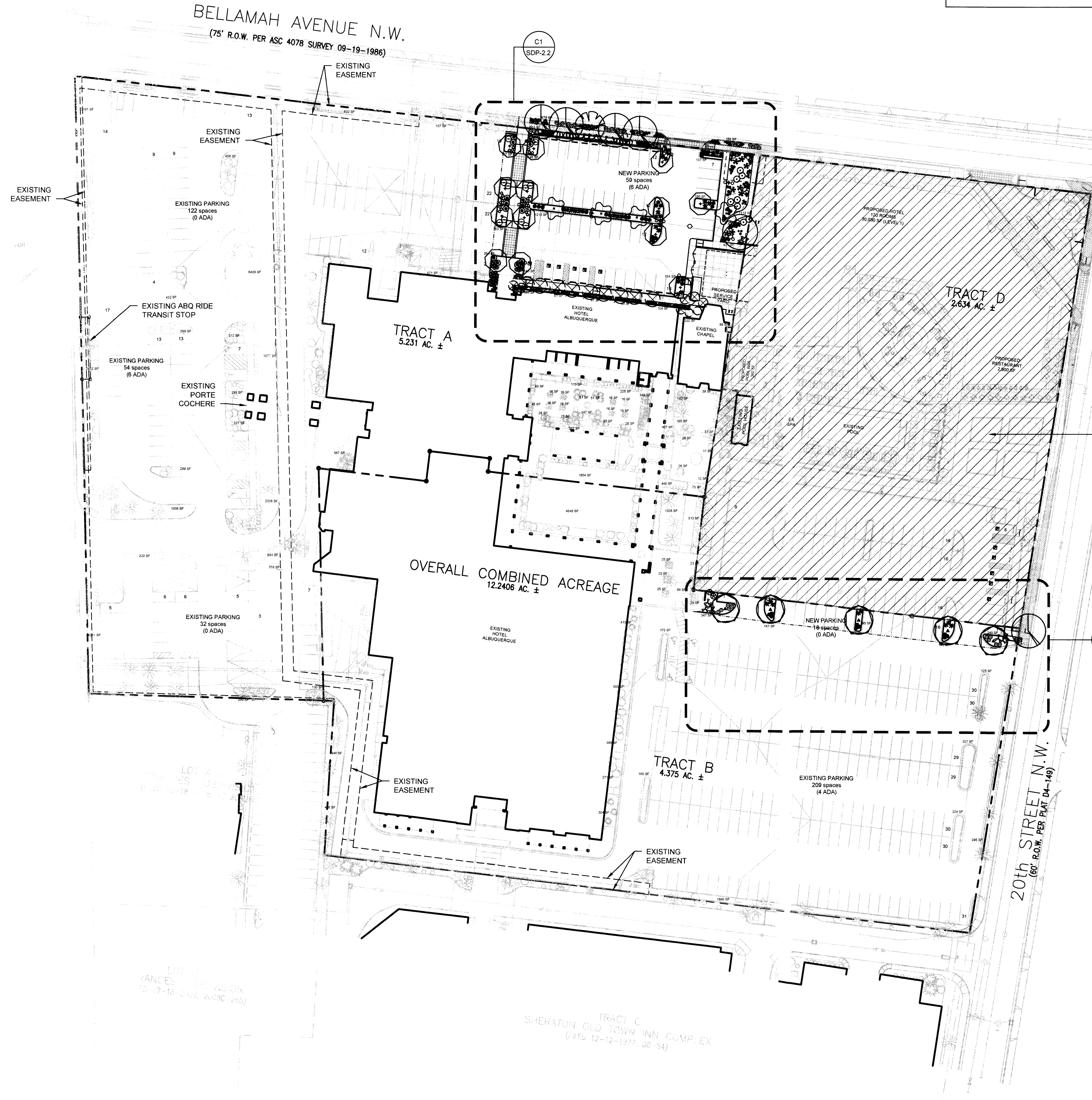
TREES PER PARKING SPACES - IN RENOVATION AREA
REQUIRED = 1 TREE / 10 PARKING SPACES
NUMBER OF PARKING = 59
REQUIRED NUMBER OF TREES = 6 TREES
PROVIDED NUMBER OF TREES = 16 TREES

NOTES:

1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.



A5 TREE
3/4" = 1'-0"



ILLUSTRATIVE ONLY. REFER TO EPC SUBMITTAL FOR NEW SITE PLAN FOR BUILDING PERMIT FOR TRACT D

A1 OVERALL LANDSCAPE PLAN
1" = 50'-0"
0 50' 100'

GENERAL SHEET NOTES

1. NEW LANDSCAPE AND IRRIGATION WORK ON TRACTS A AND B IS LIMITED TO PARKING LOT RENOVATIONS ASSOCIATED WITH NEW DEVELOPMENT ON TRACT D.
2. TRACT D SITE DEVELOPMENT PLAN IS BEING SUBMITTED SEPARATELY FOR REVIEW AND APPROVAL.
3. A 3'-0" TALL SCREEN WALL WILL BE USED TO SCREEN PARKING ALONG BELLAMAH AVE.
4. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

SHEET KEYED NOTES

1. PROPERTY LINE
2. PROPOSED WATER UTILITY EASEMENT, SEE CIVIL
3. WATER HARVESTING AREA
4. 3'-0" TALL SCREEN WALL, SEE SDP 1.2
5. 10'-3" TALL SERVICE YARD ENCLOSURE WALL, SEE SDP 1.2
6. RAISED PLANTING BED, STONE OR CONCRETE EDGING
7. PROPOSED UNDERGROUND CISTERN LOCATION
8. CLEAR SIGHT TRIANGLE
9. 6'-0" TALL SCREEN WALL
10. REFER TO EPC SUBMITTAL FOR TRACT D
11. SITE LIGHTING, SEE SDP-1.2

PLANTING LEGEND

TREES		
SYMBOL	COMMON NAME	BOTANICAL NAME
	DESERT WILLOW	Chilopsis linearis (Multi-trunk)
	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'
	URBANITE ASH	Fraxinus pennsylvanica 'Urbanite'
	STREETKEEPER HONEYLOCUST	Gleditsia triacanthos 'Draves'
	COLOGREEN JUNIPER	Juniperus scopulorum 'Cologreen'
	RIO GRANDE COTTONWOOD	Populus wislizeni (Multi-trunk)
	SHUMARD OAK	Quercus shumardii
	REGENT JAPANESE PAGODATREE	Sophora japonica 'Regent'
	REDMOND LINDEN	Tilia americana 'Redmond'
	EMERALD ARBORVITAE	Thuja occidentalis 'Emerald'
	FRONTIER ELM	Ulmus 'Frontier'

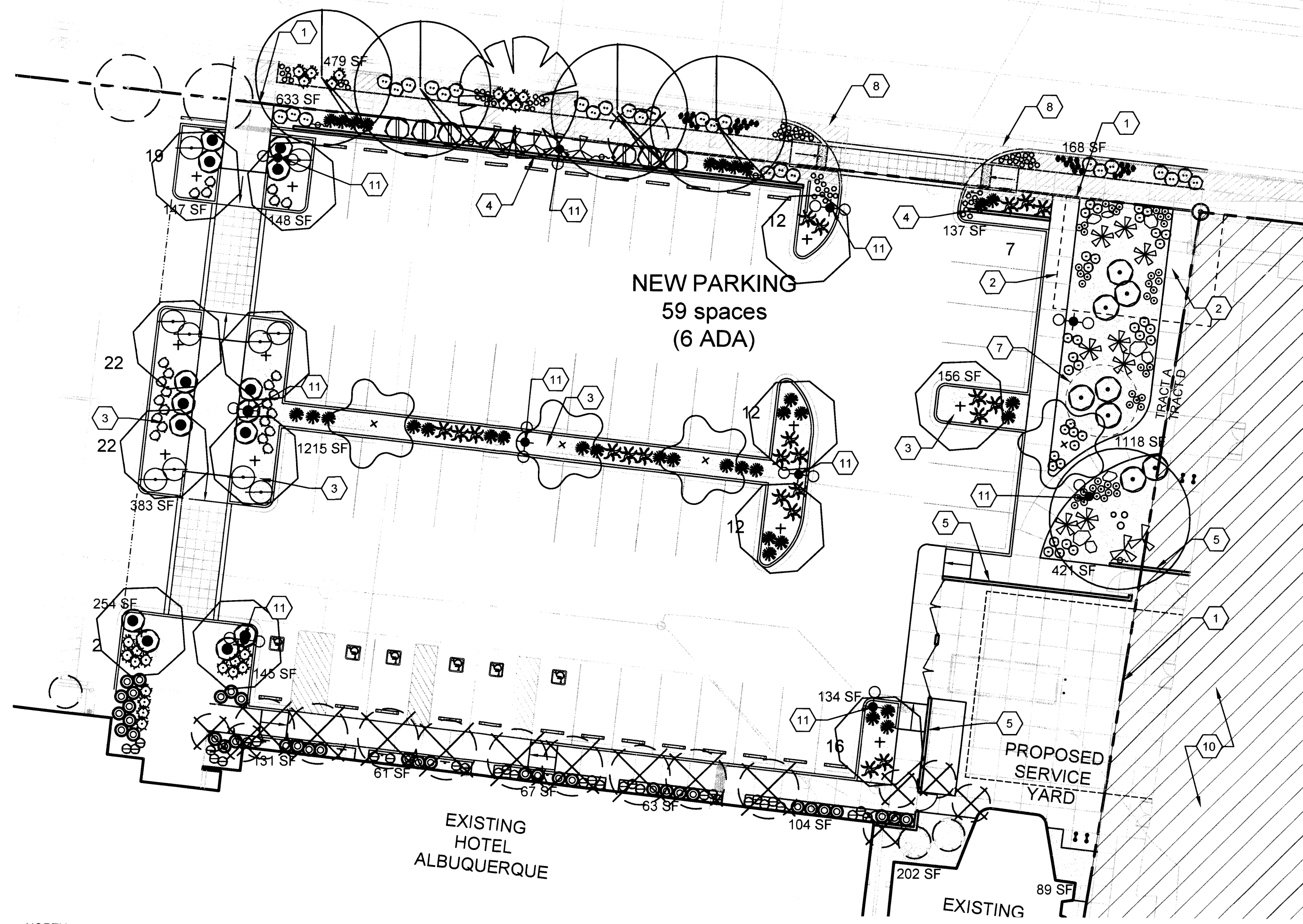
SHRUBS		
SYMBOL	COMMON NAME	BOTANICAL NAME
	WINTER GEM BOXWOOD	Buxus japonica 'Winter Gem'
	DARK KNIGHT BLUE MIST SPIREA	Caryopteris x clandonensis 'Dark Knight'
	FERNBUSH	Chamaebatia millefolium
	DAMIANITA	Chrysactinia mexicana
	MORMON TEA	Ephedra viridis
	APACHE PLUME	Fallugia paradoxa
	CREEPING MAHONIA	Mahonia repens
	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'
	LADY BANKS ROSE	Rosa banksiae
	WHITE MEIDLAND ROSE	Rosa 'White Meidiland'
	UPRIGHT ROSEMARY	Rosmarinus officinalis 'Arp'
	AUTUMN SAGE	Salvia greggii

PERENNIALS		
SYMBOL	COMMON NAME	BOTANICAL NAME
	SANGRIA YARROW	Achillea millefolium 'Sangria'
	YERBA MANSÁ	Anemopsis californica
	GOLDEN SPUR COLUMBINE	Aquilegia chrysantha
	POPPY MALLOW	Callirhoe involucrata
	TRUMPET VINE	Campsis radicans
	NATIVE BLANKET FLOWER	Gaillardia aristata
	CAROLINA JESSAMINE	Geisemium sempervirens
	PROVENCE LAVENDER	Lavendula angustifolia 'Provence'
	NATIVE GAY FEATHER	Liatris punctata
	PIKE'S PEAK BEARDTONGUE	Penstemon mexicali 'Pike's Peak'
	WALL GERMANDER	Teucrium chamaedrys
	WISTERIA	Wisteria frutescens

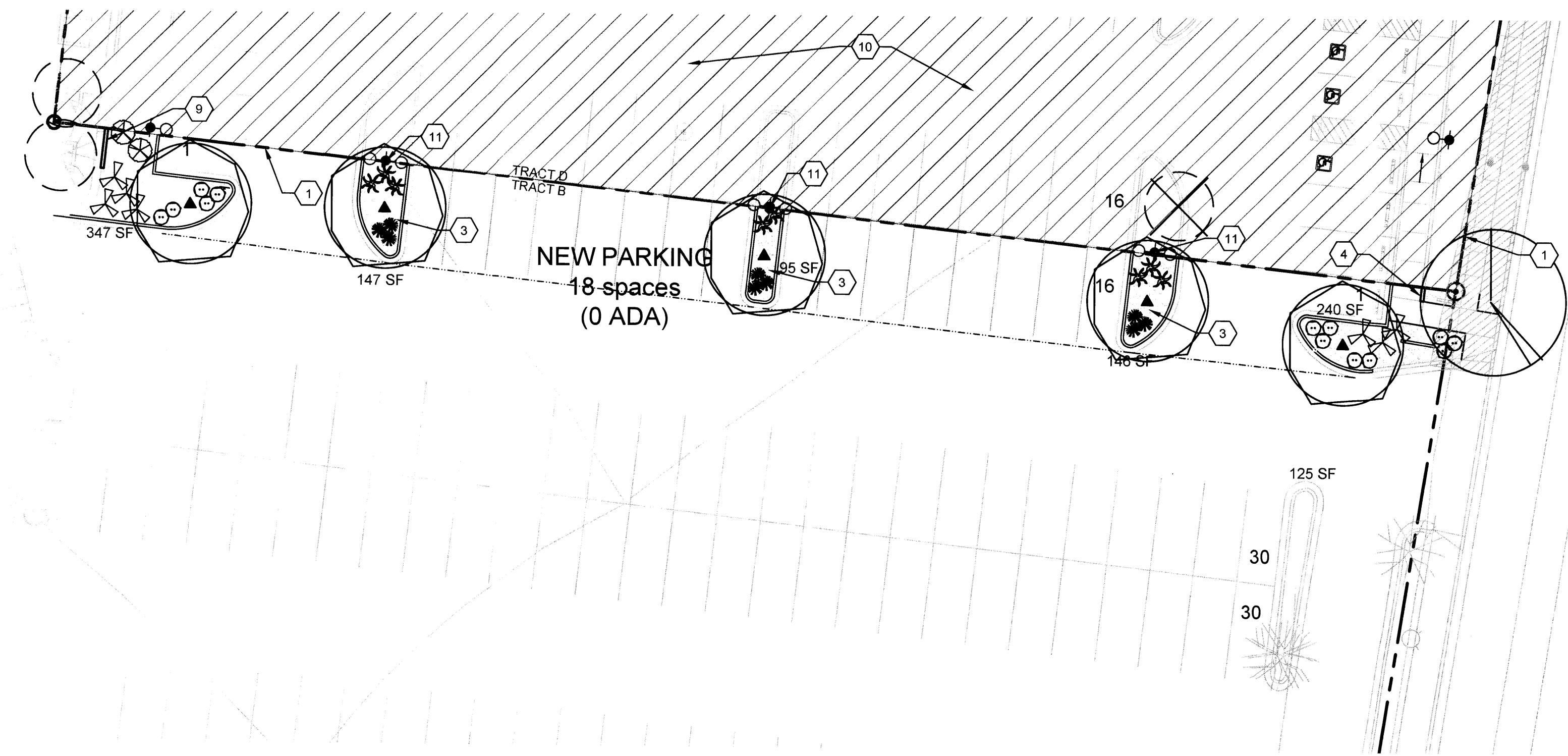
GRASSES		
SYMBOL	COMMON NAME	BOTANICAL NAME
	BLUE GRAMA GRASS	Bouteloua 'Blonde Ambition'
	KARL FOERSTER REED GRASS	Calamagrostis x acutifolia 'Karl Foerster'
	ELIJAH BLUE FESCUE	Festuca glauca 'Elijah Blue'
	BLUE AVENA GRASS	Helictotrichon sempervirens
	BULL GRASS	Muhlenbergia emersleyi 'El Toro'
	DEER GRASS	Muhlenbergia rigens
	INDIAN RICEGRASS	Oryzopsis hymenoides

SUCCULENTS		
SYMBOL	COMMON NAME	BOTANICAL NAME
	HAVARD AGAVE	Agave havardiana
	GREY DESERT SPOON	Dasyliroton wheeleri
	YELLOW FLOWERING YUCCA	Hesperaloe parviflora 'Yellow'
	BEARGRASS	Nolina microcarpa
	BROADLEAF YUCCA	Yucca baccata

MULCHES	
SYMBOL	DESCRIPTION
	1/2" Ø ROCK MULCH OVER FILTER FABRIC, 3" DEPTH MIN. COLOR: TAN / BROWN
	CRUSHER FINES MULCH OVER FILTER FABRIC, 3" DEPTH COLOR: TAN / BROWN
	STABILIZED CRUSHER FINES (NO FILTER FABRIC), 3" DEPTH COLOR: TAN / BROWN / GOLD
	SAND LOVEGRASS PLUGS (Eragrostis trichodes)
	BOULDERS, SIZE:TBD, COLOR: LOCAL AS AVAILABLE
	EXISTING PLANT MATERIAL TO REMAIN, TYP
	EXISTING PLANT MATERIAL TO BE REMOVED, TYP



C1 ENLARGED LANDSCAPE PLAN
1" = 20'-0"
0 20' 40'



A1 ENLARGED LANDSCAPE PLAN
1" = 20'-0"
0 20' 40'



Hotel Albuquerque
800 Rio Grande Blvd. NW
Albuquerque, NM 87104
Tract D

**DRB
SUBMITAL**
June 24, 2014



DRAWN BY J.Y.R.
REVIEWED BY J.G.M.
DATE 6.24.2014
PROJECT NO. 13-0020
DRAWING NAME

CONCEPTUAL GRADING
AND DRAINAGE PLAN

SDP-3.1

DESIGN GRADING LEGEND:

INV	INVERT
TA	TOP OF ASPHALT PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRADE
+ 20.00	EXISTING SPOT ELEVATION
14.00	PROPOSED SPOT ELEVATION
---	EXISTING FLOWLINE
---	PROPOSED FLOWLINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING DIRECTION OF FLOW
---	PROPOSED DIRECTION OF FLOW
---	PROPERTY LINE
---	PUBLIC EASEMENT LINE
---	HIGH POINT / DIVIDE
---	PROPOSED CONCRETE
---	PROPOSED ASPHALT PAVING

**FEDERAL EMERGENCY
MANAGEMENT AGENCY**



F.I.R.M. PANEL 331 of 825
SCALE: 1" = 500' DATED 08-16-2012

**CONCEPTUAL GRADING &
DRAINAGE KEYED NOTES:**

- NEW CISTERN SIZED TO CONTAIN FIRST 1/4-INCH OF ROOF RUNOFF WITH OVERFLOW TO STREET VIA 4" PVC CURB PENETRATION
- NEW SIDEWALK CULVERT
- SET NEW CURB AT 6-INCHES ABOVE EXISTING TOP OF ASPHALT ELEVATION, TYPICAL
- PROVIDE CURB OPENINGS FOR POSITIVE DRAINAGE
- GRADE WATER HARVESTING AREA SIZED TO MANAGE THE FIRST FLUSH OF RUNOFF AND CONTROL RUNOFF GENERATED BY CONTRIBUTING IMPERVIOUS AREA TO THE EXTENT PRACTICABLE
- NEW POOL ACCESSORY BUILDING WITH FF = 4962.2
- EXISTING POOL NO GRADE CHANGES PROPOSED. POOL DECK RUNOFF TO BE SELF-CONTAINED VIA DISCHARGE TO LANDSCAPED AREAS OR DECK DRAINS
- NEW STORM INLET WITH DISCHARGE TO CISTERN
- NEW 4-INCH PVC CURB PENETRATION FOR CONTROLLED RELEASE OF PARKING LOT RUNOFF TO STREET
- NEW DRAINAGE RUNDOWN FOR POSITIVE DRAINAGE THROUGH CURBS
- GRADED SANITARY SEWER MANHOLE TO ACCEPT AND DRAIN RUNOFF FROM REFUSE BIN AREA

DRAINAGE CONCEPTS:

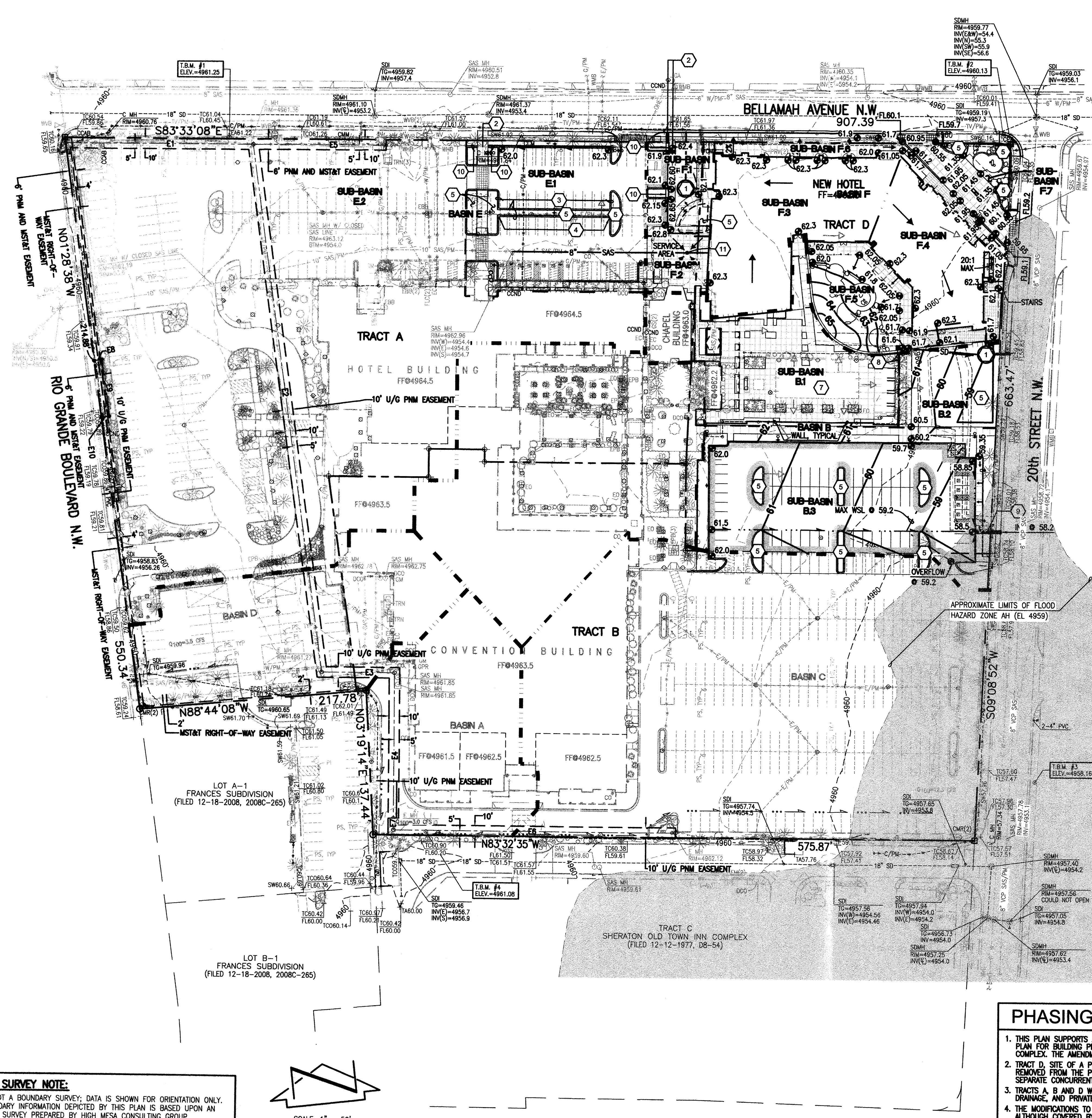
PROPOSED FINISHED FLOOR ELEVATION IS A MINIMUM ONE-FOOT ABOVE THE CORRESPONDING DESIGNATED FLOOD PLAIN ELEVATION AS PUBLISHED BY FEMA.

DEVELOPED RUNOFF FROM THE PROPOSED NEW HOTEL AND/OR REDEVELOPED AREAS ADJACENT TO THE NEW HOTEL SHALL BE MANAGED BY A COMBINATION OF THE FOLLOWING TECHNIQUES:

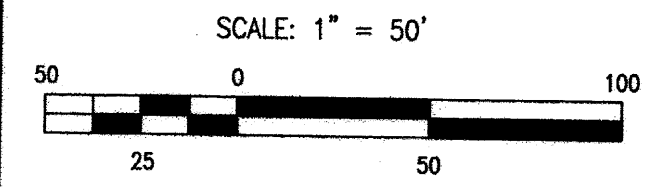
- LIMITING POST DEVELOPMENT PEAK DISCHARGE FROM UNDEVELOPED PORTIONS OF SITE TO 2.75 CFS/ACRE
- REDUCING THE PEAK RATE OF DISCHARGE BY IMPROVED LAND TREATMENTS
- REDUCING THE PEAK RATE OF DISCHARGE BY DETENTION PONDING
- REDUCING THE PEAK RATE OF DISCHARGE BY CAPTURING THE FIRST 1/4-INCH OF RUNOFF IN CISTERNS
- MANAGE AND CONTROL THE FIRST FLUSH OF RUNOFF FROM ALTERED EXISTING AND NEW CONTRIBUTING IMPERVIOUS AREAS TO THE EXTENT PRACTICABLE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE AS REVISED EFFECTIVE MAY 12, 2014.

PHASING NOTES:

- THIS PLAN SUPPORTS AN AMENDMENT TO AN EXISTING SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THE SHERATON OLD TOWN INN COMPLEX. THE AMENDMENT COVERS TRACTS A AND B.
- TRACT D, SITE OF A PROPOSED NEW HOTEL DEVELOPMENT, IS BEING REMOVED FROM THE PREVIOUSLY APPROVED PLAN AND ADDRESSED BY SEPARATE CONCURRENT SUBMITTAL.
- TRACTS A, B AND D WILL SHARE PARKING, ACCESS, CROSS-LOT DRAINAGE, AND PRIVATE UTILITIES.
- THE MODIFICATIONS TO PARKING, ACCESS, DRAINAGE AND UTILITIES, ALTHOUGH COVERED BY SEPARATE SUBMITTALS, WILL BE CONSTRUCTED CONCURRENTLY.
- THIS SUBMITTAL IS SUPPORTED BY A DRAINAGE MANAGEMENT PLAN.

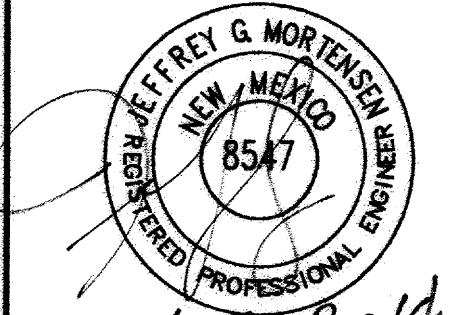


DESIGN SURVEY NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 11/06/2013 (2013.002.2). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 11/06/2013 (2013.002.2).



MOUNTAIN ROAD N.W.
(60' R.O.W. PER ASC 4078 SURVEY 09-19-1986)

File Path: F:\DATA\2013\0025\DWG Plot Date: 06-20-2014 Plot Time: 11:31 am File Name: 130025_035.DWG



06.20.2014

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Tract D

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SUBMITAL**
June 24, 2014

REVISIONS
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DRAWN BY J.Y.R.
REVIEWED BY J.G.M.
DATE 6.24.2014
PROJECT NO. 13-0020
DRAWING NAME
**CONCEPTUAL
UTILITY PLAN**

UTILITY LEGEND

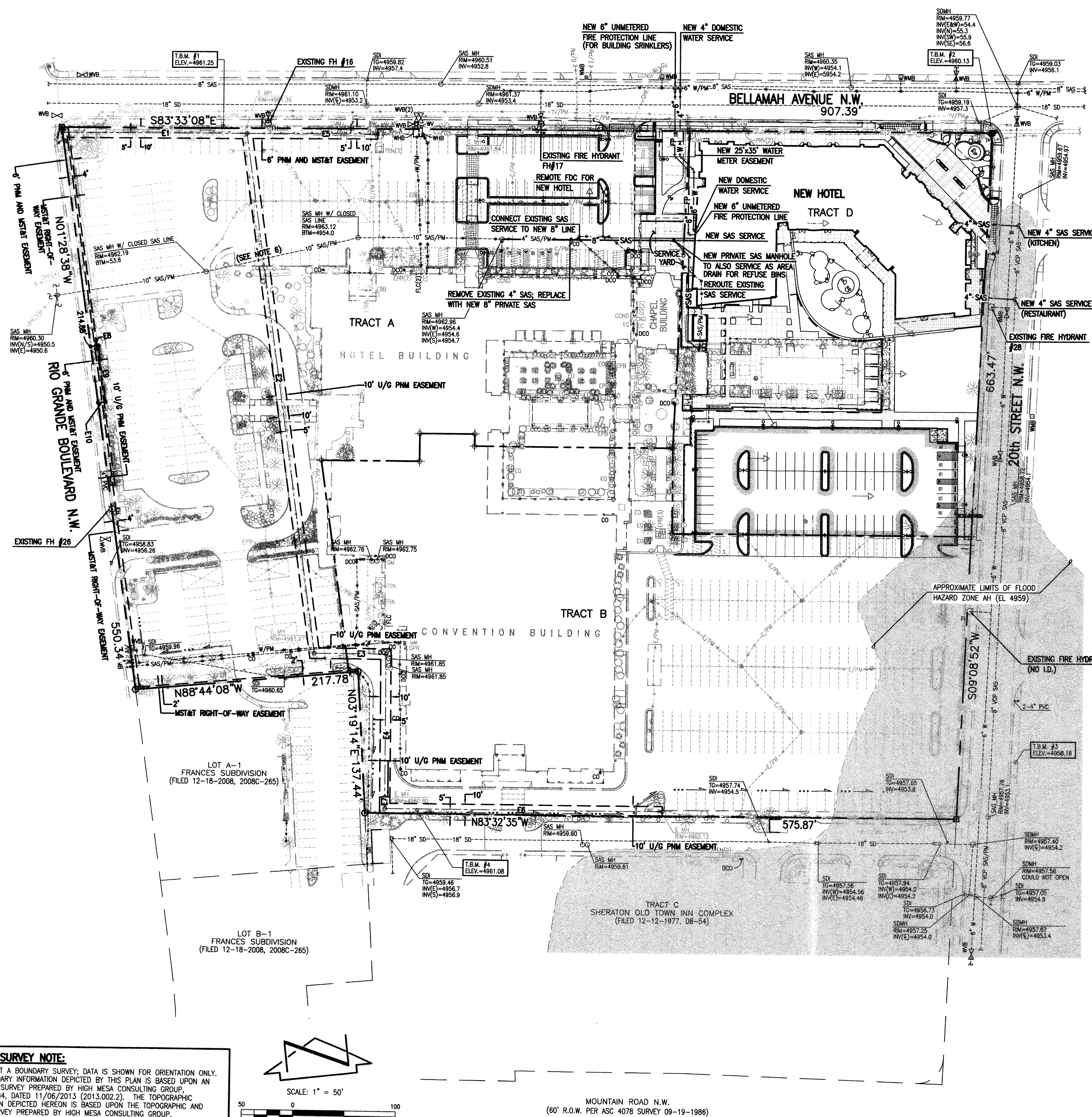
	PROPOSED STORM DRAIN
	PROPOSED INFILTRATION PIT
	PROPOSED STORM INLET
	PROPOSED STORM DRAIN MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	EXISTING SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE
	EXISTING VALVE BOX
	PROPOSED VALVE BOX
	EXISTING DOUBLE CLEANOUT
	PROPOSED DOUBLE CLEANOUT
	EXISTING SINGLE CLEANOUT
	PROPOSED SINGLE CLEANOUT
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING FIRE LINE
	PROPOSED FIRE LINE
	EXISTING POST INDICATOR VALVE
	PROPOSED POST INDICATOR VALVE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVING

**CONCEPTUAL UTILITY SITE
PLAN NOTES:**

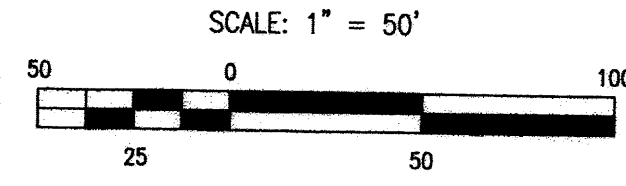
1. RBPB FOR DOMESTIC WATER SERVICE TO BE LOCATED IN SERVICE YARD (IN HOT BOX) OR IN MEP ROOM OF NEW BUILDING.
2. RBPB FOR UNMETERED FIRE PROTECTION LINE TO BE LOCATED IN SERVICE YARD (IN HOT BOX) OR IN MEP ROOM OF NEW BUILDING.
3. ELECTRIC TRANSFORMER TO BE LOCATED IN NEW SERVICE YARD.
4. GAS METER TO BE LOCATED IN NEW SERVICE YARD.
5. POOL DECK DRAIN DRAINAGE, A POTENTIALLY CHLORINATED DISCHARGE, WILL CONNECT TO THE POOL BUILDING SANITARY SEWER SERVICE.
6. MAINTENANCE OF THOSE PORTIONS OF THE 10" PRIVATE SANITARY SEWER LINE WITHIN TRACT A SHARED BY TRACTS A AND D SHALL BE SHARED BY TRACTS A AND D.

PHASING NOTES:

1. THIS PLAN SUPPORTS A SITE PLAN FOR BUILDING PERMIT FOR TRACT D, SHERATON OLD TOWN INN COMPLEX.
2. A CONCURRENT AMENDMENT TO THE EXISTING SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THE SHERATON OLD TOWN INN COMPLEX WILL REMOVE TRACT D THEREBY COVERING ONLY TRACTS A AND B.
3. TRACTS A, B AND D WILL SHARE PARKING, ACCESS, CROSS-LOT DRAINAGE, AND PRIVATE UTILITIES.
4. THE MODIFICATIONS TO PARKING, ACCESS, DRAINAGE AND UTILITIES, ALTHOUGH COVERED BY SEPARATE SUBMITTALS, WILL BE CONSTRUCTED CONCURRENTLY.
5. THIS SUBMITAL IS SUPPORTED BY A DRAINAGE MANAGEMENT PLAN.



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MOUNTAIN ROAD N.W.
(60' R.O.W. PER ASC 4078 SURVEY 09-19-1986)

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