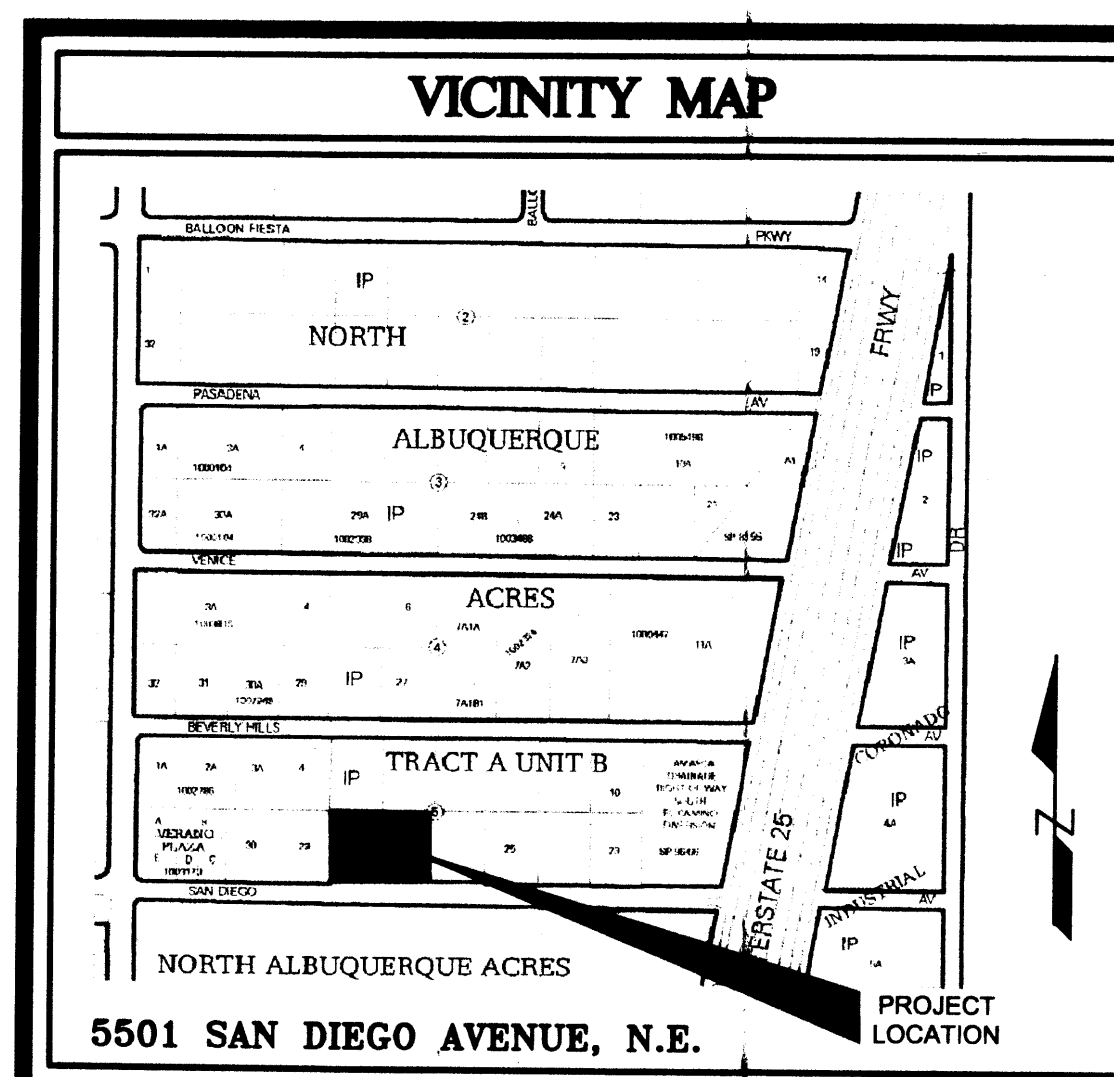
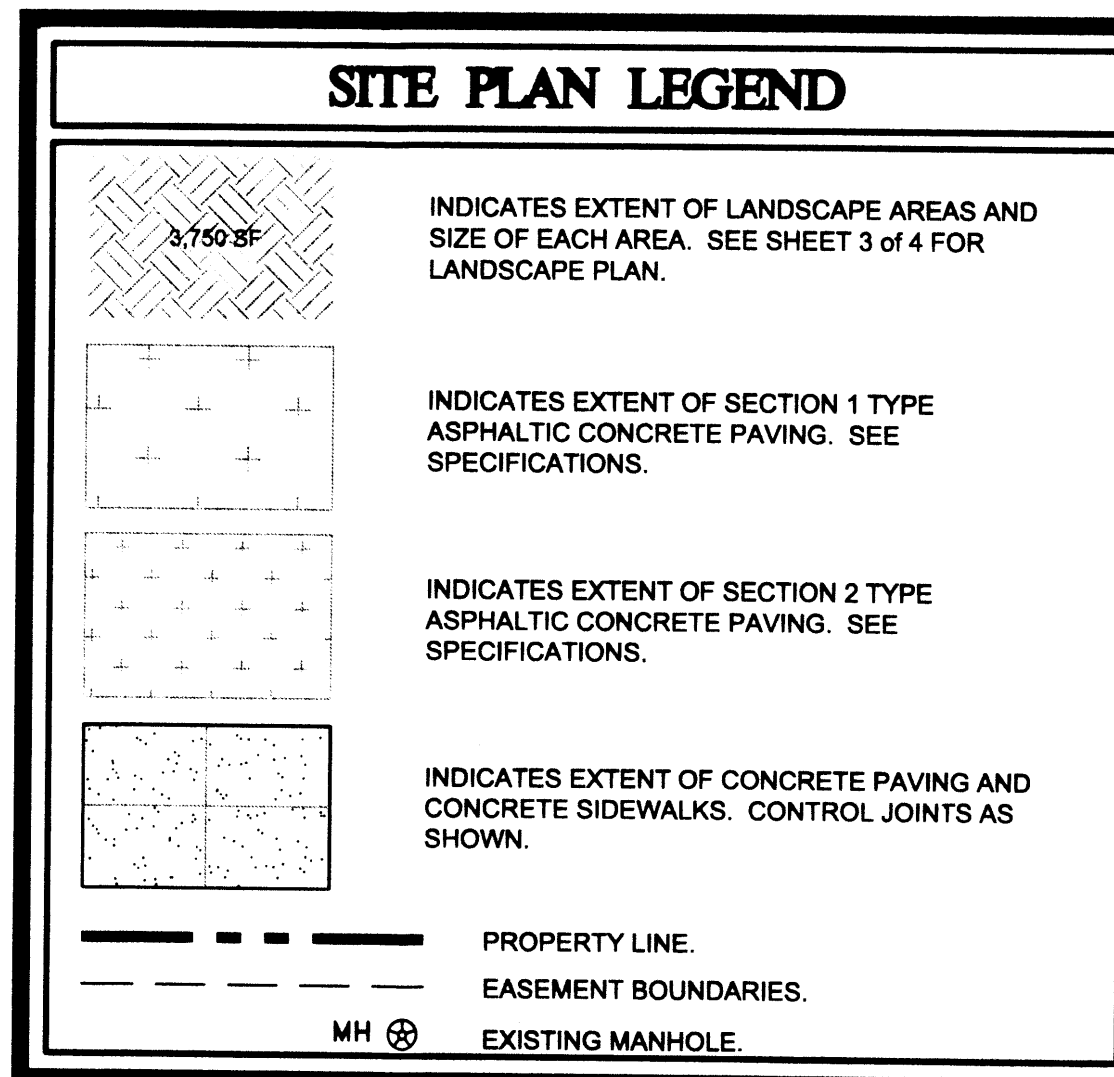
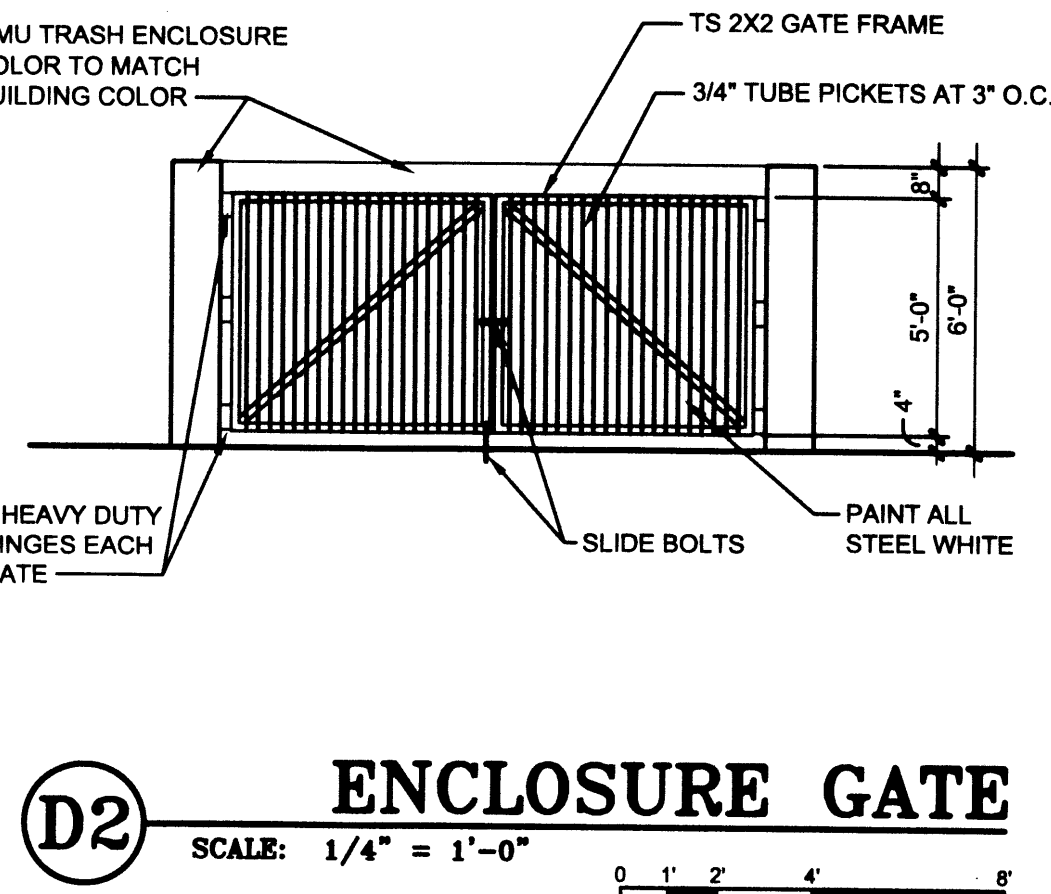
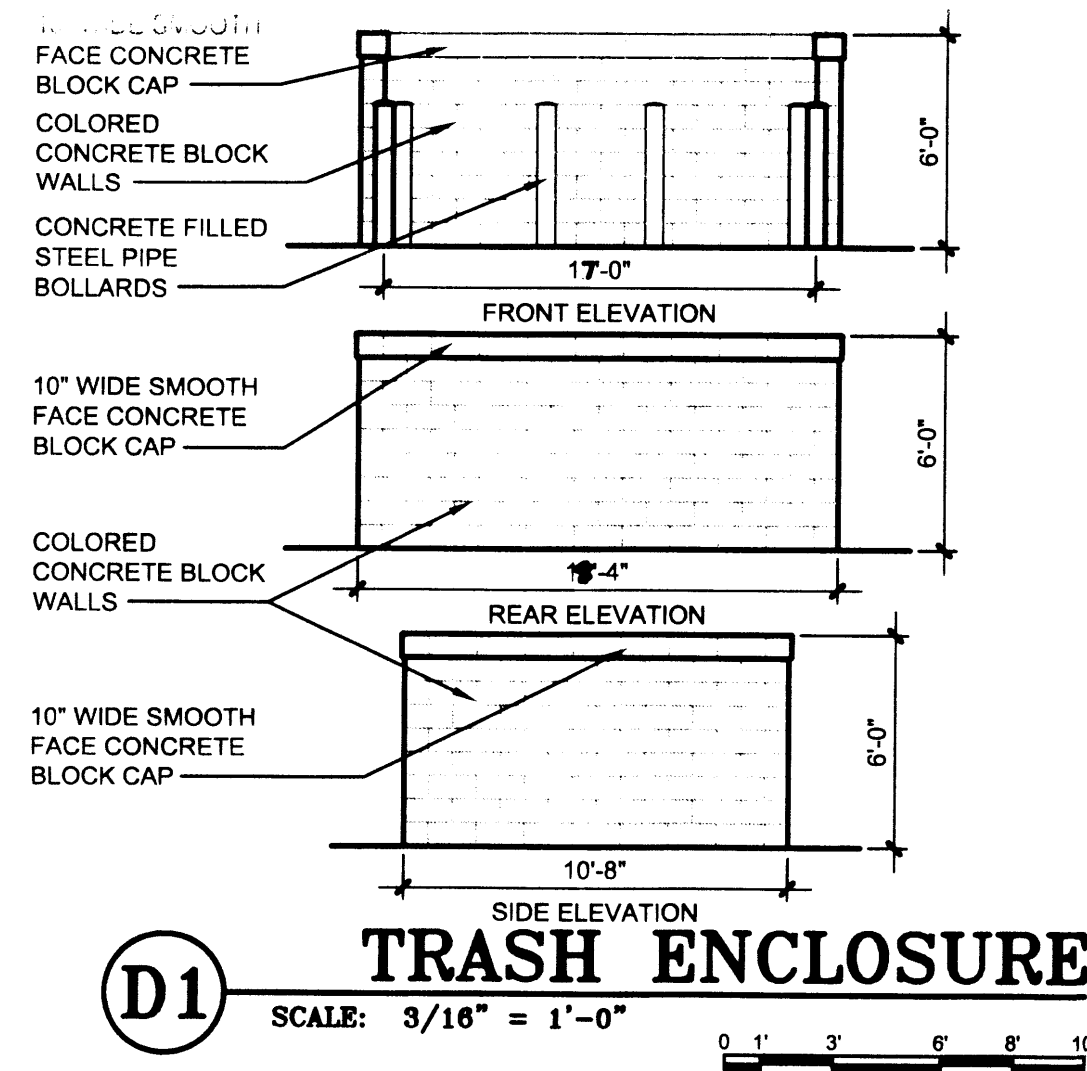
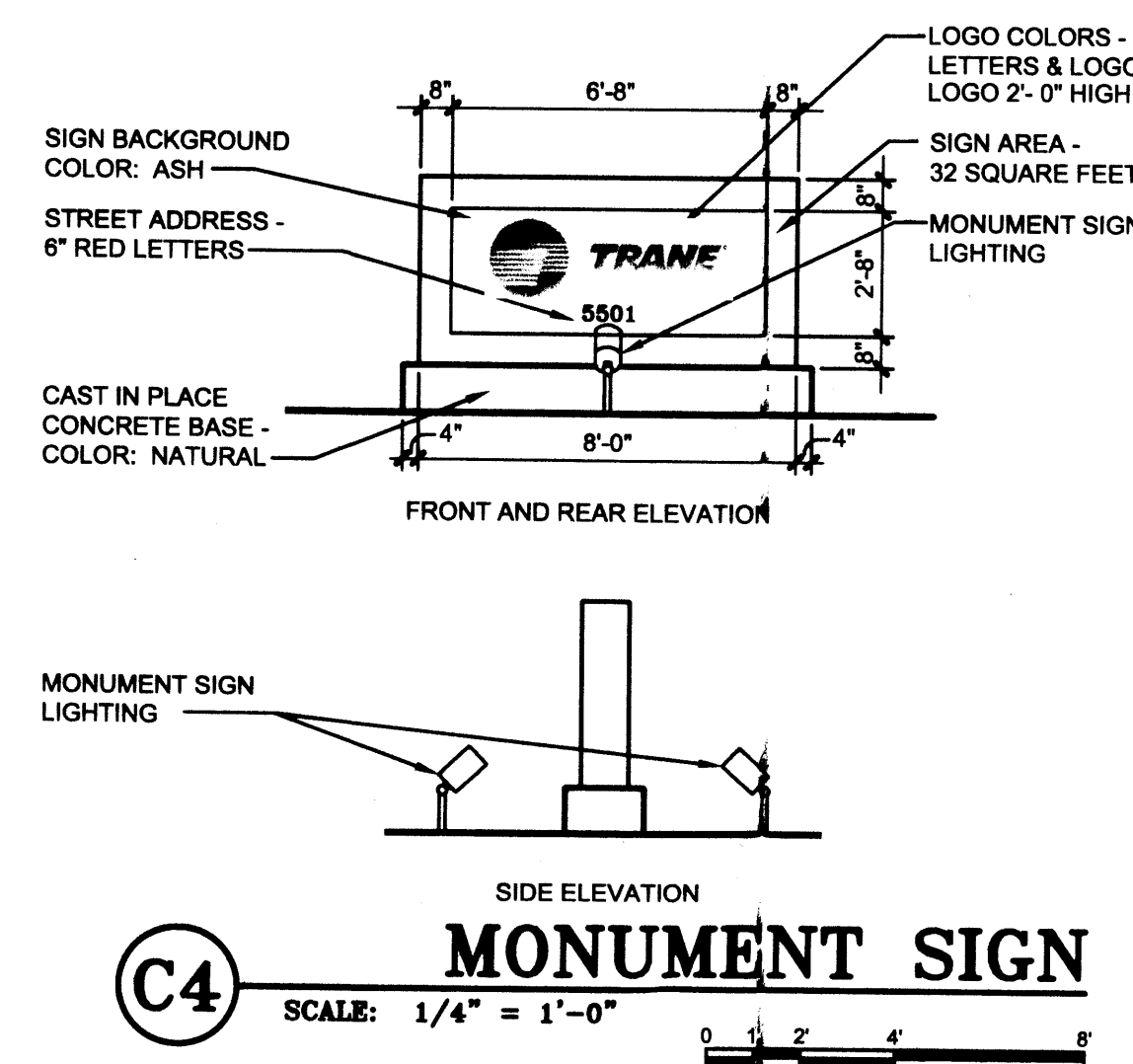
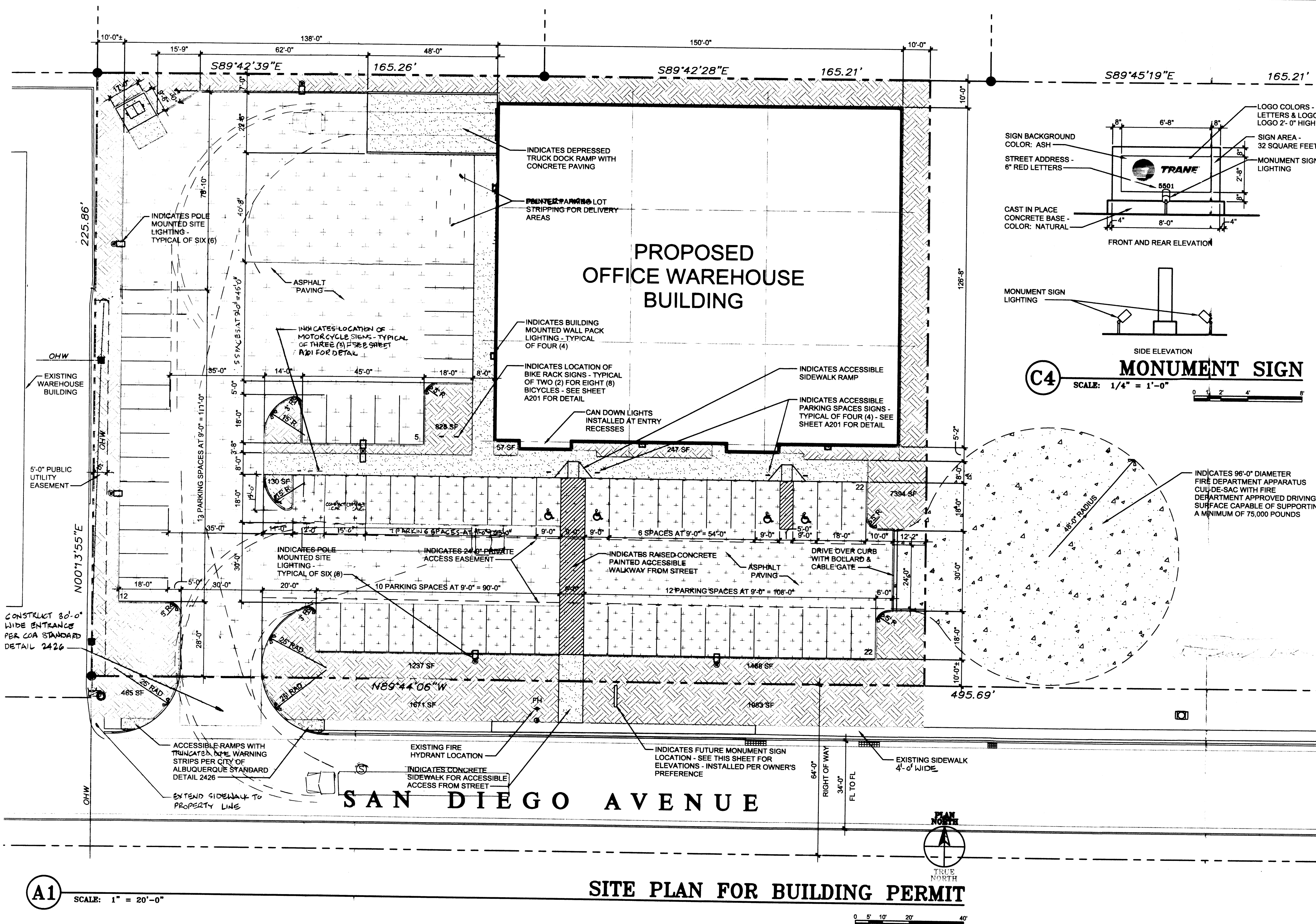




PROJECT INFORMATION																															
PROJECT INGERSOLL RAND & TRANE NEW OFFICE WAREHOUSE BUILDING 5501 SAN DIEGO AVENUE, N.E. ALBUQUERQUE, NEW MEXICO																															
OWNER TITAN VERDE I LLC 6300 RIVERSIDE PLAZA LANE, N.W., SUITE 200 ALBUQUERQUE, NEW MEXICO																															
ARCHITECT CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO																															
LEGAL DESCRIPTION LOT 28A, BLOCK 5, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B																															
ZONING ATLAS MAP K-18-Z																															
CURRENT ZONING CLASSIFICATION IP ZONE (INDUSTRIAL PARK)																															
PROPOSED ZONING CLASSIFICATION NO CHANGE - IP ZONE (INDUSTRIAL PARK)																															
BUILDING TYPE NEW OFFICE WAREHOUSE BUILDING																															
CONSTRUCTION TYPE TYPE II-B FULLY SPRINKLERED																															
NUMBER OF FLOORS ONE FLOOR																															
GROSS SQUARE FOOTAGE TOTAL GROSS SQUARE FOOTAGE 19,120 GSF																															
ALLOWABLE AREA ALLOWABLE AREA: (PER IBC TABLE 503 & SEC. 506.3) BUSINESS OCCUPANCY TYPE II-B CONSTRUCTION & B OCCUPANCY: 23,000 SQUARE FEET INCREASE FOR 100% FIRE SPRINKLER SYSTEM +200% = 46,000 SQUARE FEET TOTAL ALLOWABLE AREA: 46,000 SQUARE FEET TOTAL BUILDING AREAS: 19,120 SQUARE FEET																															
BUILDING HEIGHT ONE STORY 25'-0" ABOVE FINISH GRADE																															
SEISMIC ZONE SEISMIC ZONE 2B																															
PARKING <table><tr><th>SPECIFIC USE</th><th>PARKING REQUIREMENT</th><th>NUMBER REQUIRED</th></tr><tr><td>OFFICE</td><td>1 SPACE/200 SF (FIRST FLOOR)</td><td>51</td></tr><tr><td>RETAIL</td><td>1 SPACE /200 SF</td><td>8</td></tr><tr><td>WAREHOUSE</td><td>1 SPACE /2000 SF</td><td>4</td></tr><tr><td></td><td>TOTAL REQUIRED</td><td>63</td></tr><tr><td></td><td>TOTAL PROVIDED</td><td>69</td></tr></table> <table><tr><th>SPECIFIC USE</th><th>PARKING REQUIREMENT</th><th>NUMBER REQUIRED</th></tr><tr><td>HANDICAP SPACES</td><td>PER TABLE</td><td>4</td></tr><tr><td>MOTORCYCLE SPACES</td><td>PER TABLE</td><td>3</td></tr><tr><td>BICYCLE SPACES</td><td>1 SPACE/20 PARKING SPACES</td><td>4</td></tr></table>		SPECIFIC USE	PARKING REQUIREMENT	NUMBER REQUIRED	OFFICE	1 SPACE/200 SF (FIRST FLOOR)	51	RETAIL	1 SPACE /200 SF	8	WAREHOUSE	1 SPACE /2000 SF	4		TOTAL REQUIRED	63		TOTAL PROVIDED	69	SPECIFIC USE	PARKING REQUIREMENT	NUMBER REQUIRED	HANDICAP SPACES	PER TABLE	4	MOTORCYCLE SPACES	PER TABLE	3	BICYCLE SPACES	1 SPACE/20 PARKING SPACES	4
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SITE LIGHTING NEW SITE AREA LIGHTS SHALL BE POLE MOUNTED AND LIGHT PARKING & TRUCK AREAS WITHOUT SHINING ONTO ADJACENT SITES. STREET LIGHTS ARE NOT USED. PARKING LIGHTS SHALL BE 14'-0" MAXIMUM ABOVE PARKING LOT, AREA LIGHTING SHALL BE 6'-0" TO 14'-0" ABOVE GRADE																															
TOTAL LOT AREA TOTAL LOT AREA = 69,544 SQUARE FEET; 1.5965 ACRES																															
NET LOT AREA NET LOT AREA - 50,424 SQUARE FEET																															
TOTAL PARKING & PAVED AREA TOTAL PARKING & PAVED AREA = 38,774 SQUARE FEET																															
TOTAL LANDSCAPE AREA REQUIRED TOTAL LANDSCAPE AREA REQUIRED = 7,564 SQUARE FEET																															
TOTAL LANDSCAPE AREA PROVIDED TOTAL LANDSCAPE AREA PROVIDED = 11,369 SQUARE FEET (ROW NOT INCLUDED)																															
PERCENTAGE OF SITE LANDSCAPED PERCENTAGE OF SITE LANDSCAPED = 15 PERCENT																															
LANDSCAPE TO PARKING AREA RATIO LANDSCAPE TO PARKING AREA RATIO = 1 TO 3.28																															
CITY REFERENCE NUMBERS ZA-96-401, DRB-96-526, DRB-96-528																															



CLAUDIO VIGIL ARCHITECTS

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CONSULTANTS

PROFESSIONAL SEAL

INGERSOLL RAND

TRANE

INGERSOLL RAND TRANE

PROPOSED NEW BUILDING
5501 SAN DIEGO AVENUE, N.E.
ALBUQUERQUE, NEW MEXICO

SIGNATURE BLOCK

PROJECT NUMBER: 1000332	DATE: 03-04-11
APPLICATION CASE NUMBER: 3-17-11	DATE: 02/16/11
IS AN INFRASTRUCTURE LIST REQUIRED? (YES / NO) IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	DATE: 2/16/11
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	DATE: 2-16-11
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE: 1-20-11
WATER UTILITY DEVELOPMENT	DATE: 3-17-11
PARKS & RECREATION DEPARTMENT	
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	
SOLID WASTE MANAGEMENT	
DRB CHAIRPERSON, PLANNING DEPARTMENT	

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 09225

DRAWING FILE: INGERSOLLRAND-C101-DRB-SF

DRAWN BY: SMF

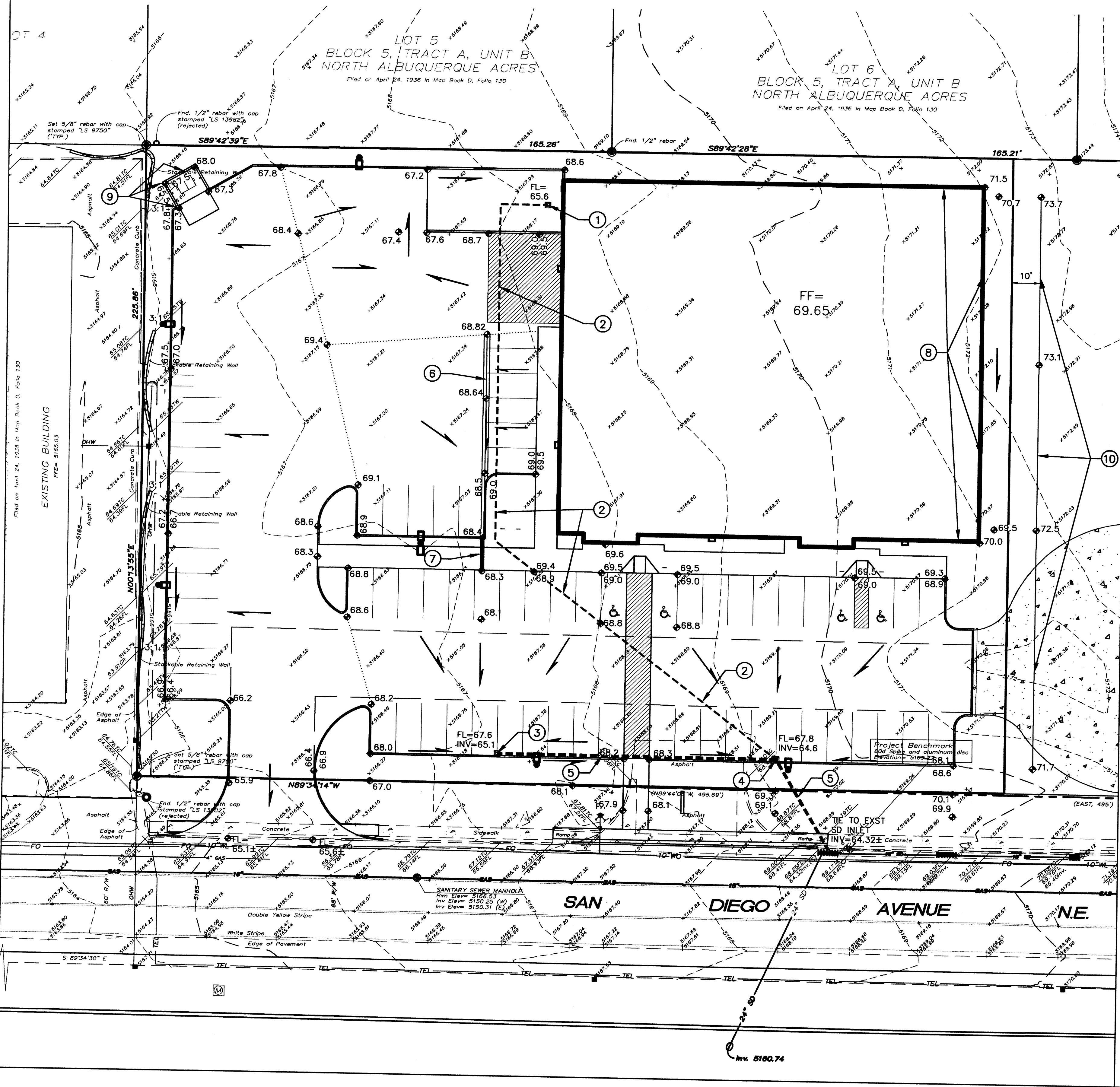
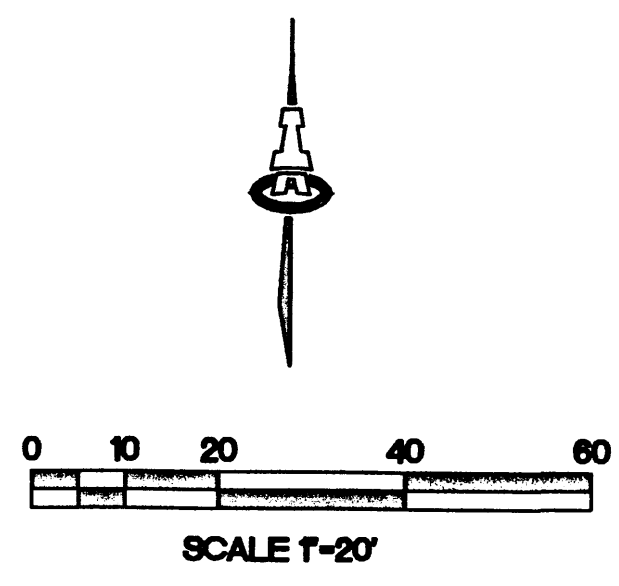
CHECK BY: CAV

COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2011

DATE: JANUARY 21, 2011

SHEET TITLE
SITE PLAN
FOR
BUILDING PERMIT

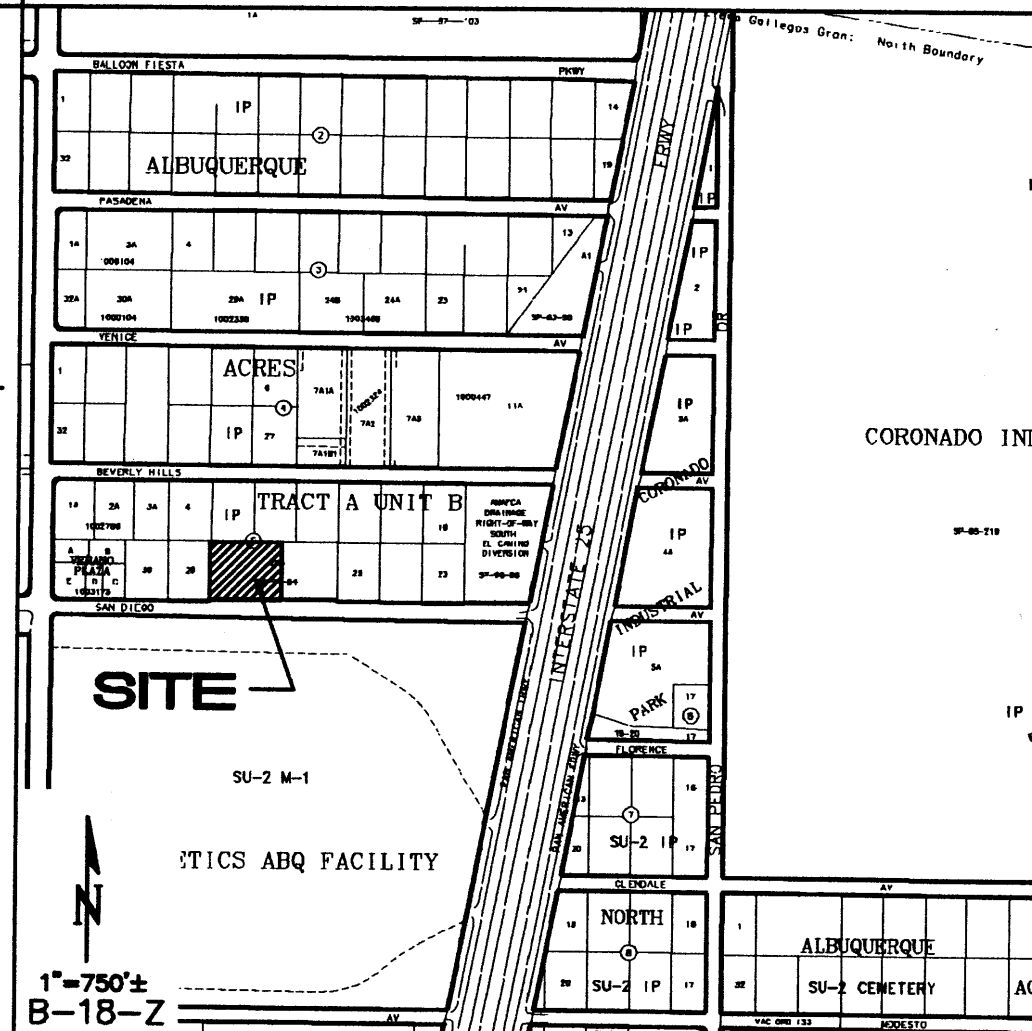
SHEET NUMBER
C101



GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND/OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: A PORTION OF LOT 28-A, BLOCK 5, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES. (PROPOSED LOT 28-A-1)

SITE AREA: 1.5948 AC.

FLOOD ZONE: NO PORTION OF THIS SITE IS WITHIN THE 100-YEAR FLOODPLAIN AS DESIGNATED ON FEMA FIRM MAP #35001C0129G DATED SEPTEMBER 26, 2008.

ENGINEER: GENNY DONART
ISAACSON & ARFMAN, P.A.
128 MONROE STREET N.E., APT. 87108
ALBUQUERQUE, NM 87114
PHONE: (505) 268-8828

SURVEYOR: SURV-TEK, INC.
9384 VALLEY VIEW DR. NW
ALBUQUERQUE, NM 87114
PHONE: (505) 897-3366
ATTN: RUSS HUGG

BENCHMARK: ACS MONUMENT "1-25-11"
ELEV = 5609.62 (NAVD 88)

EXISTING CONDITIONS: THIS SITE WAS PREVIOUSLY DEVELOPED AS THE PRAXAIR PLANT, AN INDUSTRIAL FACILITY. IT HAD XXX IMPERVIOUS AREA, AND DISCHARGED XXX CFS, WITH SOME DRAINING TOWARDS THE EXISTING PROPERTY TO THE WEST, AND THE REMAINDER DRAINING TO SAN DIEGO AVE TO THE SOUTH. THE SITE SLOPES AT APPROXIMATELY 3% SLOPE DOWNHILL TO THE WEST, WITH VERY LITTLE NORTH-SOUTH SLOPE.

AN EXISTING STORM DRAIN INLET IN THE EASTERLY PORTION OF SAN DIEGO AVE CAPTURES FLOWS, AND DIRECTS THEM TO THE NORTH LA CUEVA ARROYO ON THE SOUTH SIDE OF THE STREET.

PROPOSED CONDITIONS: A NEW XXX SF COMMERCIAL BUILDING IS PROPOSED FOR THE SITE. THE ENTIRE SITE WILL GENERATE 7.6 CFS. 1.3 CFS WILL FREE DISCHARGE TO SAN DIEGO AVE, WITH 6.0 CFS CAPTURED IN STORM DRAINS, AND DIRECTED TO THE EXISTING INLET IN SAN DIEGO AVE.

A BERM ALONG THE EASTERN EDGE OF THE PROPERTY WILL RE-DIRECT OFFSITE FLOWS.

KEYED NOTES

- STORM INLET WITH SUMP PUMP FOR LOADING DOCK AREA.
- STORM DRAIN FORCE MAIN.
- NYLOPLAST DRAIN BASIN
- NYLOPLAST DRAIN BASIN WITH FORCE MAIN CONNECTION
- ADS N-12 WATERTIGHT HDPE @ 0.5% SLOPE.
- 2' WIDE CONCRETE VALLEY GUTTER @ 0.5% SLOPE.
- 1' SIDEWALK CULVERT
- RETAINING WALL INTEGRAL TO BUILDING.
- RETAINING WALL SURROUNDING GARBAGE ENCLOSURE
- BERM ON ADJACENT PROPERTY TO REDIRECT OFFSITE FLOWS

LEGEND

	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FLOW ARROW
	FINISH FLOOR ELEVATION
	AREA DRAIN
	INVERT ELEVATION
	DRAIN LINE WITH SIZE

CLAUDIO VIGIL ARCHITECTS

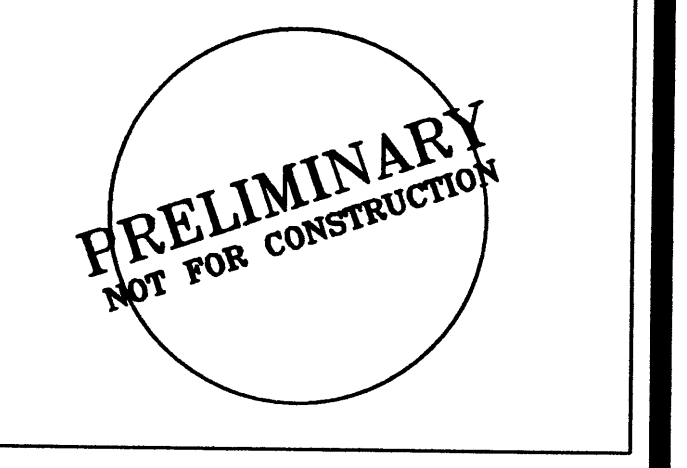
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CONSULTANTS

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Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1742 CG-101.dwg Jan 19, 2011

PROFESSIONAL SEAL



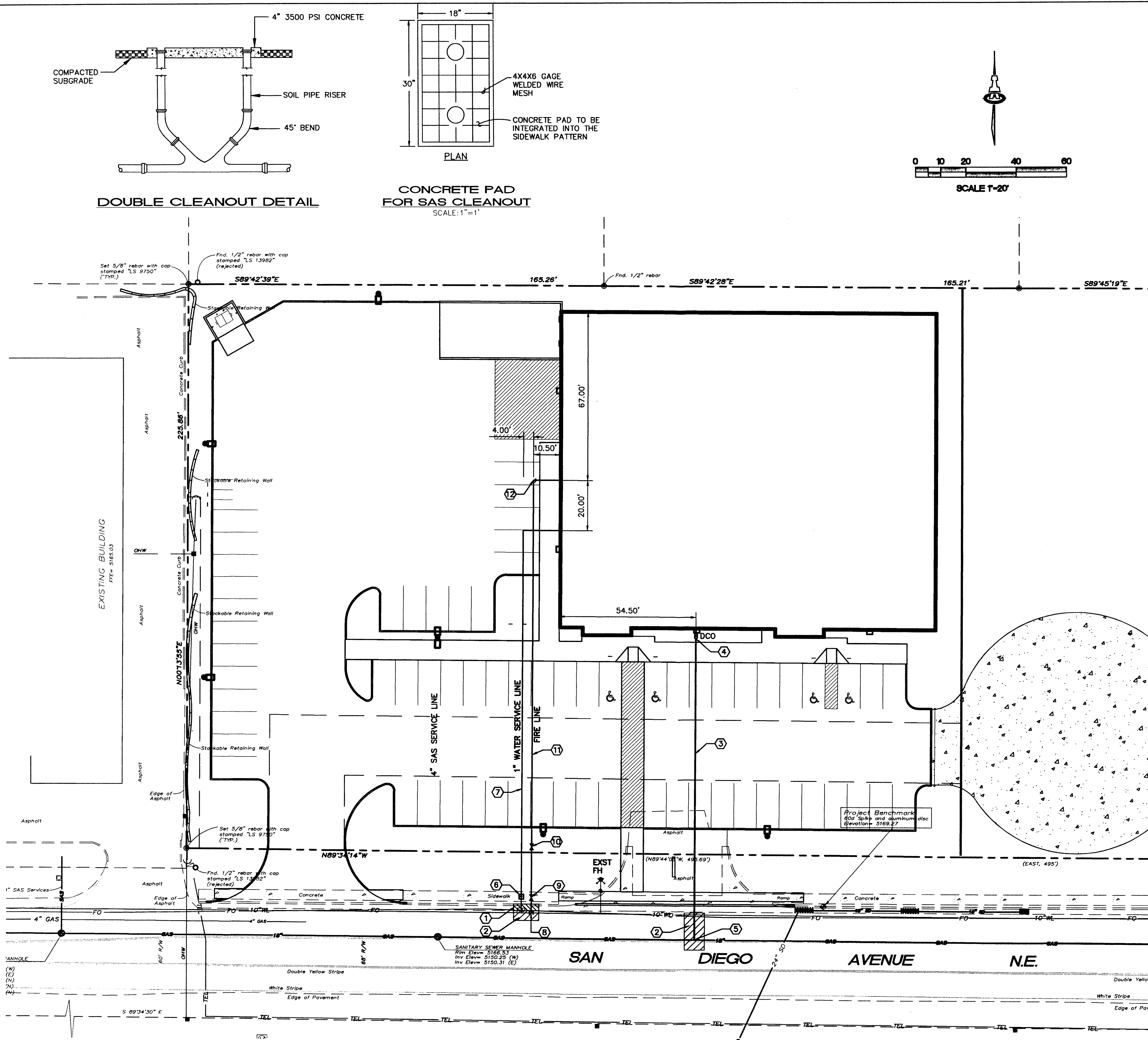
INGERSOLL RAND TRANE
PROPOSED NEW BUILDING
5501 SAN DIEGO AVENUE, N.E.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 09225
DRAWING FILE: INGERSOLL-RAND-SP5
DRAWN BY: SMF
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DATE: JANUARY 21, 2011

SHEET TITLE
PRELIMINARY GRADING & DRAINAGE PLAN

SHEET NUMBER
CG-101



GENERAL NOTES

1.
2.
3.

KEYED NOTES

1. REMOVE & REPLACE STANDARD CURB & GUTTER PER COA STD DWG'S #2415A AND #2415B.
2. REMOVE & REPLACE ASPHALTIC PAVING PER COA STD DWG #2465.
3. 4" SAS SERVICE LINE.
4. DOUBLE CLEAN OUT PER DETAIL THIS SHEET.
5. TIE TO EXST SAS PER COA STD DWG #2125.
6. 3/4" DIA WATER METER PER COA STD DWG #2362.
7. 1" WATER SERVICE LINE.
8. TIE INTO EXISTING 10" WATERLINE.
9. PUBLIC GATE VALVE WITH VALVE BOX PER COA STD DWG #2326.
10. PRIVATE GATE VALVE WITH VALVE BOX PER COA STD DWG #2326.
11. FIRE LINE (___" DIA).
12. 1-90° BEND WITH RESTRAINED JOINTS.

LEGEND

- EXISTING SAS LINE AND MANHOLE
- EXISTING WATERLINE AND FIRE HYDRANT
- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- WATER LINE W/ FITTING
- SAS SERVICE LINE
- REMOVE & REPLACE ASPHALT PAVING
- REMOVE & REPLACE PCC CURB



**CLAUDIO VIGIL
ARCHITECTS**

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Fax: (505) 842-1330

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1742 CU-101.dwg Jan 19, 2011

PROFESSIONAL SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

IR Ingersoll Rand
Industrial Technologies

TRANE

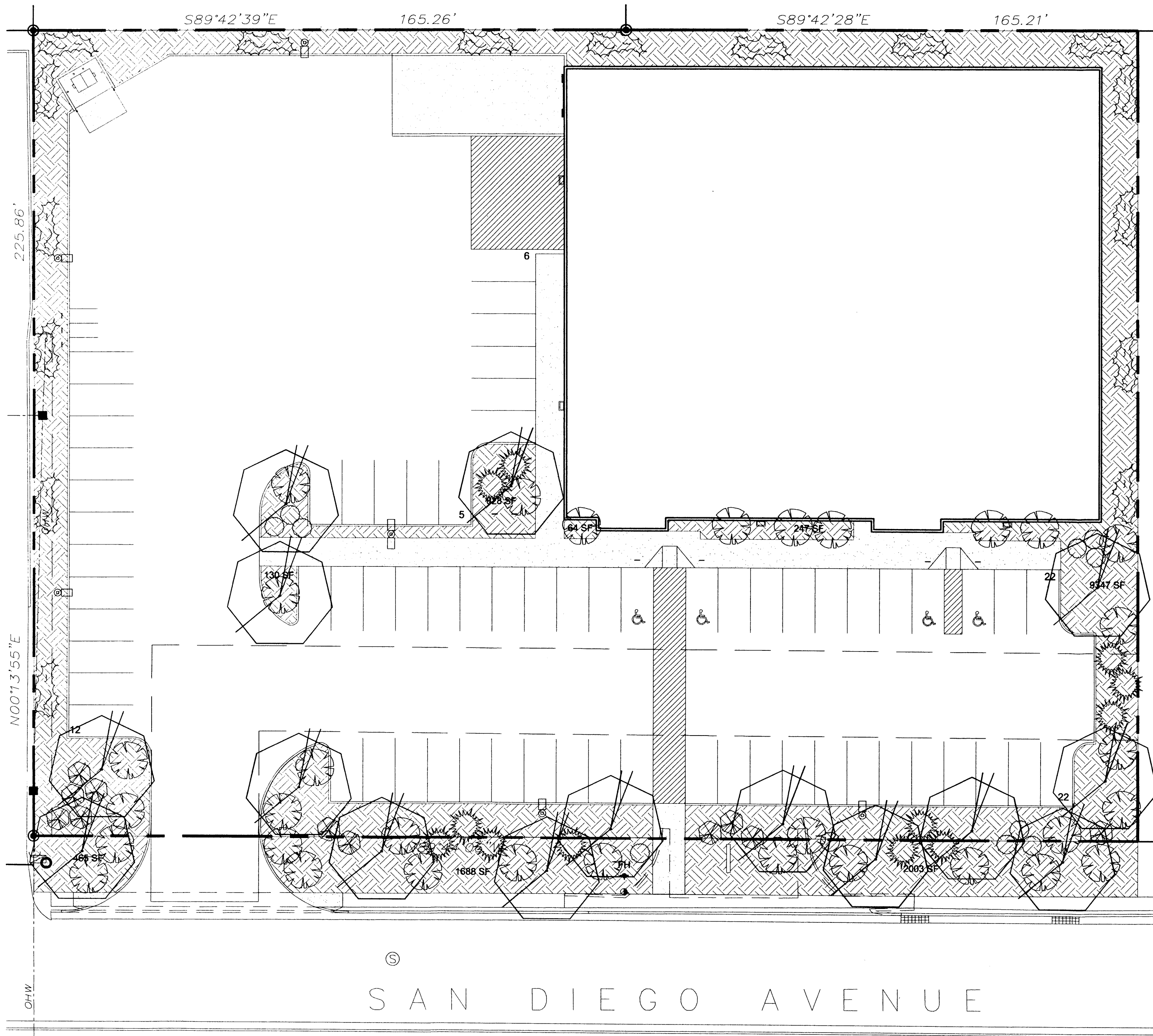
**INGERSOLL
RAND
TRANE
PROPOSED
NEW BUILDING
5501 SAN DIEGO AVENUE, N.E.
ALBUQUERQUE, NEW MEXICO**

MARK	DATE	DESCRIPTION

PROJECT NUMBER:	09225
DRAWING FILE:	INGERSOLL-RAND-SP5
DRAWN BY:	SMF
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DATE:	JANUARY 21, 2011

**SHEET TITLE
PRELIMINARY
UTILITY
PLAN**

**SHEET NUMBER
CU-101**



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES



AUTUMN BLAZE MAPLE 15
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12-14' Inst./40' x 50' maturity
Water (M) Allergy (L) Osf

SHRUBS/ORNAMENTAL GRASSES

• PHOTINIA 12
Photinia Fraseri
5 Gal., 2-4' Inst./8' x 8' maturity
Water (M+) Allergy (L) 64sf

THREE-LEAF SUMAC 11
Rhus trilobata
5 Gal., 18-3' Inst./6' x 6' maturity
Water (L+) Allergy (L) 36sf

APACHE PLUME 11
Fallugia paradoxa
5 Gal., 18-3' Inst./6' x 7' maturity
Water (L) Allergy (L) 44sf

GROUNDCOVERS

• TAM JUNIPER 32
Juniperus sabinia 'Tamariscifolia'
1 Gal., 6-15' Inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
Symbol indicates 3 plants

• HONEYSUCKLE 15
Lonicera japonica 'Halliana'
1 Gal., 6-15' Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-groundcover

HARDSCAPES

GRAY CRUSHERFINES
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH

* DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	74591	square feet
TOTAL BUILDINGS AREA	19102	square feet
NET LOT AREA	55489	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	8323	square feet

TOTAL BED PROVIDED	14772	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	11079	square feet
TOTAL GROUNDCOVER PROVIDED	11177	square feet

TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	14772	square feet

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque
Street Tree Ordinance are as follows:

Name of Street : SAN DIEGO
Required 9 Provided 9

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque
Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 6 Provided 6

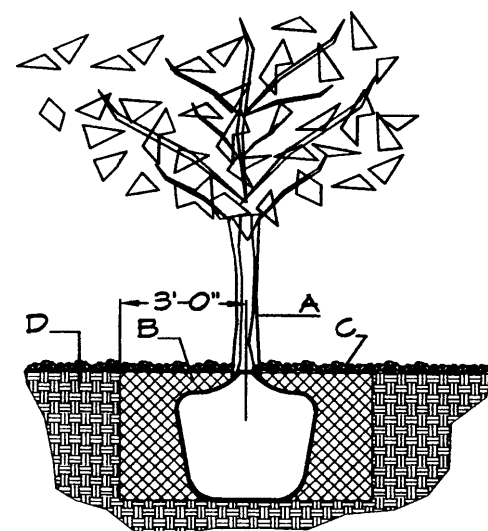
NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

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TREE PLANTING DETAIL

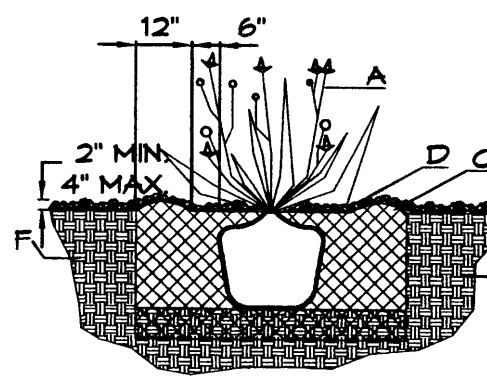
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

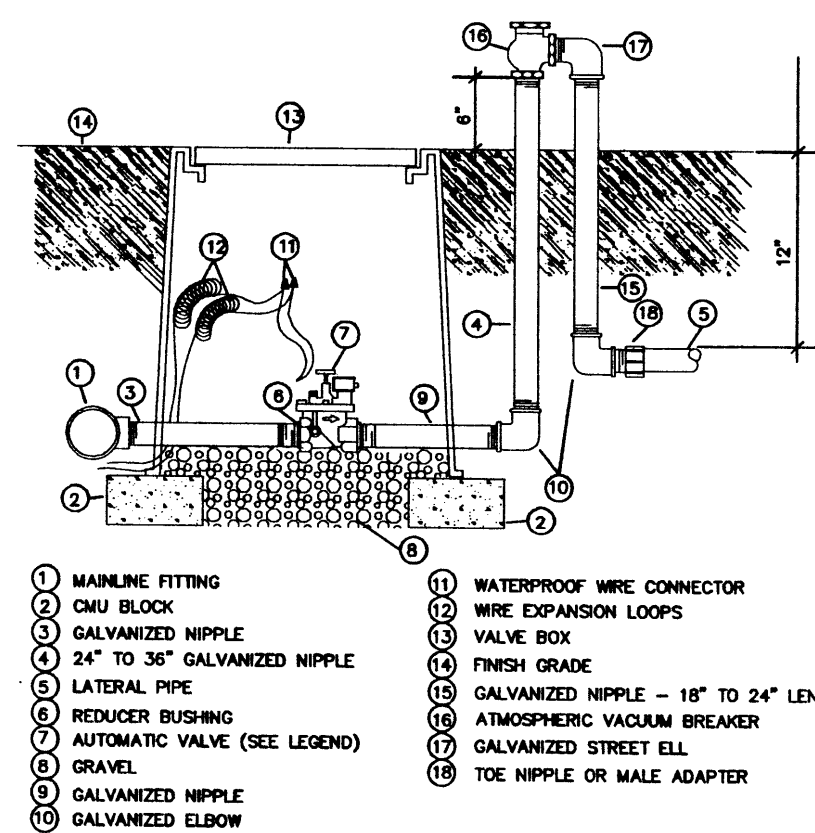
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GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

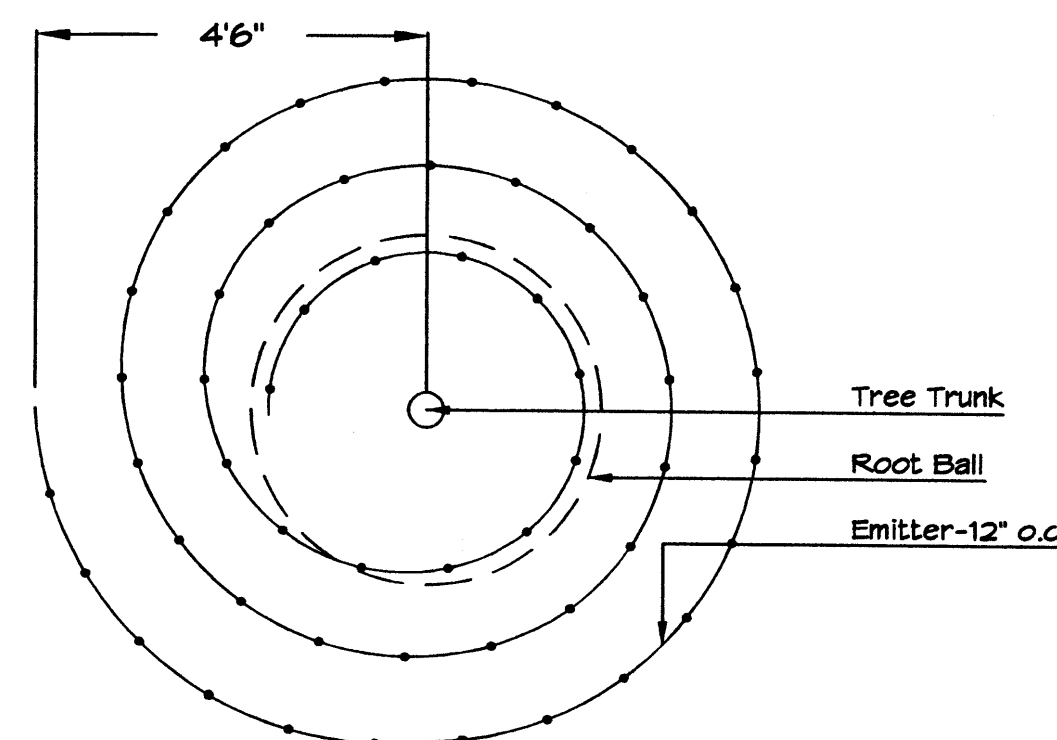
CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



AUTOMATIC VALVE W/ ATMOSPHERIC
VACUUM BREAKER

N.T.S.



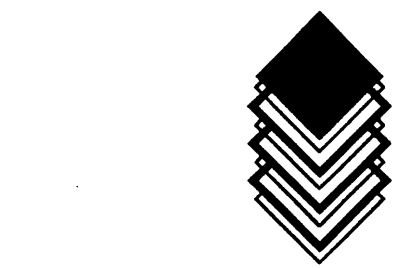
Netafim Spiral Detail

LANDSCAPE PLAN

0 5' 10' 20' 40'

L1

SCALE: 1" = 20'-0"



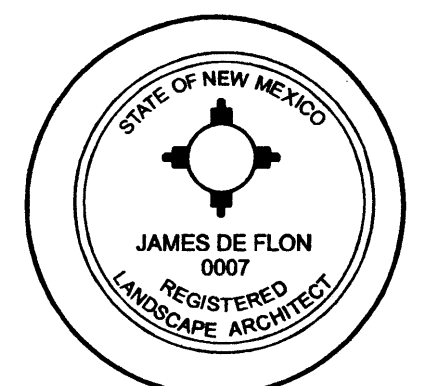
CLAUDIO VIGIL
ARCHITECTS

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Albuquerque, New Mexico
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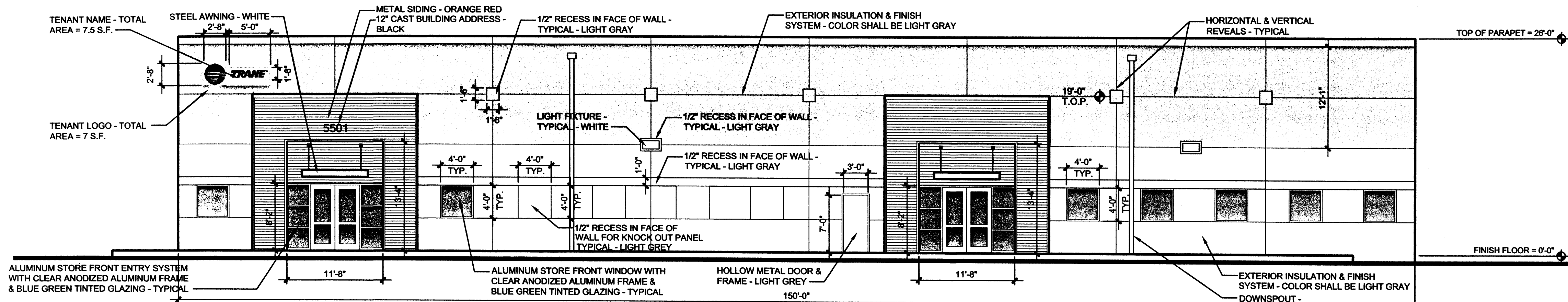
MARK	DATE	DESCRIPTION
1	1-19-11	revised site plan

PROJECT NUMBER:	09226
DRAWING FILE:	INGERSOLLRAND-C101-DRB-SP
DRAWN BY:	CMJ
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SHEET TITLE LANDSCAPE PLAN

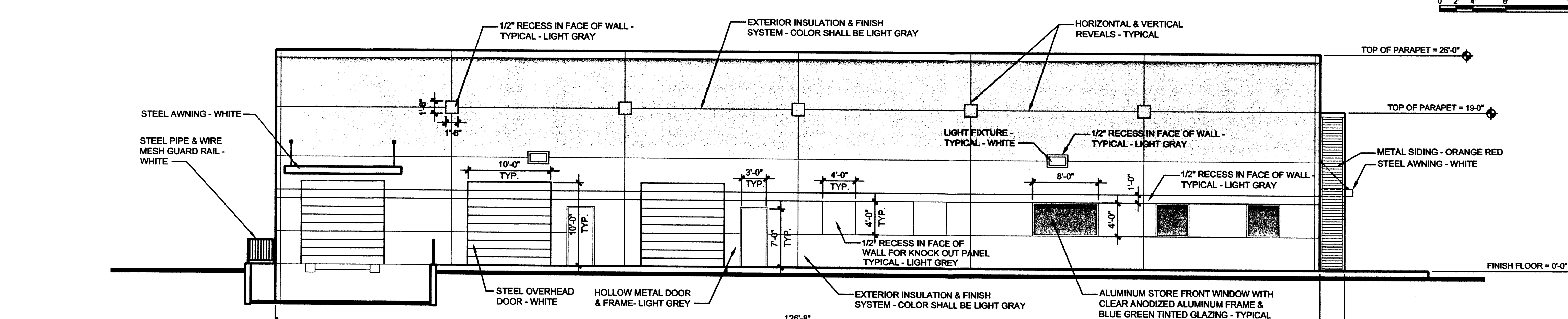
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L101



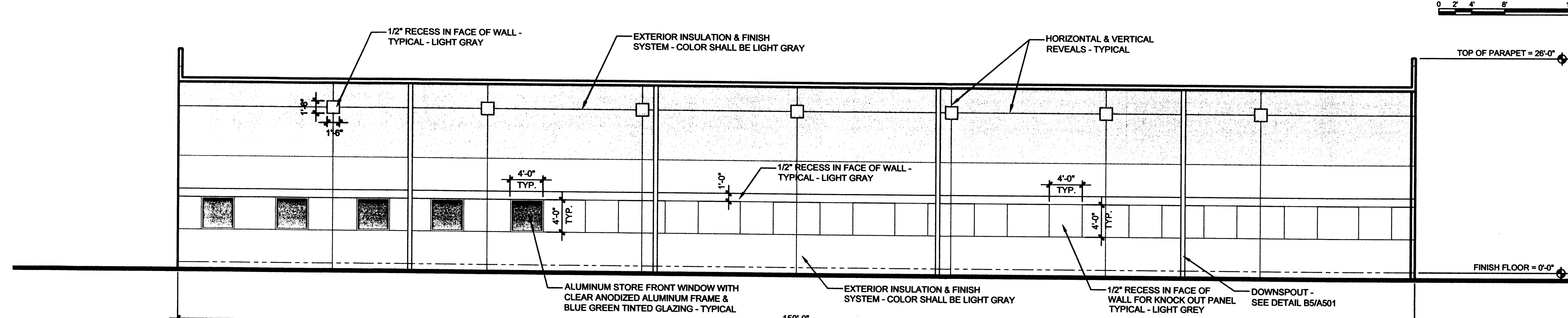
SOUTH ELEVATION

D1 SCALE: 1/8" = 1'-0"



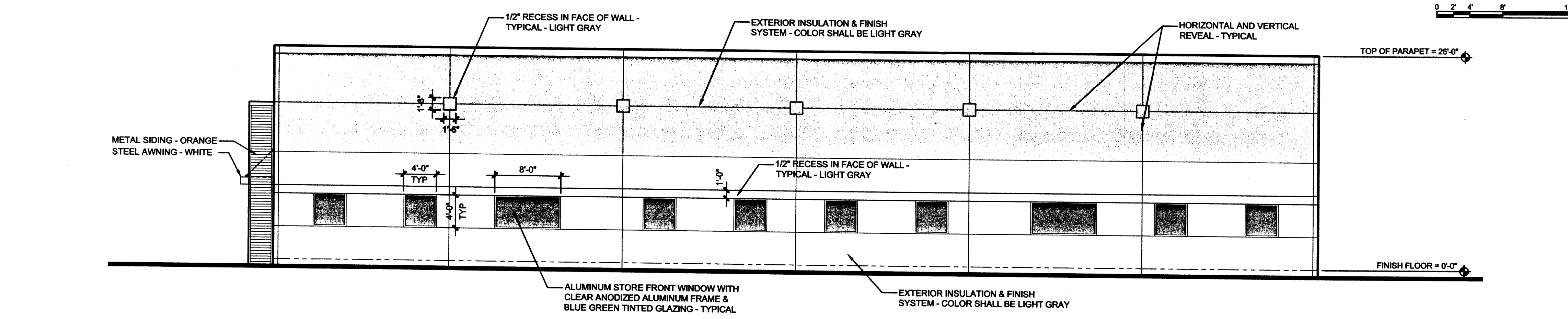
WEST ELEVATION

C1 SCALE: 1/8" = 1'-0"



NORTH ELEVATION

B1 SCALE: 1/8" = 1'-0"



EAST ELEVATION

A1 SCALE: 1/8" = 1'-0"

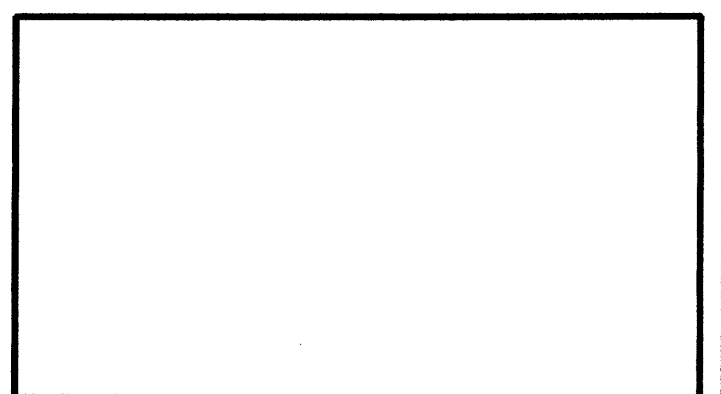


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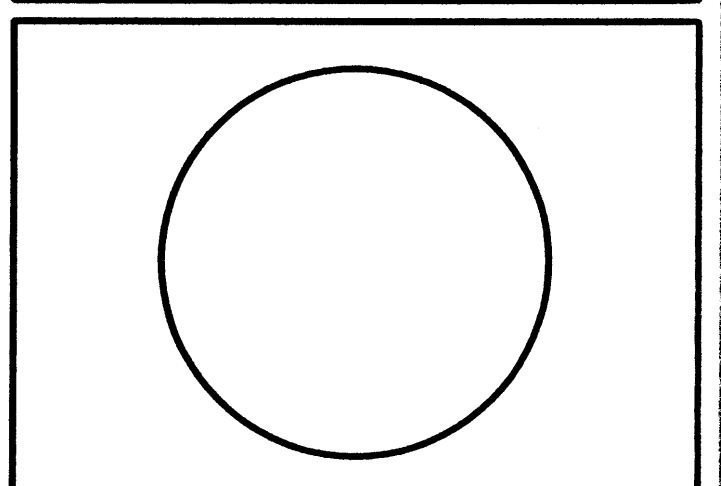
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ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 09225
DRAWING FILE: INGERSOLLRAND-A201-ELEV
DRAWN BY: SMF
CHECK BY: CAV
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DATE: MARCH 1, 2011

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201