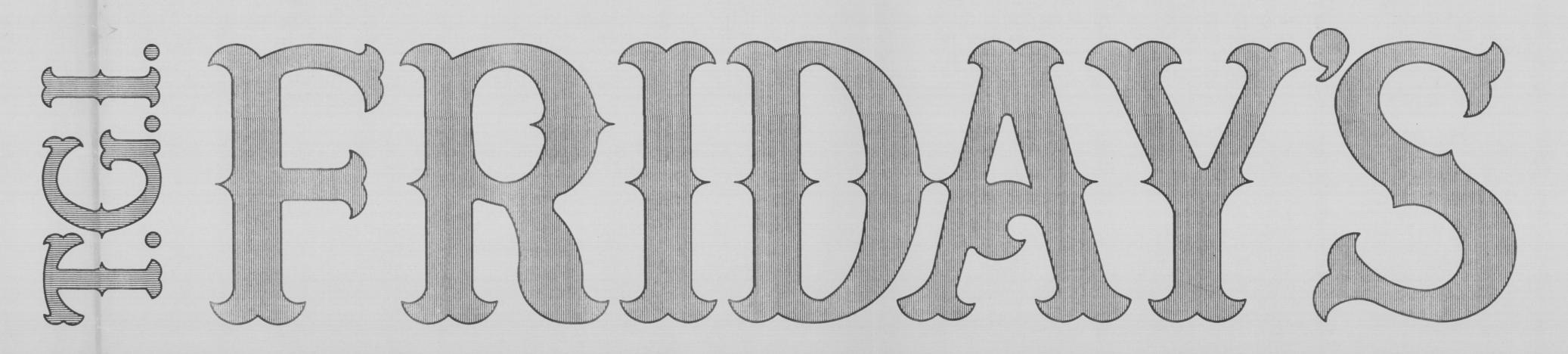
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

TGI FRIDAY'S RESTAURANT



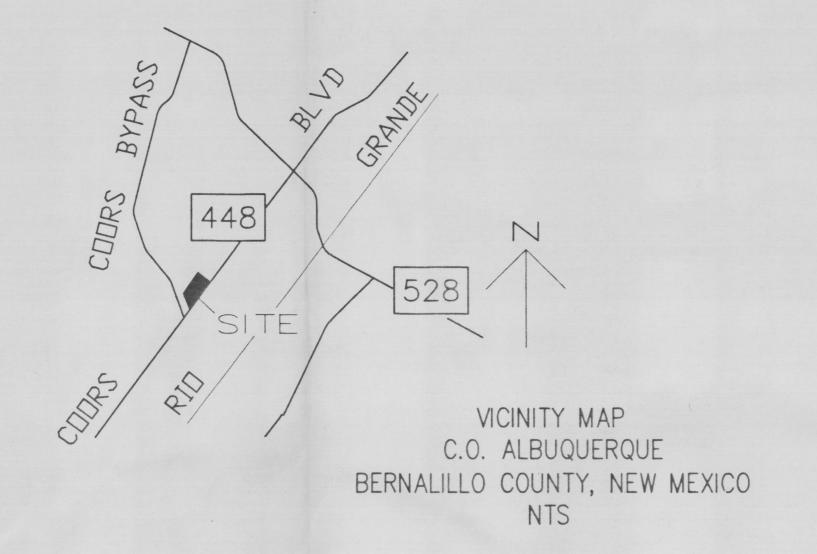
10001 COORS BLVD. N.W. ALBUQUERQUE, NM

DRB CASE NO. 1000343

INDEX TO SHEETS:

SD1	SITE PLAN
L1	LANDSCAPE/IRRIGATION PLAN
10F2	CIVIL COVER
20F2	GRADING AND DRAINAGE PLAN
D1	TRASH ENCLOSURE DETAILS
D2	PATIO DETAILS
A4	BUILDING ELEVATIONS
A4.1	BUILDING ELEVATIONS

(SIGNAGE PACKAGE WILL BE PROVIDED SEPARATELY BY AGENT OF OWNER)



SITE	DATA	1			
	TGI FRIDAY'S RESTAURANT 10001 COORS BLVD. NW ALBUQUERQUE NM 87114	LAND USE:	a. EXISTING: VACANT LOT b. PROPOSED: RESTAURANT		UTILITY PURVEYORS a. WATER b. SANITARY SEWER NEW MEXICO UTILITIES c. STORM SEWER CITY OF ALBUQUERQUE d. ELECTRICITY PUBLIC SERVICE OF NEW MEXICO (505) 241–3426
OWNER:	MAIN STREET & MAIN INCORPORATED 5050 NORTH 40TH STREET, SUITE 200 PHOENIX, AZ 85018 TEL. (602) 852-9000	BUILDING AREAS:	a. GROSS BUILDING AREA: b. PATIO AREA:	6,426 SQ. FT. 952 SQ. FT.	1. 10.000 2 0.00
	MICHAEL SHOTZBARGER (602) 852-9092				NUMBER OF STORIES: ONE
		PARKING REQUIREMENTS:	o. REQ. PARKING 2.89 SEATS/3 =	96 STALLS	BUILDING HEIGHT: 28'-0" TOP OF TOWER
ARCHITECT:	SCHUSS-CLARK, AN ARCHITECTURAL CORP. 9474 KEARNY VILLA RD. STE. 215 SAN DIEGO, CA 92126 DAVID FRINK (858) 578-2950 FAX: (858) 578-6346		b. TOTAL PARKING REQUIRED = c. TOTAL PARKING PROVIDED =	96 STALLS 120 STALLS	
PROCESSOR:	KERR PROJECT SERVICES 4655 CASS ST., suite 200 SAN DIEGO, CA 92109 DEBORAH KERR (858)273-4649				
LEGAL JURISDICTION:	CITY OF ALBUQUERQUE				

DRB NO. 1000343 - CC450 COCKO CD493

This plan is consistent with the specific site development plan approval by the Environmental Planing Commission (EPC) on the findings and conditions in the Official Notice; notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Troffic Engineer, Transportation Division

Parks & Recrection Department

Parks & Recrection Department

Public Works, Water Otilities Division

City Engineer, Engineering Division / AMAFCA

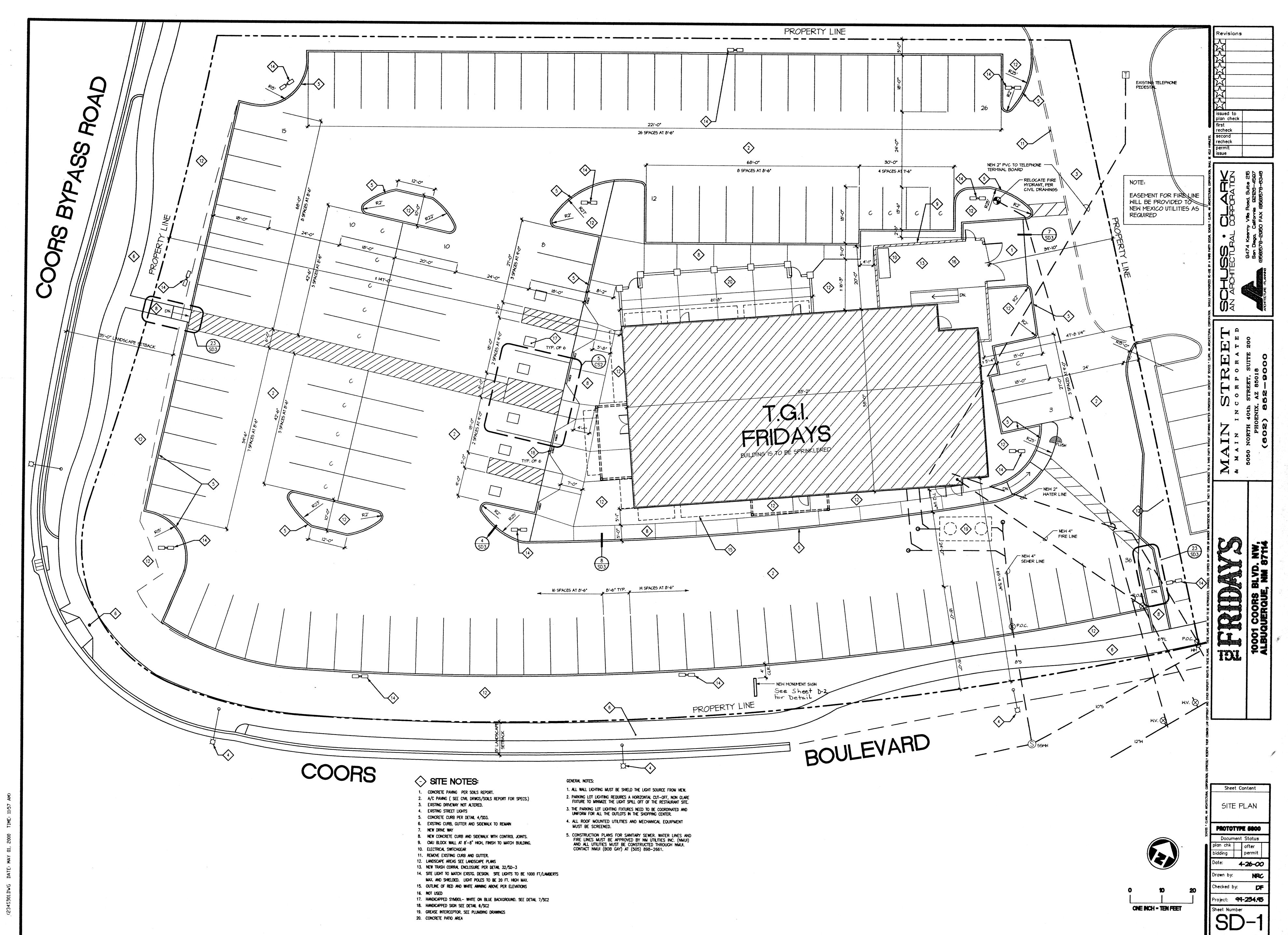
Solid Waste Department & Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Solid Waste Department & Sol

PROJECT NO. 1000343

FIRE MARSHAL



Sheets

(C) 2000 SCHIESS + CLARK AN ARCHITECTURAL CORPORATION

CHINESE PISTACHE (H)
Pistachia chinensis
2" Cal AFGAN PINE (H)

PURPLE ROBE LOCUST (M) 7 Robinia ambigua 2" Cal

NEW MEXICO OLIVE 6 Forestiera neo mexicana

PINON PINE (M) Pinus edulus 6'-8'

PYRANEES COTONEASTER (L) 17 Cotoneaster congestus

CLIFFROSE (M) 17 Cowanian mexicana 5 gal

LEMONADE BERRY (M) 20

DWARF SPANISH BROOM (M) 6

CURL-LEAF MAHOGONY (M) 18

GREYLEAF COTONEASTER (M) 30

Cercocarpus ledifolius 5 gal RED YUCCA (L) 12 Hesperaloe parviflora

WILDFLOWER 102

Rosemarinus officinalis

LAVENDER COTTON (M)

Rhus integrifolia

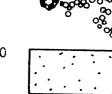
Santolina chamaecyparissus

BEARBERRY (M) 22 Arctystaphylos uva—ursi 5 gal

OVERSIZED GRAVEL & BOULDERS 9

SILVER SPREADER (M) 60 Aremisia caucasia

Salvia greggii 1 gal

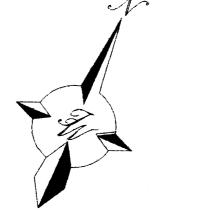


3/4" GREY GRAVEL

W/ FILTER FABRIC

ICT

MAMES DE FLON 0007 6-13-00



SCALE: 1"=20"

Cont. Lic. #26458 7909 Edith N.E.

Albuquerque, NM 87184 Ph. (505) 898-9690 Fax (505) 898-7737 it@hilitoplandscaping.com THE HILLTOP expressly reserves the common

THE HILLTOP

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to recieve native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per. day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street COORS BLVD Required # 11 Provided # 11 Name of Street COORS BYPASS RD Required # 6 Provided # 6

NET LANDSCAPE AREA 66,435 square feet TOTAL LOT AREA 8,208

LANDSCAPE CALCULATIONS

TOTAL BUILDINGS AREA square feet OFFSITE AREA _ square feet 58,227 NET LOT AREA square feet LANDSCAPE REQUIREMENT ___.15 _ square feet TOTAL LANDSCAPE REQUIREMENT ____8,735 _square feet TOTAL LANDSCAPE PROVIDED 17,365 square feet TOTAL BED PROVIDED -square feet TOTAL SOD PROVIDED _ square feet TOTAL NATIVE SEED PROVIDED _ square feet

Construction plans for sanitary sewer, water lines and fire lines must be approved by NM Ulitilities Inc (NMUI) and all utilities must be constructed through MNUI. Contact NMUI {Bob Gay} at (505)882-2661.

GRAPHIC SCALE

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2000 SCHUSS * CLARK, AN ARCHITECTURAL CORPORATION

Shoot Content

Please States
plea dik | ofter
bliding | permit

Date: 8-1-00

Drawn by:

Checked by:

Shout Humbur

GENERAL NOTES TO CONTRACTOR -

- 1. ALL WORK SHALL COMPLY WITH THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND ALL APPLICABLE ORDINANCES OF THE CITY OF ALBUQUERQUE AND TOGETHER WITH ANY AND ALL REGULATIONS OF ANY AUTHORITIES HAVING JURISDICTION. WHENEVER INCONSISTENCIES OR CONFLICTS ARISE THE MOST STRINGENT SHALL APPLY.
- 2. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL NOTIFY ALL REQUIRED AGENCIES AT LEAST 48 HOURS IN ADVANCE OF WORK.
- 3. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS.
- 4. ALL GRADING, PAVING AND RELATED WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION AND SOILS REPORT PREPARED BY WESTERN TECHNOLOGIES INC., DATED MARCH 3, 2000.
- 5. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
- 6. CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS AND TESTING AND PROVIDE ALL NECESSARY SOILS TESTING TO VERIFY THAT ALL SITE WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE SOILS REPORT AND SOILS ENGINEER.
- 7. CALL NEW MEXICO ONE CALL HELP TWO WORKING DAYS BEFORE YOU DIG: 1-505-260-1990.
- 8. DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHOULD BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- 9. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- 10. ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- 11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND MAKE NECESSARY ARRANGEMENTS WITH APPROPRIATE UTILITY COMPANIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 12. ANY DEVIATION FROM THESE PLANS NOT APPROVED IN WRITING BY THE JURISDICTIONAL AUTHORITY, THE OWNER/DEVELOPER, OR THE DESIGN ENGINEER, SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR IF THERE IS ANY QUESTION REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ALL WORK BY CALLING THE ENGINEER OF WORK AT 602-970-6862.
- 13. ANY UNDERGROUND UTILITY LINES SHOWN IN THE WORK AREA ARE TAKEN FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF UTILITIES IN ADVANCE OF HIS WORK. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, CONTRACTOR TO NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- 14. NOTHING CONTAINED IN THE PLANS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- 15. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS, OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE PLANS.
- 16. ANY AND ALL EXISTING ITEMS, EXCEPT THOSE THAT ARE TO BE REMOVED, SHALL BE PROTECTED BY THE CONTRACTOR. CONTRACTOR SHALL REPLACE ANY AND ALL ITEMS THAT ARE REMOVED OR DAMAGED DURING THE COURSE OF HIS WORK TO THE SAME OR BETTER CONDITION AT HIS EXPENSE.
- 17. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, QUANTITIES, AND REQUIREMENTS OF THE WORK, AND EXCESS OR DEFICIENCY IN QUANTITIES, IF ANY. NO CLAIM SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- 18. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE ENGINEER FROM ALL SUITS, ACTIONS OR CLAIMS OF ANY CHARACTER BROUGHT FOR, OR ON ACCOUNT OF ANY INJURIES TO, OR DAMAGES RECEIVED BY ANY PERSON, PERSONS OR PROPERTY RESULTING FROM THE OPERATIONS OF THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS IN PROSECUTING THE WORK UNDER THIS PROJECT, EXCEPT ONLY SUCH DAMAGE, OR INJURY AS SHALL HAVE BEEN OCCASIONED BY THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- 19. ALL TOP OF CURBS ARE 0.5' ABOVE GIVEN PAVEMENT GRADES UNLESS OTHERWISE NOTED.
- 20. REFER TO ARCHITECT'S PLANS FOR BUILDING DIMENSIONS, SITE LAYOUT AND COMPLETE SITE DIMENSIONS.
- 21. ALL ACCESSIBLE RAMPS AND PARKING SPACES SHALL COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE STANDARDS/REQUIREMENTS.
- 22. ALL ONSITE PAVING AND CURBING MATERIALS AND CONSTRUCTION SHALL BE DONE IN CONFORMANCE WITH C. OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION AND SOILS REPORT PREPARED BY WESTERN TECHNOLOGIES, INC. DATED MARCH 3, 2000.
- 23. ALL HORIZONTAL AND VERTICAL CONTROL TAKEN FROM A.L.T.A. SURVEY PREPARED BY SOUTHGATE ASSOCIATES, LTD. AND DATED APRIL 14, 2000. FOR ADDITIONAL INFORMATION REFER TO THIS DOCUMENT.
- 24. COMPACTED BUILDING PAD SHALL EXTEND 5 FEET BEYOND OUTER EDGE OF BUILDING AND BUILDING SIDEWALK.
- 25. PROPOSED SITE PLAN TAKEN FROM ELECTRONIC MEDIA PREPARED BY SCHUSS-CLARK.
- 26. © COPYRIGHT 1999. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF SOUTHGATE ASSOCIATES, LTD. NO REPRODUCTION OR USE OF DESIGN CONCEPTS ARE ALLOWED WITHOUT WRITTEN PERMISSION OF SOUTHGATE ASSOCIATES, LTD. ANY VIOLATION OF THIS COPYRIGHT SHALL BE SUBJECT TO LEGAL ACTION.

LEGAL DESCRIPTION -

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING ALL OF TRACT C-4, OF THE COTTONWOOD MALL, AS SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF TRACTS H-1 AND H-2, SEVEN-BAR RANCH, NOW COMPRISING COTTONWOOD MALL, ALBUQUERQUE, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 6, 1995 IN VOLUME 95C, FOLIO 5.

CONTAINING 1.54 ACRES

PROJECT BENCH MARK -

NORTHEAST CORNER OF STORM DRAIN MANHOLE AT NE CORNER OF COORS BOULEVARD AND COORS BOULEVARD BYPASS.

ELEVATION = 5048.63 (C.O.A. DATUM)

EARTHWORK QUANTITIES -

CUT (ESTIMATED QUANTITY-PURE VOLUME)
FILL (ESTIMATED QUANTITY-PURE VOLUME)

1,037 C.Y. 209 C.Y.

NOTE: THE QUANTITIES SHOWN ABOVE ARE FOR PERMIT AND/OR BONDING PURPOSES ONLY, AND ARE NOT TO BE USED FOR BIDDING OR FINAL PAY QUANTITIES.

DEVELOPER -

MAIN STREET AND MAIN INCORPORATED 5050 N. 40TH STREET, SUITE 200 PHOENIX, ARIZONA 85016 602 / 852-9000

DRAINAGE CHARACTERISTICS -

EXISTING CONDITIONS:

THE SITE IS A 1.54 ACRE VACANT PARCEL LOCATED ON THE COTTONWOOD MALL PROPERTY AT THE SOUTHEAST CORNER. THE APPROVED MASTER DRAINAGE REPORT (MDR) FOR THE COTTONWOOD MALL, PREPARED BY BOHANNAN-HUSTON INC., INCLUDES THE SUBJECT PROPERTY DESIGNATED AS A BASIN C-2 ON PLATE 1 OF THE MDR. ACCORDING TO THE MDR, THIS SITE, BASED ON THE DESIGNATED LAND TREATMENTS, HAS A DEVELOPED RUNOFF RATE OF 4.37 CFS/ACRE. THE RUNOFF FROM THIS AREA IS TRIBUTARY TO THE EXISTING STORM DRAIN SYSTEM AND ADJACENT BASIN.

OFFSITE FLOWS:

CATCHMENTS.

NO OFF-SITE STORM FLOWS ENTER ONTO OR PASS THROUGH THE SITE.

FLOOD HAZARD:

THE SITE IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 500—YEAR FLOODPLAIN, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA ACCORDING TO PANEL 35001C0109D, DATED SEPTEMBER 20, 1996. (SEE MAP THIS SHEET)

ONSITE STORM WATER CALCULATIONS — THE RUNOFF FLOWS SHOWN BELOW WERE COMPUTED FOR 100-YEAR, 6-HOUR EVENT BASED ON CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL STANDARDS. THE PIPES WERE SIZED BY ADDING THE PEAK FLOWS FROM THE CONTRIBUTING

THE DESIGN AND ACTUAL FLOW CAPACITIES FOR THE PROPOSED STORM DRAINS ARE NOTATED BELOW AND IN THE CONSTRUCTION NOTES FOR EACH SEGMENT OF PIPE ON SHEET 2.

STORM DRAIN LINES

LINE	MATERIAL	SIZE (INCHES)	SLOPE (%)	100-YR FLOW RATE (CFS)	CAPACITY (CFS)	INLET CAPACITY REQUIRED/PROVIDED (CFS AT 0.2' DEEP)
SDL-1	P.V.C. C-900, CLASS 200	10"	0.30	1.20	2.20	1.20/4.90
SDL-2	P.V.C. C-900, CLASS 200	10"	0.30	1.58	2.20	1.58/4.90
SDL-3	R.C.P.	12"	2.50	4.82	5.63	2.04/4.90

NOTE - ALL CALCULATIONS ARE BASED ON A MANNING'S N VALUE OF 0.015.

RUNOFF VOLUMES

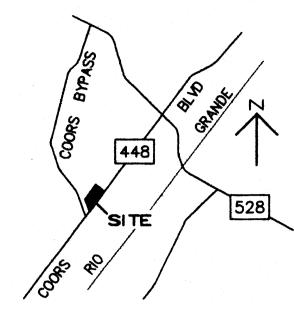
CATCHMENT	AREA (ACRES)	% A	% B	% C	% D	100-YR RUNOFF (CFS)	10-YR RUNOFF (CFS)
\bigcirc	0.28	0	0	6	94	1.20	0.80
2	0.53	0	19	4	77	2.04	1.37
3	0.38	0	5	5	90	1.58	1.06
4	0.18	0	20	0	80	0.70	0.48
5	0.10	0	100	0	0	0.20	0.11
6	0.07	0	100	0	0	0.14	0.09
TOTAL	1.54					5.86	3.91

BASIN C-2: 4.37 CFS/ACRE X 1.54 ACS = 6.73 CFS (ALLOWABLE) > 5.86 CFS (ACTUAL)

PROPOSED DRAINAGE CONDITIONS:

THE IMPROVED SITE WILL CONSIST OF A SIT DOWN RESTAURANT, PARKING AND LANDSCAPING. THE STORM RUNOFF IS COLLECTED INTO AN ONSITE STORM DRAIN SYSTEM AND DISCHARGED INTO THE ADJACENT EXISTING 60—INCH STORM DRAIN IN CONFORMANCE WITH THE PLANS AND DRAINAGE REPORT FOR THE MALL. A SMALL PORTION OF THE SITE WILL DRAIN INTO THE PROPOSED STORM SYSTEM FOR THE RED ROBIN. ANOTHER 0.07 ACRES OF THE SITES LANDSCAPING WILL CONTINUE TO DRAIN INTO COORS BOULEVARD.

BASED ON CRITERIA IN THE MDR THE DEVELOPED RUNOFF RATE FOR THIS SITE IS 4.37 CFS/ACRE x 1.54 ACRES = 6.73 CFS. THE CALCULATED PEAK FLOWS FROM ABOVE IS 6.73 CFS. THIS IS A DECREASE OF 0.87 CFS OR 12.9%. SINCE THE RUNOFF FLOWS WERE NOT ROUTED THE GENERATED PEAK FLOWS ARE THEREFOR CONSERVATIVE IN NATURE.



VICINITY MAP
C.O. ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BOTT.	BOTTOM	× 46.04	EXISTING GRADE
B/C	BACK OF CURB	— о̂.н. —	OVERHEAD SERVICE
B/W	BACK OF WALK	P.	PAVEMENT
	CONCRETE	P.P.	POWER POLE
C.			
~~~	CONTROL JOINT	P.U.E.	PUBLIC UTILITY
CO.	CLEANOUT	D Av	EASEMENT
C.O	CURB OPENING	R/W	RIGHT-OF-WAY
	DRAINAGE ARROW	8000 466	RIP-RAP
0	ELECTRIC METER BOX	— <u>s</u> —	SEWER LINE
E	ELECTRIC LINE	— SD —	STORM DRAIN LINE
E/P	EDGE OF PAVEMENT	S/W	SIDEWALK
F.F.	FINISH FLOOR	¤	STREET LIGHT
F.G.	FINISH GRADE		TELEPHONE RISER
F <u>.</u> H.	FIRE HYDRANT		TELEPHONE LINE
E .	FLOW LINE	T/B	TOP OF BERM
G.V.	GAS VALVE	T/C	TOP OF CURB
— G —	GAS LINE	T/W	TOP OF WALK
G.B.	GRADE BREAK	T/WALL	TOP OF WALL
G.	GUTTER		TRAFFIC SIGN
<del>(</del>	GUY WIRE	OB C	TRAFFIC SIGNAL
H.W.	HIGH WATER LEVEL	- U.G	UNDERGROUND SERVICE
— IRR —	IRRIGATION LINE	V.G.	VALLEY GUTTER
M.H.	MANHOLE	- w -	WATER LINE
(M)	MEASURED DISTANCE	W.M.	WATER METER
(R)	RECORD DISTANCE	W.V.	WATER VALVE
<u> </u>	- EXIST. CONTOUR	W. V.	TRAFFIC SIGNAL BOX
			コスペアアル、つバッハスル だいよ

#### NOTE:

LEGEND -

 ADD 5000 TO ALL ELEVATIONS.
 VERTICAL CONTROL BASED ON NEW MEXICO STATE HIGHWAY COMMISSION MONUMENT "NM-448-N12" HAVING AN ELEVATION OF 5023.41 FT. (SLD 1929).

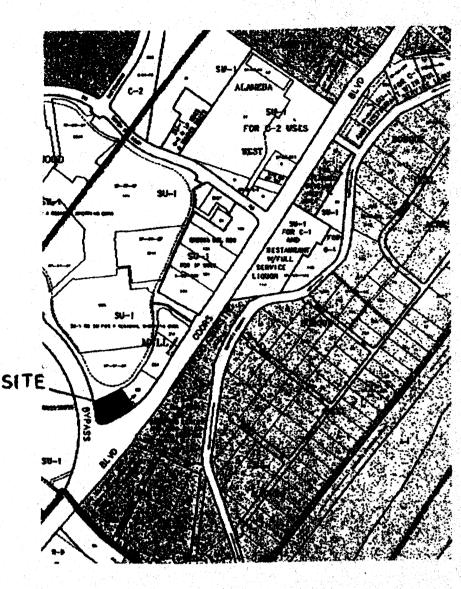
#### CONSTRUCTION NOTES -- STORM DRAIN LINE CONNECTION TO EXISTING

- 1. CORE DRILL INTO EXISTING STORM DRAIN TO INSTALL PROPOSED STORM DRAIN LINE. DIAMETER OF CORE DRILLED HOLE SHALL BE 2" LARGER THAN THE OUTSIDE DIAMETER OF THE STORM DRAIN LINE. CUT HOLE FOR STORM DRAIN LINE SHALL BE ALIGNED SUCH THAT A PROJECTION OF THE DRAIN LINE CENTERLINE INTERSECTS THE CENTER OF THE MANHOLE. GROUT WITH NONSHRINK, NONMETALLIC GROUT.
- 2. STORM DRAIN LINE IN CITY RIGHT OF WAY SHALL BE REINFORCED CONCRETE PIPE CLASS IV.
- 3. THE CITY DOES NOT ACCEPT RESPONSIBILITY FOR MAINTENANCE FOR ANY DRAIN LINES INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

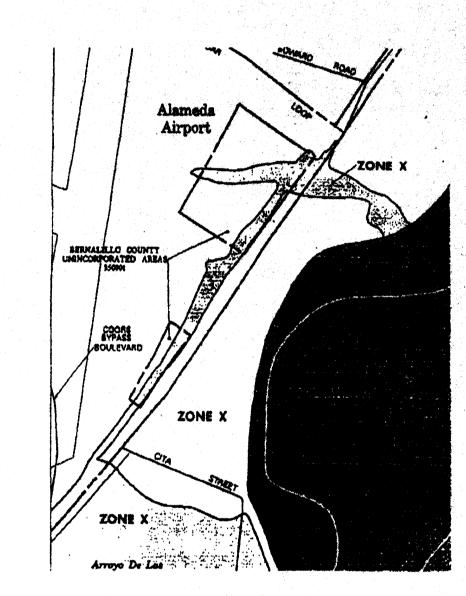
#### NOTICE TO CONTRACTOR -

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO _____ STREET
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		
TITLE		
PERMIT NO.		
MAP NO.	B14	



LOCATION MAP



FEMA FLOOD INSURANCE RATE MAP PANEL 35001C109DDATED SEPTEMBER 20, 1996.



MAIN STREET & MAIN INCORPORATED

5050 North 40th St., Suite 200, Phoenix, Arizona 85016
Tele. (602) 852-9000 Fax (602) 852-9094

### TRACT C-4 COTTONWOOD MALL ALBUQUERQUE, NEW MEXICO

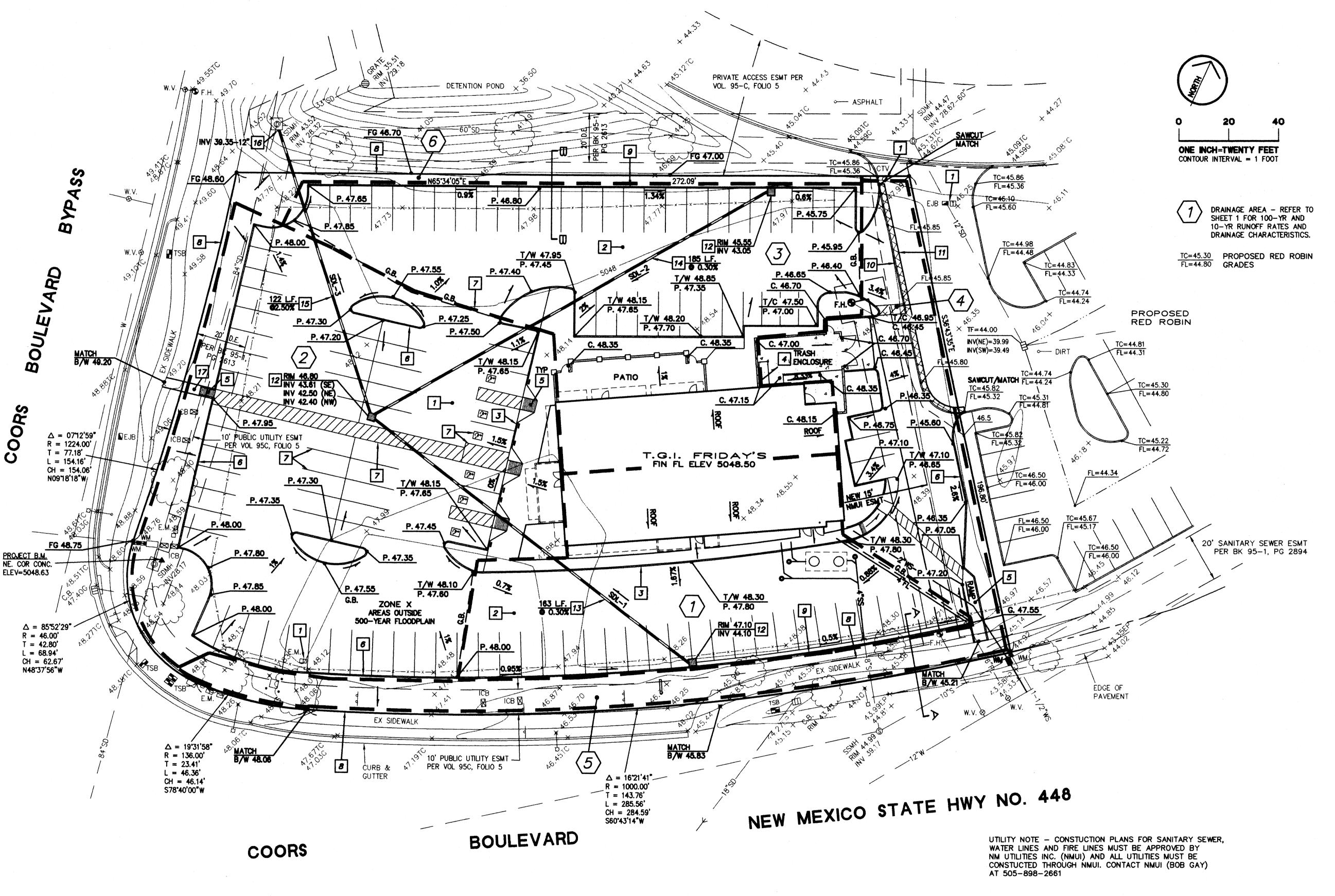
SOUTHGATE ASSOCIATES, LIMITED 4385 N. 75th Street, Suite 100, Scottsdale, Arizona 85251 T. (480) 970-6862 F. (480) 970-3984 sgateassoc@aol.com Civil Engineering Consultants

<b>PROJECT</b>	NO.	
DATE		

99-43CV REVISIONS APRILOO

A PORTION OF SECTION 8, TOWNSHIP 11 N, RANGE 3 E, N.M. P.M., BERNALILLO COUNTY, NEW MEXICO

CIVIL GRADING AND DRAINAGE PLAN 1/2

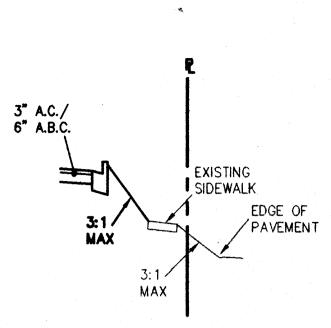


ONSITE CONSTRUCTION NOTES -

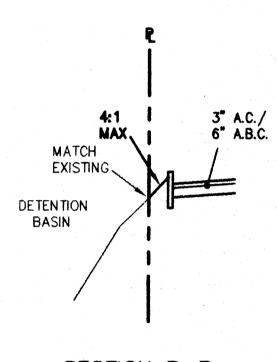
- CLEAR WORK AREA OF EXISTING IMPROVEMENTS, AND ANY MISCELLANEOUS ITEMS AS REQUIRED. COORDINATE ANY RELOCATIONS AND ABANDONMENTS OF UTILITIES WITH RESPECTIVE UTILITY COMPANIES. REFER TO ARCHITECT'S DEMOLITION PLANS.
- 2 CONSTRUCT 3" A.C. / 6" AGG. BASE COURSE PAVEMENT PER SOILS REPORT.
- 3 CONSTRUCT TURNDOWN SIDEWALK SEE ARCHITECTURAL PLANS FOR DETAILS AND C. OF ALBUQUERQUE DRAWING NO. 2430.
- 4 CONSTRUCT TRASH ENCLOSURE SEE ARCHITECTURAL PLANS FOR DETAILS.
- 5 CONSTRUCT ACCESSIBILITY RAMP PER A.D.A. AND CITY REQUIREMENTS/ STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS. RAMPS SHALL HAVE 1:12 MAXIMUM SLOPE.

- 6 CONSTRUCT 6" CONC HEADER CURB PER CITY OF ALBUQUERQUE DRAWING NO. 2415, MODIFIED PER DETAIL THIS SHEET.
- 7 INSTALL ALL PARKING BAY, ACCESSIBLE STRIPING AND SIGNAGE. PAINTED ACCESS ROUTE WITH MAXIMUM 1:20 SLOPE AND 1:50 CROSS SLOPE, WIDTH PER ARCHITECTURAL PLANS.
- 8 MATCH EXISTING GRADES ALONG PROPERTY LINES AND WHERE INDICATED.
- 9 CONSTRUCT 6" MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE DRAWING NO. 2415 WITH STANDARD GUTTER SLOPE.
- 10 SAWCUT AND REMOVE EXISTING CURB. MATCH SAWCUT LINES WITH NEW.
- 2' MINIMUM PAVEMENT SAWCUT TO A NEAT CLEAN EDGE, REMOVE AND REPLACE. MATCH WITH NEW PAVEMENT.

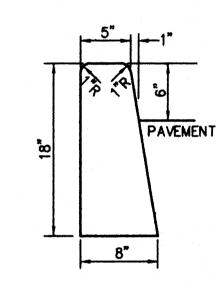
- 12 CONSTRUCT SINGLE STORM INLET PER C. OF ALBUQUERQUE DRAWING NO'S 2206 AND 2220. PROVIDE 1.5' SUMP BELOW OUTLET ELEVATION FOR SILTATION.
- INSTALL 10" P.V.C., C-900, CLASS 200 PIPE. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 1.20 CFS PIPE CAPACITY = 2.20 CFS)
- INSTALL 10" P.V.C., C-900, CLASS 200 PIPE. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 1.58 CFS PIPE CAPACITY = 2.20 CFS)
- INSTALL 10" R.C.P., CLASS III. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 4.82 CFS PIPE CAPACITY = 5.63 CFS)
- CORE DRILL INTO EXISTING STORM DRAIN MANHOLE PER C. OF ALBUQUERQUE REQUIREMENTS AND NOTES ON SHEET 1 STORM DRAIN LINE CONNECTION TO EXISTING MANHOLE.
- 17 CONSTRUCT SIDEWALK, WIDTH PER ARCHITECTURAL PLANS, PER C. OF ALBUQUERQUE DRAWING NO. 2430.



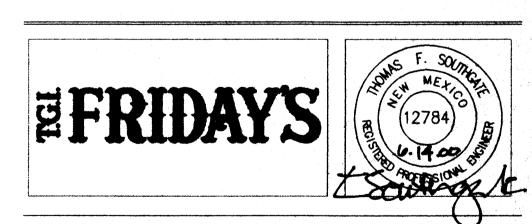
SECTION A-A



SECTION B-B



6 HEADER CURB



MAIN STREET & MAIN INCORPORATED

5050 North 40th St., Suite 200, Phoenix, Arizona 85016
Tele. (602) 852-9000 Fax (602) 852-9094

TRACT C-4 COTTONWOOD MALL ALBUQUERQUE, NEW MEXICO

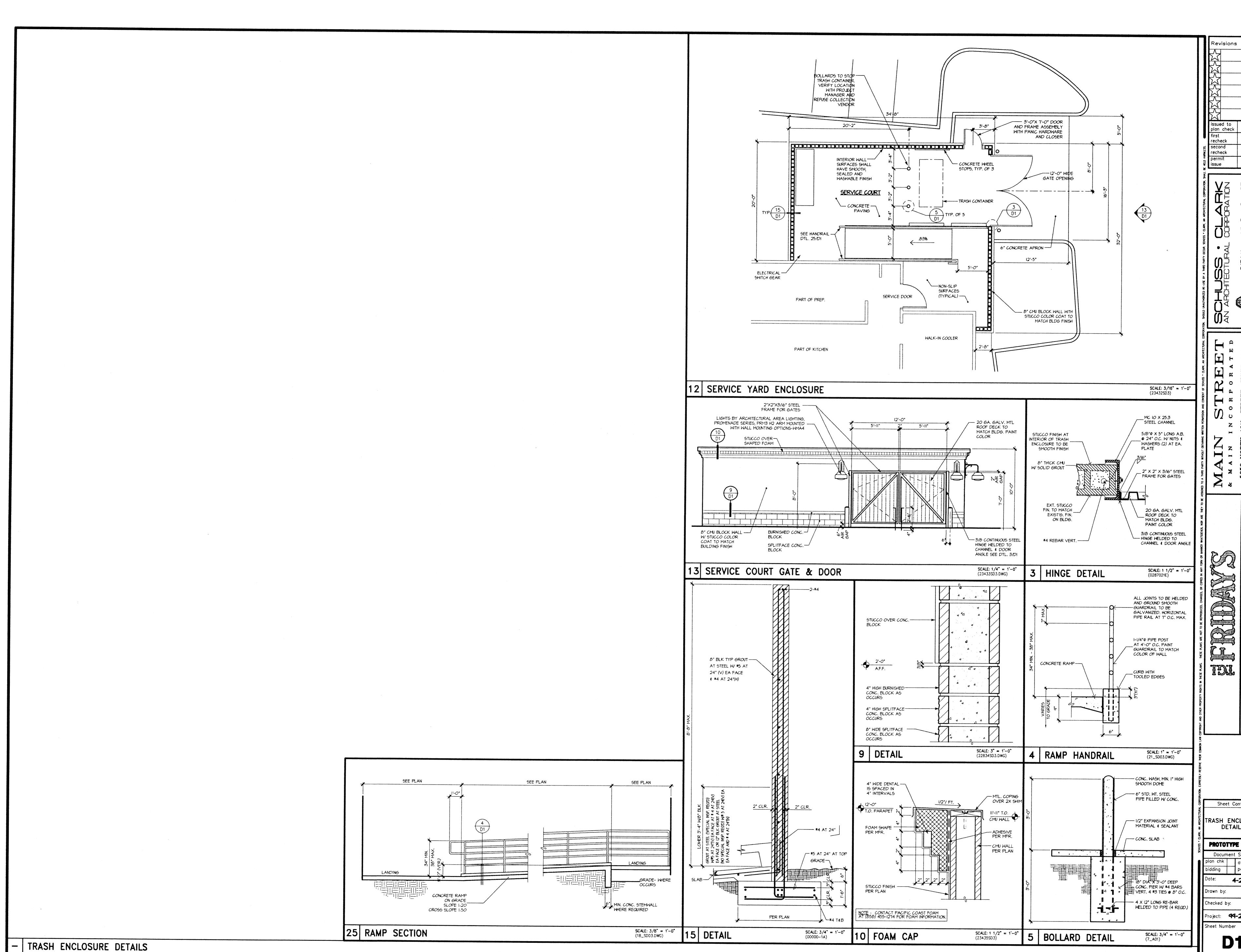
SOUTHGATE ASSOCIATES, LIMITED 4385 N. 75th Street, Suite 100, Scottsdale, Arizona 85251 T. (480) 970-6862 F. (480) 970-3984 sgateassoc@aol.com

PROJECT NO. DATE 99-43GD4 APRIL00

REVISIONS MAYOO JUNEOO

A PORTION OF SECTION 8, TOWNSHIP 11 N, RANGE 3 E, N.M. P.M., BERNALILLO COUNTY, NEW MEXICO

CIVIL GRADING AND DRAINAGE PLAN 2/2

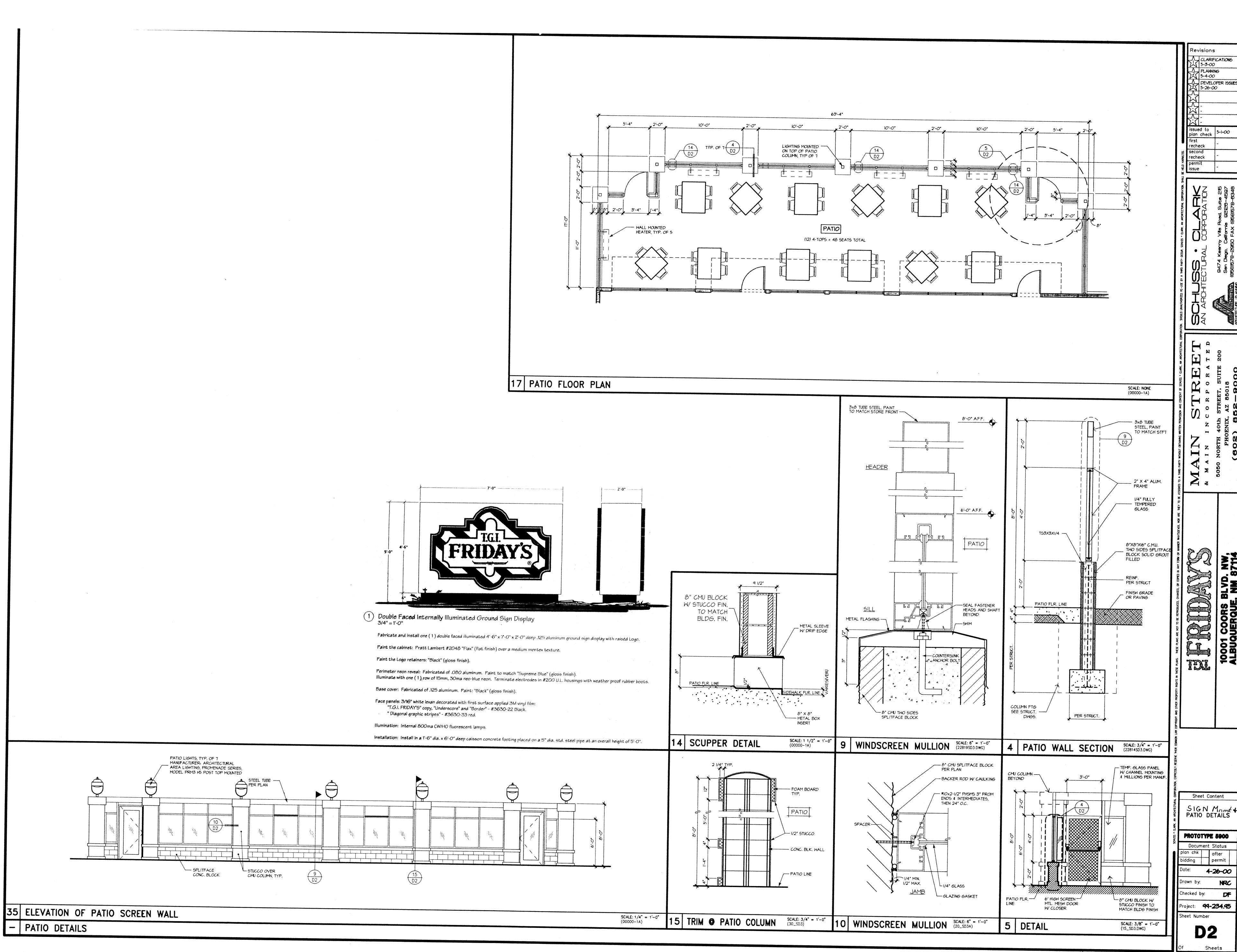


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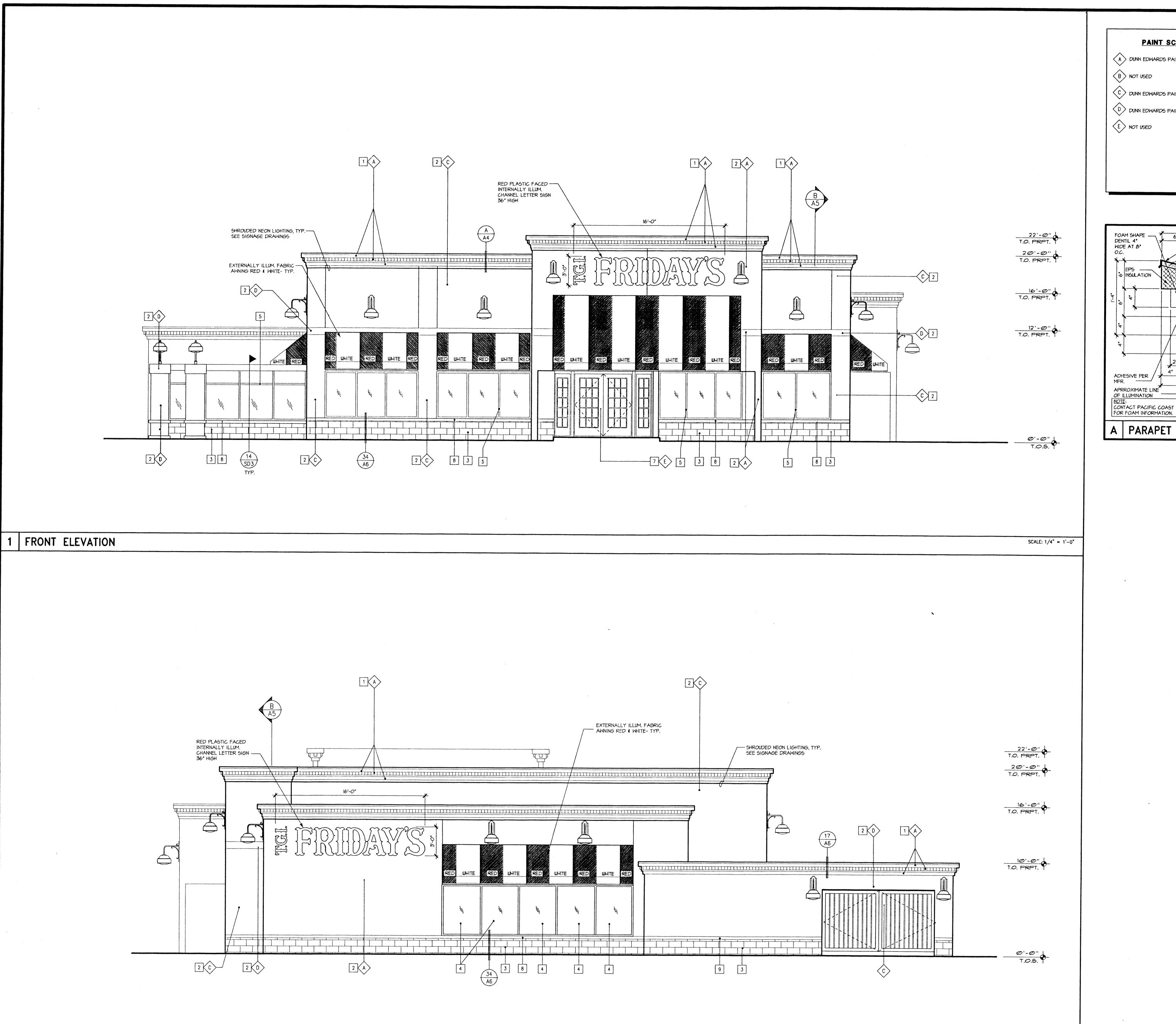
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Project: **99-234.95** 

Sheets

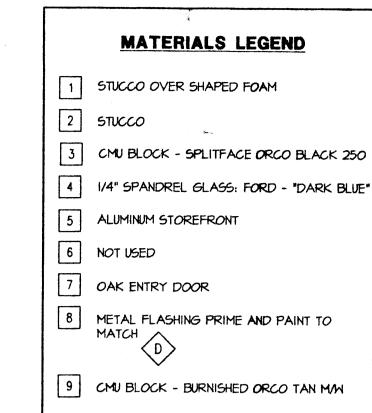


(c) 2000 SCHUSS . CLARK, AN ARCHITECTURAL CORPORATION



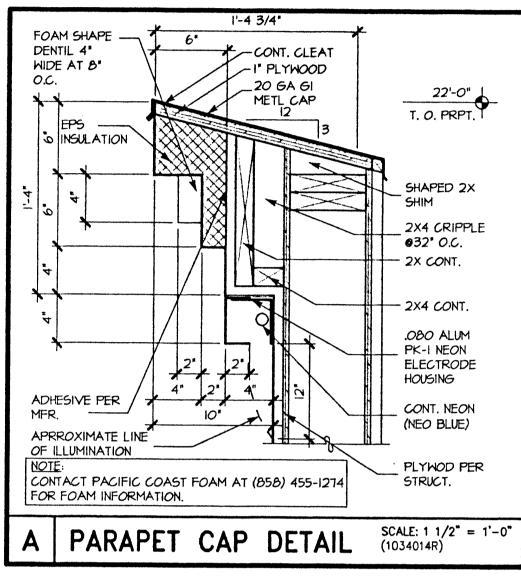
2 REAR ELEVATION



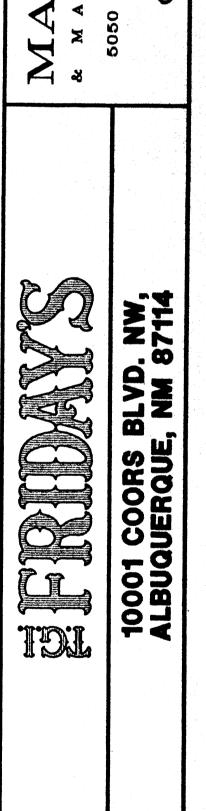


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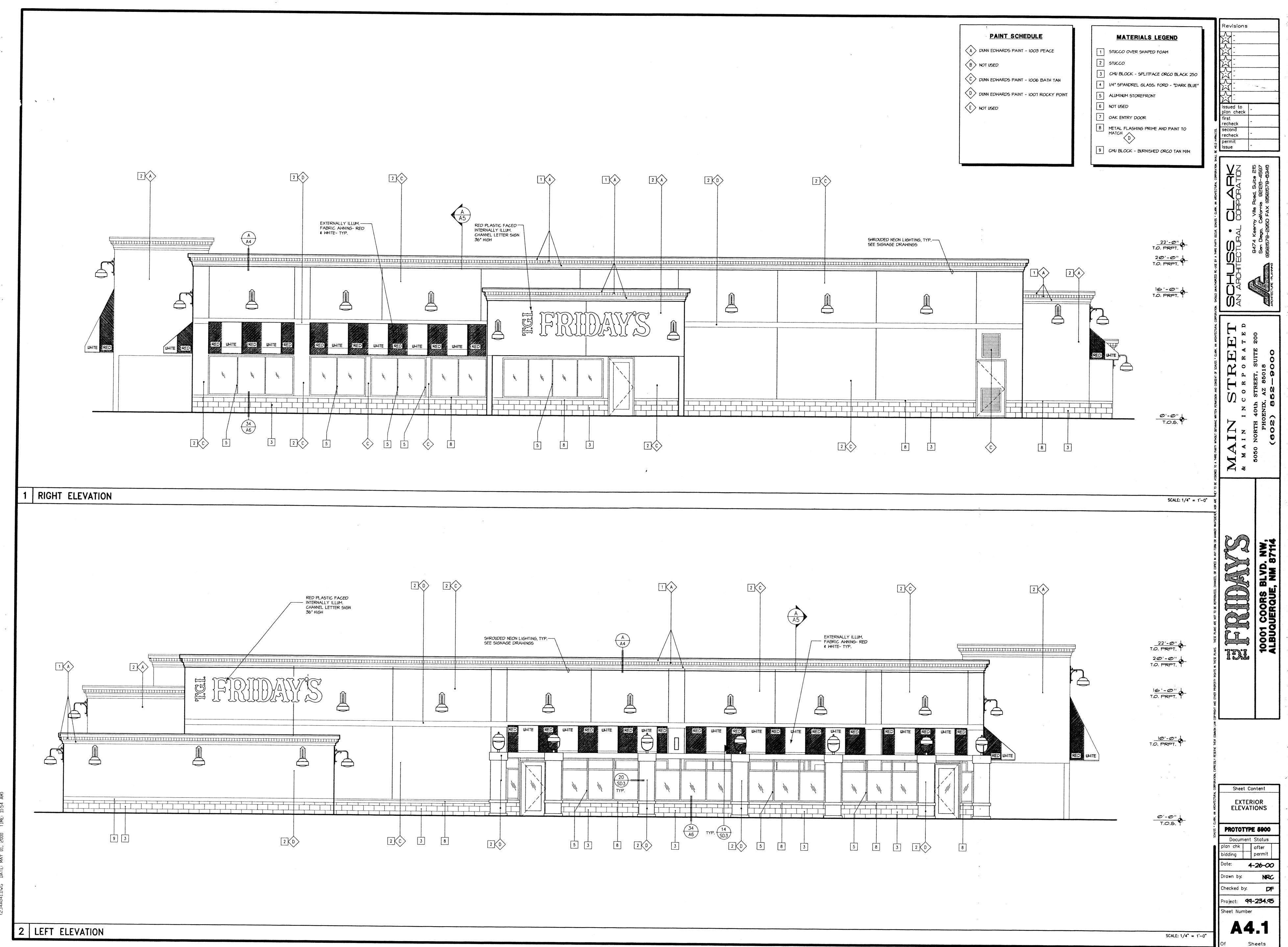
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SCALE: 1/4" = 1'-0"



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