

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

TGI FRIDAY'S RESTAURANT

TGI FRIDAY'S

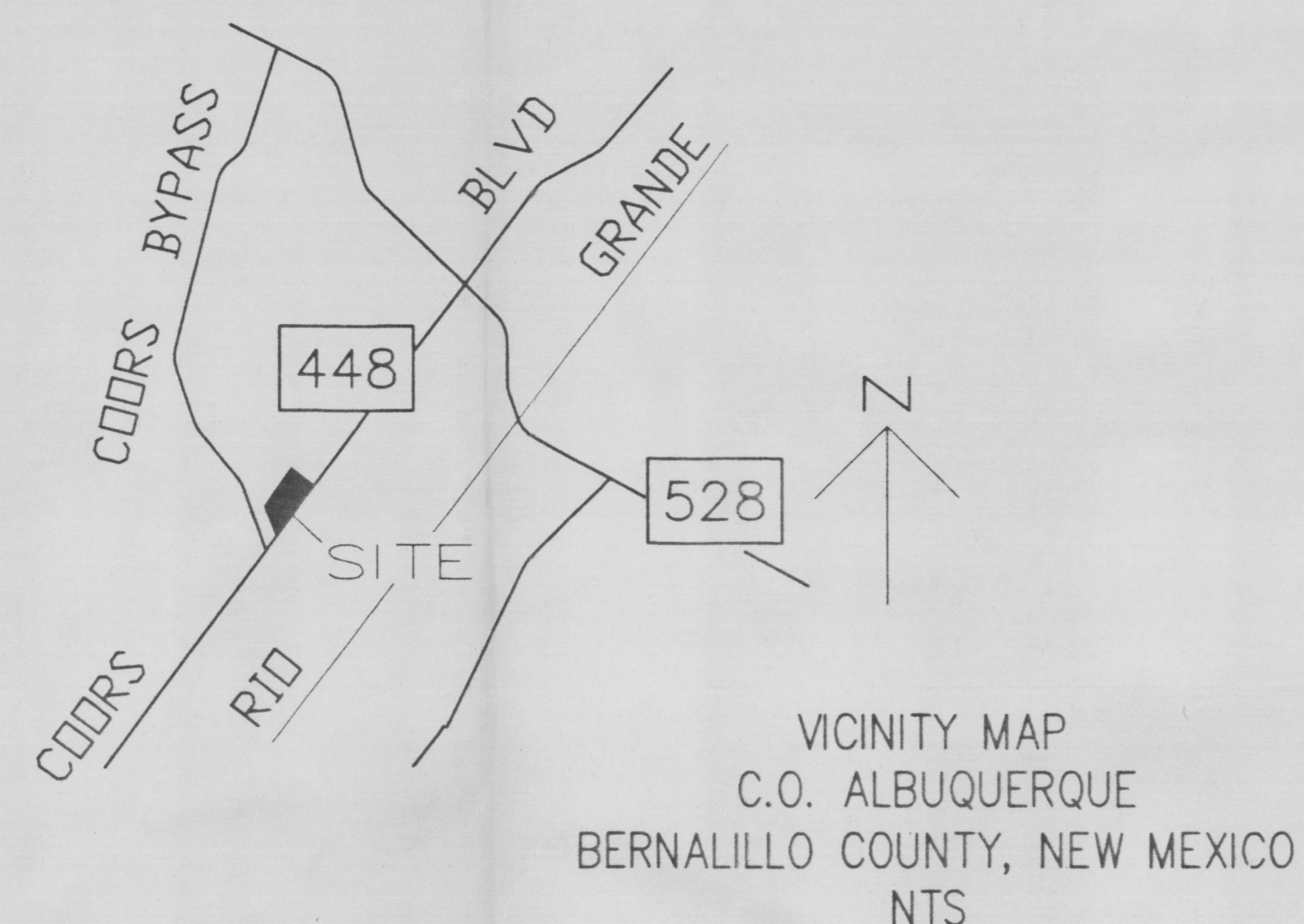
10001 COORS BLVD. N.W.
ALBUQUERQUE, NM

DRB CASE NO. 1000343

INDEX TO SHEETS:

SD1	SITE PLAN
L1	LANDSCAPE/IRRIGATION PLAN
1OF2	CIVIL COVER
2OF2	GRADING AND DRAINAGE PLAN
D1	TRASH ENCLOSURE DETAILS
D2	PATIO DETAILS
A4	BUILDING ELEVATIONS
A4.1	BUILDING ELEVATIONS

(SIGNAGE PACKAGE WILL BE PROVIDED SEPARATELY BY AGENT OF OWNER)



SITE DATA	
PROPOSED USE: TGI FRIDAY'S RESTAURANT SITE ADDRESS: 10001 COORS BLVD. N.W. ALBUQUERQUE, NM 87114 OWNER: MAN, STREET & MAIN INCORPORATED 5550 NORTH 40TH STREET, SUITE 200 PHOENIX, AZ 85018 TEL: (602) 852-9000 MICHAEL SHOTZBERGER (602) 852-9092 ARCHITECT: SCHLUS-CLARK, AN ARCHITECTURAL CORP. 9474 KEARNEY VILLA RD., STE. 210 SAN DIEGO, CA 92126 DAVID TRINK (604) 576-2950 FAX: (618) 578-6346 PROCESSOR: KERR PROJECT SERVICES 4655 CASS ST., SUITE 200 SAN DIEGO, CA 92108 DEBORAH KERR (618) 273-4449 LEGAL JURISDICTION: CITY OF ALBUQUERQUE	LAND USE: a. EXISTING: VACANT LOT b. PROPOSED: RESTAURANT BUILDING AREAS: a. GROSS BUILDING AREA: 6,436 SQ. FT. b. PATIO AREA: 952 SQ. FT. PARKING REQUIREMENTS: a. REQ. PARKING: 289 SEATS / 3 = 96 STALLS b. TOTAL PARKING REQUIRED = 96 STALLS c. TOTAL PARKING PROVIDED = 157 STALLS
UTILITY PURVEYORS: a. WATER: NEW MEXICO UTILITIES b. SANITARY SEWER: NEW MEXICO UTILITIES c. STORM SEWER: CITY OF ALBUQUERQUE d. ELECTRICITY: PUBLIC SERVICE OF NEW MEXICO (505) 241-3426 e. TELEPHONE: US WEST COMMUNICATIONS CO. (801) 579-7955 f. NATURAL GAS: PUBLIC SERVICE OF NEW MEXICO (505) 241-7891	BUILDING TYPE: V-N, SPRINKLERED NUMBER OF STORES: ONE BUILDING HEIGHT: 28'-0" TOP OF TOWER

New Mexico Utilities Inc. 5-3-00

PROJECT NO. 1000343 ZBA-113-1
 CASE NO. CC450-CCCCC-CC493
 DRB NO. 1000343 - CC450 CCCC CC493

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 12/20/90 and the findings and conditions in the Official Notice; notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<u>Richard Dene</u> Traffic Engineer, Transportation Division	<u>5-10-00</u> Date
<u>Edward H. Slong</u> Parks & Recreation Department	<u>4-20-00</u> Date
<u>Ryan A. Schwan</u> Public Works, Water Utilities Division	<u>5/6/00</u> Date
<u>[Signature]</u> City Engineer, Engineering Division / AMAFCA	<u>5-23-00</u> Date
<u>[Signature]</u> Solid Waste Department (becoming of 2006)	<u>April 11, 00</u> Date

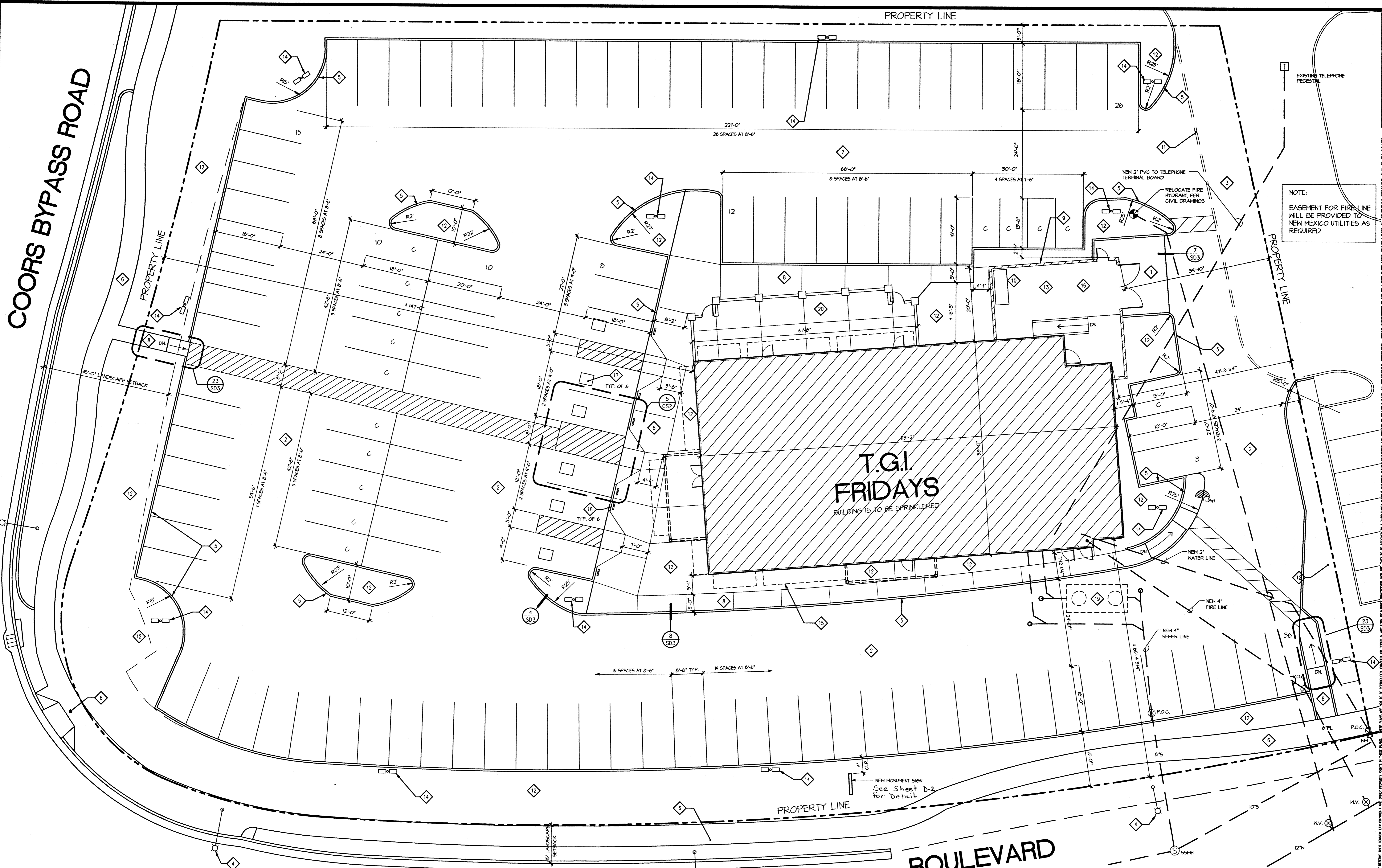
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

<u>[Signature]</u> City Planner, Albuquerque / Bernalillo County Planning Division PLNz (10706) 4/96	<u>8/1/00</u> Date
---------------------------------------------------------------------------------------------------------------	-----------------------

FIRE MARSHAL

PROJ 1000343

COORS BYPASS ROAD



NOTE:
EASEMENT FOR FIRE LINE
WILL BE PROVIDED TO
NEW MEXICO UTILITIES AS
REQUIRED

Revisions

1	ISSUED TO PLAN CHECK
2	FIRST RECHECK
3	SECOND RECHECK
4	PERMIT ISSUE

SCHUSS & CLARK
AN ARCHITECTURAL CORPORATION
9474 Kenney Villa Road, Suite 215
San Diego, California 92128-4587
(619) 578-2550 FAX (619) 578-4346

MAIN STREET
& MAIN INCORPORATED
5050 NORTH 40TH STREET, SUITE 200
PHOENIX, AZ 85018
(602) 852-9000

FRIDAYS
10001 COORS BLVD. NW,
ALBUQUERQUE, NM 87114

COORS

BOULEVARD

- SITE NOTES:**
1. CONCRETE PAVING PER SOILS REPORT.
 2. A/C PAVING (SEE CIVIL DRWGS/SOILS REPORT FOR SPECS)
 3. EXISTING DRIVEWAY NOT ALTERED.
 4. EXISTING STREET LIGHTS
 5. CONCRETE CURB PER DETAIL 4/SD3.
 6. EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN
 7. NEW DRIVE WAY
 8. NEW CONCRETE CURB AND SIDEWALK WITH CONTROL JOINTS.
 9. CMU BLOCK WALL AT 8'-8" HIGH, FINISH TO MATCH BUILDING.
 10. ELECTRICAL SWITCHGEAR
 11. REMOVE EXISTING CURB AND GUTTER.
 12. LANDSCAPE AREAS SEE LANDSCAPE PLANS
 13. NEW TRASH CURB ENCLOSURE PER DETAIL 32/SD-3
 14. SITE LIGHT TO MATCH EXIST. DESIGN. SITE LIGHTS TO BE 1000 FT/LAMBERTS MAX. AND SHIELDED. LIGHT POLES TO BE 20 FT. HIGH MAX.
 15. OUTLINE OF RED AND WHITE ANMING ABOVE PER ELEVATIONS
 16. NOT USED
 17. HANDICAPPED SYMBOL- WHITE ON BLUE BACKGROUND. SEE DETAIL 7/SC2
 18. HANDICAPPED SIGN SEE DETAIL 8/SC2
 19. GREASE INTERCEPTOR. SEE PLUMBING DRAWINGS
 20. CONCRETE PATIO AREA

- GENERAL NOTES:**
1. ALL WALL LIGHTING MUST BE SHIELD THE LIGHT SOURCE FROM VIEW.
 2. PARKING LOT LIGHTING REQUIRES A HORIZONTAL CUT-OFF, NON GLARE FIXTURE TO MINIMIZE THE LIGHT SPILL OFF OF THE RESTAURANT SITE.
 3. THE PARKING LOT LIGHTING FIXTURES NEED TO BE COORDINATED AND UNIFORM FOR ALL THE OUTLOTS IN THE SHOPPING CENTER.
 4. ALL ROOF MOUNTED UTILITIES AND MECHANICAL EQUIPMENT MUST BE SCREENED.
 5. CONSTRUCTION PLANS FOR SANITARY SEWER, WATER LINES AND FIRE LINES MUST BE APPROVED BY NM UTILITIES INC. (NMUI) AND ALL UTILITIES MUST BE CONSTRUCTED THROUGH NMUI. CONTACT NMUI (BOB GAY) AT (505) 898-2661.

Sheet Content

SITE PLAN

PROTOTYPE 8800

Document Status

plan ch	offer
bidding	permit

Date: 4-26-00

Drawn by: NRC

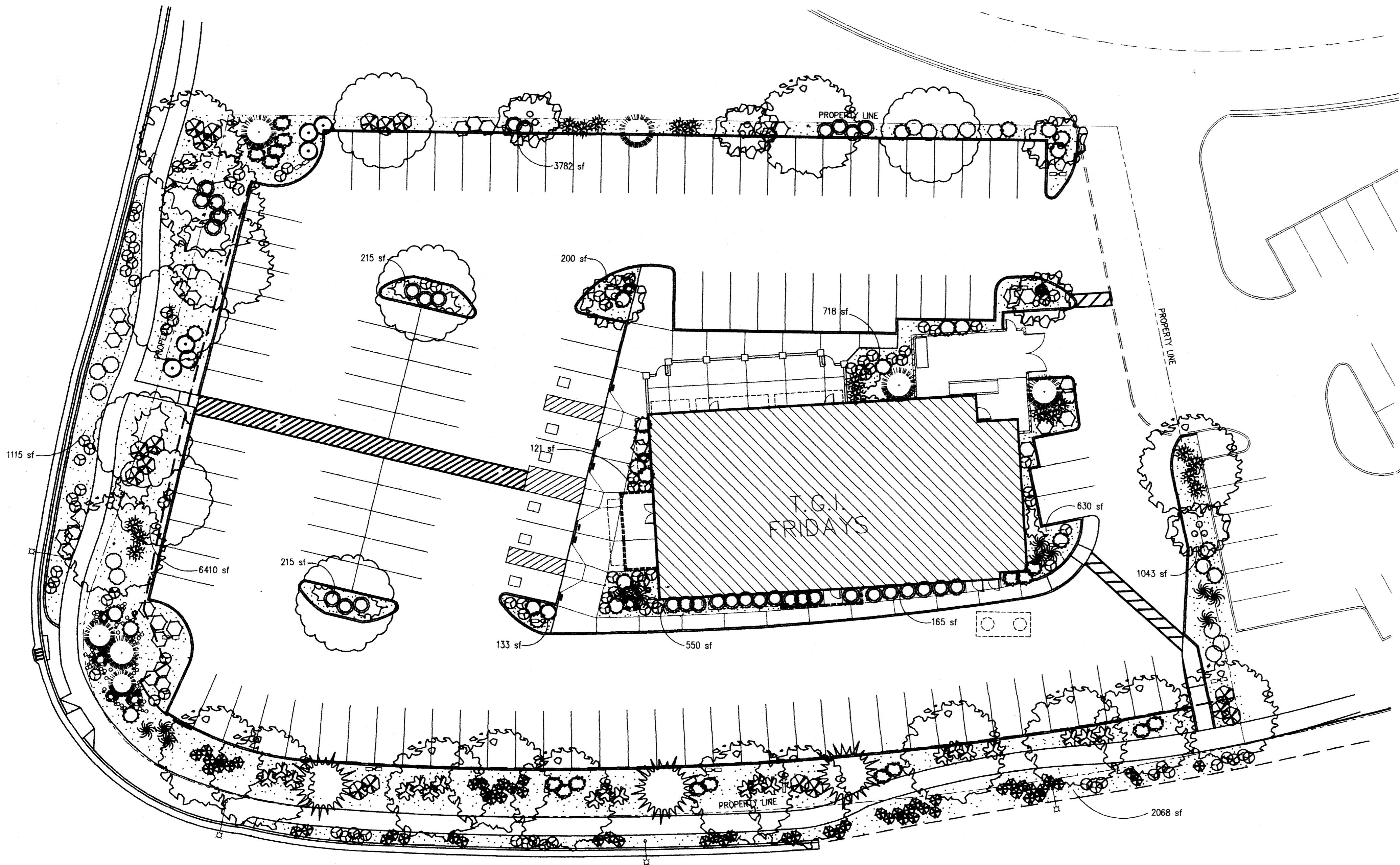
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Project: 94-234.45

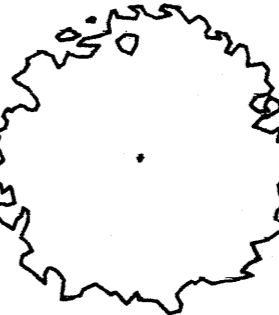
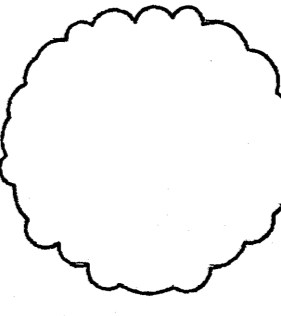
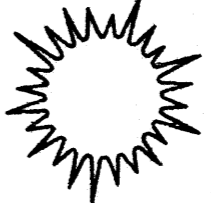
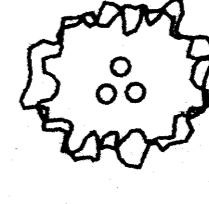















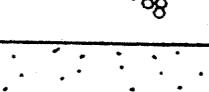
Sheet Number

SD-1

Of Sheets



PLANT LEGEND

- | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|
|  CHINESE PISTACHE (H) 17
Pistachia chinensis
2" Cal |  PURPLE ROBE LOCUST (M) 7
Robinia ambigua
2" Cal |
|  AFGAN PINE (H) 3
Pinus elderica
6'-8' |  NEW MEXICO OLIVE 6
Forestiera neo mexicana
15 gal |
|  PINON PINE (M) 7
Pinus edulis
6'-8' |  PYRAEAS COTONEASTER (L) 17
Cotoneaster congestus
5 gal |
|  LAVENDER COTTON (M) 17
Santolina chamaecyparissus
5 gal |  CLIFFROSE (M) 17
Cowaniana mexicana
5 gal |
|  LEMONADE BERRY (M) 20
Rhus integrifolia
5 gal |  DWARF SPANISH BROOM (M) 6
Genista hispanica
5 gal |
|  GREYLEAF COTONEASTER (M) 30
Cotoneaster buxifolius
5 gal |  CURL-LEAF MAHOGONY (M) 18
Cercocarpus ledifolius
5 gal |
|  PROSTRATE ROSEMARY (M) 35
Rosmarinus officinalis
5 gal |  RED YUCCA (L) 12
Hesperaloe parviflora
5 gal |
|  WILDFLOWER 102
1 gal |  BEARBERRY (M) 22
Arctostaphylos uva-ursi
5 gal |
|  AUTUMN SAGE (M) 33
Salvia greggii
1 gal |  OVERSIZED GRAVEL
& BOULDERS 9 |
|  SILVER SPREADER (M) 60
Aramis caucasia
1 gal |  3/4" GREY GRAVEL
W/ FILTER FABRIC |

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street COORS BLVD
Required # 11 Provided # 11

Name of Street COORS BYPASS RD
Required # 6 Provided # 6

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	66,435 square feet
TOTAL BUILDINGS AREA	8,208 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	58,227 square feet
LANDSCAPE REQUIREMENT	15 square feet
TOTAL LANDSCAPE REQUIREMENT	8,735 square feet
TOTAL LANDSCAPE PROVIDED	17,365 square feet
TOTAL BED PROVIDED	17,365 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

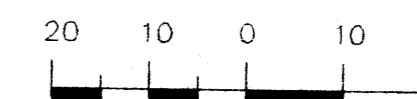
Construction plans for sanitary sewer, water lines and fire lines must be approved by NM Utilities Inc (NMUI) and all utilities must be constructed through MNUI. Contact NMUI {Bob Gay} at (505)882-2661.



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26456
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9890
Fax (505) 898-7737
it@hilltoplandscaping.com

GRAPHIC SCALE



SCALE: 1"=20'

SCHUSS & CLARK AN ARCHITECTURAL CORPORATION 9474 Kearny Villa Road, Suite 215 San Diego, California 92128-4597 (619) 576-2800 FAX (619) 576-6346

SCHUSS & CLARK AN ARCHITECTURAL CORPORATION

MAIN STREET & MAIN INCORPORATED
5050 NORTH 40th STREET, SUITE 200
PHOENIX, AZ 85018
(602) 858-9000

T.G.I. FRIDAYS

Sheet Content

Document Status

Date: 6-1-00

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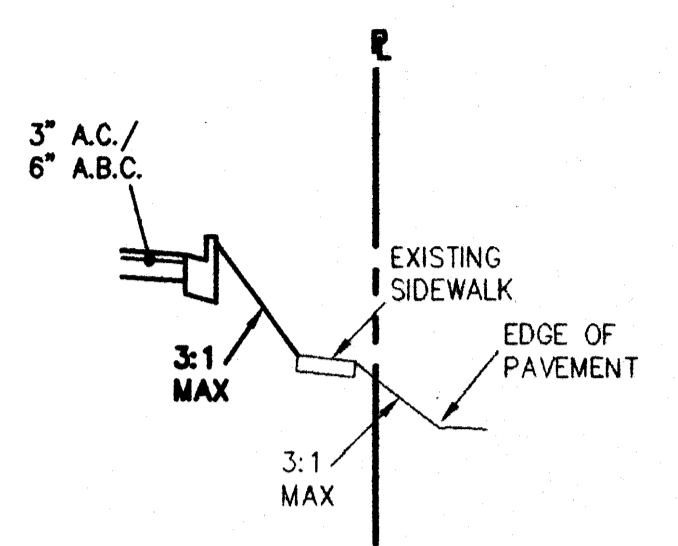
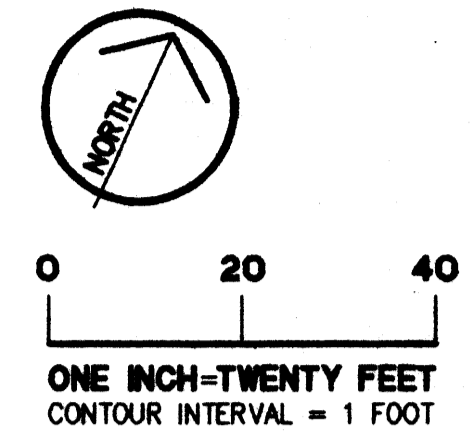
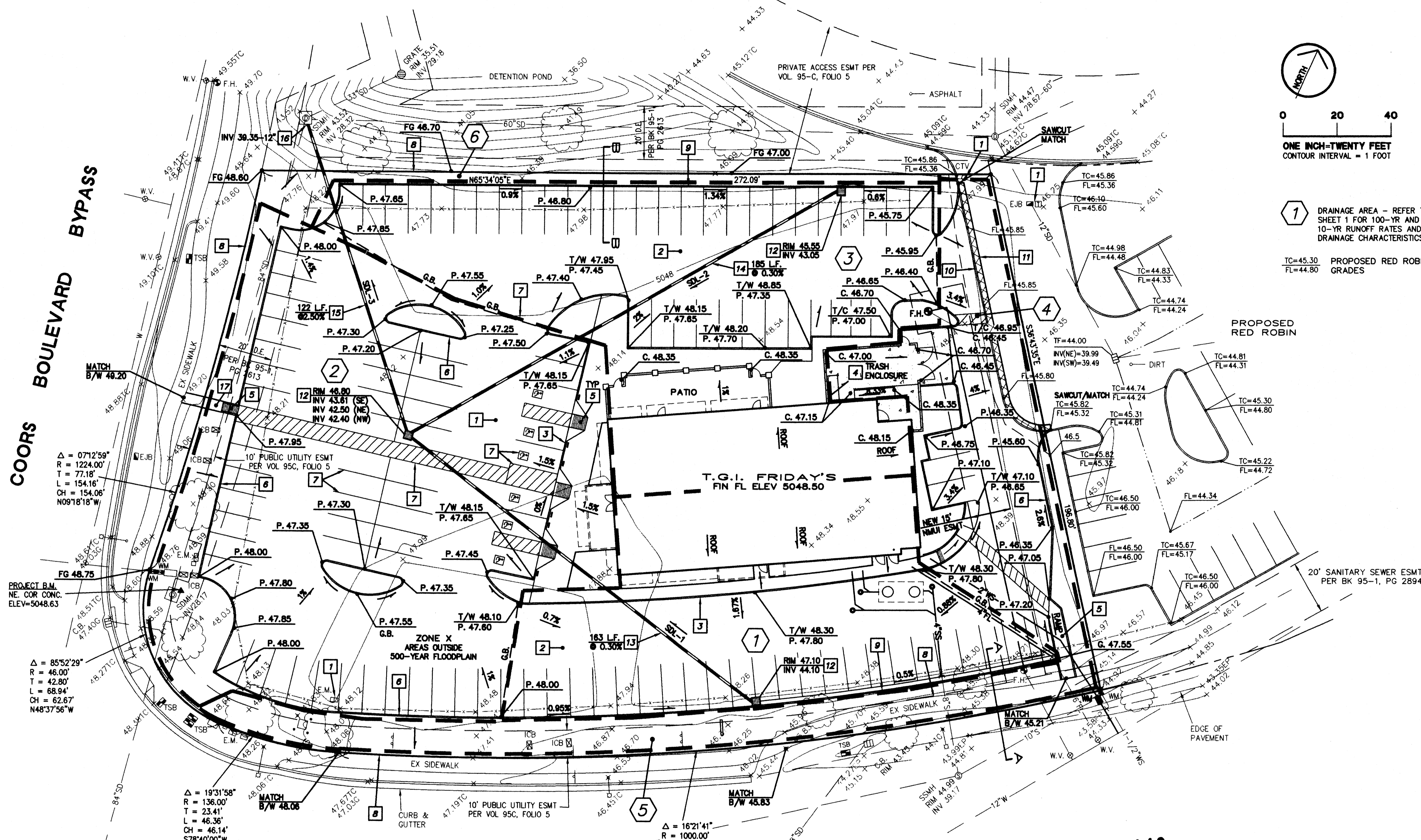
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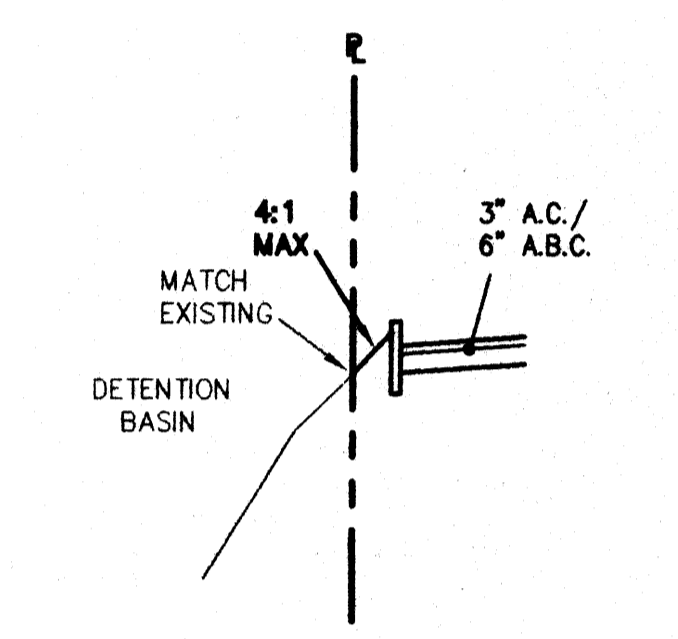
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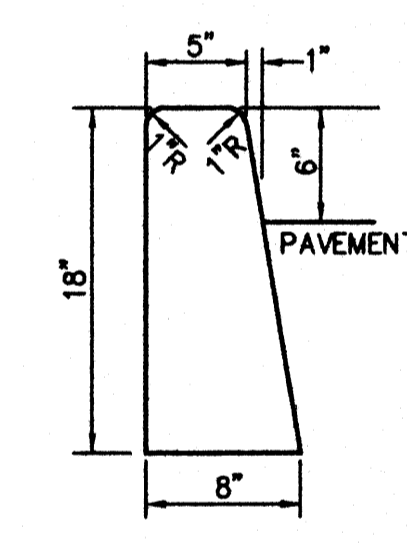


1 DRAINAGE AREA - REFER TO SHEET 1 FOR 100-YR AND 10-YR RUNOFF RATES AND DRAINAGE CHARACTERISTICS.

TC=45.30 PROPOSED RED ROBIN GRADES
FL=44.80



SECTION B-B



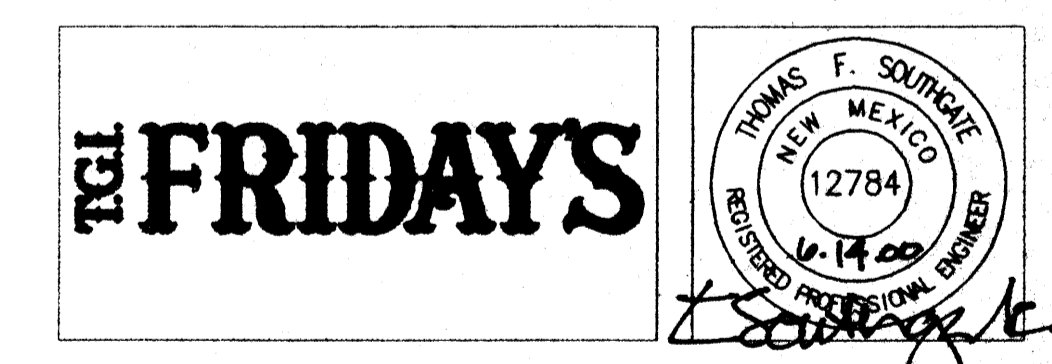
6 HEADER CURB

NEW MEXICO STATE HWY NO. 448

UTILITY NOTE - CONSTRUCTION PLANS FOR SANITARY SEWER, WATER LINES AND FIRE LINES MUST BE APPROVED BY NM UTILITIES INC. (NMUI) AND ALL UTILITIES MUST BE CONSTRUCTED THROUGH NMUI. CONTACT NMUI (BOB GAY) AT 505-898-2661

ONSITE CONSTRUCTION NOTES -

- 1 CLEAR WORK AREA OF EXISTING IMPROVEMENTS, AND ANY MISCELLANEOUS ITEMS AS REQUIRED. COORDINATE ANY RELOCATIONS AND ABANDONMENTS OF UTILITIES WITH RESPECTIVE UTILITY COMPANIES. REFER TO ARCHITECT'S DEMOLITION PLANS.
- 2 CONSTRUCT 3" A.C. / 6" AGG. BASE COURSE PAVEMENT PER SOILS REPORT.
- 3 CONSTRUCT TURNDOWN SIDEWALK - SEE ARCHITECTURAL PLANS FOR DETAILS AND C. OF ALBUQUERQUE DRAWING NO. 2430.
- 4 CONSTRUCT TRASH ENCLOSURE - SEE ARCHITECTURAL PLANS FOR DETAILS.
- 5 CONSTRUCT ACCESSIBILITY RAMP PER A.D.A. AND CITY REQUIREMENTS/STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS. RAMPS SHALL HAVE 1:12 MAXIMUM SLOPE.
- 6 CONSTRUCT 6" CONC HEADER CURB PER CITY OF ALBUQUERQUE DRAWING NO. 2415, MODIFIED PER DETAIL THIS SHEET.
- 7 INSTALL ALL PARKING BAY, ACCESSIBLE STRIPING AND SIGNAGE. PAINTED ACCESS ROUTE WITH MAXIMUM 1:20 SLOPE AND 1:50 CROSS SLOPE, WIDTH PER ARCHITECTURAL PLANS.
- 8 MATCH EXISTING GRADES ALONG PROPERTY LINES AND WHERE INDICATED.
- 9 CONSTRUCT 6" MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE DRAWING NO. 2415 WITH STANDARD GUTTER SLOPE.
- 10 SAWCUT AND REMOVE EXISTING CURB. MATCH SAWCUT LINES WITH NEW.
- 11 2" MINIMUM PAVEMENT SAWCUT TO A NEAT CLEAN EDGE, REMOVE AND REPLACE. MATCH WITH NEW PAVEMENT.
- 12 CONSTRUCT SINGLE STORM INLET PER C. OF ALBUQUERQUE DRAWING NO'S 2206 AND 2220. PROVIDE 1.5" SUMP BELOW OUTLET ELEVATION FOR SILTATION.
- 13 INSTALL 10" P.V.C., C-900, CLASS 200 PIPE. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 1.20 CFS - PIPE CAPACITY = 2.20 CFS)
- 14 INSTALL 10" P.V.C., C-900, CLASS 200 PIPE. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 1.58 CFS - PIPE CAPACITY = 2.20 CFS)
- 15 INSTALL 10" R.C.P., CLASS III. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 4.82 CFS - PIPE CAPACITY = 5.63 CFS)
- 16 CORE DRILL INTO EXISTING STORM DRAIN MANHOLE PER C. OF ALBUQUERQUE REQUIREMENTS AND NOTES ON SHEET 1 - STORM DRAIN LINE CONNECTION TO EXISTING MANHOLE.
- 17 CONSTRUCT SIDEWALK, WIDTH PER ARCHITECTURAL PLANS, PER C. OF ALBUQUERQUE DRAWING NO. 2430.



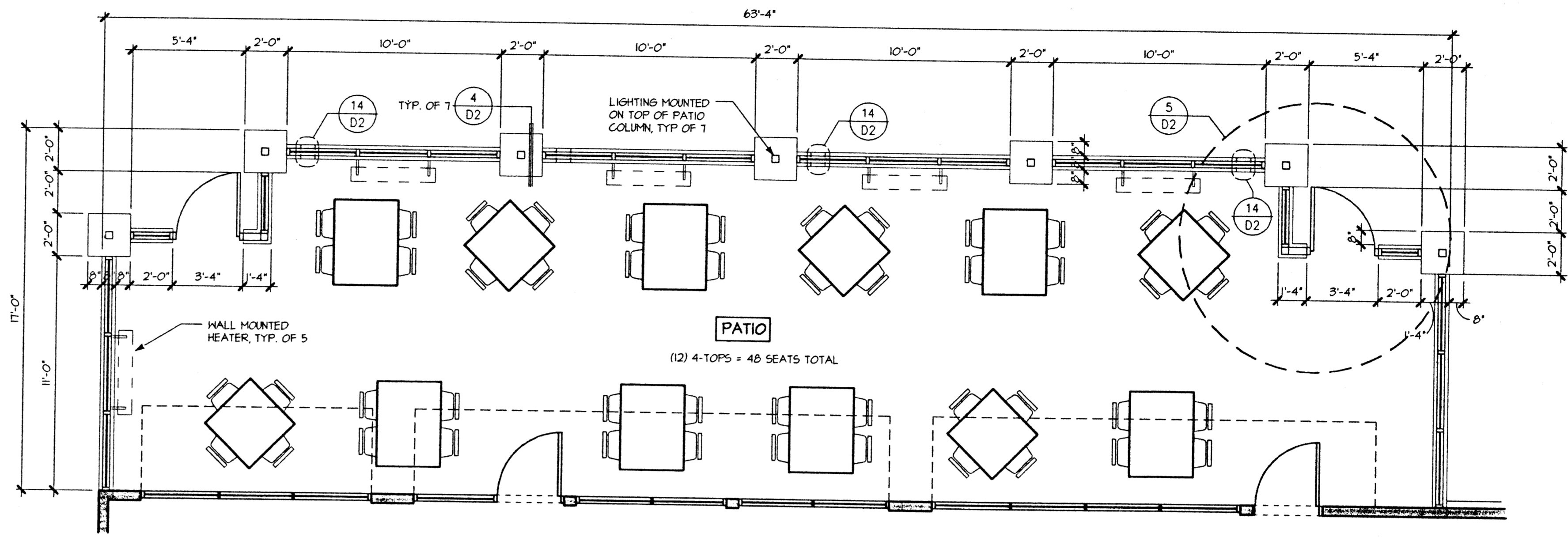
MAIN STREET & MAIN INCORPORATED
5050 North 40th St., Suite 200, Phoenix, Arizona 85016
Tele. (602) 852-9000 Fax (602) 852-9094

TRACT C-4 COTTONWOOD MALL
ALBUQUERQUE, NEW MEXICO

SOUTHGATE ASSOCIATES, LIMITED
4385 N. 75th Street, Suite 100, Scottsdale, Arizona 85251
T. (480) 970-6862 E. (480) 970-3984 sgateassoc@aol.com
Civil Engineering Consultants

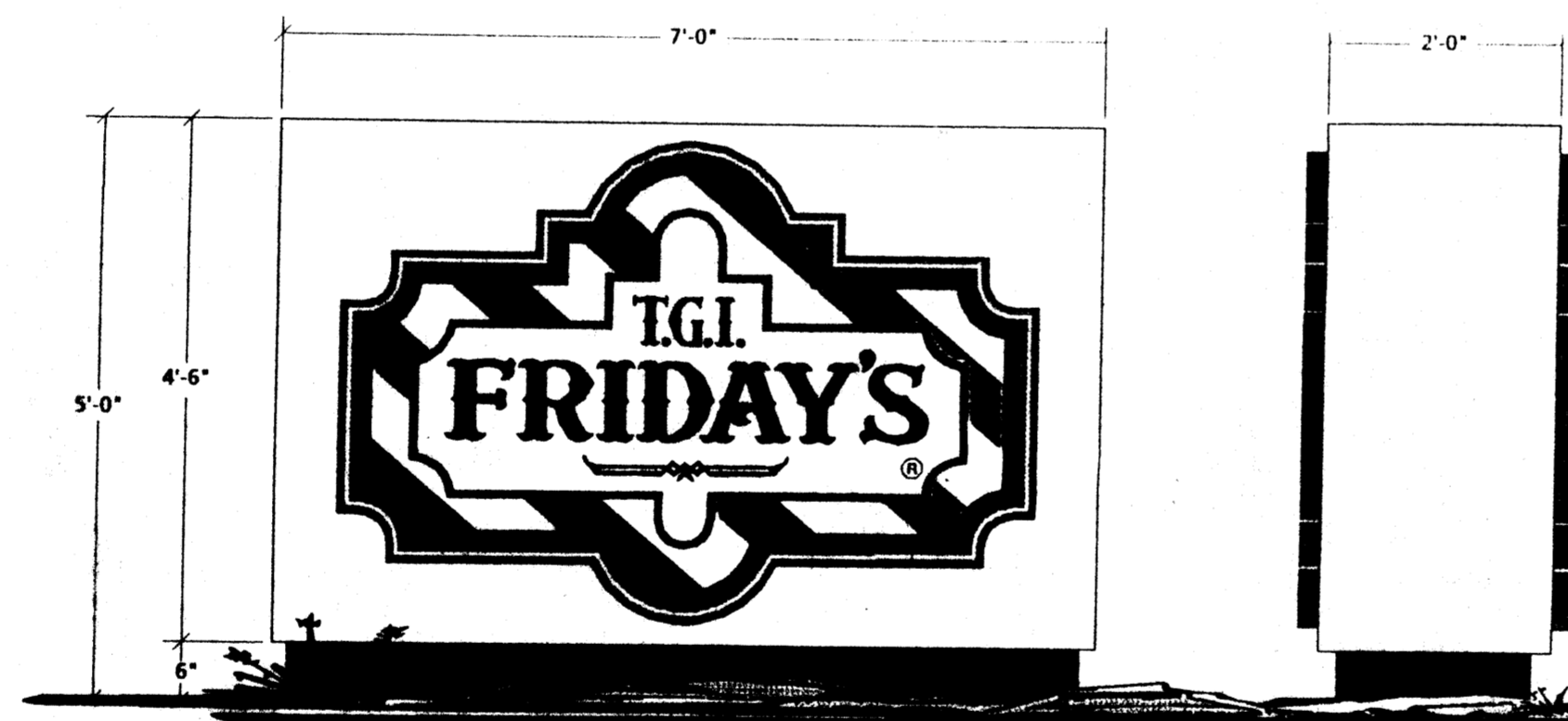
PROJECT NO. 99-43G04 REVISIONS MAY00
DATE APRIL00 JUNE00

A PORTION OF SECTION 8, TOWNSHIP 11 N, RANGE 3 E, N.M. P.M., BERNALILLO COUNTY, NEW MEXICO



17 PATIO FLOOR PLAN

SCALE: NONE (00000-1A)



1 Double Faced Internally Illuminated Ground Sign Display
 3/4" = 1'-0"

Fabricate and install one (1) double faced illuminated 4' 6" x 7'-0" x 2'-0" deep, 125 aluminum ground sign display with raised Logo.

Paint the cabinet: Pratt Lambert #2048 "Flax" (flat finish) over a medium mottex texture.

Paint the Logo retainers: "Black" (gloss finish).

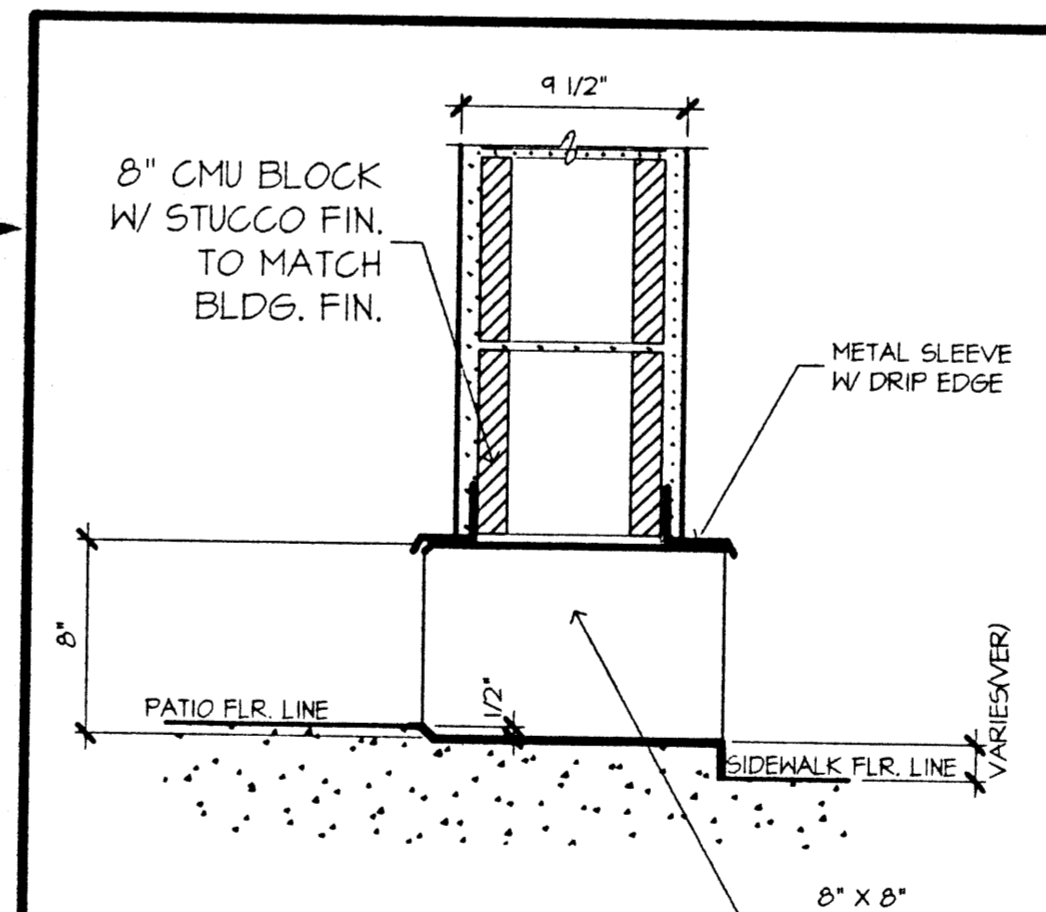
Perimeter neon reveal: Fabricated of .080 aluminum. Paint to match "Supreme Blue" (gloss finish).
 Illuminate with one (1) row of 15mm, 30ma neo-blue neon. Terminate electrodes in #200 U.L. housings with weather proof rubber boots.

Base cover: Fabricated of .125 aluminum. Paint: "Black" (gloss finish).

Face panels: 3/16" white lexan decorated with first surface applied 3M vinyl film:
 "T.G.I. FRIDAY'S" copy, "Undercore" and "Border" - #3630-22 Black.
 "Diagonal graphic stripes" - #3630-33 red.

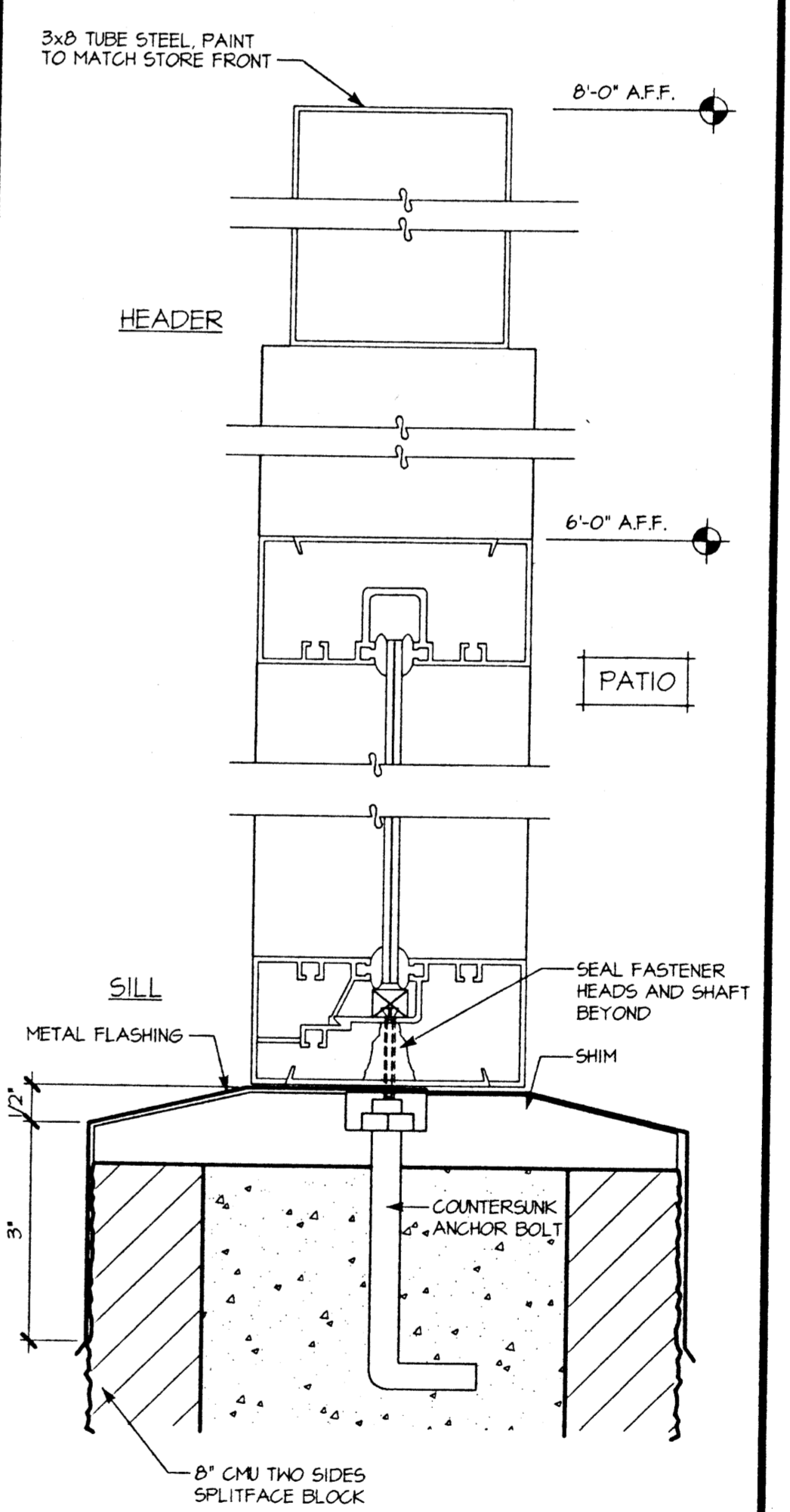
Illumination: Internal 800ma CW/110 fluorescent lamps.

Installation: Install in a 1'-6" dia. x 6'-0" deep caisson concrete footing placed on a 5" dia. std. steel pipe at an overall height of 5'-0".



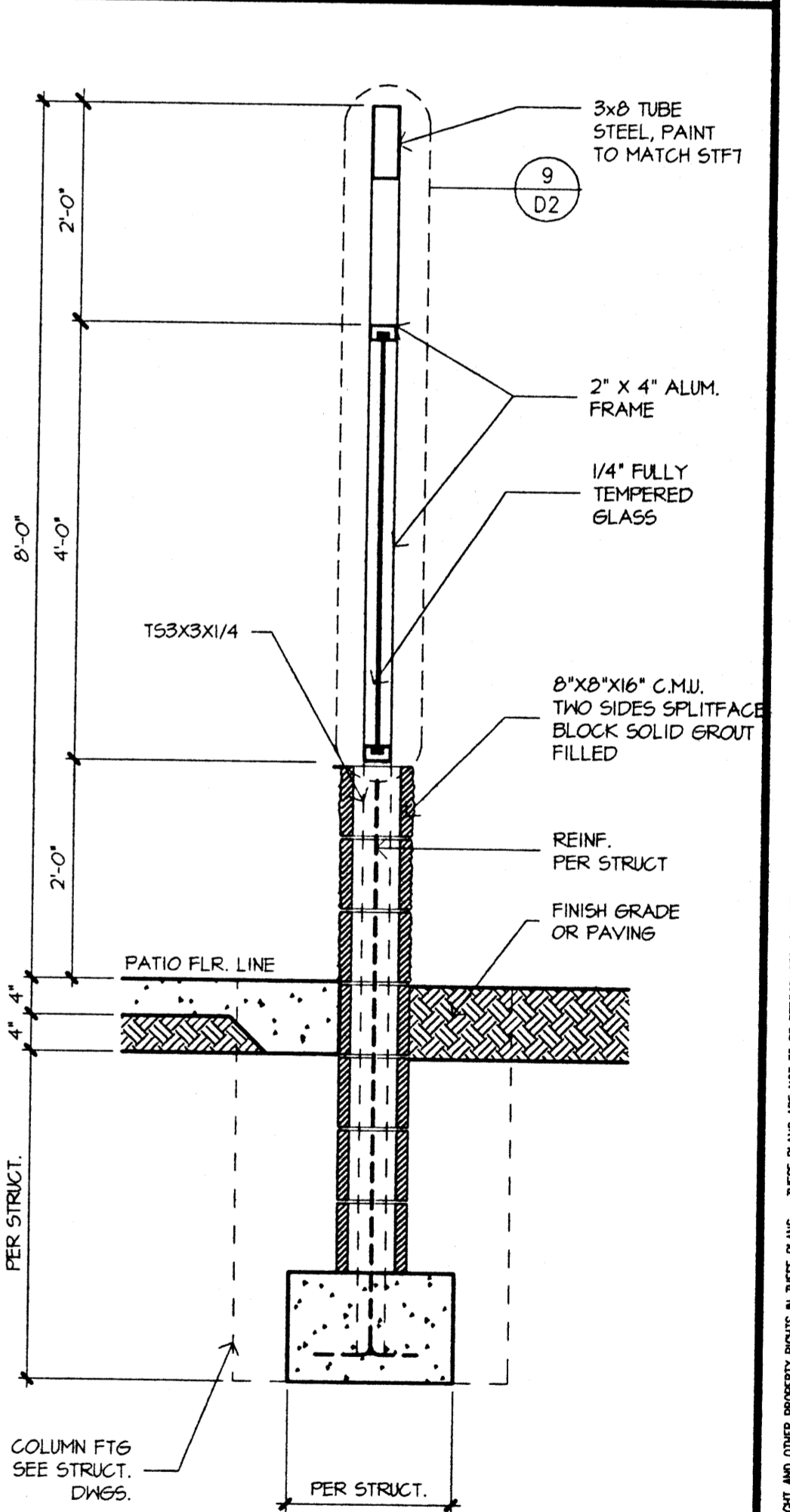
14 SCUPPER DETAIL

SCALE: 1 1/2" = 1'-0" (00000-1A)



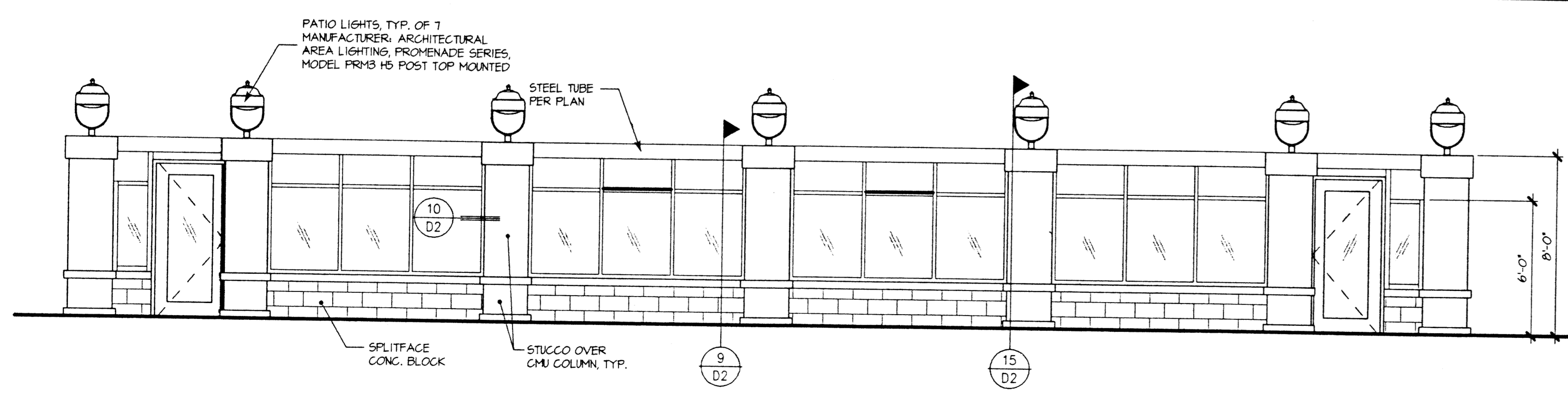
9 WINDSCREEN MULLION

SCALE: 6" = 1'-0" (22814.SD3.DWG)



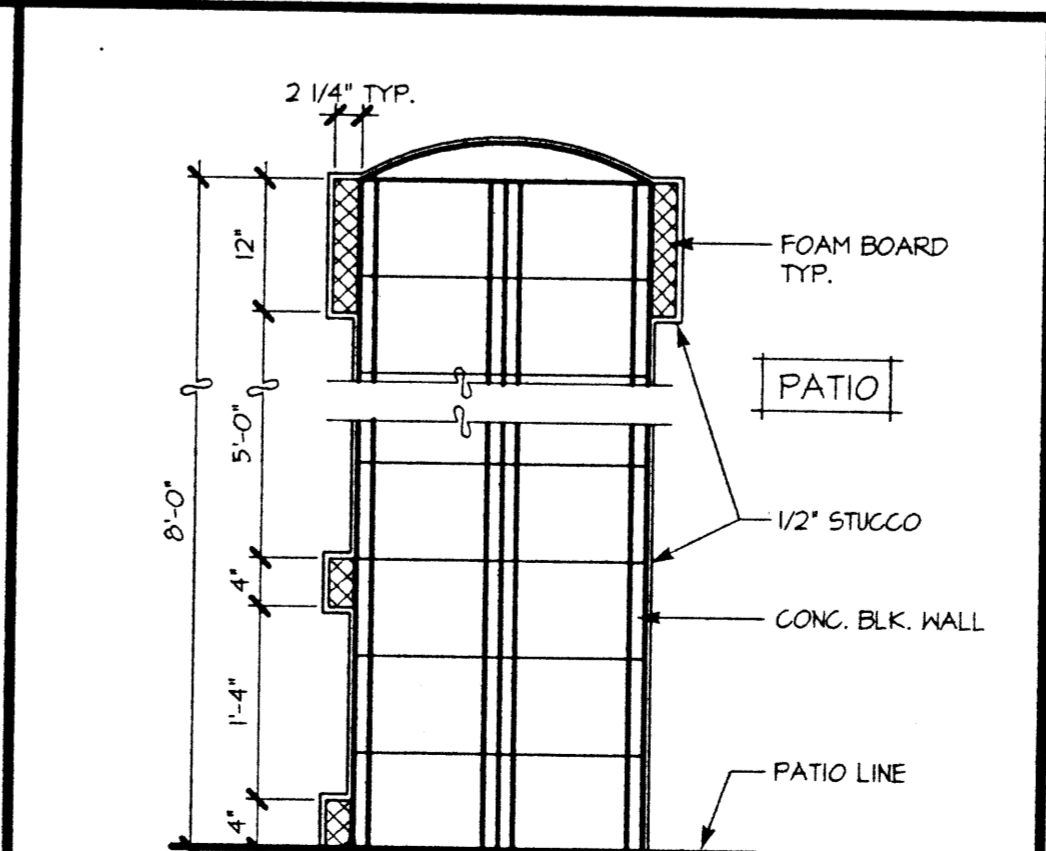
4 PATIO WALL SECTION

SCALE: 3/4" = 1'-0" (22814.SD3.DWG)



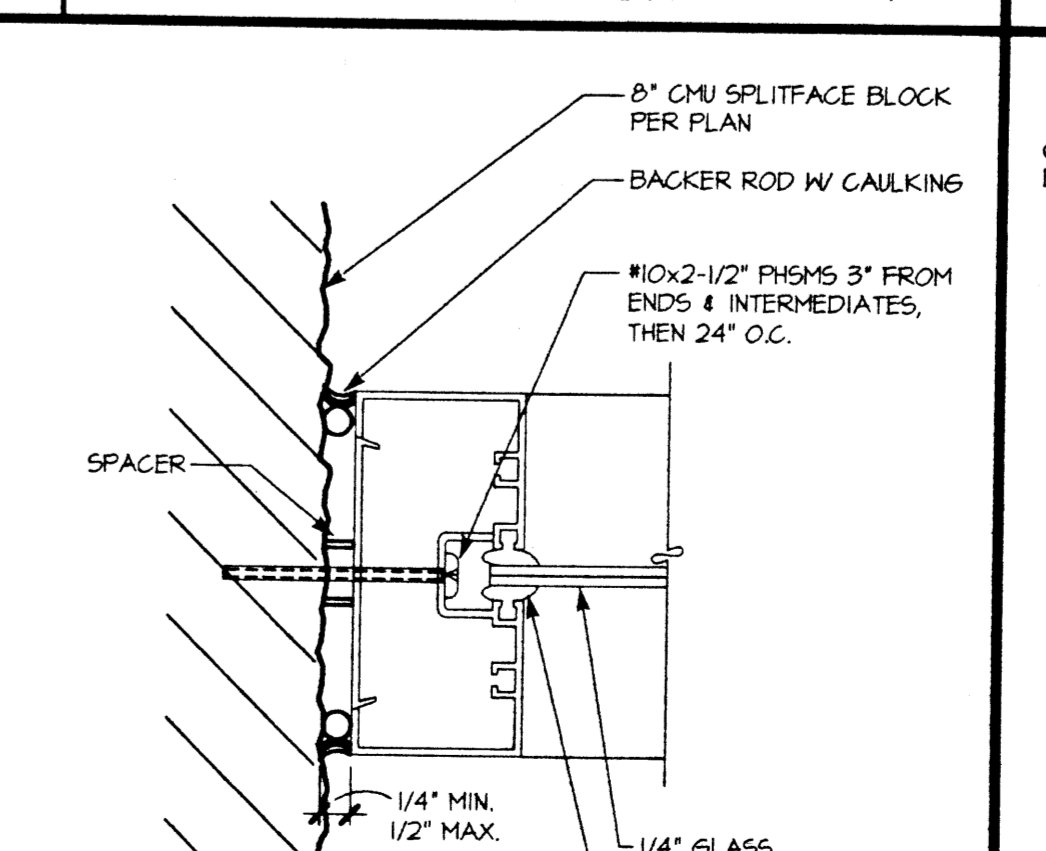
35 ELEVATION OF PATIO SCREEN WALL

SCALE: 1/4" = 1'-0" (00000-1A)



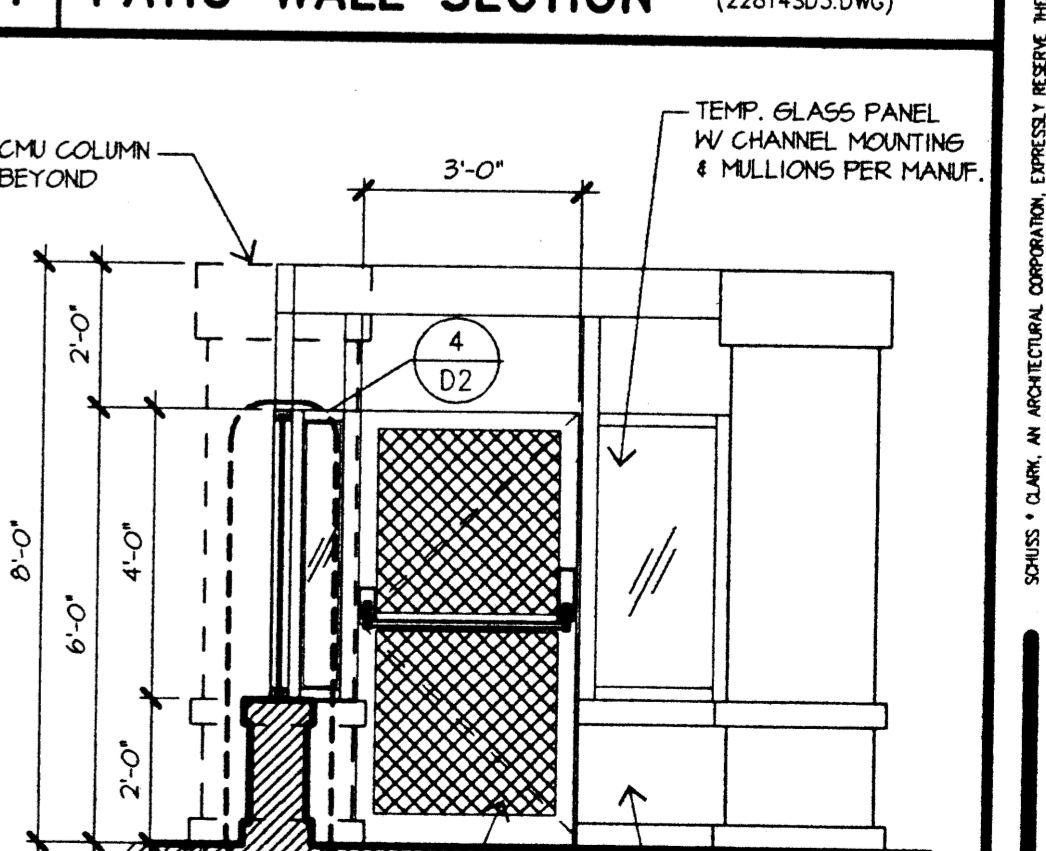
15 TRIM OF PATIO COLUMN

SCALE: 3/4" = 1'-0" (20_S03A)



10 WINDSCREEN MULLION

SCALE: 6" = 1'-0" (20_S03A)



5 DETAIL

SCALE: 3/8" = 1'-0" (15_S03.DWG)

Revisions	
CLARIFICATIONS	5-3-00
PLANNING	5-4-00
DEVELOPER ISSUES	5-26-00
ISSUED TO PLAN CHECK	5-1-00
FIRST RECHECK	-
SECOND RECHECK	-
PERMIT ISSUE	-

SCHUSS • CLARK
 AN ARCHITECTURAL CORPORATION

9474 Kearny Via Road, Suite 215
 San Diego, California 92121-4697
 (619) 576-2860 FAX (619) 576-9348

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 PHOENIX, AZ 85018
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FRIDAY'S

10001 COORS BLVD. NW,
 ALBUQUERQUE, NM 87114

Sheet Content

SIGN MOUNT PATIO DETAILS

PROTOTYPE 8900

Document Status

plan chk after

bidding permit

Date: 4-26-00

Drawn by: NRC

Checked by: DF

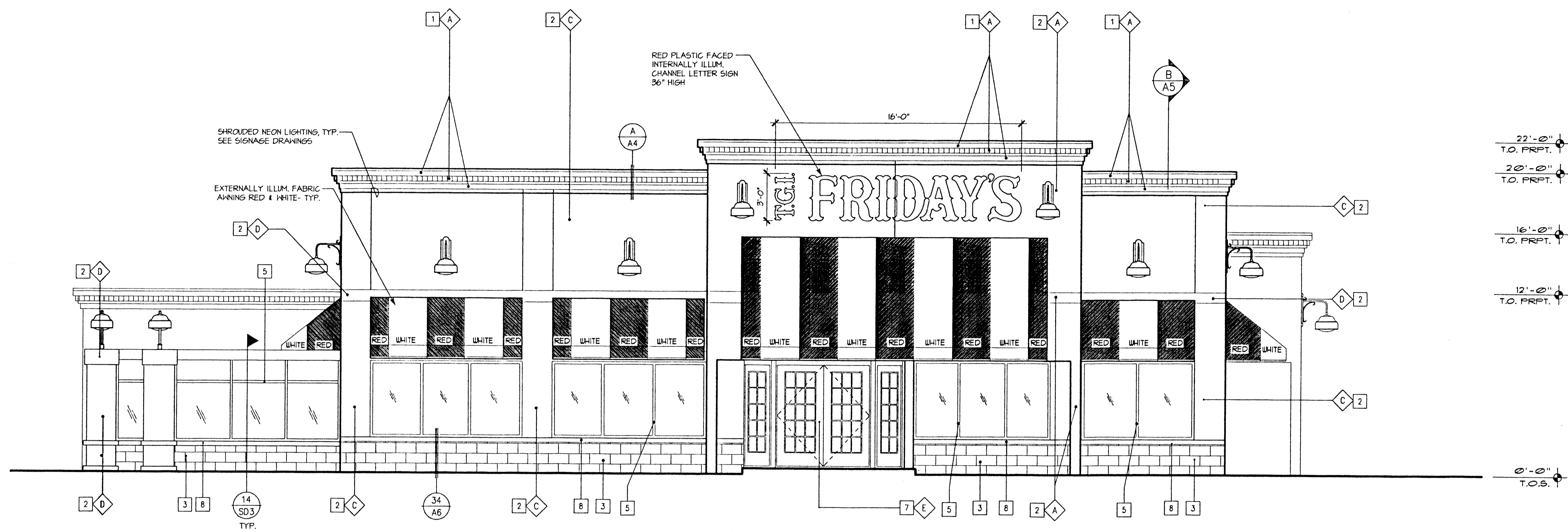
Project: 94-234.95

Sheet Number

D2

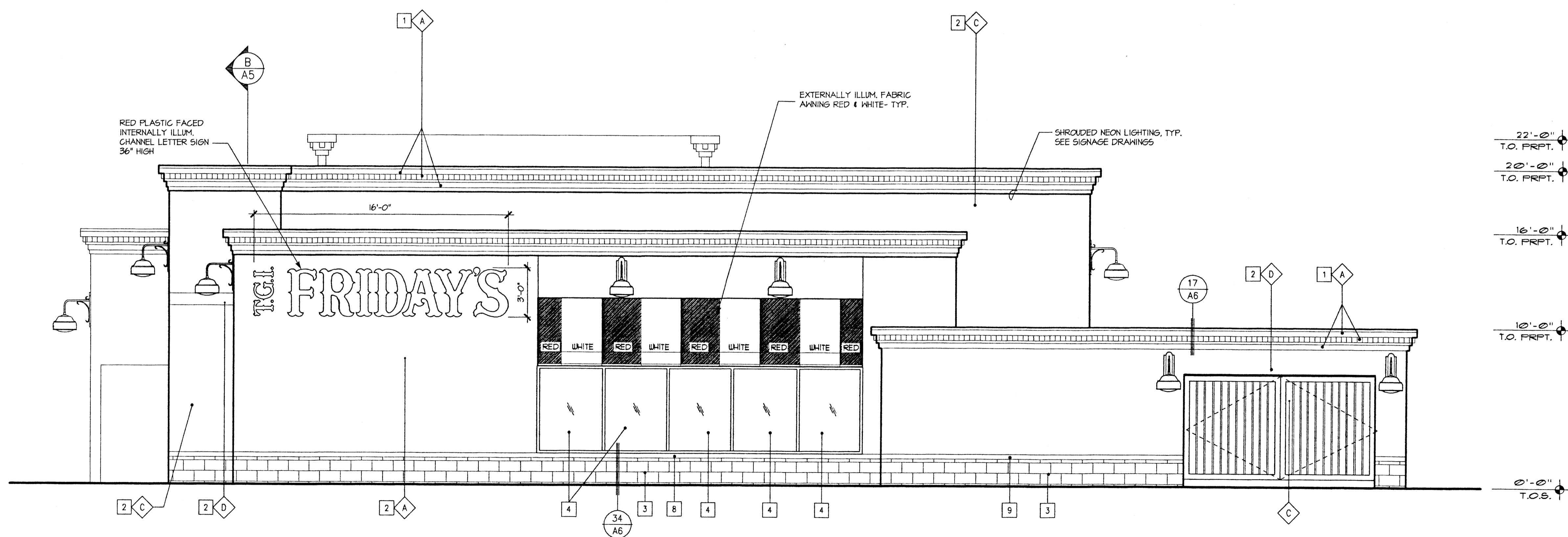
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02-102.DWG DATE: MAY 02, 2000 TIME: 11:02 AM



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 REAR ELEVATION

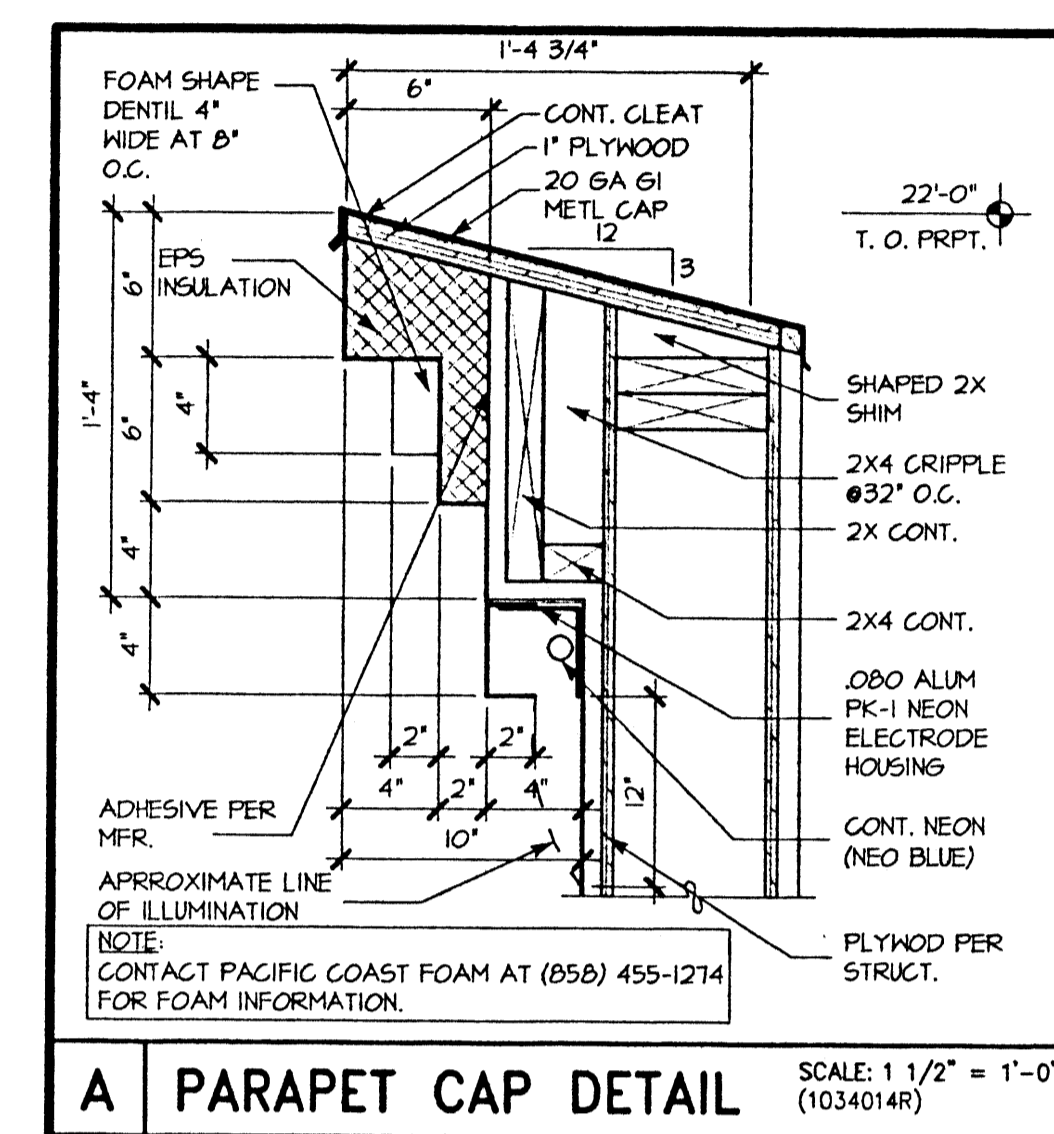
SCALE: 1/4" = 1'-0"

PAINT SCHEDULE

A	DUNN EDWARDS PAINT - 1003 PEACE
B	NOT USED
C	DUNN EDWARDS PAINT - 1006 BATH TAN
D	DUNN EDWARDS PAINT - 1001 ROCKY POINT
E	NOT USED

MATERIALS LEGEND

1	STUCCO OVER SHAPED FOAM
2	STUCCO
3	CMU BLOCK - SPLITFACE ORGO BLACK 250
4	1/4" SPANDREL GLASS, FORD - 'DARK BLUE'
5	ALUMINUM STOREFRONT
6	NOT USED
7	OAK ENTRY DOOR
8	METAL FLASHING PRIME AND PAINT TO MATCH
9	CMU BLOCK - BURNISHED ORGO TAN MM



Revisions

Issued to plan check	-
First recheck	-
Second recheck	-
Permit issue	-

SCHUSS • CLARK ARCHITECTURAL CORPORATION
 AN ARCHITECTURAL CORPORATION
 6074 Kennedy Villa, Phoenix, Suite 605
 Phoenix, AZ 85018
 (602) 997-8850 FAX (602) 997-8848

MAIN STREET & MAIN INCORPORATED
 6060 NORTH 40TH STREET, SUITE 200
 PHOENIX, AZ 85018
 (602) 852-9000

FRIDAYS
 10001 COORS BLVD. NW,
 ALBUQUERQUE, NM 87114

Sheet Content

EXTERIOR ELEVATIONS

PROTOTYPE 8000

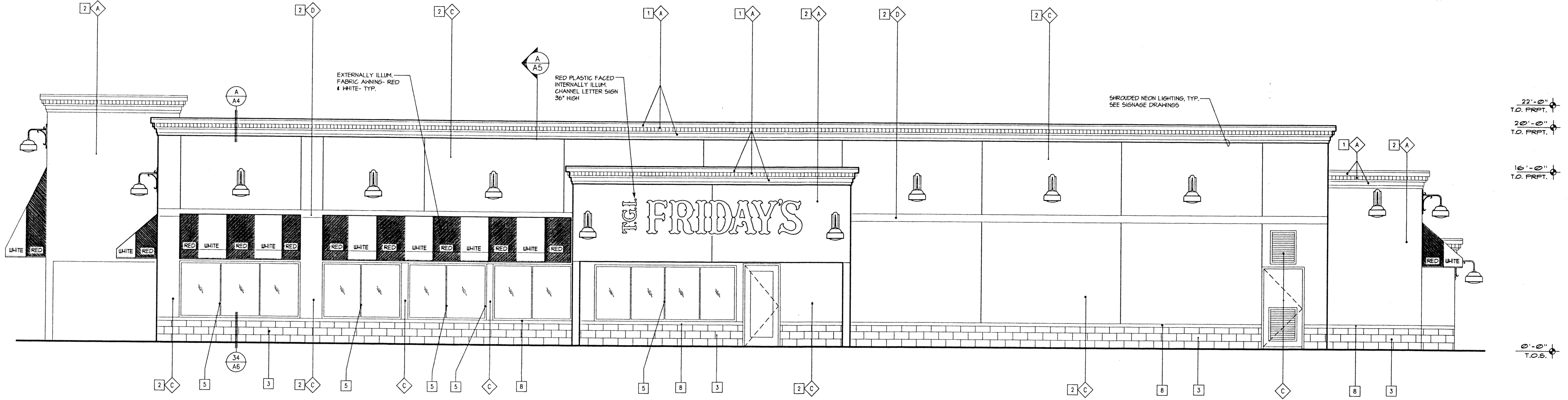
Document Status	
plan chk	after
bidding	permit
Date:	4-26-00
Drawn by:	NRC
Checked by:	DF
Project:	99-234.95
Sheet Number	A4

Of Sheets

PAINT SCHEDULE	
A	DANN EDWARDS PAINT - 1003 PEACE
B	NOT USED
C	DANN EDWARDS PAINT - 1006 BATH TAN
D	DANN EDWARDS PAINT - 1007 ROCKY POINT
E	NOT USED

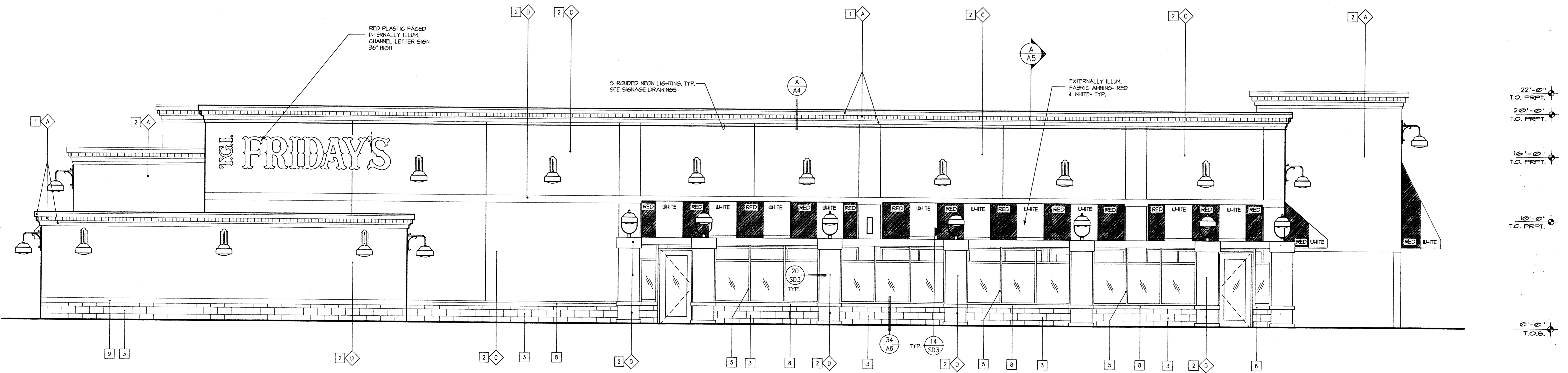
MATERIALS LEGEND	
1	STUCCO OVER SHAPED FOAM
2	STUCCO
3	CHU BLOCK - SPLITFACE ORGO BLACK 250
4	1/4" SPANDREL GLASS; FORD - "DARK BLUE"
5	ALUMINUM STOREFRONT
6	NOT USED
7	OAK ENTRY DOOR
8	METAL FLASHING PRIME AND PAINT TO MATCH
9	CHU BLOCK - BURNISHED ORGO TAN MH

Revisions	
1	ISSUED TO PLAN CHECK
2	FIRST RECHECK
3	SECOND RECHECK
4	PERMIT ISSUE



1 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION

SCALE: 1/4" = 1'-0"

SCHUSS • CLARK
AN ARCHITECTURAL CORPORATION
6474 Kennedy Villa Road, Suite 215
Phoenix, AZ 85018
(602) 957-8200 FAX (602) 957-8316

MAIN STREET
& MAIN INCORPORATED
5050 NORTH 40TH STREET, SUITE 200
PHOENIX, AZ 85018
(602) 852-9000

TGI FRIDAY'S
10001 COORS BLVD. NW,
ALBUQUERQUE, NM 87114

Sheet Content	
EXTERIOR ELEVATIONS	
PROTOTYPE 5000	
Document Status	
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