

PARKING CALCULATIONS

FITNESS ROOM	1424 SF	9.3 SPACES REQUIRED
GAMES	1455	29.9
MEETING ROOMS	4635	77.3
KITCHEN	413	.5
ADMIN. AREA	965	4.4
COMP. CLSRM.	1539	16.1
ARTS & CRAFTS	1136	11.4
ALT #1: GYM	8374 SF	(149) 127*
TOTAL PARKING REQUIRED:	(289)	246*

* W/ 15% REDUCTION FOR BUS BAY

PARKING PROVIDED:
 ASPHALT 224
 OVERFLOW 25
 TOTAL 249

HC SPACES REQUIRED (STD) 7 PROVIDED 9
 HC VAN SPACES REQUIRED 1 PROVIDED 1

BICYCLE SPACES REQUIRED (1 PER 20 PARKING SPACES): 13
 PROVIDED: (27 LOOPS - 3 RACKS, 11 LOCKERS): 38

LIGHTING LEVELS

SERVICE AREAS 0.5 FOOTCANDLES
 PARKING LOT & ENTRY 1.0 FOOTCANDLES
 PEDESTRIAN ROUTES 0.5-1.0 FOOTCANDLES
 PATIO AREAS AND WALKS WILL BE LIT BY
 SOFFIT MOUNTED DOWN LIGHTS AND WALL
 MOUNTED STEP LIGHTS.

LIGHTING LEGEND

- A 4 LUMINAIRE, CUTOFF TYPE, 400W HPS
POLE MOUNTED, 20' HIGH
- B 1 LUMINAIRE, CUTOFF TYPE, 39W METAL HALIDE
EXTERIOR LOW LEVEL BOLLARD
- C 1 LUMINAIRE, CUTOFF TYPE, 150W METAL HALIDE
POLE MOUNTED, 12' HIGH
- D 2 LUMINAIRE, 70W METAL HALIDE
TENON MOUNTED, REMOTE BALLAST
- E 4 LUMINAIRE, CUTOFF TYPE, 400W HPS
POLE MOUNTED, 16' HIGH

PROJECT DATA

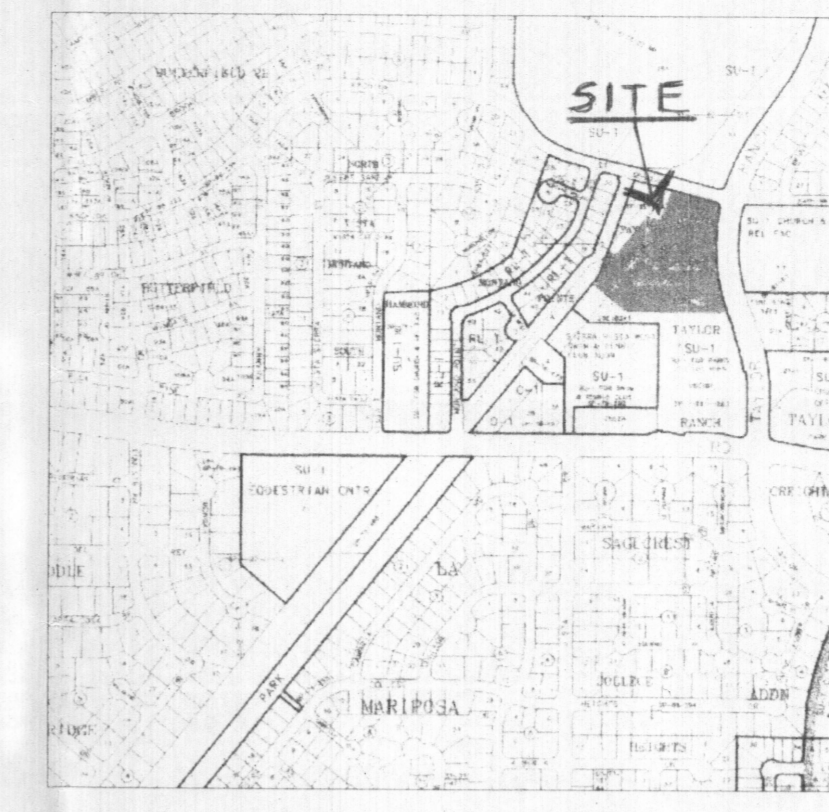
PROPOSED USE: COMMUNITY CENTER
 LEGAL DESCRIPTION: TRACT A, TAYLOR RANCH
 SITE AREA: 5.5 ACRES

CONDITIONED AREA	22,254 SF	
VESTIBULES	262 SF	
COVERED	2,063 SF	
BUILDING AREA:	24,579 SF	10%
TURF AREA:	12,243 SF	
LANDSCAPED AREA:	68,532 SF	32%

WITH ALTERNATE #1- GYM ADDITION		
CONDITIONED AREA	33,089 SF	
VESTIBULES	262 SF	
COVERED	2,063 SF	
BUILDING AREA:	35,414 SF	15%
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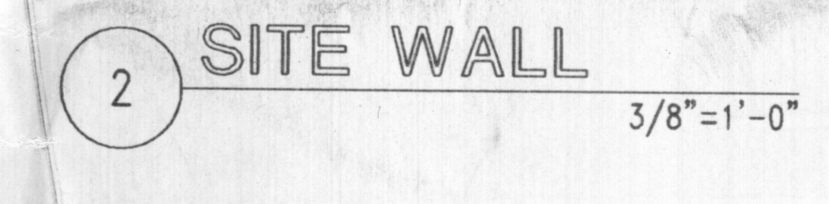
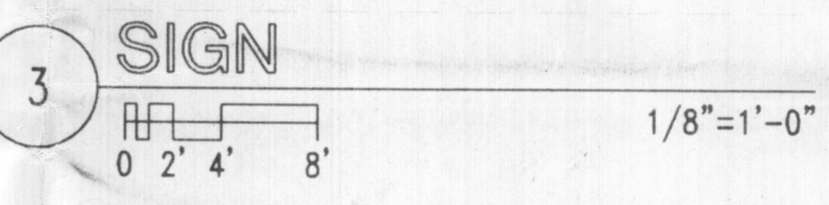
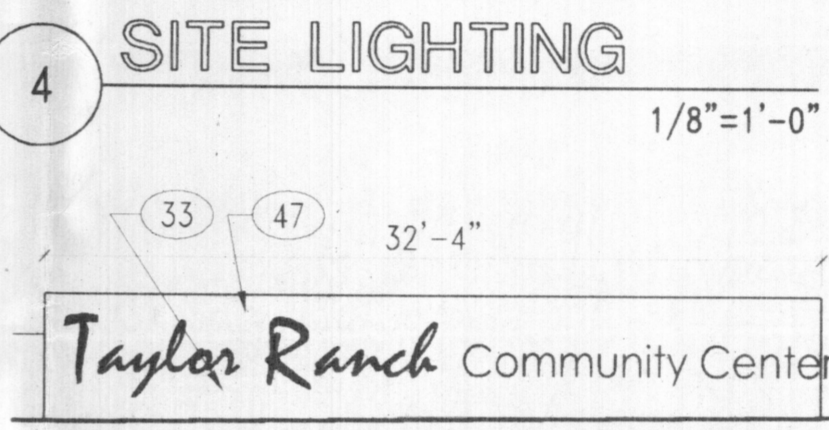
EXISTING CHILD DEVELOPMENT CENTER

MARIPOSA BASIN PARK



Vicinity Map E-11-Z

PROJ 1000344



KEYED NOTES

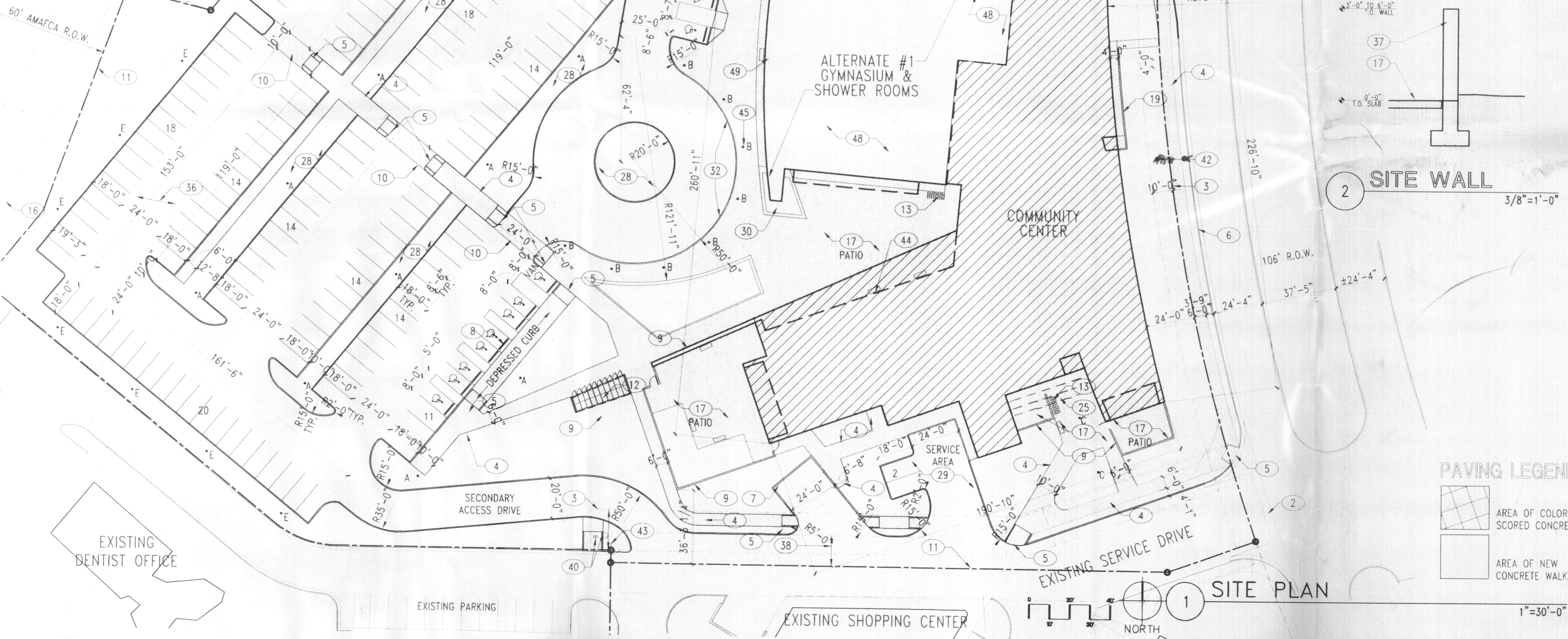
- 1 MONUMENT SIGN, SEE DWG. THIS SHEET.
- 2 EXISTING DRIVEPAD
- 3 EXISTING UTILITY EASEMENT
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- 6 EXISTING CURB TO REMAIN
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- 10 TEXTURED CONCRETE PEDESTRIAN CROSSING STRIPED WITH WHITE PAINT
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- 14 RESILIENT PLAY SURFACE
- 15 STABILIZED CRUSHER FINES
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- 17 CONCRETE PAVEMENT, INTEGRALLY COLORED SAGE/BROWN W/ ROCK SALT FINISH, SCORED
- 18 IRRIGATED TURF
- 19 ACCESSIBLE RAMP
- 20 PLAY STRUCTURE
- 21 GRAVEL
- 22 ROLL DOWN CURB PER COA STANDARD
- 23 EXISTING AMAFCA EASEMENT
- 24 STEPPED LANDSCAPING
- 25 TRELIS - SOME GREY STEEL
- 26 BUS BAY PER COA STANDARD
- 27 BUS SHELTER PER COA STANDARD
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- 30 WATER FEATURE TO BE BUILT WITH INTERLATE 4' HIGH RETAINING WALL WITH 4" HIGH GRASS DRAIN
- 31 DEPRESSURE CURB DROP-OFF
- 32 CLEAR ANODIZED ALUMINUM LETTERS, LETTER AREA: 125 SF.
- 33 EXISTING HIGH VOLTAGE POWER LINES & POLES, TYP.
- 34 EXISTING CHAIN LINK FENCE.
- 35 EXISTING SANITARY SEWER EASEMENT.
- 36 CMU SITE WALL W/ COLOR COATED STUCCO FINISH, COLOR: LIGHT TERRACOTTA
- 37 EXISTING ACCESS EASEMENT.
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- 39 EXISTING IRRIGATION CONTROLS TO BE RELOCATED.
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- 41 PROPOSED HYDRANT.
- 42 EXISTING HYDRANT TO REMAIN.
- 43 LINE OF WALL BELOW.
- 44 ILLUMINATED BOLLARD
- 45 NEW CURB CUT AND DRIVE PAD PER COA STANDARDS
- 46 COLOR COATED STUCCO, COLOR: LIGHT TERRACOTTA, AREA OF FACE OF SIGN: 326 SF.
- 47 ASPHALT PAVING WITH PAINTED COURT LINES AS SHOWN
- 48 AREA OF LANDSCAPE TO BE PROVIDED IF ALTERNATE #1 IS NOT BUILT AT THIS TIME

APPROVALS	DATE
<i>John J. ...</i> Planning Director	5/30/02
<i>Paul ...</i> Transportation Development	5-14-02
<i>Bradley A. ...</i> City Engineer/AMAFCA	4/12/01
<i>Mary ...</i> Utility Development	5/15/2002
<i>Adriana E. ...</i> Parks and Recreation Department	5/14/02
<i>...</i> Solid Waste	5-23-02

DRB SUBMITTAL #1000344
 FILE NO. 01128 00000 00416 01450-01218

Kells + Craig
 400 Gold SW
 Suite 880
 Albuquerque, New Mexico 87102
 Architects, Inc. AIA
 (505) 243-2724

CITY OF ALBUQUERQUE DEPARTMENT OF FAMILY & COMMUNITY SERVICES DEPARTMENT OF SENIOR AFFAIRS	
TITLE: TAYLOR RANCH COMMUNITY CENTER SITE PLAN	
Design Review Committee	City Engineer Approval
City Project No. 5971.91	Zone Map No. E-11-Z
Sheet DRB SITE	Of



PAVING LEGEND

- AREA OF COLORED/SCORED CONCRETE
- AREA OF NEW CONCRETE WALKS

1"=30'-0"
 NORTH

PARKING CALCULATIONS

FITNESS ROOM	1424 SF	9.3 SPACES REQUIRED
GALES	1455	29.9
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ARTS & CRAFTS	1136	11.4
ALT #1: GYM	8374 SF	(139.6) 119*
TOTAL PARKING REQUIRED:	(289)	246*

* W/ 15% REDUCTION FOR BUS BAY

PARKING PROVIDED:

ASPHALT	225
OVERFLOW	25
TOTAL	250

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BICYCLE SPACES REQUIRED (1 PER 20 PARKING SPACES): 13 PROVIDED: (27 LOOPS - 3 RACKS, 11 LOCKERS): 38

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 SITE AREA: 5.5 ACRES

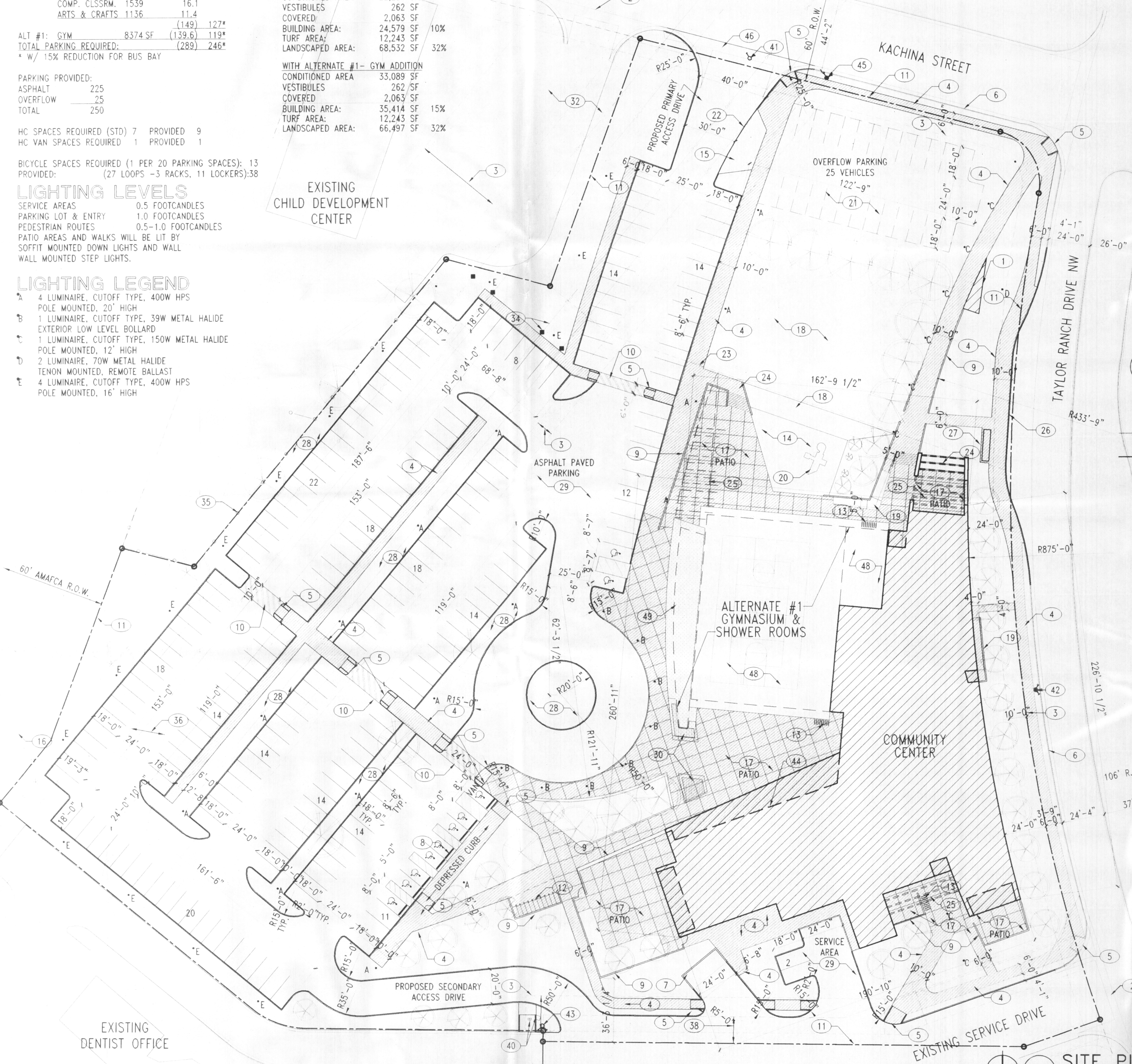
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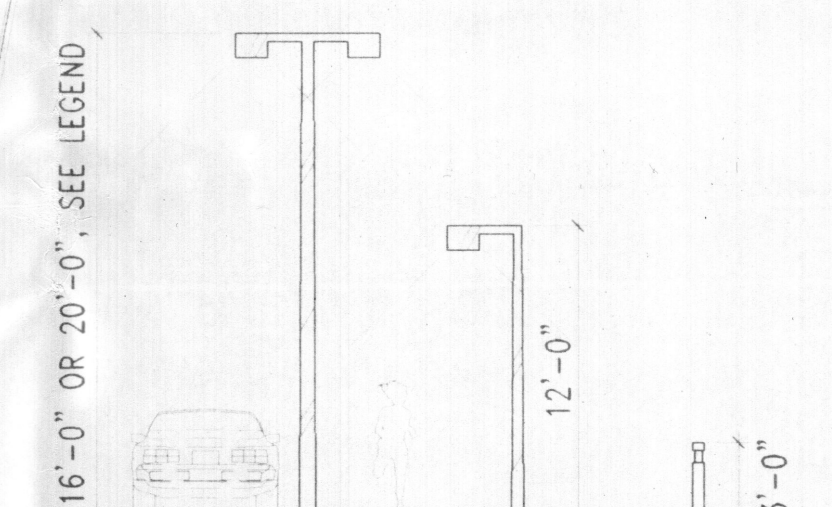
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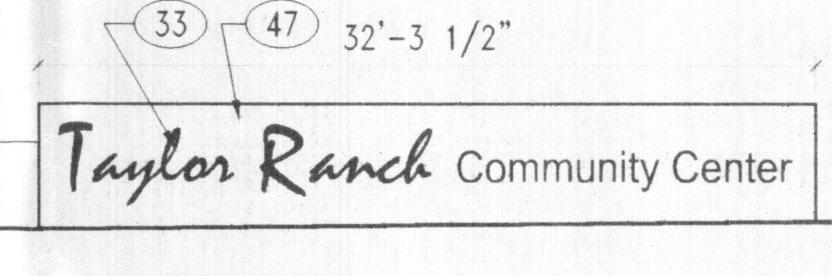
MARIPOSA BASIN PARK



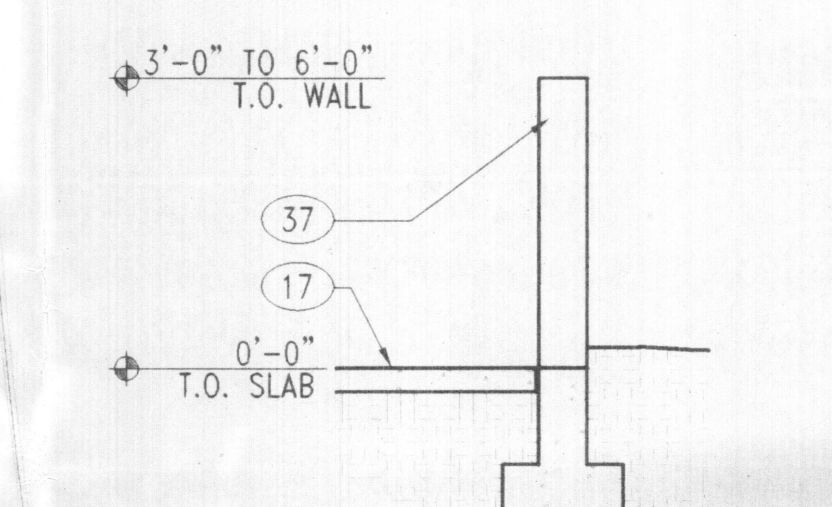
Vicinity Map E-11-Z



4 LIGHTING DETAILS 1/8"=1'-0"



3 SIGN 1/8"=1'-0"



2 SITE WALL 3/8"=1'-0"

KEYED NOTES

- 1 MONUMENT SIGN. SEE DWG. THIS SHEET.
- 2 EXISTING DRIVEPAD
- 3 EXISTING UTILITY EASEMENT
- 4 NEW CONCRETE SIDEWALK
- 5 CURB RAMP PER COA STANDARD
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- 30 WATER FEATURE TO BE BUILT WITH ALTERNATE #1
- 31 4' HIGH RETAINING WALL W/ 42" HIGH GUARD RAIL
- 32 PROPOSED ACCESS AND ACCESS EASEMENT TO ADJACENT PROPERTY TO REPLACE EXISTING ACCESS.
- 33 CLEAR ANODIZED ALUMINUM LETTERS. LETTER AREA: 125 SF.
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APPROVALS	
Planning Director	Date
Transportation Development	Date
<i>Bradley A. Bingham</i>	9/12/01
City Engineer/AMAFCA	Date
<i>Maryann Mesina</i>	5/15/02
Utility Development	Date
<i>Miriam E. Landelario</i>	9/12/01
Parks and Recreation Department	Date
<i>Sharon Bacon</i>	8-27-01
Solid Waste	Date

DRB SUBMITTAL #1000344
 FILE NO. 01128 00000 00416 01450 - 01218

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 400 Gold SW Suite 880 Albuquerque, New Mexico 87102
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CITY OF ALBUQUERQUE
 DEPARTMENT OF FAMILY & COMMUNITY SERVICES
 DEPARTMENT OF SENIOR AFFAIRS

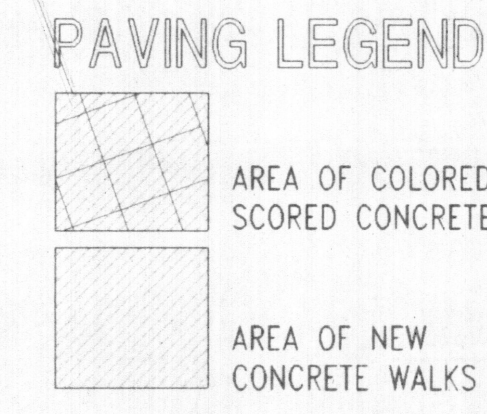
TITLE: TAYLOR RANCH COMMUNITY CENTER
 SITE PLAN

Design Review Committee	City Engineer Approval	MD/DAY/YR	MD/DAY/YR

City Project No. 5971.91	Zone Map No. E-11-Z	Sheet	DRB SITE
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NO.	DATE	REVISIONS/REMARKS	BY	ARCHITECT'S STAMP		SURVEY INFORMATION		BENCH MARK		AS-BUILT INFORMATION	
				NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
9750			RUSS P. HUGG								

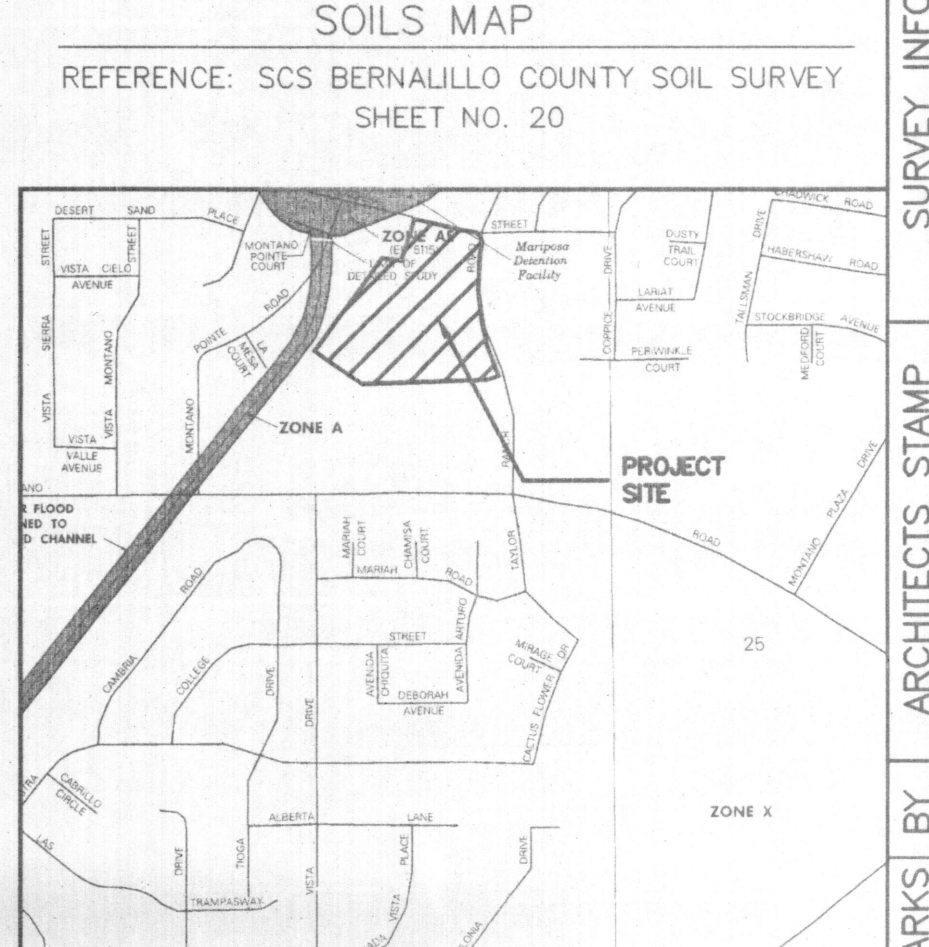
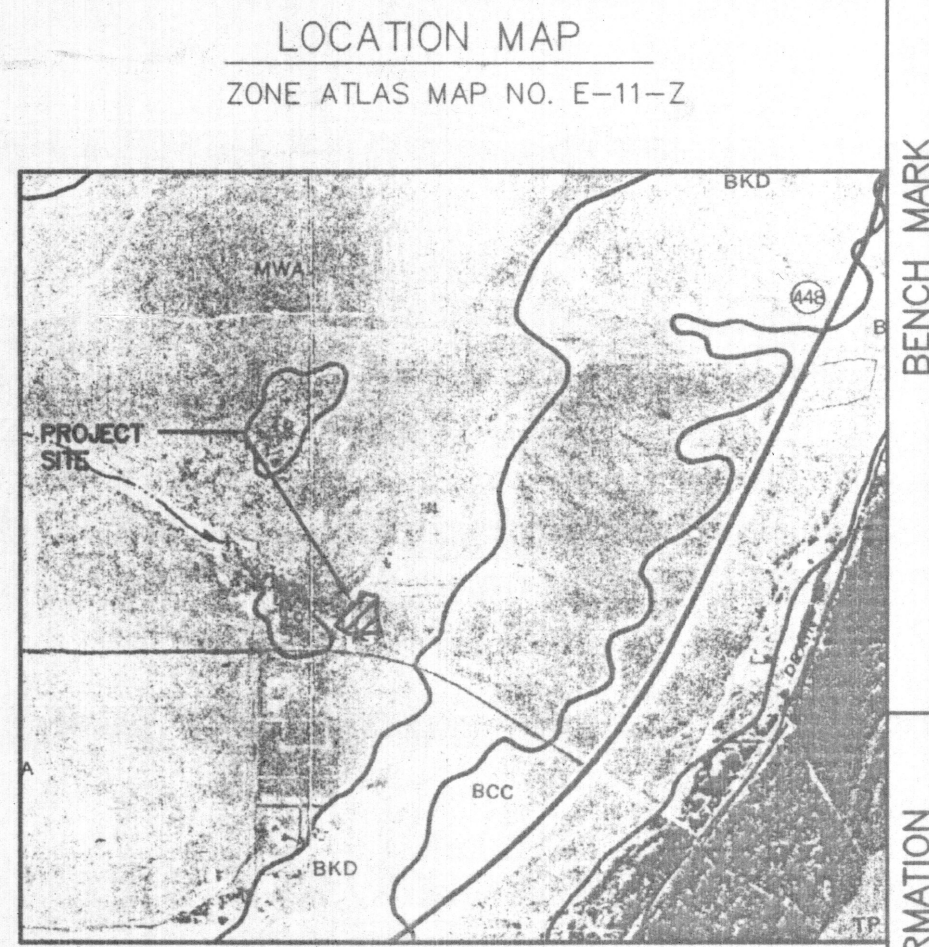
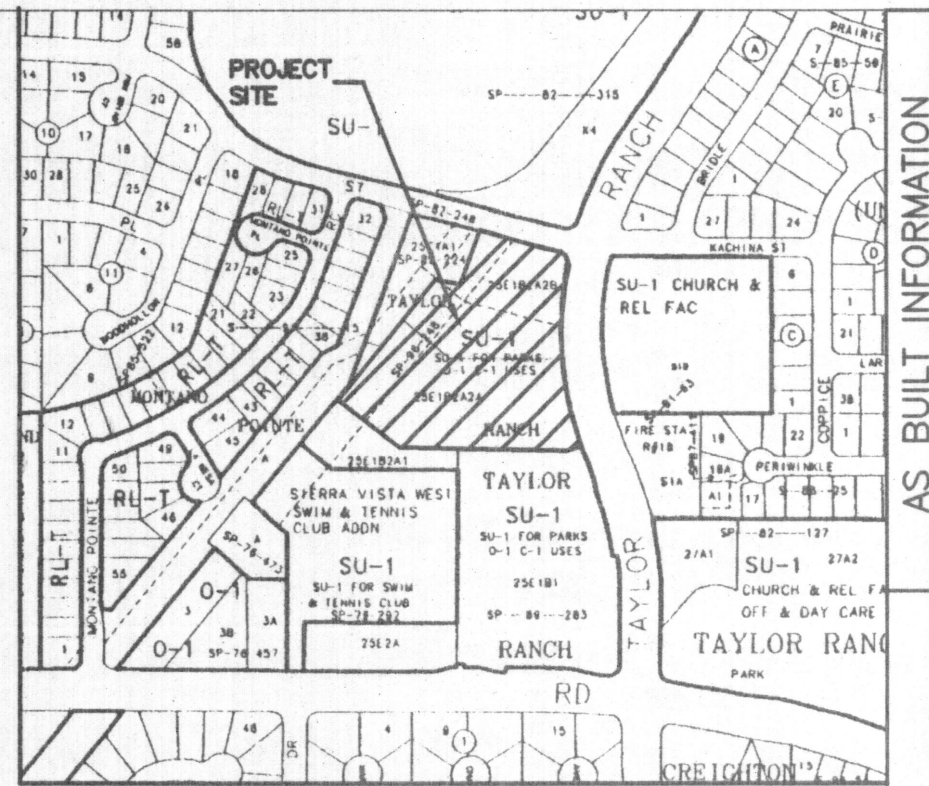
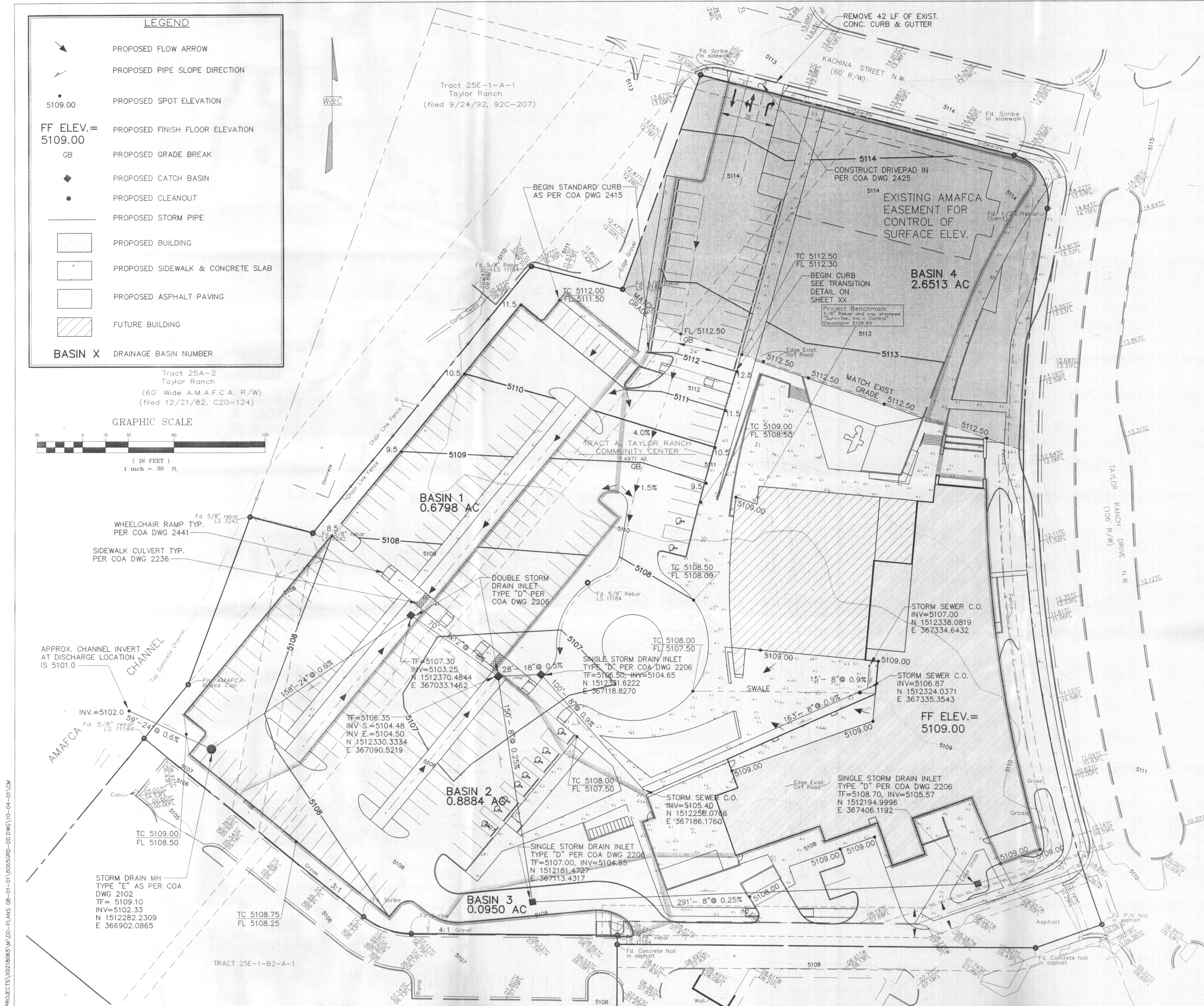
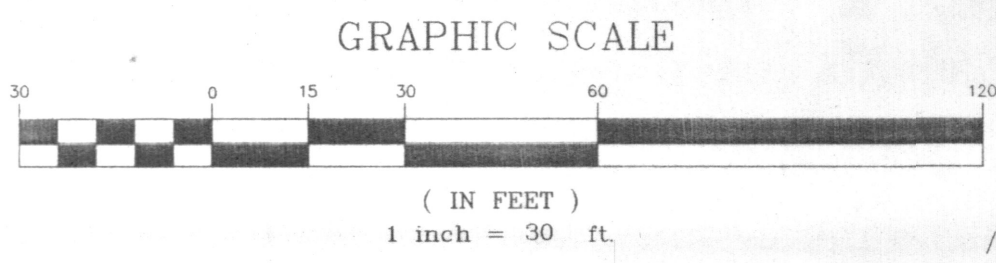
AFD PLANS CHECKING OFFICE
 024 3611
 APPROVED/DISAPPROVED HYDRANT(S) ONLY
R.S. Jones 8-27-01



1 SITE PLAN 1"=30'-0"

LEGEND

- ➔ PROPOSED FLOW ARROW
- ➔ PROPOSED PIPE SLOPE DIRECTION
- 5109.00 PROPOSED SPOT ELEVATION
- FF ELEV.= 5109.00 PROPOSED FINISH FLOOR ELEVATION
- GB PROPOSED GRADE BREAK
- ◆ PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- PROPOSED STORM PIPE
- PROPOSED BUILDING
- PROPOSED SIDEWALK & CONCRETE SLAB
- PROPOSED ASPHALT PAVING
- ▨ FUTURE BUILDING
- BASIN X DRAINAGE BASIN NUMBER



AS BUILT INFORMATION	
CONTRACTOR DATE:	
WORK STOP BY DATE:	
INSPECTOR'S APPROVAL DATE:	
FIELD VERIFICATION BY DATE:	
DRAWING CORRECTED BY DATE:	
MICRO-FILM INFORMATION	
RECORDED BY DATE:	
NO.	

SURVEY INFORMATION	
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15 C.O.A. BENCHMARK: "5-E11" ELEVATION = 5106.566' AT THE INTERSECTION OF MONTANO RD. AND VALLE VIST DR. A SQUARE, CHISELED ON TOP OF CURB AT THE WSW CURB RETURN	
DATE:	
BY:	
NO.	
DATE:	
BY:	
NO.	

ARCHITECTS/REMARKS BY	
NO.	
DATE:	
BY:	
NO.	
DATE:	
BY:	
NO.	
DATE:	
BY:	
NO.	
DATE:	
BY:	

EASTERLING & ASSOCIATES
A DIVISION OF
WILSON & COMPANY
2600 THE AMERICAN ROAD S.E. SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 898-8021

DRB SUBMITTAL #1000344

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400 Gold S.W.
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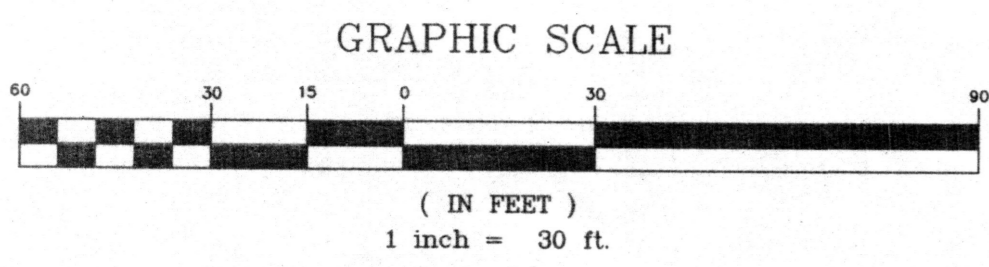
CITY OF ALBUQUERQUE
DEPARTMENT OF FAMILY & COMMUNITY SERVICES
DEPARTMENT OF SENIOR AFFAIRS

TITLE: TAYLOR RANCH COMMUNITY CENTER
SITE GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	ML/DAT/YR.	ML/DAT/YR.
Last Design Update			

City Project No. 5971.91 Zone Map No. E-11-Z Sheet CD101

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W&C

Tract 25E-1-A-1
Taylor Ranch
(filed 9/24/92, 92C-207)

Approximate location of underground power and telephone lines as shown on PNM and US West as-built drawings. All utilities should be spotted by Bluestake prior to any construction.

LEGEND

- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- EXISTING CABLE PEDESTAL
- EXISTING ELECTRIC TRANSFORMER
- EXISTING HYDRANT
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SEWER CLEANOUT
- EXISTING TELEPHONE PEDESTAL
- EXISTING WATER VALVE
- EXISTING UNDERGROUND TELEPHONE LINE SPOT
- EXISTING UNDERGROUND SAN. SEWER LINE SPOT
- EXISTING UNDERGROUND SAN. SEWER LINE
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND GAS LINE
- EXISTING UNDERGROUND POWER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- FINISH FLOOR

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		ARCHITECTS STAMP		REVISIONS/REMARKS	
CONTRACTOR	DATE	ALL ELEVATION ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT 7-L15	DATE	NO.	BY	DATE	NO.	DATE	DATE
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INSPECTOR'S APPROVAL	DATE	ELEVATION = 5106.566'	DATE		FROM SURV-TEK, INC.				
FIELD VERIFICATION BY	DATE	AT THE INTERSECTION OF MONTANO RD. AND VALLE VIST DR., A SQUARE, CHISELED ON TOP OF CURB AT THE WSW CURB RETURN	DATE						
DRAWING CORRECTED BY	DATE		DATE						
MICRO-FILM INFORMATION	DATE		DATE						
RECORDED BY	DATE		DATE						

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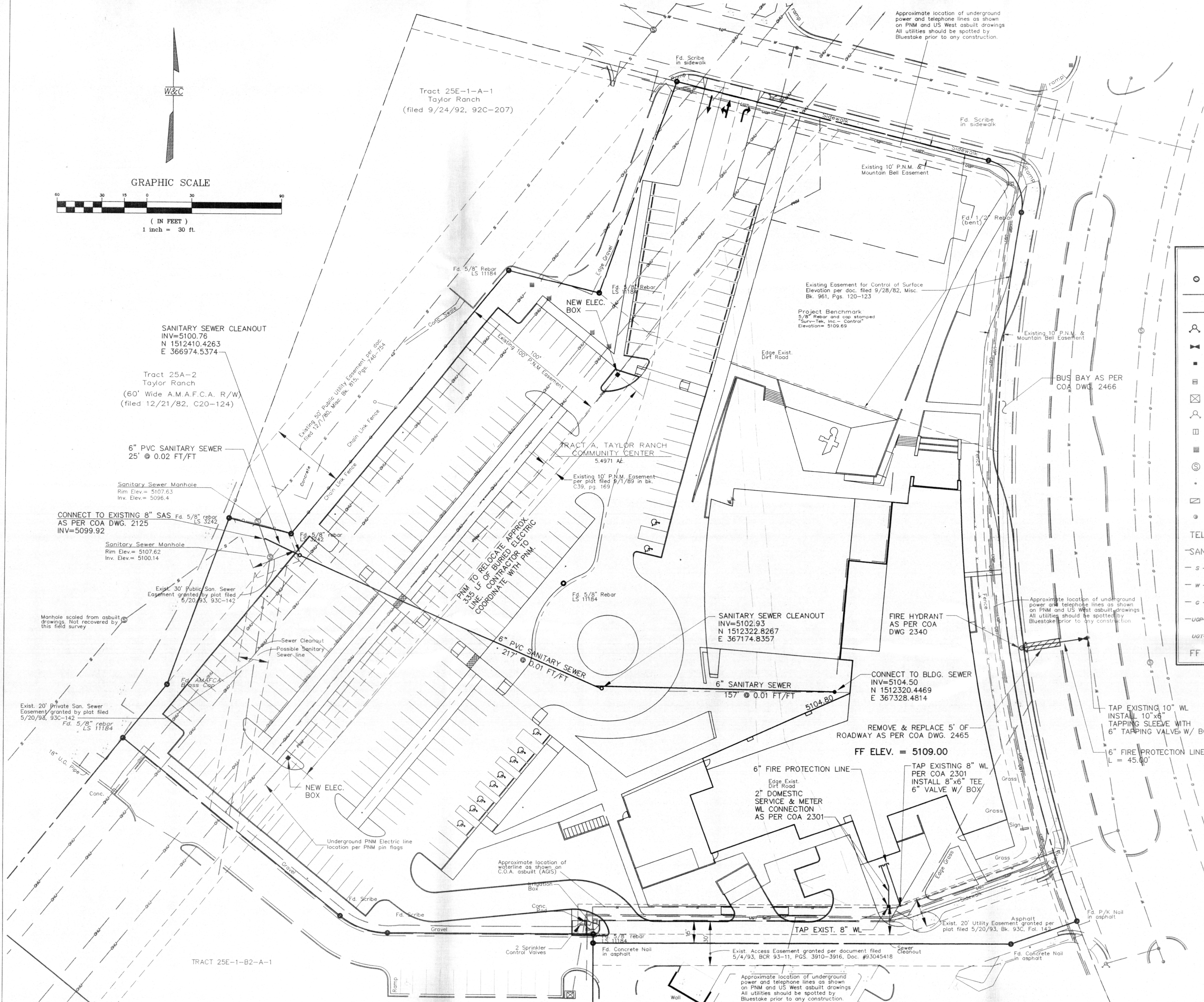
CITY OF ALBUQUERQUE
DEPARTMENT OF FAMILY & COMMUNITY SERVICES
DEPARTMENT OF SENIOR AFFAIRS

TITLE: TAYLOR RANCH COMMUNITY CENTER
SITE UTILITY PLAN

Design Review Committee	City Engineer Approval	Date
		MM/DD/YY
		MM/DD/YY

City Project No. 5971.91 Zone Map No. E-11-Z Sheet CU101

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LANDSCAPE CONCEPT

The landscape concept for Taylor Ranch Community Center employs design elements which strive to minimize water use and maintenance while providing a visually appealing environment. To integrate with the formal elegance of the Center, the landscape will employ a formal treatment in areas adjacent to the building. Plantings will utilize linear forms to accentuate the edges of the building and to define outdoor spaces. As the landscape progresses outward from the building it will gradually disintegrate into an informal pattern. The plant materials, whether formal or informal, will be layered in terms of color, height and texture to create interest and movement. Vegetation and varied paving patterns are to be used at the building entry and outdoor patio areas to highlight these areas; accentuate the pedestrian experience, and create a sense of arrival.

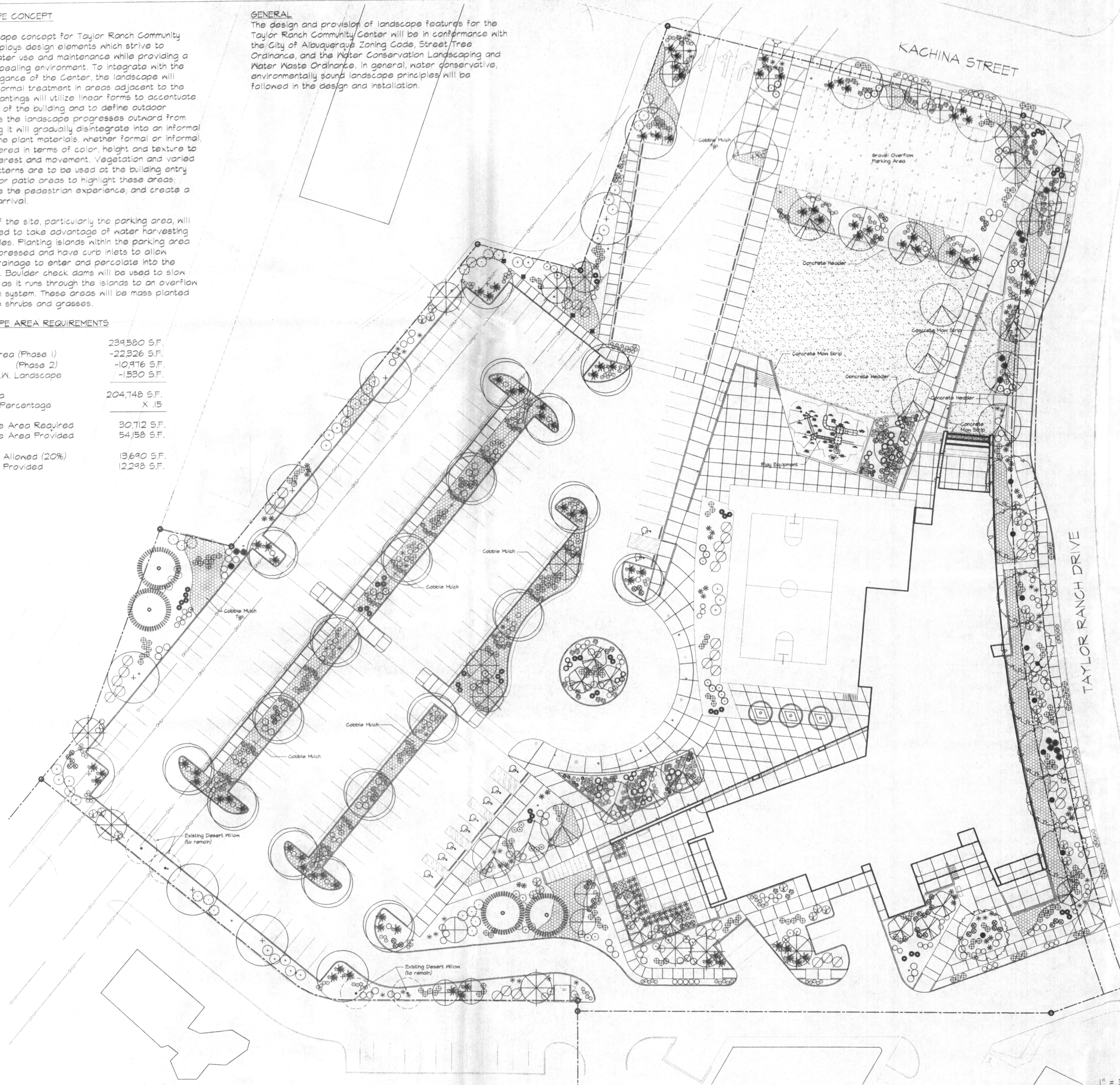
Grading of the site, particularly the parking area, will be designed to take advantage of water harvesting opportunities. Planting islands within the parking area will be depressed and have curb inlets to allow surface drainage to enter and percolate into the landscape. Boulder check dams will be used to slow the water as it runs through the islands to an overflow storm drain system. These areas will be mass planted with native shrubs and grasses.

LANDSCAPE AREA REQUIREMENTS

Site Area	239,580 S.F.
Building Area (Phase 1)	-22,326 S.F.
Building Area (Phase 2)	-10,976 S.F.
Public R.O.W. Landscape	-1,530 S.F.
Total Area	204,748 S.F.
Required Percentage	X .15
Landscape Area Required	30,712 S.F.
Landscape Area Provided	54,158 S.F.
Turf Area Allowed (20%)	13,690 S.F.
Turf Area Provided	12,298 S.F.

GENERAL

The design and provision of landscape features for the Taylor Ranch Community Center will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.



STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Taylor Ranch Drive	Required 15	Provided 15
--------------------	-------------	-------------

PLANT PALETTE

- EVERGREEN TREES (6' MIN. HEIGHT)**
 - Austrian Pine/Pinus nigra
 - Bosnian Pine/Pinus leucodermis
- DECIDUOUS CANOPY TREES (2" MIN. GALIPER)**
 - Purple Robe Locust/Robinia ambigua 'Purple Robe'
 - Raynood Ash (female)/Fraxinus oxycarpa
 - Sycamore/Platanus occidentalis
 - Texas Red Oak/Quercus buckleyi
- ACCENT TREES (1-1/2" MIN. GALIPER)**
 - Catamba Creepe Myrtle/Lagerstroemia indica 'Catamba'
 - Chitalpa/Chitalpa tashkentensis
 - New Mexico Olive/Forestiera neomexicana
- SHRUBS, GROUNDCOVERS, VINES & ORNAMENTAL GRASSES (1 & 5 GALLON)**
 - Apache Plume/Fallugia paradoxa
 - Bear Grass/Nolina texana
 - Buffalo Juniper (female)/Juniperus sabinia 'Buffalo'
 - Chamisa/Chrysothamnus nauseosus
 - Cherry Sage/Salvia greggii
 - Chinese Wisteria/Wisteria sinensis
 - Daylilies/Hemerocallis spp.
 - Giant Catmint/Nepeta x faassenii 'Six Hills Giant'
 - Goldsturm Rudbeckia/Rudbeckia fulgida
 - Mexican Evening Primrose/Oenothera berlandieri
 - Moonshine Yarrow/Achillea filipendula 'Moonshine'
 - Muhly Grass/Muhlenbergia cap. 'Regal Mist'
 - Pinelof Penstemon/Penstemon pinifolius
 - Powis Castle Sage/Artemisia 'Powis Castle'
 - Purple Ice Plant/Delosperma cooperi
 - Red Bird of Paradise/Caesalpinia pulcherrima
 - Red Yucca/Hesperaloe parviflora
 - Russian Sage/Ferovskia atriplicifolia
 - Sand Penstemon/Penstemon ambiguus
 - Scarlet Bugler/Penstemon barbatus
 - Shrubby Cinquefoil/Potentilla fruticosa
 - Spotted Gayfeather/Liatris punctata
 - Thompson Baccharis/Baccharis 'Starr'
 - Threadgrass/Nasella tenuissima
 - Three-leaf Sumac/Rhus trilobata
 - Turpentine Bush/Ericameria laricifolia 'Aquirre'
- TURF GRASSES**
 - Kentucky Bluegrass/Fescue/Rye Mix
- MULCHES**
 - Santa Fe Brown Crusher Fines,
 - 2" - 4" Santa Ana Tan Cobble
- BOULDERS**
 - 2'-3' Moss Rock Boulders
- IRRIGATION SYSTEM**

Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be utilized to irrigate lawn areas and tree, shrub and groundcover planting areas. The control system shall be adaptable for connection to area-wide central controller. Location to be confirmed with Park Management.
- MAINTENANCE RESPONSIBILITY**

Maintenance of the landscaping and irrigation system, including within adjacent R.O.W., shall be the responsibility of the City of Albuquerque Park Management Division.

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		ARCHITECTS' STAMP		REVISIONS/REMARKS	
CONTRACTOR	DATE	ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15	DATE	NO.	BY	NO.	DATE	NO.	DATE
WORK STAKED BY	DATE	C.O.A. BENCHMARK "5-E11"	DATE	9750	RUS P. HUGG				
INSPECTOR'S APPROVAL	DATE	ELEVATION = 5106.566'	DATE		FROM SURV-TEK, INC.				
FIELD VERIFICATION BY	DATE	AT THE INTERSECTION OF MONTANO RD. AND VALLE VIST DR.	DATE						
DRAWING CORRECTED BY	DATE	A SQUARE, ' ' CHISELED ON TOP OF CURB AT THE WSW	DATE						
MICRO-FILM INFORMATION	DATE	CURB RETURN	DATE						
RECORDED BY	NO.								

DRB SUBMITTAL #1000344

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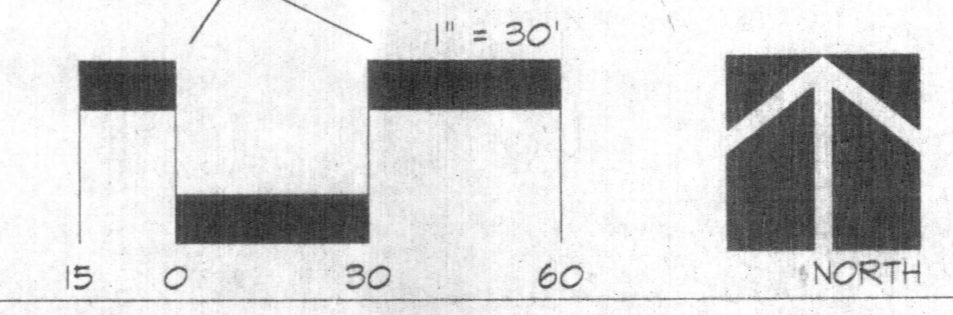
CITY OF ALBUQUERQUE
DEPARTMENT OF FAMILY & COMMUNITY SERVICES
DEPARTMENT OF SENIOR AFFAIRS

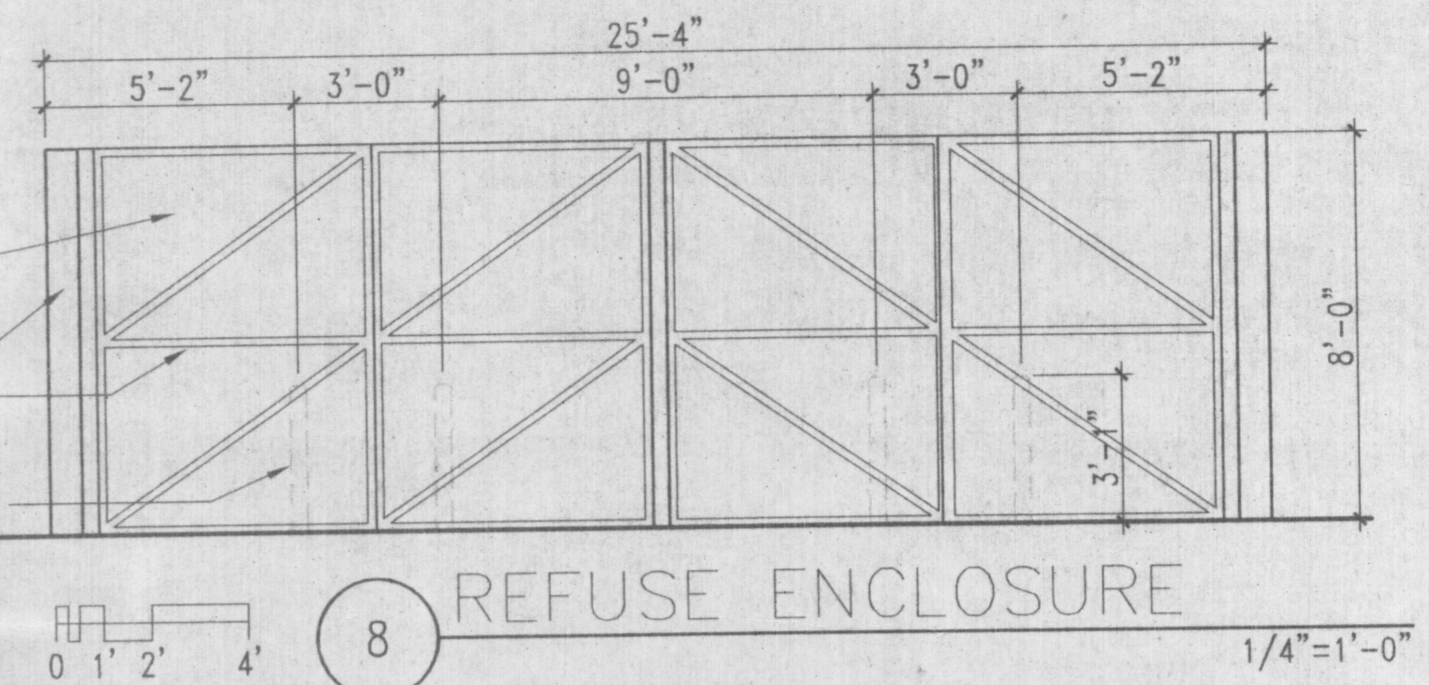
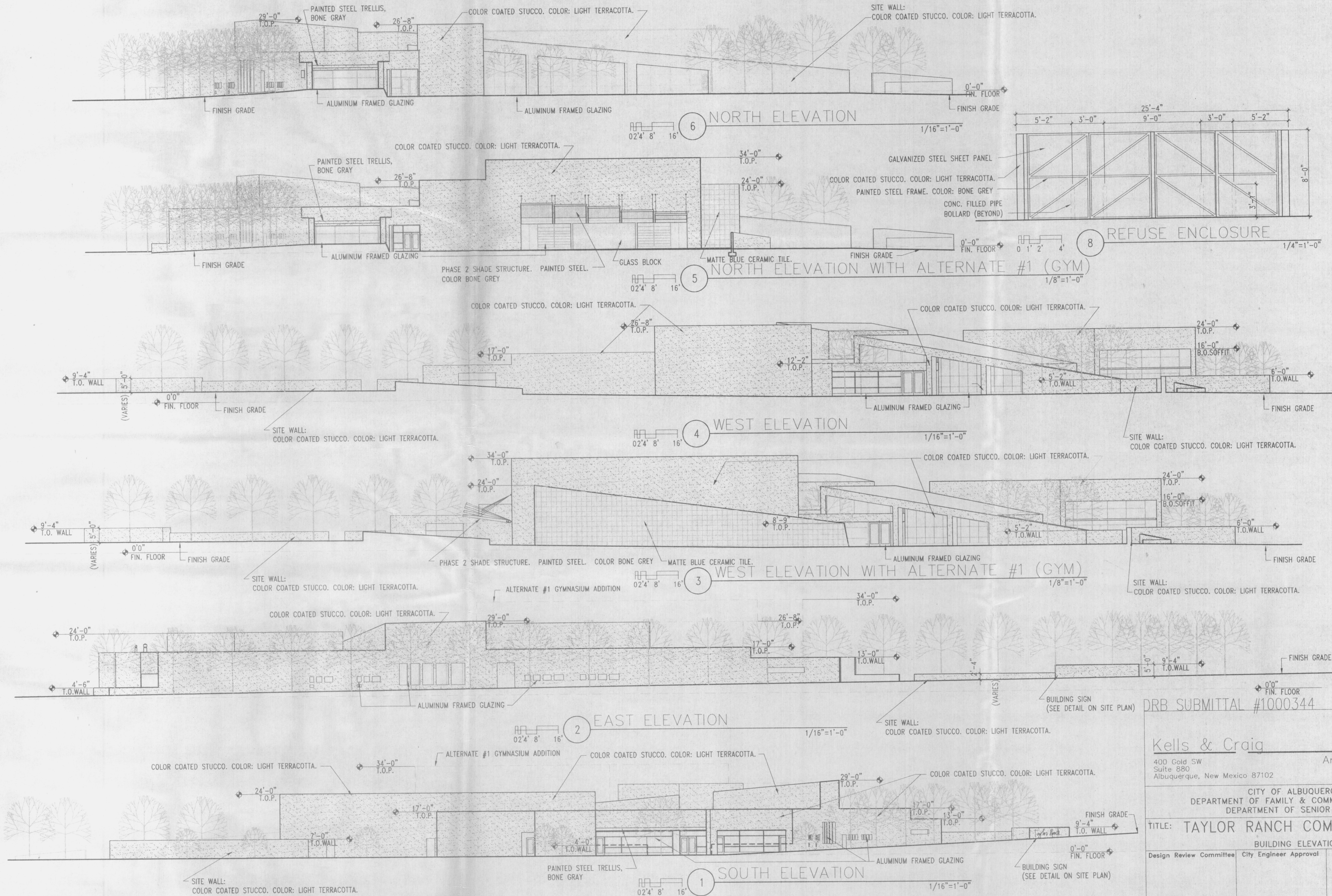
TITLE: TAYLOR RANCH COMMUNITY CENTER LANDSCAPE PLAN

Design Review Committee	City Engineer Approval	MD/DAY/ZJR	MD/DAY/ZJR
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City Project No.	Zone Map No.	Sheet	Of
5971.91	E-11-Z	L1	

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AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTOR'S APPROVAL	DATE
FIELD VERIFICATION BY	DATE
DRAWING CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	NO.

BENCH MARK	
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-115	
C.O.A. BENCHMARK	5-E11
ELEVATION	= 5106.566'
AT THE INTERSECTION OF MONTANO RD. AND VALLE VIST DR. A SQUARE. [Symbol] CHISELED ON TOP OF CURB AT THE WSW CURB RETURN	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	9750
RUSS P. HUGG FROM SURV-TEK, INC.	

ARCHITECTS STAMP	
NO.	DATE
REVISIONS/REMARKS	BY
DESIGNED BY:	SK
DRAWN BY:	AG
CHECKED BY:	JS
DATE:	08.28.01
DATE:	
DATE:	

DRB SUBMITTAL #1000344

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CITY OF ALBUQUERQUE
 DEPARTMENT OF FAMILY & COMMUNITY SERVICES
 DEPARTMENT OF SENIOR AFFAIRS

TITLE: **TAYLOR RANCH COMMUNITY CENTER**
 BUILDING ELEVATIONS

Design Review Committee	City Engineer Approval	MO/DAY/YR	MO/DAY/YR

City Project No. 5971.91 Zone Map No. E-11-Z Sheet **A1** Of