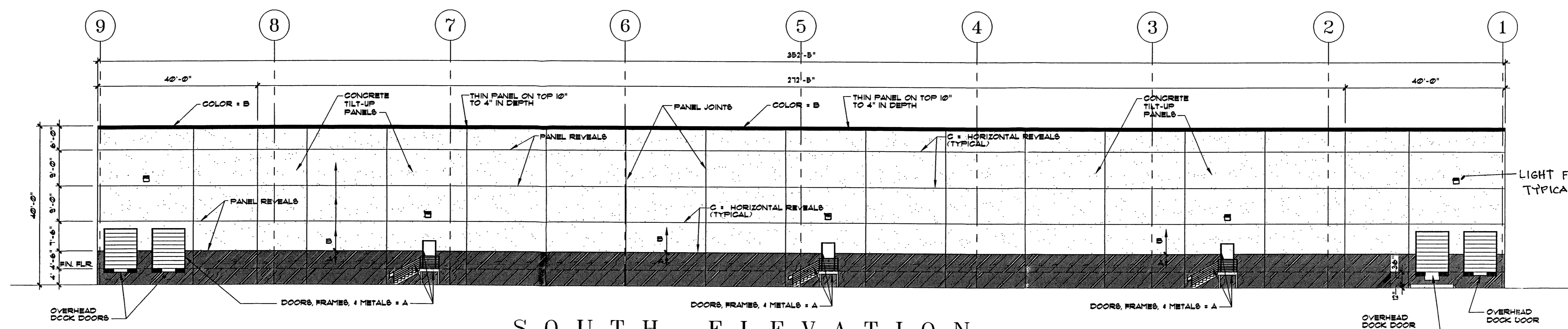
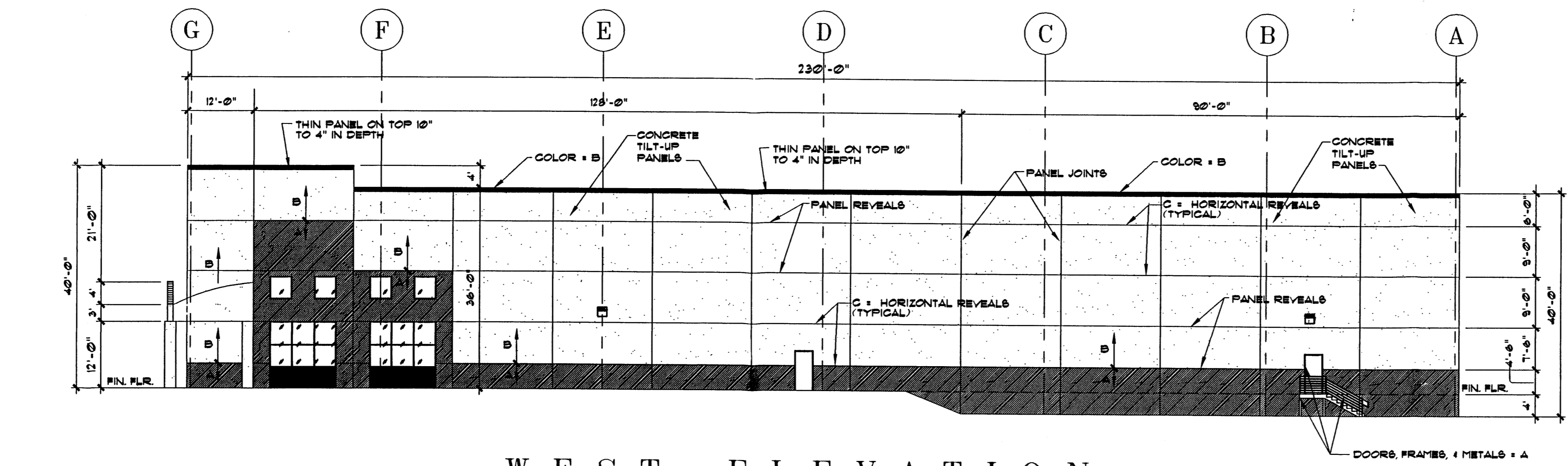


Future Sign shall be consistent with the Atreco Business Plan Master Plan

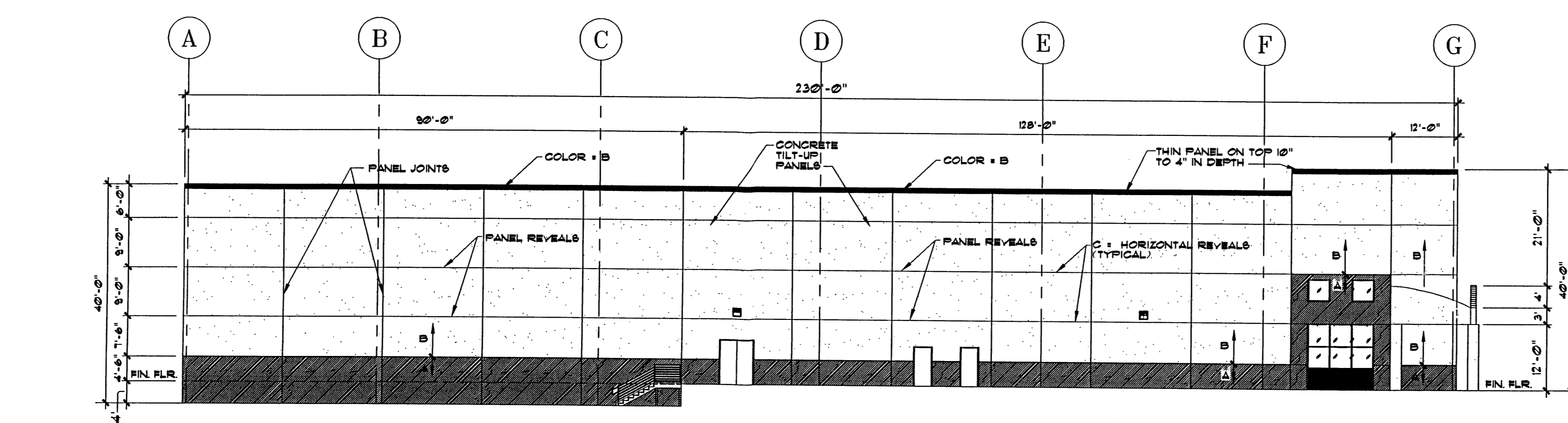
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION




EAST ELEVATION

COLOR SCHEME

- A = GRIS SW/2114 (GRAY - BLUE CAST)
- B = FERMA WHITE SW/2130 (WHITE - GRAY CAST)
- C = BLUE BAYOU SW/2412 (BLUE - GRAY CAST)

EXTERIOR ELEVATIONS

DECEMBER 1, 1999 SCALE: 1/16" = 1'-0"



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SHEET

2

of

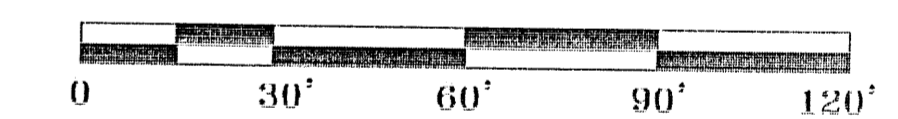
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1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330

PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 24
Fraxinus pennsylvanica
Gleditsia triacanthos
2-2 1/2" Cal
- FLOWERING PEAR (H) 4
Pyrus calleryana
2-2 1/2" Cal
- WASHINGTON HAWTHORN (M) 2
Crataegus phaenopyrum
2" Cal
- PALM YUCCA (L) 2
- DESERT WILLOW (L) 29
Chilopsis linearis
5 gal
- CHITALPA (M) 6
Chitalpa X Chilopsis
5 Cal
- ELEAGNUS (M) 7
Eleagnus pungens
5 gal
- INDIAN HAWTHORN (M) 6
Raphiolepis indica
5 gal
- MAIDEN GRASS (M) 33
Miscanthus sinensis
1 gal
- BLUE MIST (M) 39
Caryopteris spp.
1 gal
- AUTUMN SAGE (M) 24
Salvia greggii
1 gal
- WILDFLOWER 18
1 gal
- TAM JUNIPER (M) 51
JUNIPERUS SABINA
1 gal
- CHAMISA (L) 73
Chrysothamnus nauseosus
1 gal
- 3/4" GREY GRAVEL W/ FILTER FAB
- NATIVE SEED
- SOD
- COMMERCIAL GRADE STEEL EDGING
- OVERSIZE GRAVEL AND BOULDERS

NOTE: LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OF MERIDIAN LOT 2.

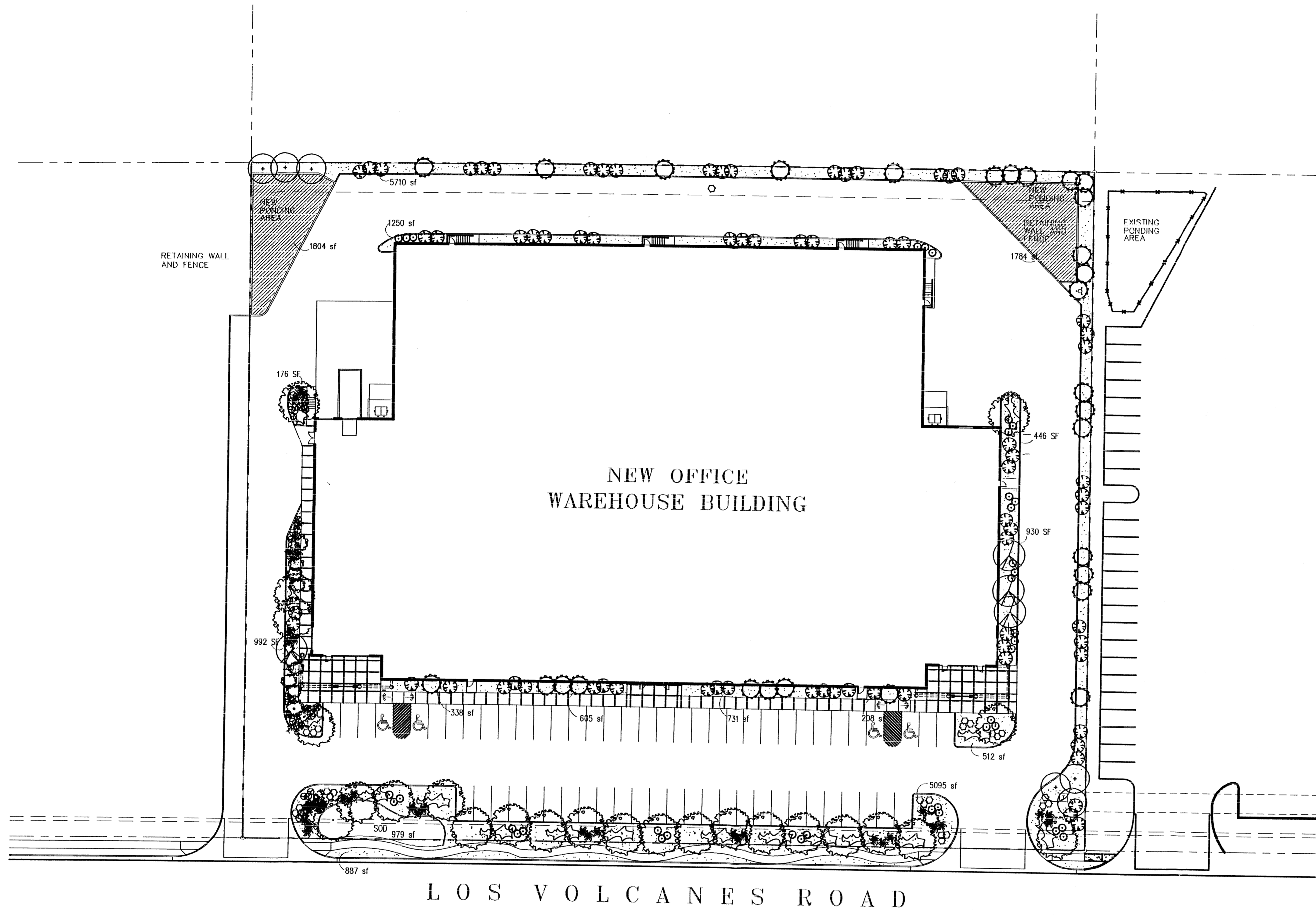


NORTH



LANDSCAPE PLAN

DECEMBER 21, 1999 SCALE: 1" = 30'-0"



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters
Shrubs to receive (2) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

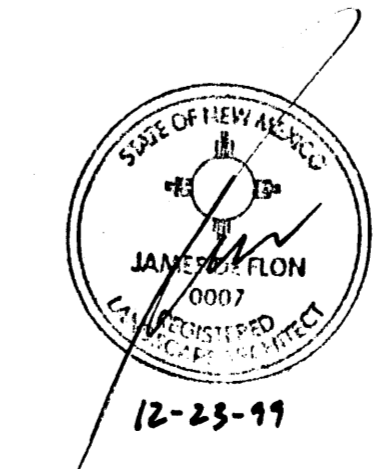
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	151,681 square feet
TOTAL BUILDINGS AREA	72,977 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	78,704 square feet
LANDSCAPE REQUIREMENT	.15 square feet
TOTAL LANDSCAPE REQUIREMENT	0 square feet
TOTAL LANDSCAPE PROVIDED	11,805 square feet
TOTAL BED PROVIDED	22,447 square feet
TOTAL SOD PROVIDED	979 square feet
TOTAL NATIVE SEED PROVIDED	3,588 square feet

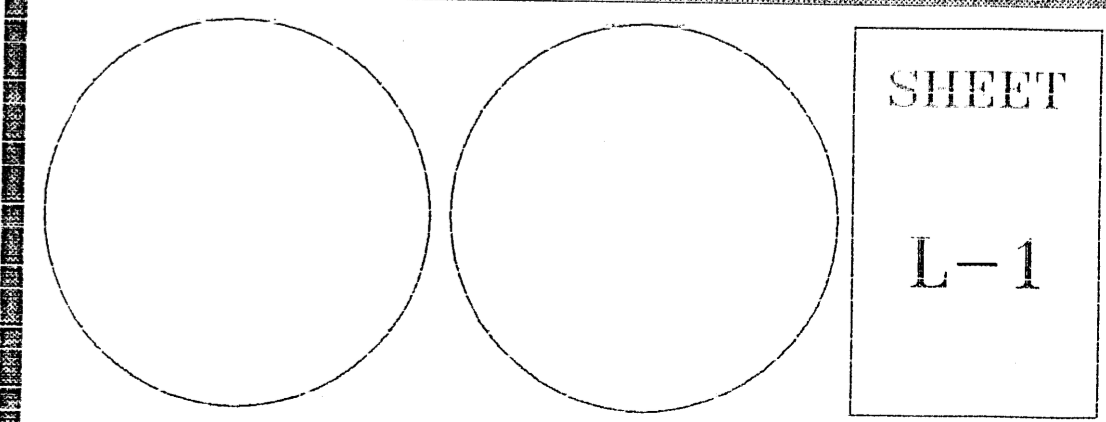


The Hilltop

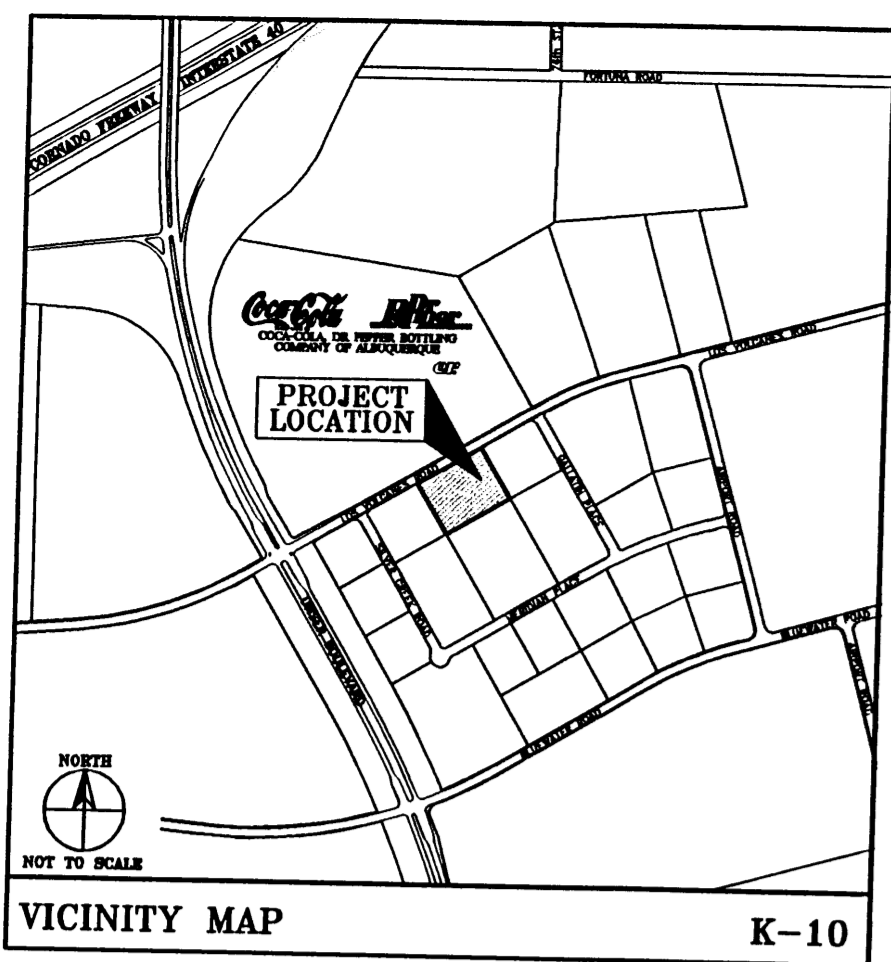
THE HILLTOP

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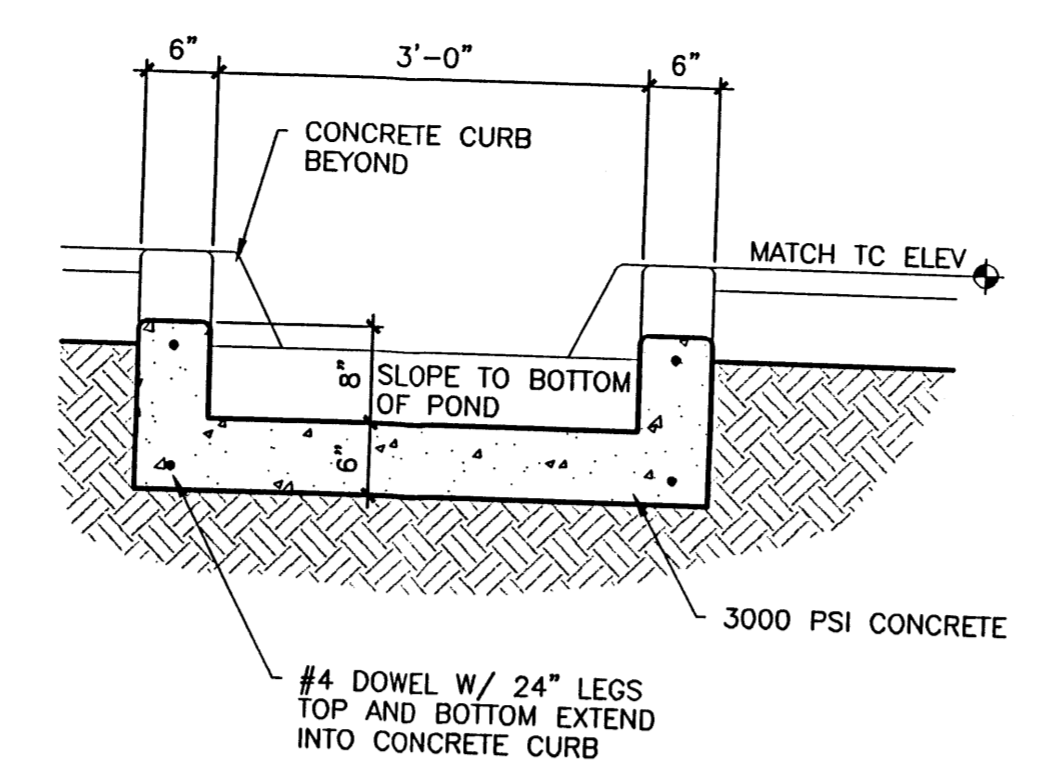
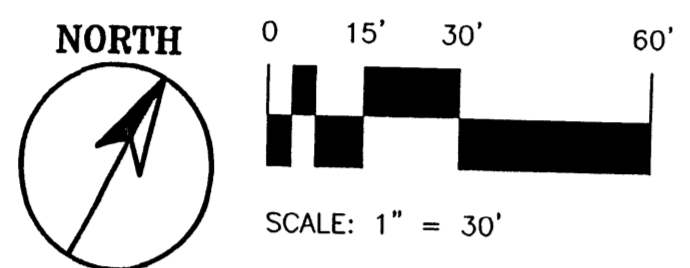
1305 Tijeras NW Albuquerque, NM 87102-2002
Phone: 505.263.1112 Fax: 505.263.1083



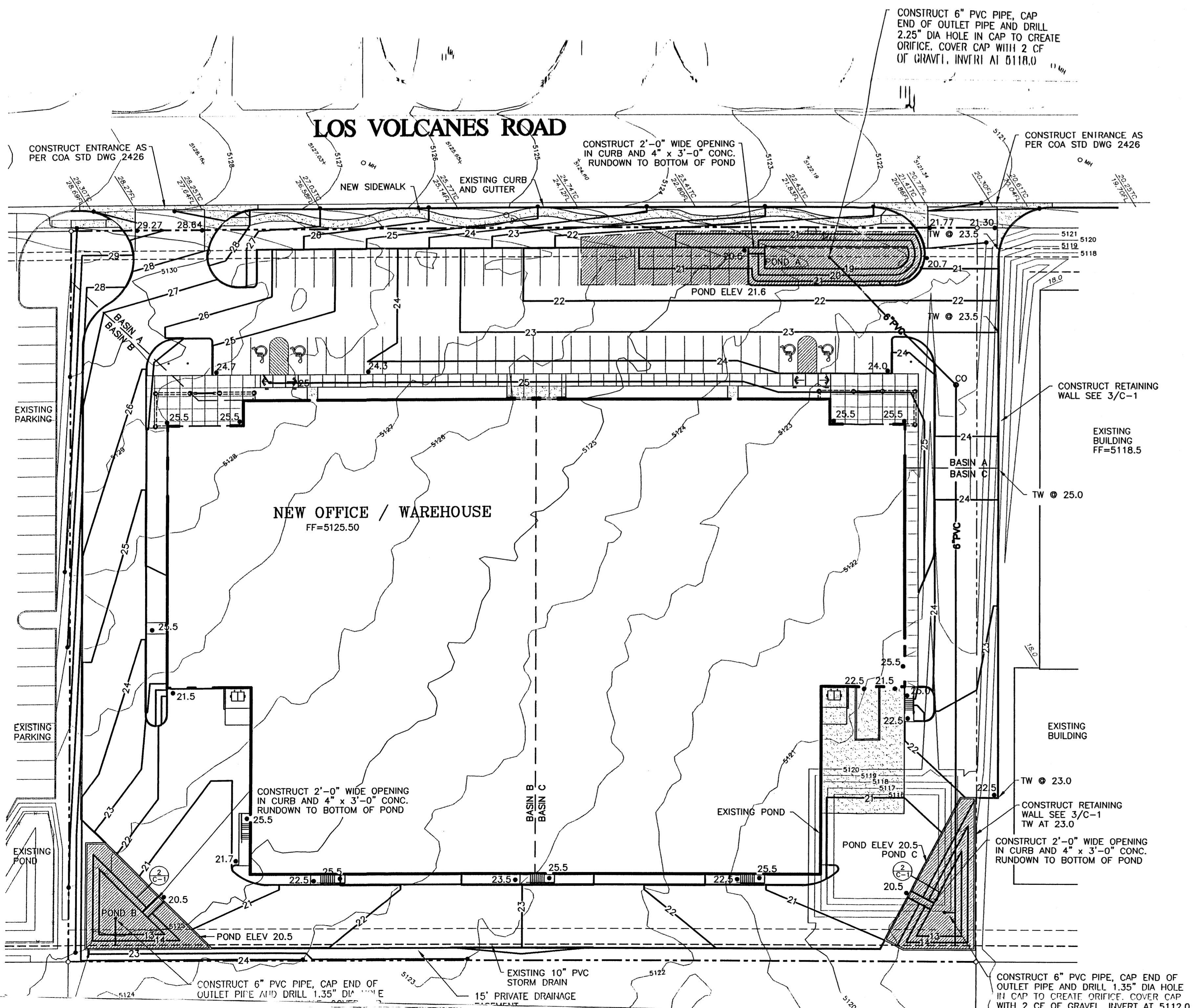
- LEGEND:**
- EXISTING SPOT ELEVATION
 - NEW SPOT ELEVATION
 - EXISTING CONTOUR
 - NEW CONTOUR
 - SWALE
 - VERIFIED ELEVATION
 - AS BUILT ELEVATION
 - BASIN BOUNDARY
 - PROPERTY LINE
 - FLOW LINE
 - GROUND
 - INVERT
 - TOP OF ASPHALT
 - TOP OF CURB
 - TOP OF GRATE
 - TOP OF CONCRETE SLAB
 - TOP OF WALL
 - TEMPORARY BENCH MARK

ADDRESS:
7500 LOS VOLCANES ROAD NW
LEGAL DESCRIPTION:
LOT 2, MERIDIAN BUSINESS PARK
BENCH MARK:
ACS MONUMENT 10-K10 LOCATED AT THE SOUTHEAST CORNER OF UNSER BLDV. AND LOS VOLCANES ROAD
ELEVATION = 5142.79 FT (SLD 1929)

PONDS SHALL BE LANDSCAPED WITH GRAVEL AND FILTER CLOTH AS PER THE LANDSCAPE DRAWINGS



1 CONCRETE RUNDOWN
SCALE: 3/4" = 1'-0"

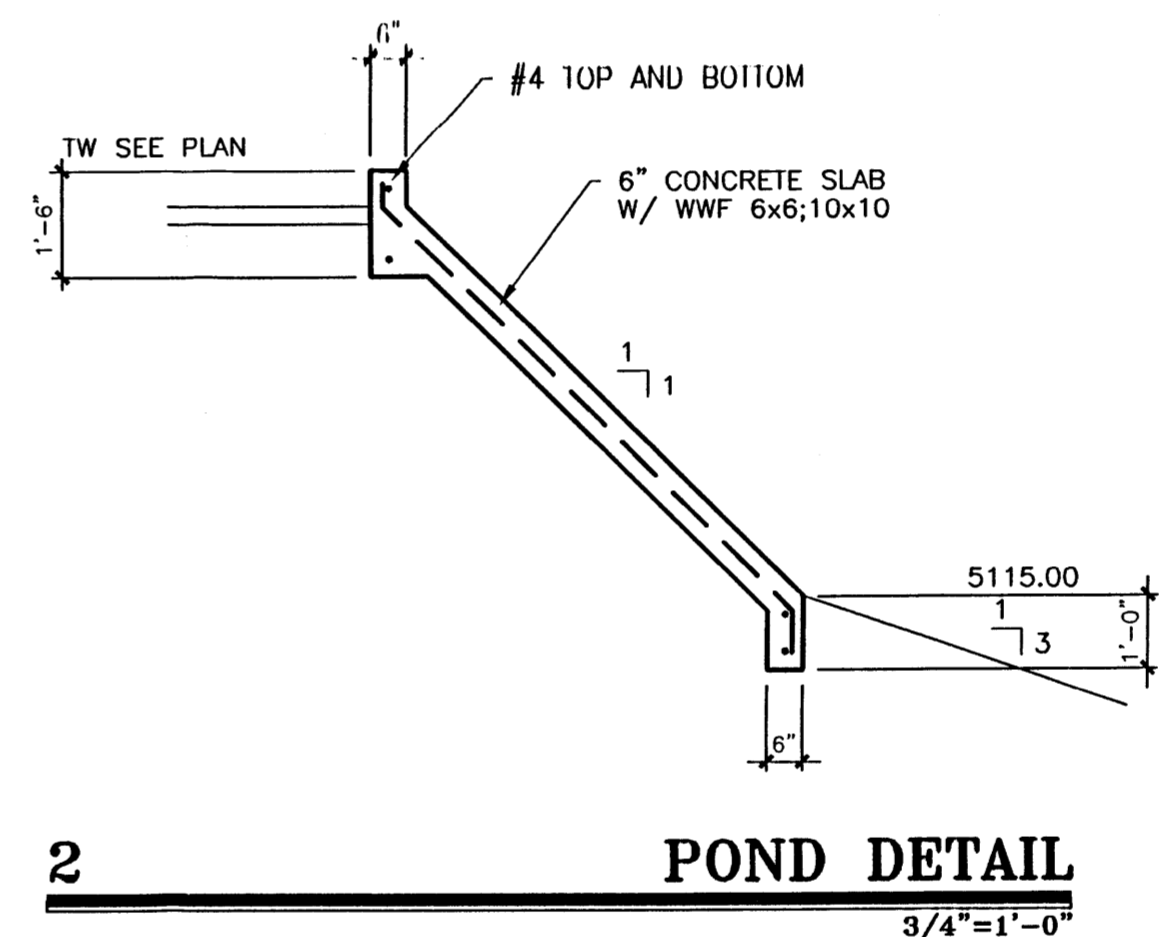


GRADING AND DRAINAGE PLAN - LOT 2

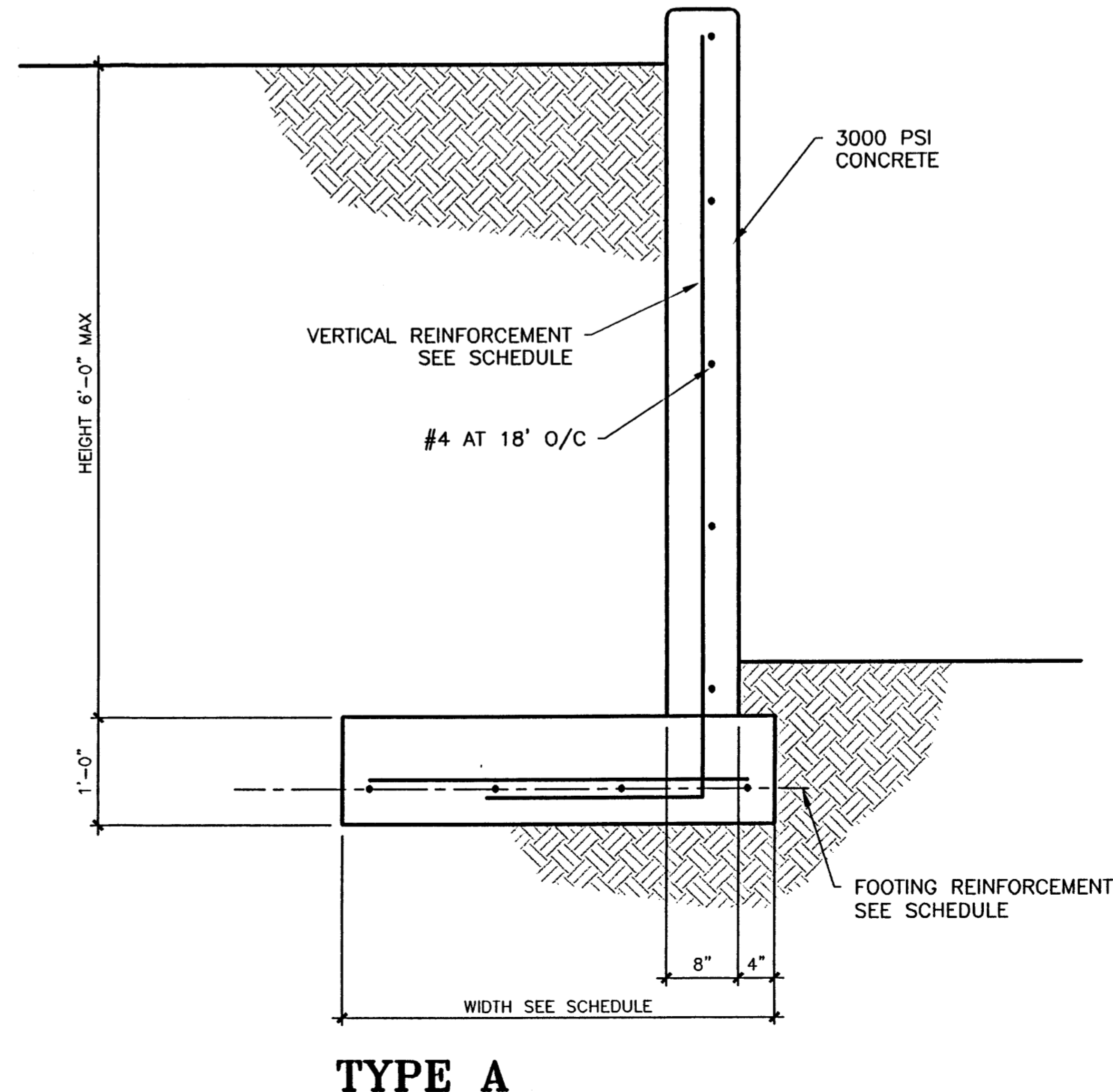
DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING THE LOT-2, MERIDIAN BUSINESS PARK GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:
1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS
THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE SOUTH SIDE OF MERIDIAN PLACE N.W. THE SITE IS UNDEVELOPED. THE LAND SLOPES FROM NORTHWEST TO SOUTHEAST AT AN APPROXIMATE SLOPE OF 2.2%. THE SITE WAS IN A FLOOD HAZARD ZONE, BUT THE CONSTRUCTION OF THE UNSER DIVERSION CHANNEL REMOVED THE SITE FROM THE FLOOD HAZARD ZONE.
THE MASTER DRAINAGE PLAN FOR THIS SUBDIVISION WAS PREPARED BY EASTERLING AND ASSOCIATES. THE MASTER PLAN ESTABLISHED A DISCHARGE RATE OF 0.10 CFS/ACRE AND REQUIRES TEMPORARY DIVERSION DITCHES AND PONDS TO CONTROL THE RUNOFF BE CONSTRUCTED ON EACH LOT.
THIS SITE IS HIGHER THAN THE LAND TO THE SOUTH AND EAST, AND THE STREET TO THE NORTH PREVENTS OFF SITE FLOWS FROM THAT DIRECTION. THE SITE TO THE WEST HAS BEEN DEVELOPED. THEREFORE THE OFF SITE FLOWS ARE NOT CONSIDERED SIGNIFICANT.

THE GRADING PLAN SHOWS:
1. THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
2. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
3. THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
4. THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.
THE PROPOSED IMPROVEMENTS CONSIST OF A WAREHOUSE / OFFICE WITH ASSOCIATED ASSOCIATED PARKING AND LANDSCAPING. THE SITE IS DIVIDED INTO THREE DRAINAGE BASINS. BASIN A TO THE NORTH, 24% OF THE SITE, BASIN B TO THE SOUTHWEST, 39% OF THE SITE, AND BASIN C TO THE SOUTHEAST, 37% OF THE SITE. BASIN A FLOWS TO A POND ALONG THE NORTH PROPERTY LINE. BASIN B FLOWS TO A POND AT THE SOUTHWEST CORNER, AND BASIN C FLOWS TO A POND AT THE SOUTHEAST CORNER. EACH POND HAS A CONTROLLED DISCHARGE TO THE PRIVATE STORM DRAIN SYSTEM. THE DISCHARGE IS CONTROLLED BY ORIFICES TO CONFORM TO THE DISCHARGE LIMIT OF 0.10 CFS/ACRE.
THE CALCULATIONS BELOW ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II. AS SHOWN BY THESE CALCULATIONS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE, BUT THE POND(S) WITH CONTROLLED OUTLETS WILL MITIGATE THE INCREASES. THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN.

CALCULATIONS
PRECIPITATION ZONE = 1
TOTAL SITE AREA = 3.4740 ACRES
BASIN A (NORTH)
AREA = 0.829 ACRES
EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.44(1.00) = 0.44 INCHES
V = 0.44 (0.829) / 12 = 0.031 ACRE FEET
Q = 1.29 (1.00) (0.829) = 1.07 CFS
DEVELOPED CONDITIONS
LAND TREATMENT B=24% D=76%
E = 0.67 (0.24) + 1.97 (0.76) = 1.66 INCHES
V = 1.66(0.829) / 12 = 0.115 ACRE FEET
Q = 1.29 (1.00) (0.829) (0.24) = 0.316 CFS
INCREASE IN VOLUME OF RUNOFF = 0.115 - 0.031 = 0.084 ACRE FT
INCREASE IN RATE OF RUNOFF = 3.16 - 1.07 = 2.09 CFS
REQUIRED VOLUME @ ELEV 5121.5
V = (0.115) (43560) = 5,009 CFS
V = 0.5*(4088+2574)*0.6+0.5*(2574+2*1227+2*727)=5,240 CF
ORIFICE SIZES
0.083 = 0.60 A √ 2 (32.2) (3.6) DIA = 1.29 INCHES
BASIN B (SOUTH WEST)
AREA = 1.363 ACRES
EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.44(1.00) = 0.44 INCHES
V = 0.44 (1.363) / 12 = 0.050 ACRE FEET
Q = 1.29 (1.00) (1.363) = 1.76 CFS
DEVELOPED CONDITIONS
LAND TREATMENT B=12% D=88%
E = 0.67 (0.12) + 1.97 (0.88) = 1.82 INCHES
V = 1.82 (1.363) / 12 = 0.207 ACRE FEET
Q = 1.29 (1.00) (1.363) (0.12) = 0.207 CFS
INCREASE IN VOLUME OF RUNOFF = 0.207 - 0.050 = 0.157 ACRE FT
INCREASE IN RATE OF RUNOFF = 5.58 - 1.76 = 3.83 CFS
REQUIRED VOLUME @ ELEV 5120.50
V = (0.207) (43560) = 8,993 CF
V = 0.5*(1653+1547)*0.5+0.5*(1547+2*(1477+1407+1336+1266+1196+861)+488)=9,360 CF
ORIFICE SIZES
0.1363 = 0.60 A √ 2 (32.2) (8.5) DIA = 1.33 INCHES
BASIN C (SOUTH EAST)
AREA = 1.282 ACRES
EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.44(1.00) = 0.44 INCHES
V = 0.44 (1.282) / 12 = 0.047 ACRE FEET
Q = 1.29 (1.00) (1.282) = 1.65 CFS
DEVELOPED CONDITIONS
LAND TREATMENT B=9% D=91%
E = 0.67 (0.09) + 1.97 (0.91) = 1.85 INCHES
V = 1.85 (1.282) / 12 = 0.198 ACRE FEET
Q = 1.29 (1.00) (1.282) (0.09) = 0.151 CFS
INCREASE IN VOLUME OF RUNOFF = 0.198 - 0.047 = 0.151 ACRE FT
INCREASE IN RATE OF RUNOFF = 5.33 - 1.65 = 3.68 CFS
REQUIRED VOLUME @ ELEV 5120.5
V = 0.5*(1795+1718)*0.5+0.5*(1718+2*(1641+1563+1484+1405+1326+822)+436)=8,831 CF
ORIFICE SIZES
0.1282 = 0.60 A √ 2 (32.2) (8.5) DIA = 1.29 INCHES



2 POND DETAIL
SCALE: 3/4" = 1'-0"



3 RETAINING WALL DETAIL
SCALE: 3/4" = 1'-0"

RETAINING WALL SCHEDULE

TYPE	RETAINED HEIGHT "H"	FOOTING WIDTH "W"	FOOTING REINFORCEMENT LONGITUDINAL	FOOTING REINFORCEMENT TRANSVERSE	WALL REINFORCEMENT
A	6'-0" MAX	4'-0"	FOUR #5	#4 AT 16" O/C	#5 AT 12" O/C
A	5'-0" MAX	3'-0"	THREE #5	#4 AT 32" O/C	#5 AT 16" O/C
A	3'-0" MAX	2'-0"	THREE #5	#4 AT 48" O/C	#5 AT 16" O/C

GRADING & DRAINAGE PLAN
NOVEMBER 30, 1999
1" = 30'-0"

CLAUDIO VIGIL ARCHITECTS
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NEW STORAGE FACILITY
7500 LOS VOLCANES
ALBUQUERQUE, NEW MEXICO

SHEET C-1

1305 Tijeras NW Albuquerque, NM 87102-2882
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