

SUMMARY OF REQUEST

WE REQUEST APPROVAL OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION WHICH PROPOSES THE CREATION OF 2 LOTS (4A & 8A1) FROM 5 EXISTING LOTS (4, 5, 6, 7A AND 8A). THE PROPOSED DEVELOPMENT WILL BE AN OFFICE COMPLEX IMMEDIATELY ADJACENT TO OSUNA RD.

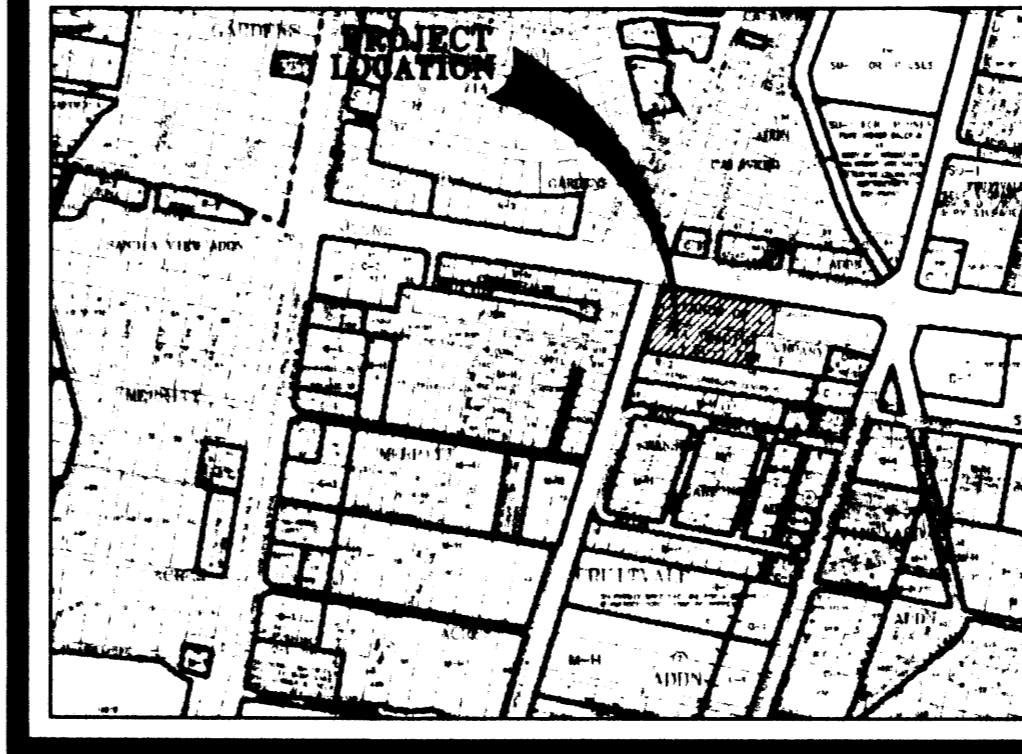
STANDARDS

MAXIMUM BUILDING HEIGHT - 34'
 MINIMUM BUILDING SETBACK
 FRONT (OSUNA RD) - 15'
 SIDE - 10'
 BACK - 10'
 MAXIMUM FAR BY LOT
 LOT 4A - 0.30
 LOT 8A1 - 0.30

SITE PLAN LEGEND

- INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING
- INDICATES EXTENT OF LANDSCAPE AREA
- INDICATES EXTENT OF NEW CONCRETE PAVING AND CONCRETE SIDEWALKS.
- INDICATES TEXTURED CONCRETE PEDESTRIAN CROSSWALK TYP.
- PROPERTY LINE.
- EXISTING EASEMENT
- NEW EASEMENT

VICINITY MAP



D4 ZONE ATLAS MAP E-15

SCALE: N.T.S.

SIGNATURE BLOCK

PROJECT NUMBER: 1000351
 APPLICATION CASE NUMBER: 07 PRS-70141
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED March 15, 2007 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS
DRS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:
 [Signature] DATE 8-1-07
 [Signature] DATE 8-1-07
 [Signature] DATE 8-1-07
 [Signature] DATE 8-1-07
 [Signature] DATE 1/25/08

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
 All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

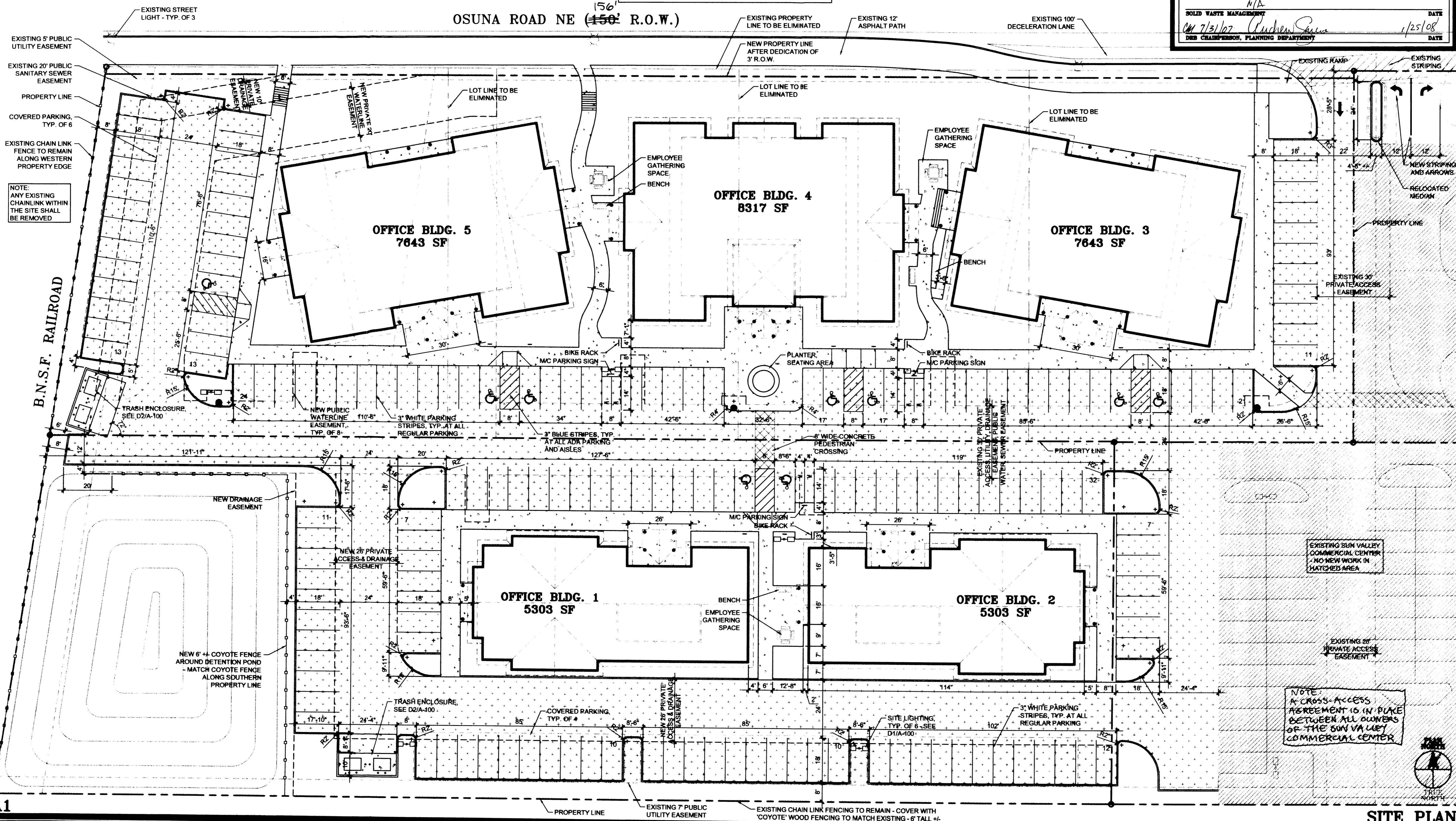
PROJECT NUMBER: 0622
 DRAWING FILE:
 DRAWN BY:
 CHECK BY:
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
 DATE: JULY 12, 2007

SITE DEVELOPMENT PLAN FOR SUBDIVISION

SHEET NUMBER
A-100

PARKING ANALYSIS:

PARKING REQUIRED: 34209 SF / 200 = 171
 PROVIDED: 172 SPACES INCL. 6 MOTORCYCLE SPACES
 ADA SPACES: 8 REQUIRED, 10 PROVIDED
 BICYCLE PARKING: 171 / 20 = 9 REQUIRED, 12 PROVIDED
LOT SIZE:
 148092 SF = 3.45 ACRES

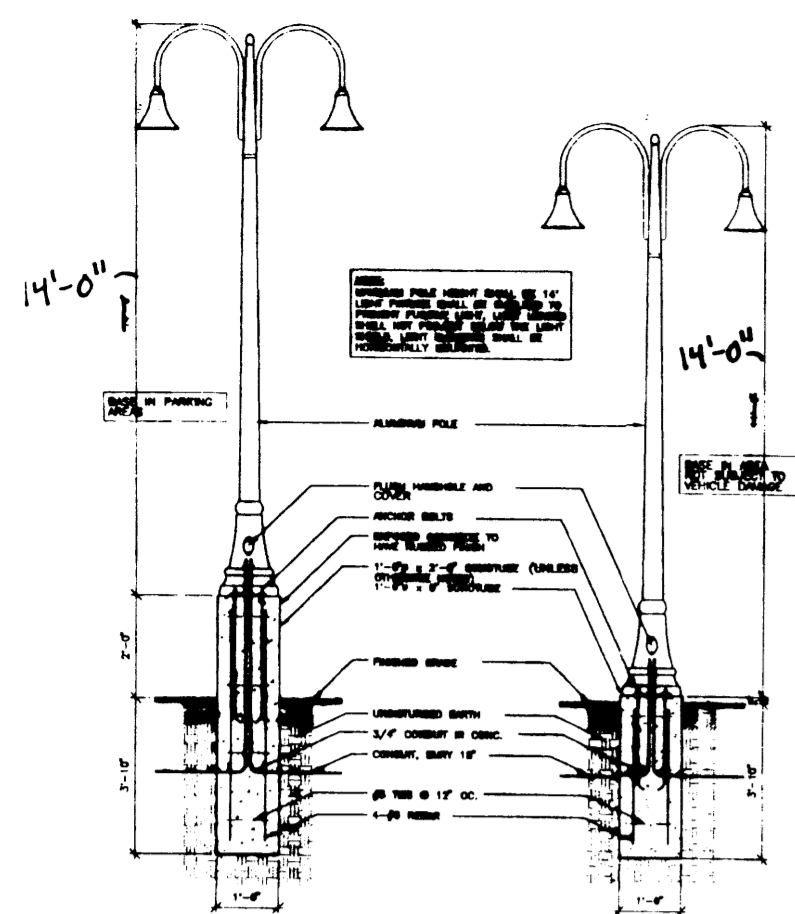


A1

SCALE: 1" = 20'

SITE PLAN

0 5 10 20 40



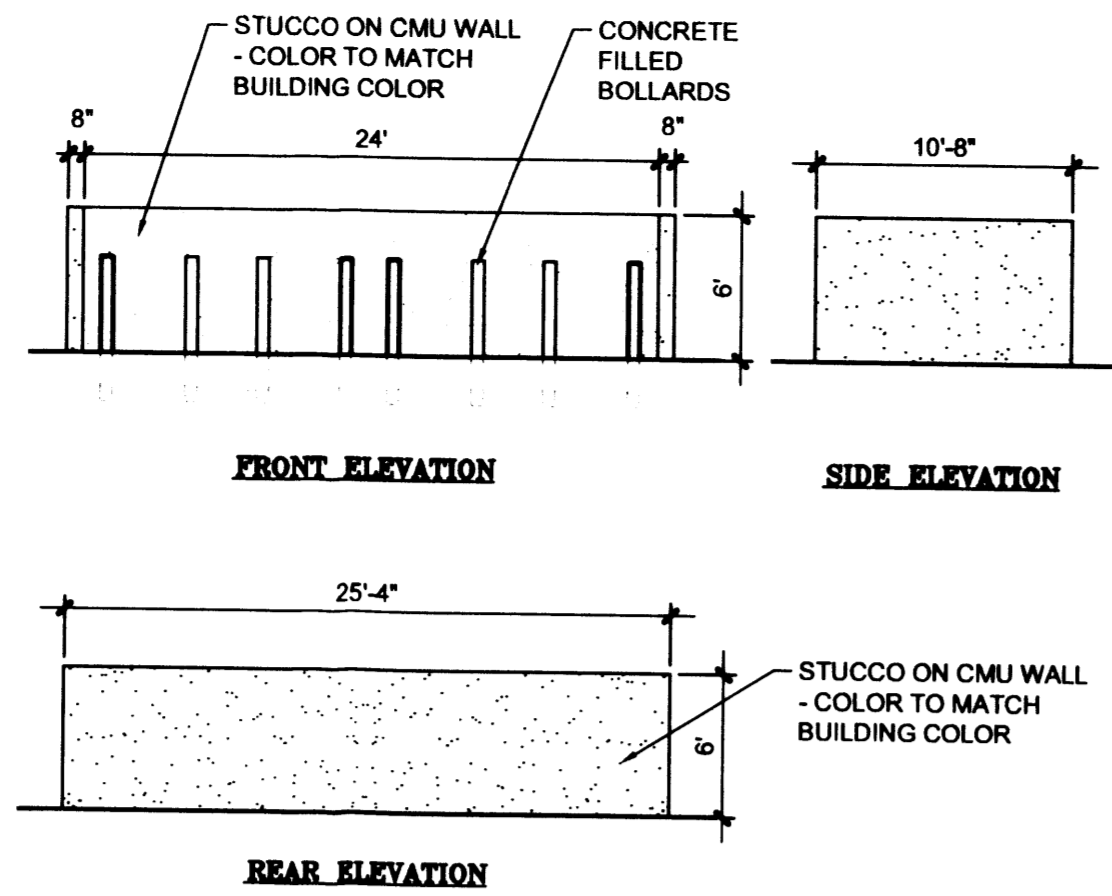
SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BLDG.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST REMAIN THE SAME FROM THE PREVIOUSLY APPROVED SITE AND ITS DETAILS.

D1 LIGHTING DETAIL

SCALE: N.T.S.



D2 TRASH ENCLOSURE DETAIL

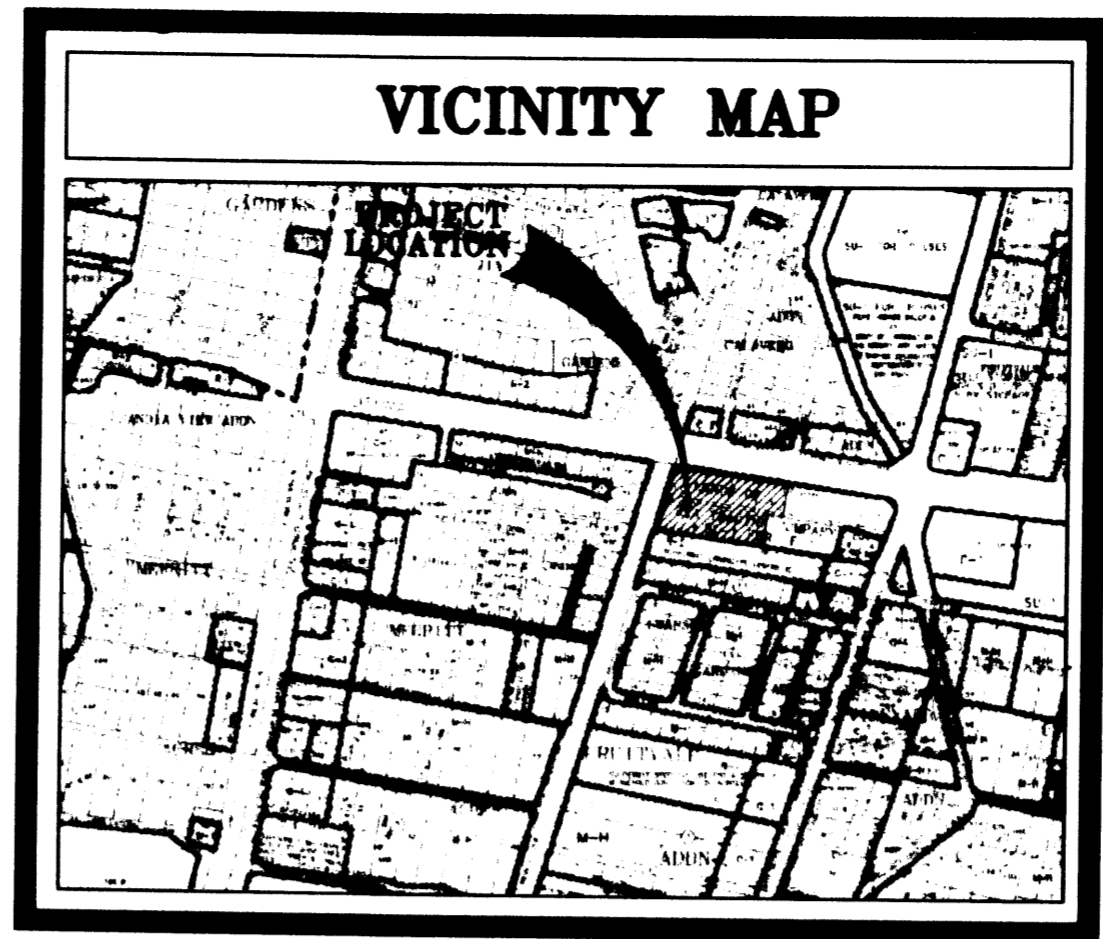
SCALE: 1/8" = 1'-0"

SITE PLAN LEGEND

- [Pattern] INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING
- [Pattern] INDICATES EXTENT OF LANDSCAPE AREA
- [Pattern] INDICATES EXTENT OF NEW CONCRETE PAVING AND CONCRETE SIDEWALKS.
- [Pattern] INDICATES TEXTURED CONCRETE PEDESTRIAN CROSSWALK TYP.
- PROPERTY LINE
- - - EXISTING EASEMENT
- - - NEW EASEMENT

PARKING ANALYSIS:
 PARKING REQUIRED: 34209 SF / 200 = 171
 PROVIDED: 172 SPACES INCL. 6 MOTORCYCLE SPACES
 ADA SPACES: 8 REQUIRED, 10 PROVIDED
 BICYCLE PARKING: 171 / 20 = 9 REQUIRED, 12 PROVIDED

LOT SIZE:
 148092 SF = 3.45 ACRES



D4 ZONE ATLAS MAP E-15

SCALE: N.T.S.

SIGNATURE BLOCK

PROJECT NUMBER: 1000351
 APPLICATION CASE NUMBER: 07DKB-70140

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED March 15, 2007 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

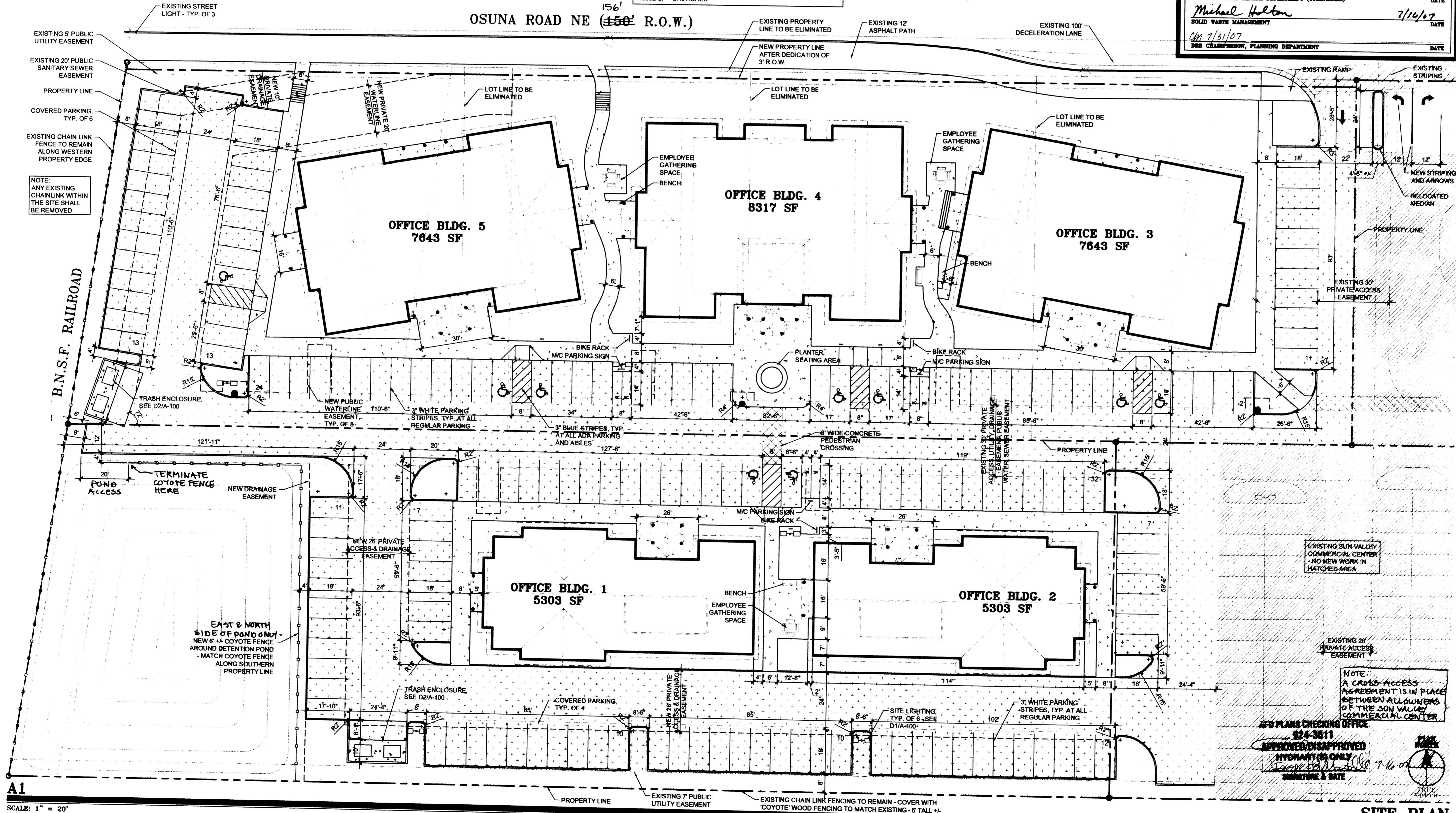
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6-1-07
<i>[Signature]</i>	8-1-07
<i>[Signature]</i>	8/1/07
<i>[Signature]</i>	2/2/08
<i>[Signature]</i>	7/16/07
<i>[Signature]</i>	7/31/07

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
 All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

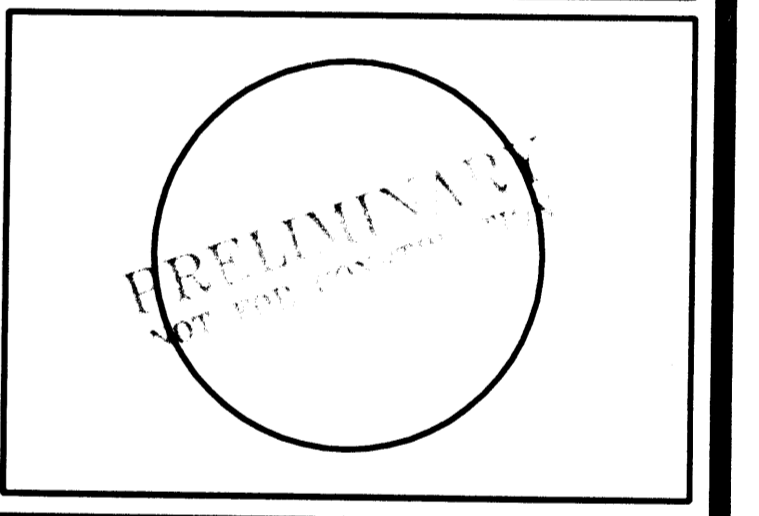


A1

SCALE: 1" = 20'

CONSULTANTS

PROFESSIONAL SEAL



SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

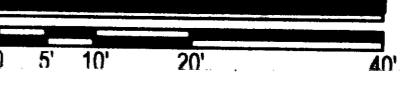
PROJECT NUMBER: 06205
 DRAWING FILE: LH
 DRAWN BY: LH
 CHECK BY:
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
 DATE: JULY 12, 2007

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

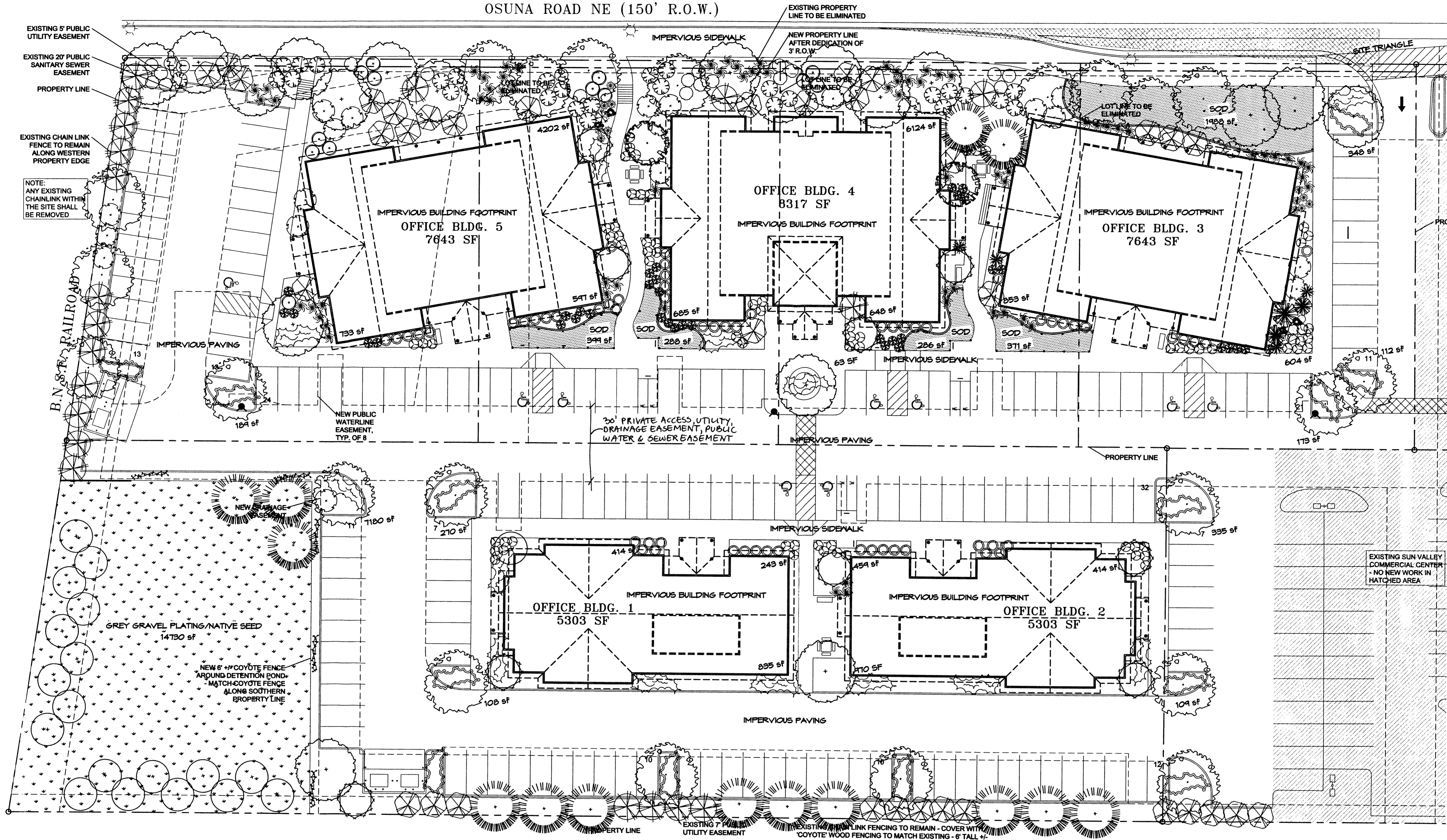
SHEET NUMBER
A-100

APPROVED/NOT APPROVED
 HYDRANT ONLY
 7-16-07
 [Signature]

SITE PLAN



OSUNA ROAD NE (150' R.O.W.)



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
cj	7-16-07	SITE REV/COMMENTS
LM	7-10-07	SITE REV
cj	6-7-07	SITE REV
RMM	02/27/07	SITE REV & COMMENTS
ADF	12/14/06	SITE PLAN REVISION

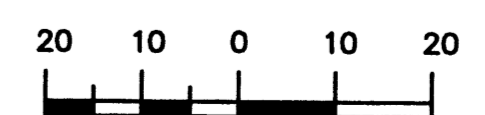
PROJECT NUMBER:
DRAWING FILE:
DRAWN BY: g
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
DATE: 7/16/07

SHEET TITLE
Landscape Plan

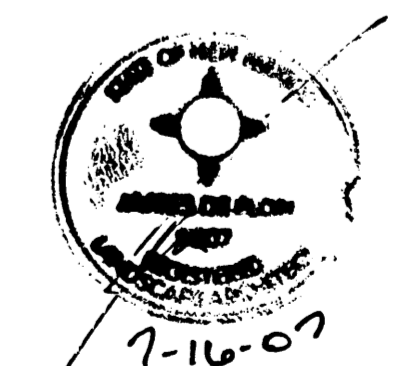
SHEET NUMBER
L-100



GRAPHIC SCALE



SCALE: 1"=20'



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1310

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO

cj	7-16-07	SITE REV/comments
LM	7-10-07	SITE REV
cj	6-7-07	SITE REV
RMM	02/27/07	SITE REV & COMMENTS
ADF	12/14/06	SITE PLAN REVISION
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	
DRAWING FILE:	
DRAWN BY:	q
CHECK BY:	
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2005
DATE:	7/16/07

SHEET TITLE	Landscape Notes A.d Details
-------------	-----------------------------

SHEET NUMBER	L-101
--------------	-------

PLANT LEGEND

Plant legend listing various species with their symbols and specifications. Includes: ASH (H) C & HONEY LOCUST (M) 19, AUSTRIAN PINE (M) 14, CHITALPA (M) 22, GAMBEL OAK (M) 2, DESERT MALLOW (L) 9, NEW MEXICO OLIVE (L) 19, PALM YUCCA (L) 3, OGOTILLO (L) 1, SILVERBERRY (M) 20, APACHE PLUME (L) 21, BUTTERFLY BUSH (M) 15, BLUE MIST SPIREA (M) 12, RED YUCCA (L) 4, ARP ROSEMARY (M) 61, SPANISH BROOM (M) 40, AUTUMN SAGE (M) 4, RUSSIAN SAGE (M) 15, CHAMISA (L) 30, MAIDENGRASS (M) 10, WILDFLOWER 66, REGAL MIST (M) 37, CREEPING ROSEMARY (L) - Rosmarinus officinalis 'Prostrata', BANK'S ROSE (M) 6, HONEYSUCKLE (M) 26, BRICK EDGING, OVERSIZED GRAVEL, COMMERCIAL GRADE STEEL EDGE, SOD WITH POP UP SPRINKLER, SANTA FE BROWN GRAVEL WITH FILTER FABRIC, GREY GRAVEL FLATING WITH BROADCAST SEED.

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Osuna Rd
Required 20 Provided 22

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

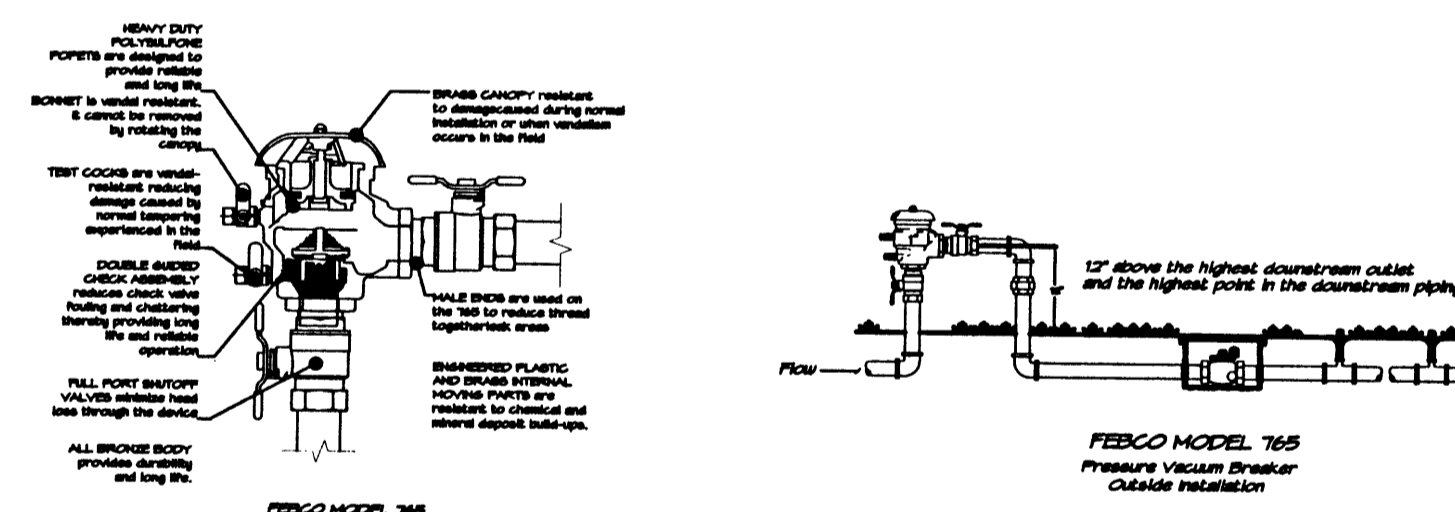
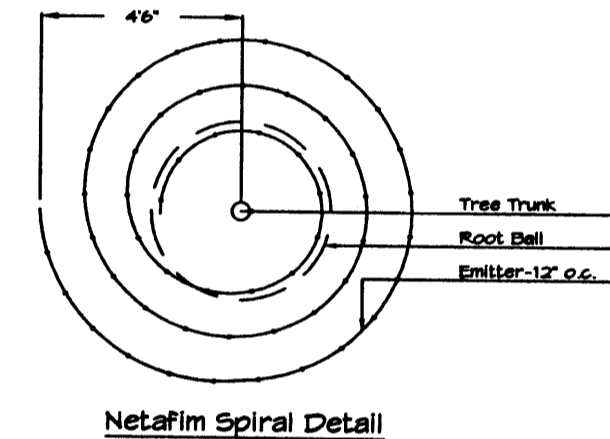
1 Shade tree per 10 spaces
Required 18 Provided 18

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	155092	square feet
TOTAL BUILDINGS AREA	34209	square feet
NET LOT AREA	120883	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	18132	square feet
TOTAL BED PROVIDED	26451(59%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	20473	square feet
TOTAL GROUND COVER PROVIDED	22909(84%)	square feet
	84% of Total Bed Provided/Exceeds 75% requirement	
TOTAL SOD AREA	3332 (7%)	square feet
TOTAL NATIVE SEED AREA	14730(34%)	square feet
TOTAL LANDSCAPE PROVIDED	44519 (37%)	square feet
	37% of Net Lot Area/Exceeds 15% Requirement	



GENERAL NOTES:

- 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- 2. TOP OF ROOTBALL INDICATED LEVEL AT FINISH TREE PLANT GROUND AND DIG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE INCREASED BY ONLY A ONE INCH LAYER OF SOIL.
- 3. PRIOR TO BACKFILLING TREE, ALL PIPE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- 4. PRIOR TO BACKFILLING ALL BURIAL SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL
- C. 3" DEPTH OF GRAVEL MULCH
- D. UNDISTURBED SOIL

TREE PLANTING DETAIL

NTS



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All content, ideas, concepts and drawings herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



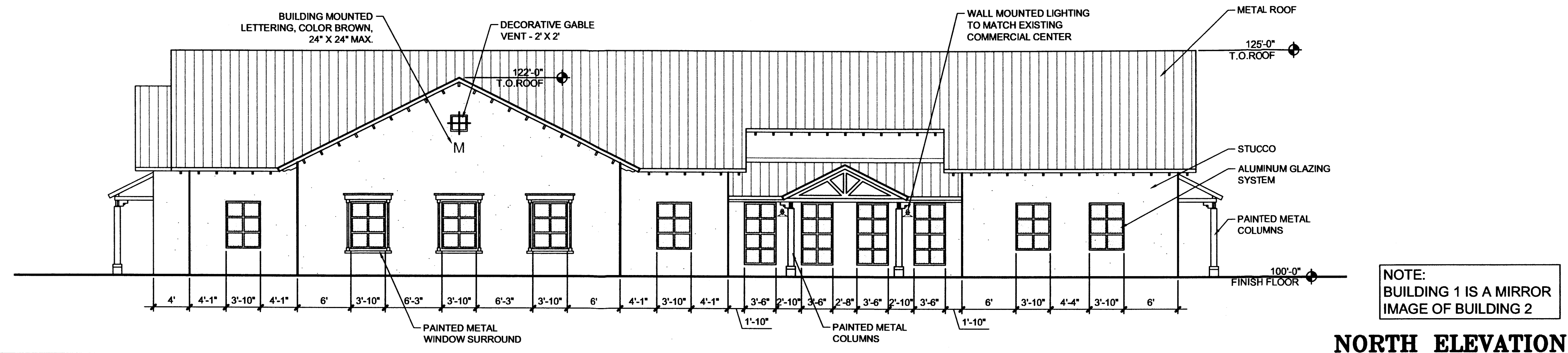
SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: 06205
DRAWING FILE:
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
DATE: JULY 12, 2007

SHEET TITLE
EXTERIOR ELEVATIONS BUILDING 2

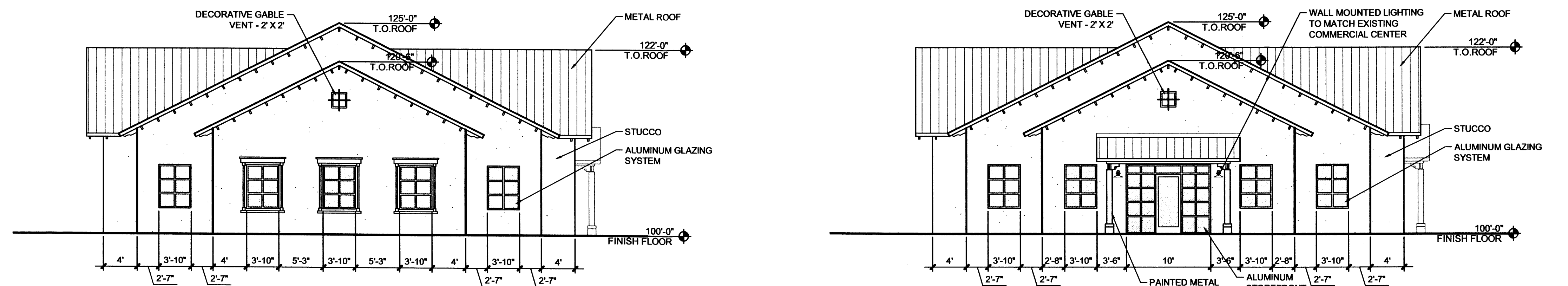
SHEET NUMBER
A-201



D2

SCALE: 1/8" = 1'-0"

NORTH ELEVATION



C2

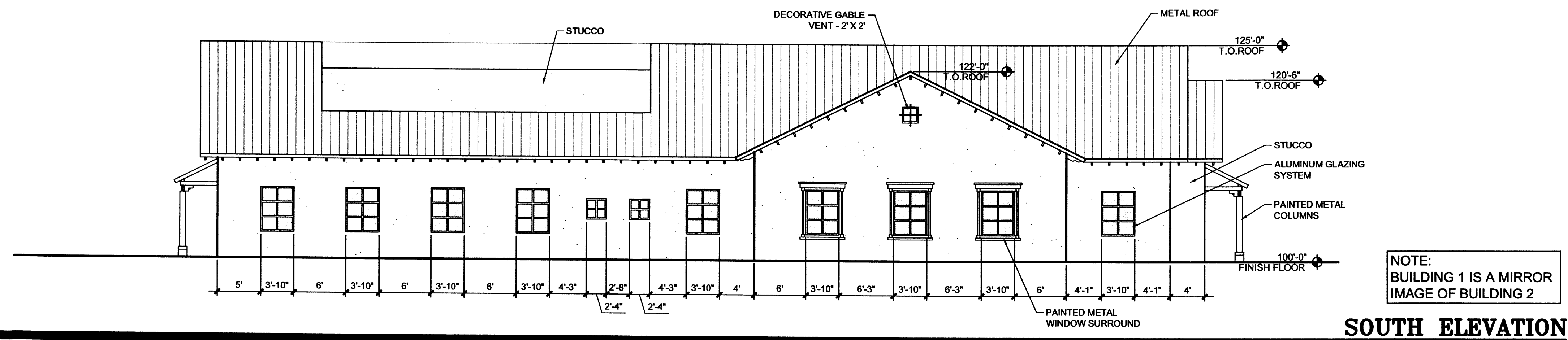
SCALE: 1/8" = 1'-0"

EAST ELEVATION - BLDG. 1

C4

SCALE: 1/8" = 1'-0"

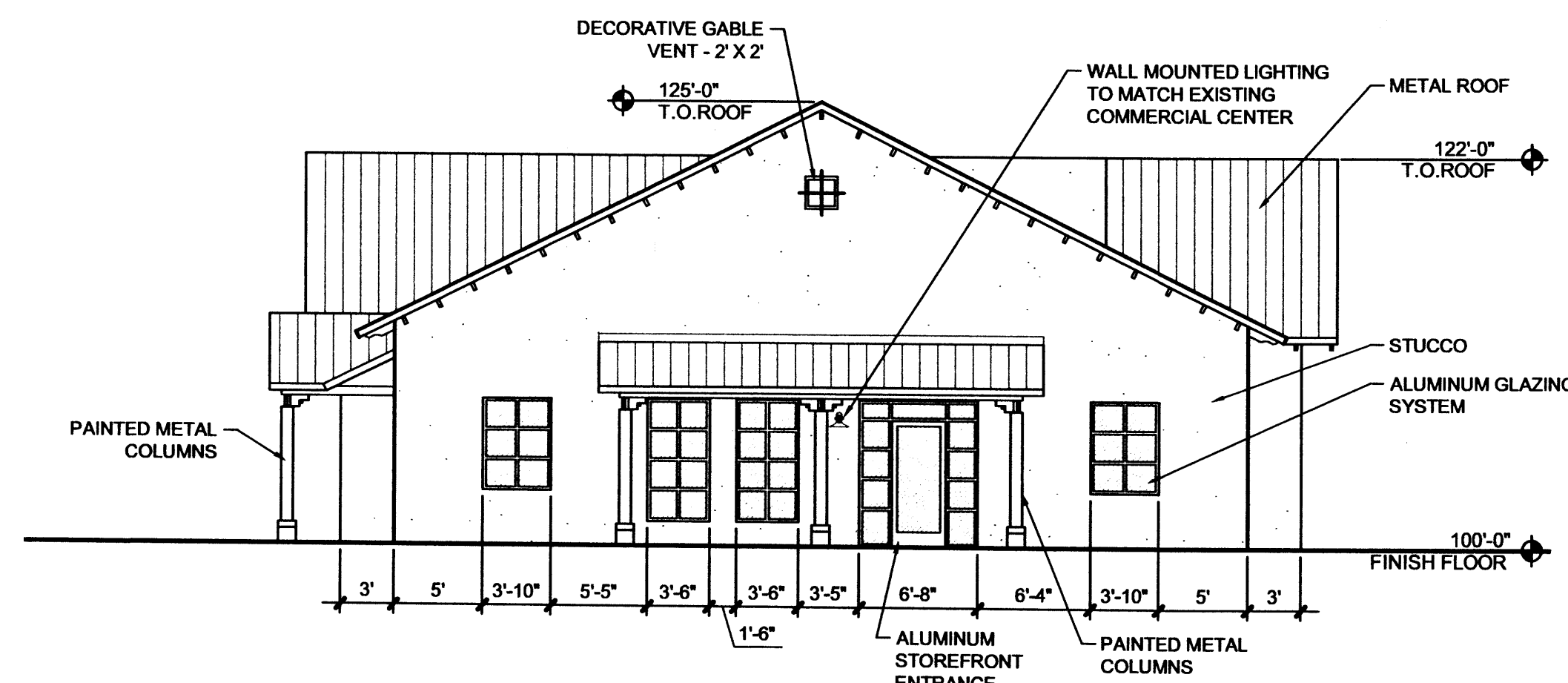
EAST ELEVATION - BLDG. 2



B2

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION



A2

SCALE: 1/8" = 1'-0"

WEST ELEVATION

MATERIAL	COLOR
STUCCO:	TAN
ALUMINUM STOREFRONT:	DARK GREEN
PAINTED METAL:	DARK GREEN
GLAZING:	BLUE-GREEN SEMI-REFLECTIVE
METAL ROOF:	GALVALUM

COLOR LEGEND

A1

0 2 4 8 16



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C. Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



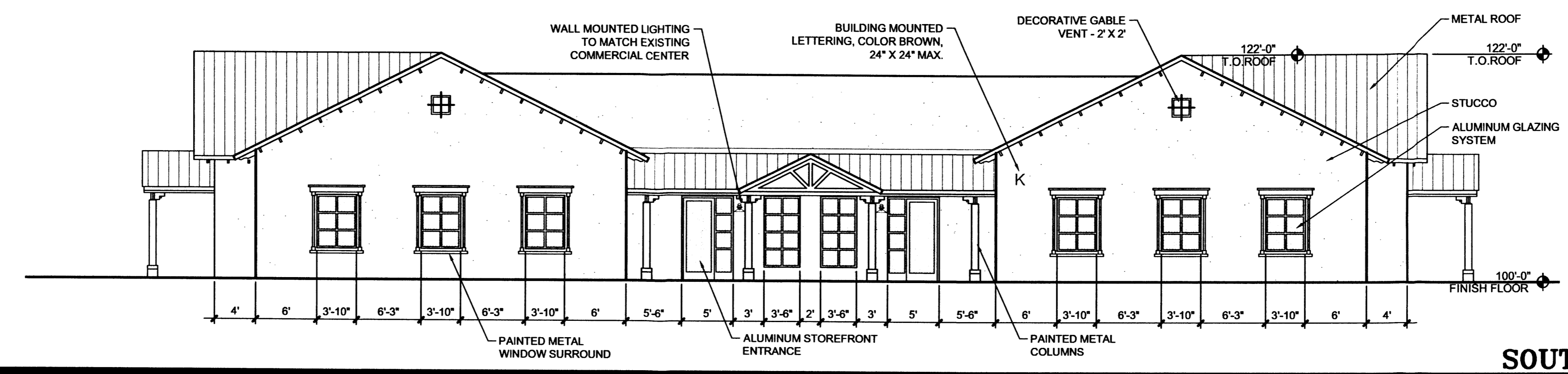
SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

SHEET TITLE
EXTERIOR ELEVATIONS BUILDINGS 3 & 5

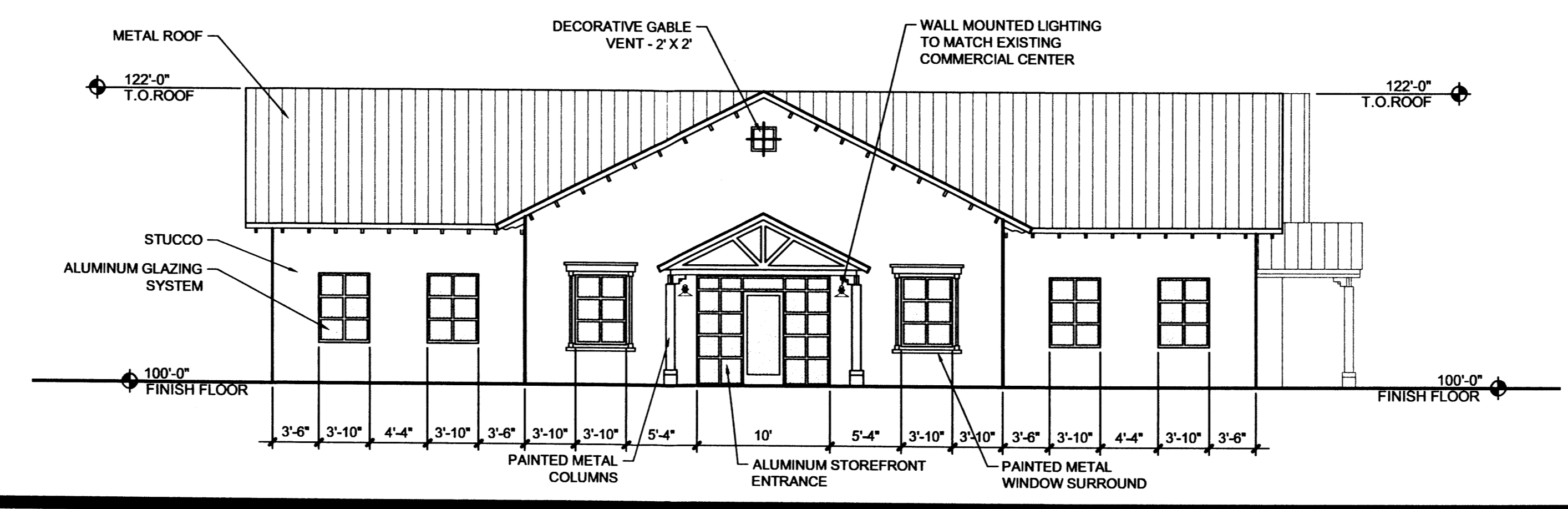
SHEET NUMBER
A-202



D2

SCALE: 1/8" = 1'-0"

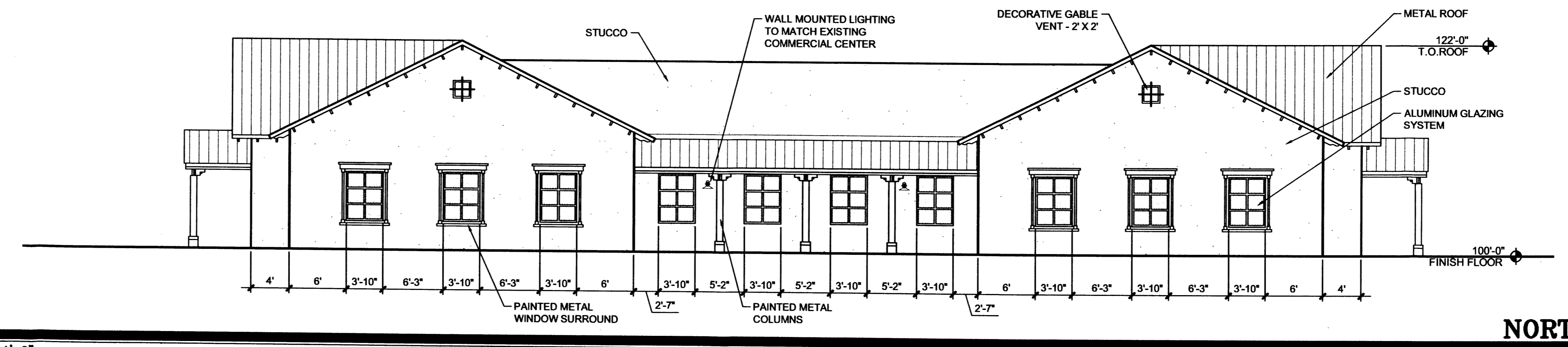
SOUTH ELEVATION



C2

SCALE: 1/8" = 1'-0"

WEST ELEVATION



B2

SCALE: 1/8" = 1'-0"

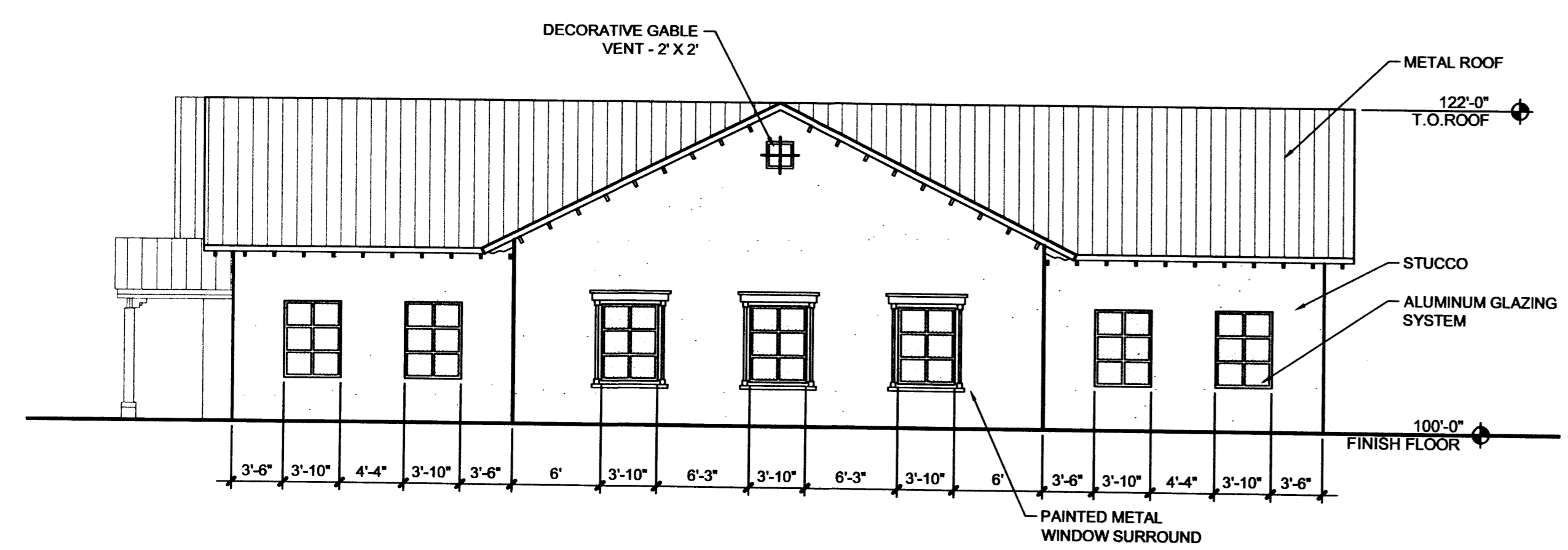
NORTH ELEVATION

MATERIAL COLOR

STUCCO:	TAN
ALUMINUM STOREFRONT:	DARK GREEN
PAINTED METAL:	DARK GREEN
GLAZING:	BLUE-GREEN SEMI-REFLECTIVE
METAL ROOF:	GALVALUM

COLOR LEGEND

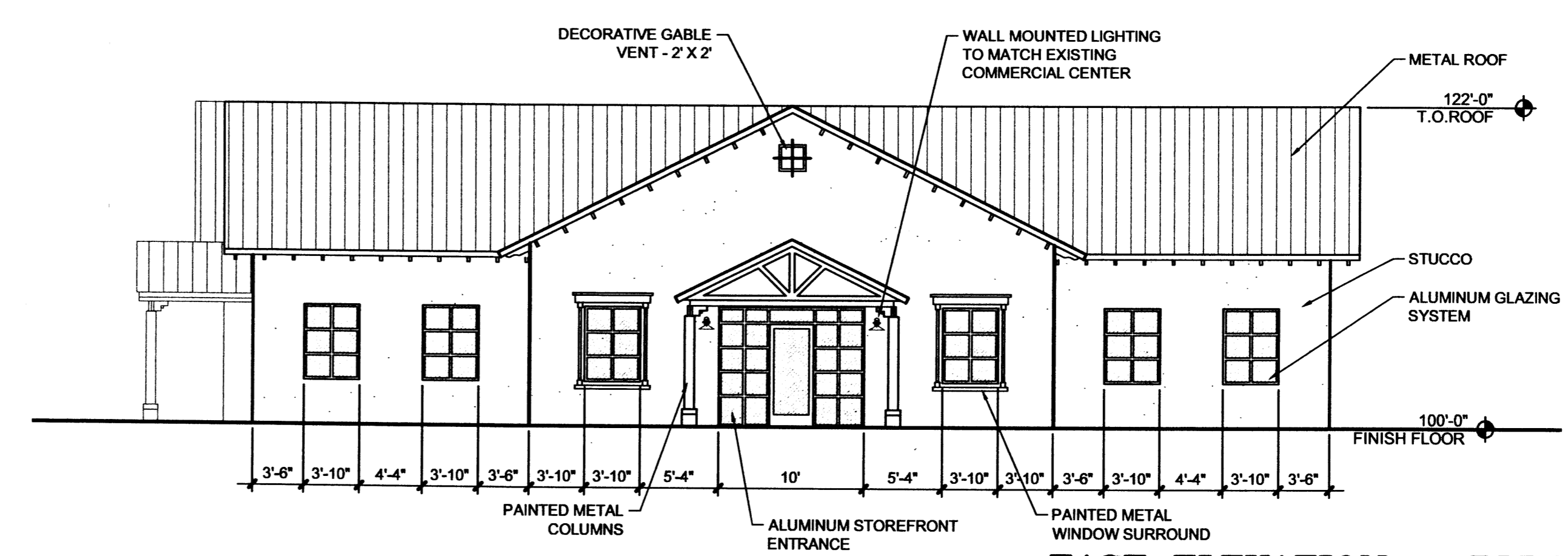
B1



A1

SCALE: 1/8" = 1'-0"

EAST ELEVATION - BLDG. 3



A4

SCALE: 1/8" = 1'-0"

EAST ELEVATION - BLDG. 5



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



SUN VALLEY COMMERCIAL CENTER

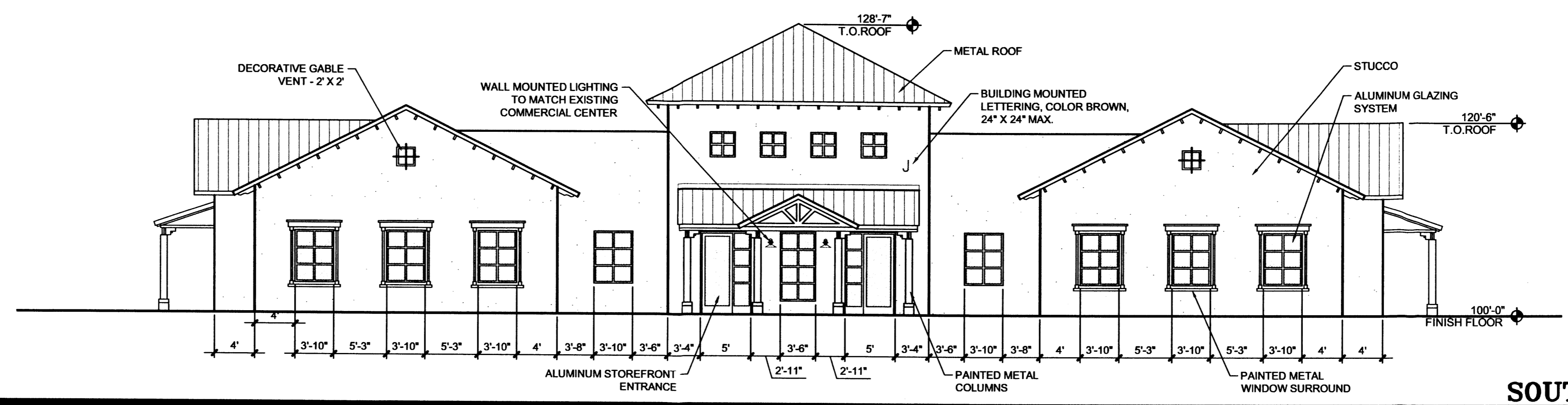
OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06205
DRAWING FILE:
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS, 2007
DATE: JULY 12, 2007

SHEET TITLE
EXTERIOR ELEVATIONS BUILDING 4

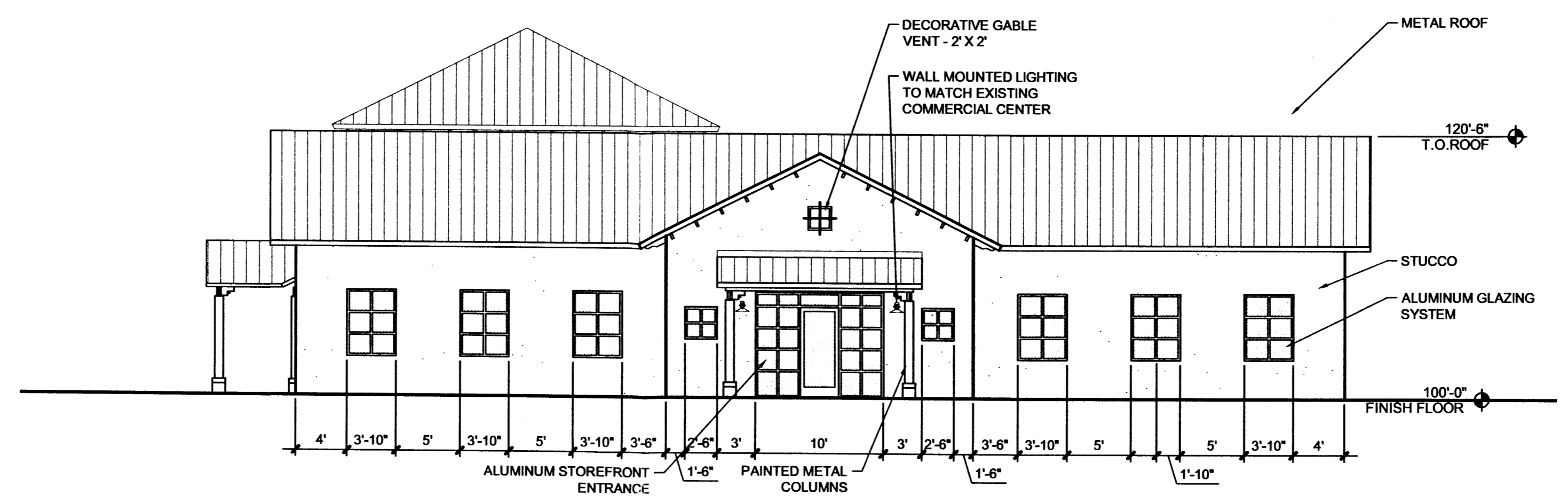
SHEET NUMBER
A-203



D2

SCALE: 1/8" = 1'-0"

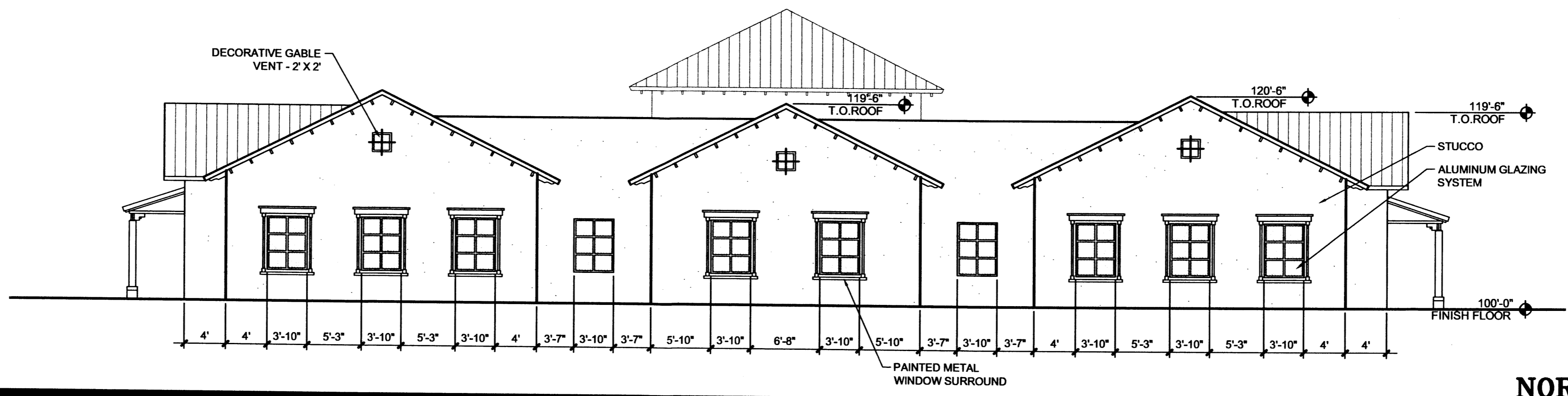
SOUTH ELEVATION



C2

SCALE: 1/8" = 1'-0"

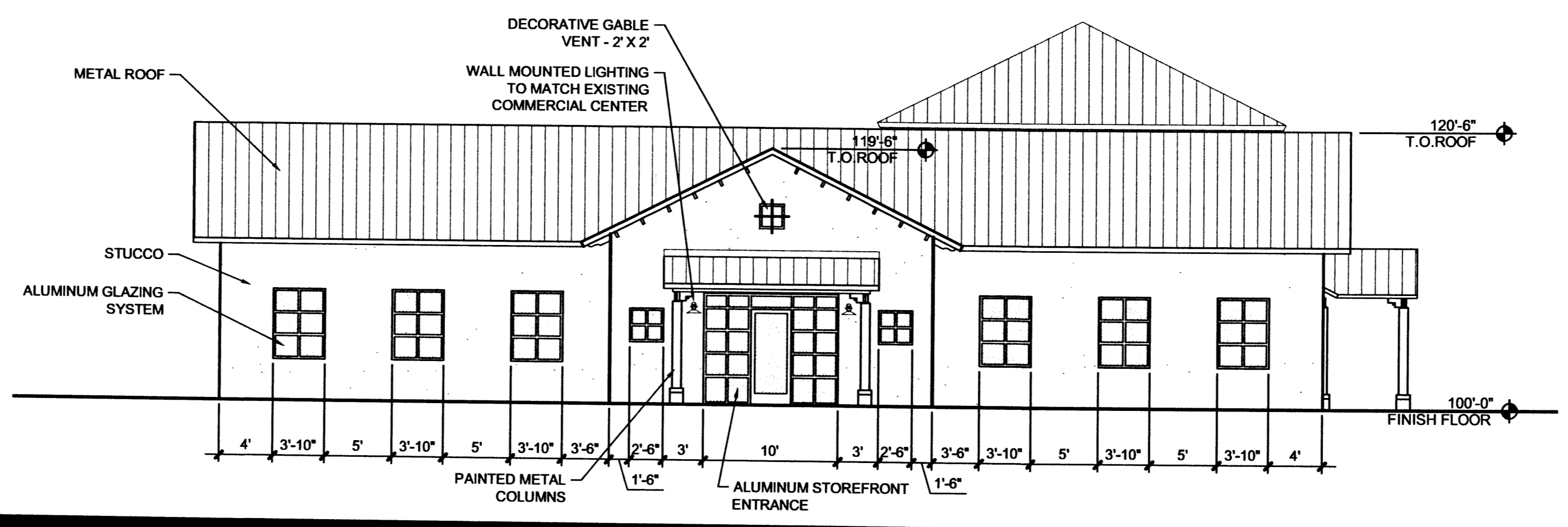
WEST ELEVATION



B2

SCALE: 1/8" = 1'-0"

NORTH ELEVATION



A2

SCALE: 1/8" = 1'-0"

EAST ELEVATION

MATERIAL	COLOR
STUCCO:	TAN
ALUMINUM STOREFRONT:	DARK GREEN
PAINTED METAL:	DARK GREEN
GLAZING:	BLUE-GREEN SEMI-REFLECTIVE
METAL ROOF:	GALVALUM

COLOR LEGEND

A1

