

VICINITY MAP

**LIGHTING NOTE:**  
 LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARAPETS AND WALLS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT LIGHT DOES NOT DIRECTLY SHINE ON ANY PUBLIC PLACE. LIGHT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT-CANDLES AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOT-CANDLES MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

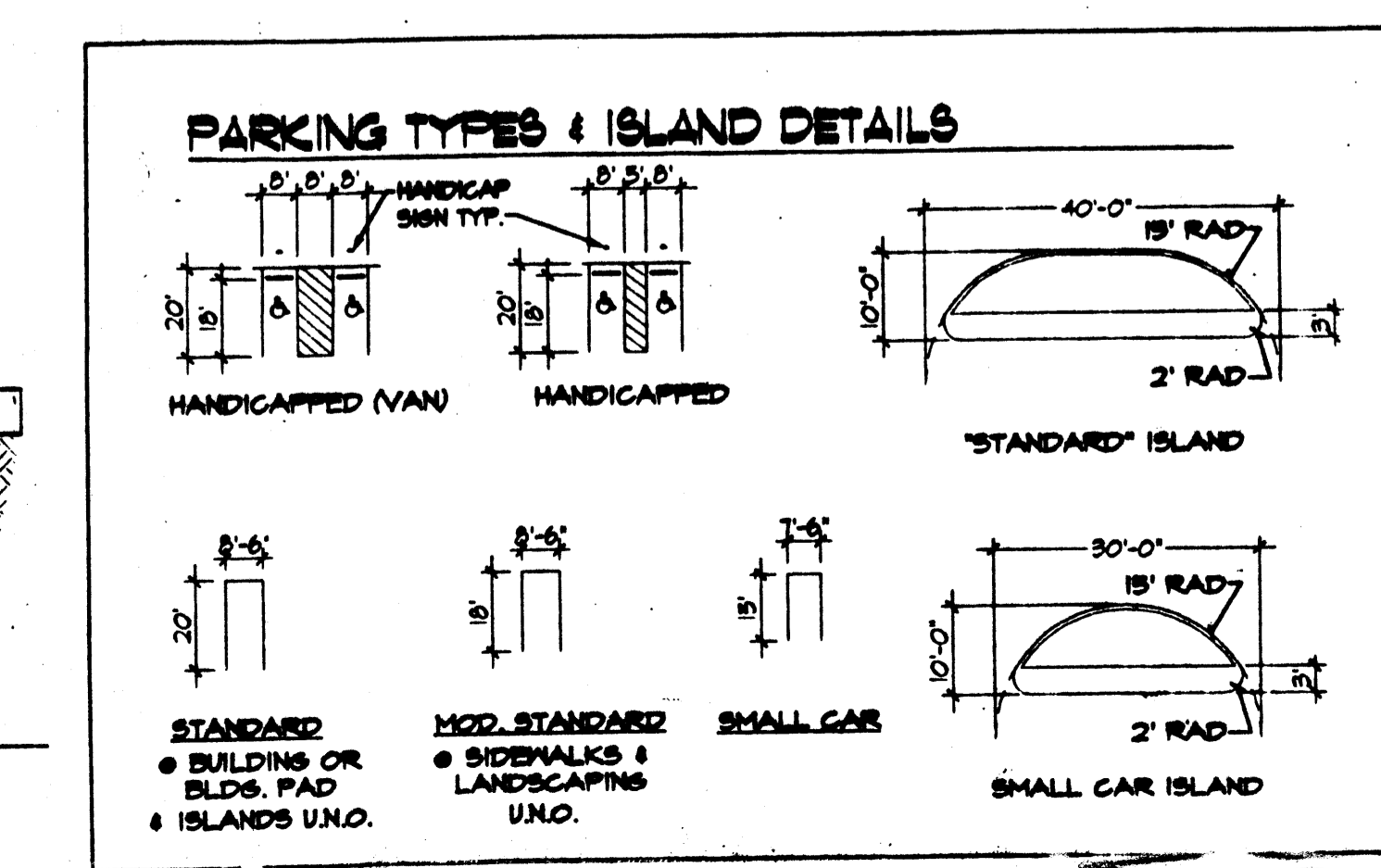
**SCOPE OF EQUIPMENT NOTE:**  
 ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED.

DUKE CITY INDUSTRIAL AREA  
 TRACT B  
 (02-04-63, C5-148)  
 RESIDENTIAL TRAILER PARK

COMMERCIAL PROPERTY  
 DUKE CITY INDUSTRIAL AREA  
 LOT C-2  
 GLASS SHOP

DUKE CITY INDUSTRIAL AREA  
 LOT C-3-B

**SITE PLAN**  
 SCALE 1"=40'-0"



- LEGEND:**
- METAL FENCE
  - CHAIN LINK FENCE
  - SANITARY SEWER MANHOLE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER METER
  - ELECTRIC MANHOLE
  - ELECTRIC PEDESTAL
  - OVERHEAD ELECTRIC LINE
  - STREET LIGHT
  - POWER POLE
  - ANCHOR
  - △ EXISTING LOT LIGHT (BASE ONLY) TO BE REMOVED
  - TRAFFIC LIGHT
  - TRAFFIC SIGNAL OR FULLBOX
  - ◇ NEW POLE LIGHT
  - GAS VALVE
  - WATERLINE
  - SAS
  - SANITARY SEWER LINE
  - STORM SEWER LINE
  - SIGN

**SIGNATURE BLOCK**

2-99-76 / 1000375  
 THIS PLAN IS CONSISTENT WITH THE OFFICIAL DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON Aug. 17, 1999  
 Planning Director: *[Signature]* 12/30/03 DATE  
 Approved as to the requirements: *[Signature]* 12-09-2003 DATE  
 TRAFFIC ENGINEER: *[Signature]* 3-27-00 DATE  
 City Engineer: *[Signature]* 9-22-99 DATE  
 City Engineer: *[Signature]* 3-27-00 DATE  
 City Engineer: *[Signature]* 3-20-00 DATE  
 WATER RESOURCES: *[Signature]* 11/30/00 DATE  
 NEW MEXICO UTILITIES: *[Signature]* DATE

REVISION AUGUST 19, 1999 / DRB SUBMITTAL 9/14/99

job title  
**THE SHOPS AT CARLISLE**  
 CARLISLE BLVD AND CLAREMONT AVE  
 ALBUQUERQUE, NM

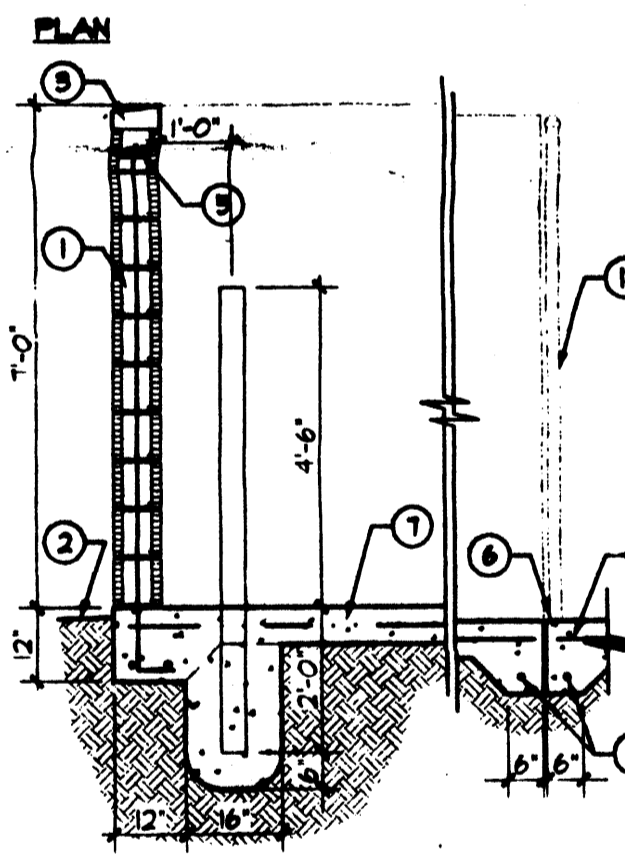
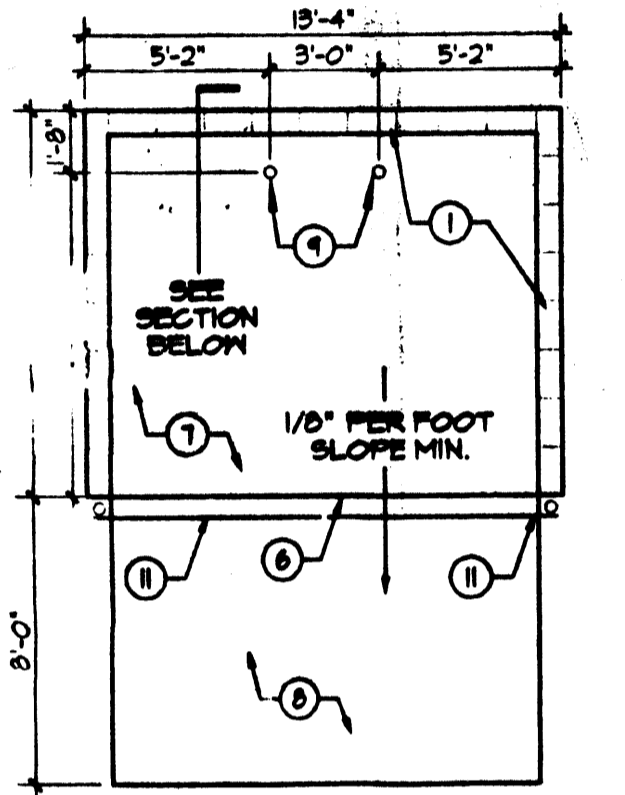
PROJECT MANAGER: JORGE DE LA TORRE, MA 99022 9/14/99  
 sheet title: SITE PLAN FOR BUILDING PERMIT  
 by: NAP

de la torre architecte, p.a. d/b/a  
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 building 3 suite 110  
 albuquerque nm 87110 • 505-883-5671

START DATE 6/10/99

**REFUSE NOTES**

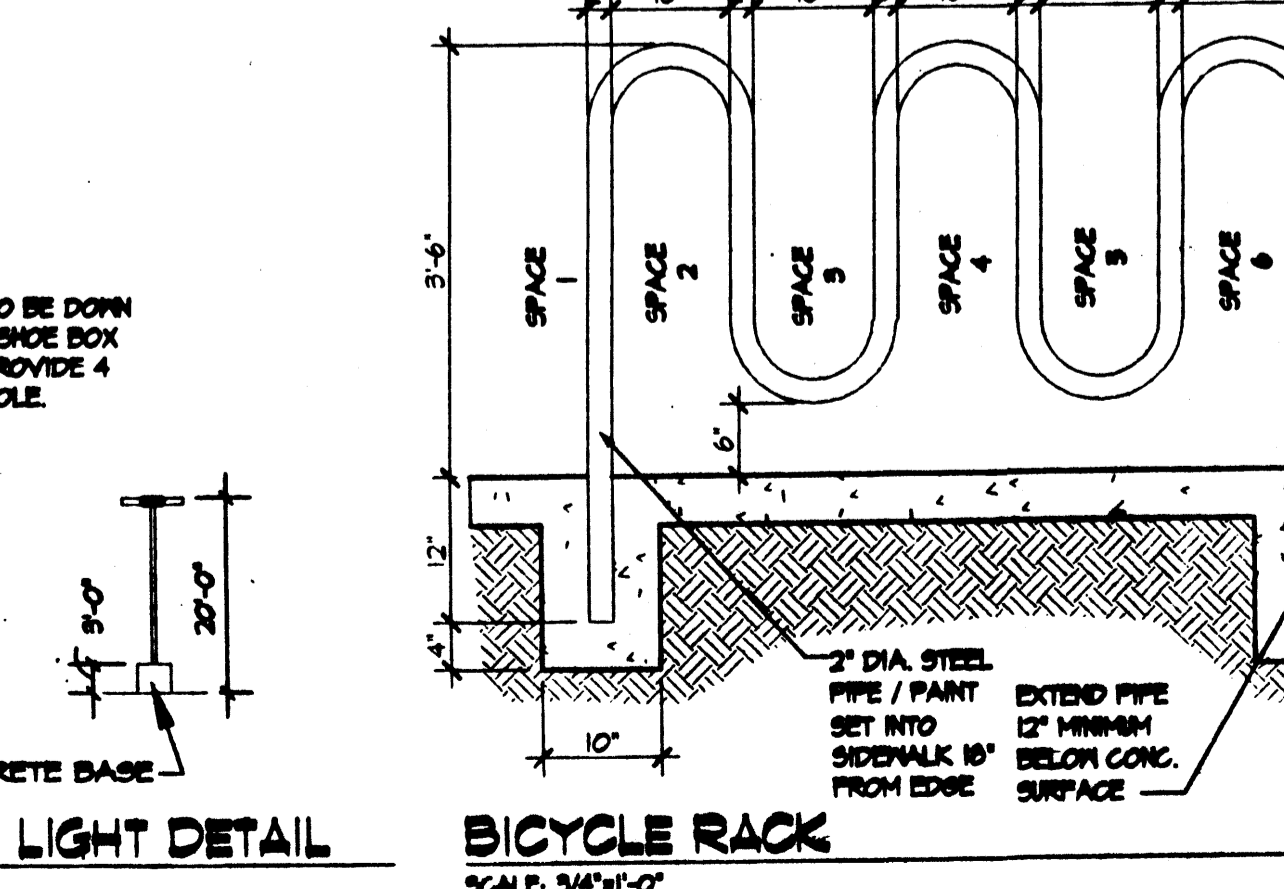
1. 6" SPLIT FACE CMU BLOCK WALL FINISH - COLOR TO MATCH BLDG.
2. FINISH GRADE
3. MASONRY GAP
4. 1" #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2" #5 BARS @ BOTTOM OF 12" TURNDOWNS
5. 2" #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2" #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 52" O.C. VERTICAL GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL
6. 1/2" EXPANSION JOINT MATERIAL
7. 6" CONCRETE SLAB, 4000 PSI, 5/4" AGGREGATE WITH 6X6 - 10X10MM IV 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2" #5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
8. 6" CONCRETE APRON, 4000 PSI, 5/4" AGGREGATE WITH 6X6 - 10X10MM IV 6" TURNDOWN EDGES (W/ #5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
10. ASPHALT PAVING - SEE PAVING SECTION



**REFUSE ENCLOSURE**  
 NOT TO SCALE

**RADIUS LEGEND**

- |             |              |              |               |
|-------------|--------------|--------------|---------------|
| ① 1' RADIUS | ④ 4' RADIUS  | ⑦ 15' RADIUS | ⑩ 45' RADIUS  |
| ② 2' RADIUS | ⑤ 5' RADIUS  | ⑧ 20' RADIUS | ⑪ 50' RADIUS  |
| ③ 3' RADIUS | ⑥ 10' RADIUS | ⑨ 25' RADIUS | ⑫ 150' RADIUS |



**POLE LIGHT DETAIL**  
**BICYCLE RACK**  
 SCALE 3/4"=1'-0"

THIS SITE PLAN IS BEING AMENDED TO SHOW SUBDIVISION OF TRACTS C-4 AND C-5 INTO TRACTS C-4-A AND C-4-B AND TO ADD A PRIVATE SEWER BASEMENT FOR THE BENEFIT OF TRACT C-5 AND TO SHOW A CROSS LOT DRAINAGE BASEMENT FOR THE BENEFIT OF TRACT C-2.

THIS SITE PLAN HAS BEEN AMENDED TO SHOW:  
 1. DIVISION OF TR. C-4 INTO TRACTS C-4-A AND C-4-B  
 2. ADDITION OF 20' PRIVATE SEWER BASEMENT FOR BENEFIT OF TR. C-4-B  
 3. ADDITION OF 20' PRIVATE SEWER BASEMENT FOR BENEFIT OF TR. C-4-A AND C-5

- NOTES:**
1. NOT USED
  2. 12" HIGH TALL SPLIT FACE CMU WALL TO AROUND PERIMETER COLORS TO MATCH BUILDING
  3. RELOCATE CITY LIGHT POLE
  4. EXISTING 10" DIA. 150' UTILITY EASEMENT TO BE ABANDONED
  5. NOT USED
  6. RELOCATE EXISTING POWER POLE
  7. NEW 6" SIDEWALK AND PEDESTRIAN CONNECTION TO CENTER, PROVIDE TEXTURE & ASPHALT
  8. PAINTED DIRECTION ARROWS
  9. NEW SIGN PLANTER - NO PARAPET IN RED WITH 14" 5" TALL LETTERS EVERY 25' O.C.
  10. NEW SIGN PLANTER (INTERIOR DIMENSIONS)
  11. DRIVE-THRU LANE
  12. NOT USED
  13. 4" WIDE US WEST OVERHEAD EASEMENT TO BE ABANDONED
  14. PEDESTRIAN ACCESS - SCORED SURFACE
  15. ONE-WAY DRIVE
  16. 15' WIDE PAVK WITH SCORED CONCRETE PATTERN - 15' WIDE
  17. NOT USED
  18. LANDSCAPE PLANTER, TYPICAL
  19. REUSE CONTAINER PER DETAIL THIS SHEET
  20. BICYCLE RACK PER DETAIL THIS SHEET
  21. NEW POLE LIGHT - SEE DETAIL THIS SHEET
  22. EXISTING STREET TRAFFIC LIGHT TO BE DELETED - IS NECESSARY
  23. EXISTING BUILDING FOR PRIVATE DRIVE
  24. CLOSE EXISTING DRIVE AND PROVIDE 2' SIDEWALKS & LANDSCAPING AS SHOWN
  25. NOT USED
  26. ZONING BOUNDARIES TO BE REMOVED
  27. WALL-MOUNTED SITE LIGHT @ 12' AFF. 30' O.C. TYP. SEE LIGHTING NOTE
  28. EXISTING FIRE HYDRANT TO BE REMOVED
  29. NEW FIRE HYDRANT LOCATION
  30. NEW 10' WIDE SIDEWALK
  31. 5'-1" CONCRETE PAD FOR BUS BENCH - VERIFY FINAL LOCATION WITH TRANS. AUTHORITY
  32. DELETED
  33. NEW BENCHES AND TABLES AS SHOWN
  34. REMOVE EXISTING CURB AND RAMP AND REPLACE WITH 30' RADIUS CORNER WITH H.C.
  35. REMOVE EXISTING C&G DETAILS

**GENERAL NOTES**

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT INDICATED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND CURB IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONTRACT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2426
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL NEAR CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. REMOVE ALL FENCES, POSTS, ETC. ON SITE FACING CARLISLE AND CLAREMONT

**PROJECT INFORMATION**

LOCATION: NORTHWEST CORNER OF CARLISLE BOULEVARD NE CLAREMONT AVENUE NE  
 DEVELOPER: DRD OF PARADISE  
 LEGAL DESCRIPTION: A PORTION OF TRACT DUKE CITY INDUSTRIAL AREA WITHIN SECTION 10, TOWNSHIP 10 NORTH, RANGE 8 EAST 104th CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM  
 CURRENT ZONING: C-2, C-1-P  
 PROPOSED: C-2  
 TOTAL ACREAGE: 6.2540 ACRES  
 ZONING ATLAS PAGE: H-16-2

**BUILDING LEGEND**

NEW BUILDING	A	5,947 S.F.	PHASE I
TOTAL		5,947 S.F.	
NEW OFFICE	B-1	6,000 S.F.	PHASE I
NEW BUILDING	B-2	12,000 S.F.	PHASE I
NEW BUILDING	B-3	9,000 S.F.	FUTURE
NEW BUILDING	B-4	15,000 S.F.	FUTURE
NEW BUILDING	B-5	2,400 S.F.	FUTURE
TOTAL		34,400 S.F.	
NEW RETAIL	C	1,000 S.F.	FUTURE
NEW BUILDING		4,000 S.F.	FUTURE
TOTAL		5,000 S.F.	
NEW RETAIL	D	7,500 S.F.	FUTURE
NEW BUILDING		7,500 S.F.	FUTURE
TOTAL		15,000 S.F.	

**PARKING REQUIRED:** 20 RESTAURANT + 282 (RETAIL) = 302 SPACES  
 282 \* 10 (BUS DISCOUNT) = 2,820 SPACES (8 HC. SPACES)

**PARKING PROVIDED:** 282 SPACES (11 HC. SPACES)  
 (54 SMALL CAR - 12 ALLOWED)

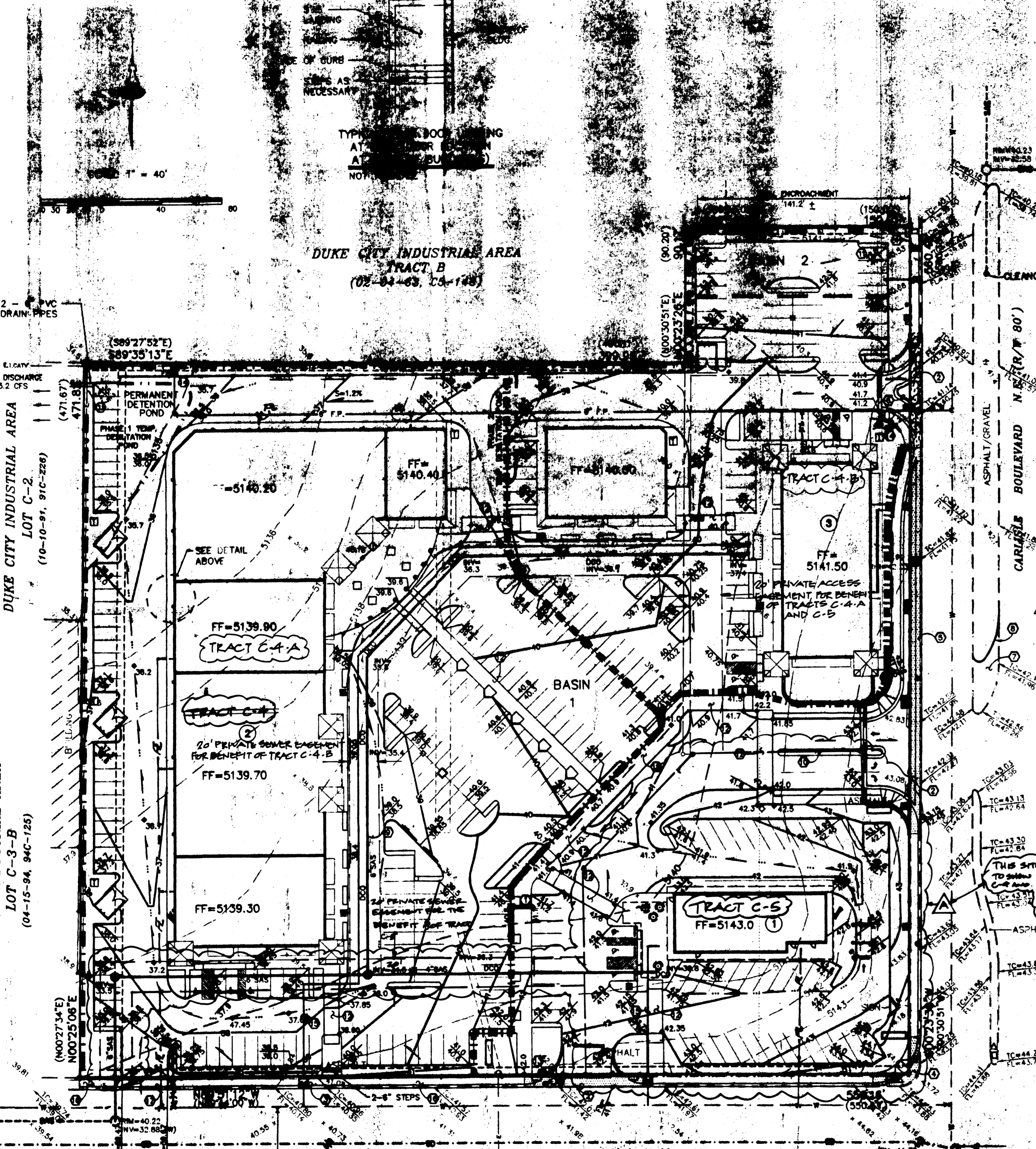
NOTE: THE APPLICANT MAY PURSUE AN ADMINISTRATIVE APPROVAL OF THE CONVERSION OF FIVE PARKING SPACES FOR OUTDOOR PATIO SEATING IF AND WHEN AN ADDITIONAL RESTAURANT PERMITS TO LOCATE AT THE SHOPPING CENTER. IN SUCH INSTANCE, THE ELIMINATION OF PARKING SPACES COULD OCCUR EVEN IF THE RESULT WAS A DEFICIENCY OF PARKING UNDER THE PROVISIONS OF THE ZONING CODE.

**BICYCLE PARKING:** 15 SPACES NEEDED / 55 SPACES PROVIDED

**LANDSCAPING REQUIRED:** TOTAL SITE = 272,424 S.F. - 36,832 S.F. BUILDING AREA = 235,592 NET LOT AREA \* \* \* 52,452 S.F.

**LANDSCAPING PROVIDED:**

PROJ 1000375



- CURE AND GUTTER
- WALL OR NEAR WALL
- BOLLARD
- SIGN
- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- LOT LIGHT (BASE ONLY)
- TRAFFIC LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- GAS VALVE
- WATERLINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- S140 - MAJOR CONTOUR
- S141 - MINOR CONTOUR
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- SPOT ELEVATION
- EROSION CONTROL BERM
- DETENTION POND
- DRAINAGE BASIN LIMITS
- SIDEWALK CULVERT
- PHASE LIMITS
- MINOR CONTOUR
- MAJOR CONTOUR
- SPOT ELEVATION
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- EXISTING CURB & GUTTER, PCC AND DRIVEPADS TO BE REMOVE
- FLOW DIRECTION ARROW
- SWALE
- SAS SERVICE LINE INVERT ELEVATION
- ON-SITE PRIVATE SAS
- DOUBLE CLEANOUT
- WATER METER
- FIRE HYDRANT
- PHASE NUMBER
- FIRE LINE



**VICINITY MAP**  
 LEGAL DESCRIPTION: TRACT C, DUKE CITY INDUSTRIAL AREA  
 AREA: 6.25 AC, T22250 SF  
 RECORDING: ACS 1 1/2" ALUMINUM DISK STAMPED "12-117" LOCATED IN THE NNE QUADRANT OF CARLISLE BLVD. & PHOENIX AVE. S.E. ELEVATION=5147.78

**FLOOD ZONE INFORMATION:** AS PER DESIGNATED ON PAGE #351 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAPS DATED SEPTEMBER 20, 1996, NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAN.

**EXISTING CONDITIONS:** CONDITIONS HAVE NOT CHANGED FROM THE APPROVED REPORT H18/D116. THIS PARCEL OF LAND WAS PREVIOUSLY DEVELOPED AS A LOT, AND WAS ALMOST TOTALLY ASPHALT PAVEMENT. ALTHOUGH RECENTLY CLEAR, ALL OF THE EXISTING IMPROVEMENTS IN ANTICIPATION OF REDEVELOPMENT. THE EXISTING CONDITION HYDROLOGICALLY IS THAT OF FULL DEVELOPMENT. THE MAJORITY OF THE SITE, 5.09 ACRES, IS DIVIDED INTO TWO BASINS. BASIN 1 CONSISTS OF 3.77 ACRES, AND BASIN 2 CONSISTS OF 1.32 ACRES. THE RUNOFF FROM BASIN 1 FLOWS TO NORTHWEST CORNER, THERE IT IS ALLOWED TO FLOW ONTO THE BLAKE'S SITE. BASIN 2 CONSISTS OF APPROXIMATELY 0.16 ACRES AND HAS A DRVE FLOW OF 0.69 CFS.

**THIS PARCEL HAS NOT BEEN THE SUBJECT OF A DRAINAGE PLAN, BUT ACCOUNTED FOR IN THE DRAINAGE PLAN FOR THE PARCEL TO THE NORTH. THE ACCEPTED OFFSITE CONTRIBUTING BASIN, THE DRAINAGE PLAN FOR THE "BLAKE'S MAINTENANCE BUILDING" PARCEL, IS IN FILE H-16/D10 PROVIDES FOR THE RUNOFF FROM THIS PARCEL (CALCULATED AS 25.22 CFS) ACCEPTED AS AN OFFSITE FLOW. NO OFFSITE FLOWS CROSS THIS SITE.**

**PROPOSED CONDITIONS:** THE SITE IS PLANNED TO BE DEVELOPED WITH COMMERCIAL BUSINESS BUILDINGS, AND A MCDONALD'S. THE REMAINDER PARCEL WILL BE PARKING AREA AND LANDSCAPING.

**BASINS 1 & 2 WILL REMAIN IN THEIR CURRENT CONFIGURATION WITH WATER CHECKS AT EACH ENTRY. BASIN 1 WILL GENERATE A TOTAL FLOW OF 28.37 CFS. BASIN 2 WILL GENERATE A TOTAL FLOW OF 0.69 CFS. THE PROPERTY WILL LIMIT THE RUNOFF TO THE ALLOWABLE DISCHARGE RATE OF 28.37 CFS. BASIN 2 WILL CONTINUE TO DISCHARGE 0.69 CFS TO CARLISLE BLVD. WATER BLOCKS LOCATED AT THE ENTRANCES WILL ACCOUNT FOR ABOUT 0.1 CFS TO THE ADJACENT STREETS.**

**DEVELOPMENT OF THE SITE IS PLANNED IN PHASES. THE FIRST PHASE WILL BE LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY. THIS PHASE WILL CONSIST OF 1.409 ACRES. THE RUNOFF FROM THIS PORTION OF THE SITE WILL BE 6.11 CFS AND WILL BE ALLOWED TO DISCHARGE FREELY ACROSS THE REMAINDER OF THE SITE. RUNOFF WILL PASS THROUGH A SMALL DETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE PROPERTY BEFORE DISCHARGING TO THE "BLAKE'S MAINTENANCE BUILDING" SITE.**

**THE SECOND PHASE OF DEVELOPMENT (3.889 ACRES) WILL CONSIST OF THE WESTERN HALF OF THE SITE. THE REQUIRED DETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE WILL BE CONSTRUCTED AT THIS TIME. A DESILTATION POND ALONG THE WESTERN BOUNDARY OF PHASE 2 WILL ALSO BE CONSTRUCTED FOR THE UNDEVELOPED RUNOFF. PHASE ONE FLOWS WILL BE ALLOWED FREE DISCHARGE ACROSS THE SECOND PHASE.**

**THE FINAL PHASE OF DEVELOPMENT WILL BE LOCATED IN THE NORTHEAST CORNER OF THE PROPERTY. THE TEMPORARY DESILTATION POND CONSTRUCTED WITH PHASE 2 WILL BE REMOVED AND FLOWS WILL BE ALLOWED TO FREELY DISCHARGE TO THE WEST. THIS PHASE WILL ALSO INCLUDE THE DEVELOPMENT OF BASIN 2. A LANDSCAPED RUNDOWN AND SIDEWALK CULVERT WILL CONVEY THE FLOWS TO CARLISLE BLVD.**

**PROPOSED HYDROLOGY:**  
 PRECIPITATION ZONE: 2  
 LAND TREATMENT: 85% D 15% B  
 Outflow 1 = 6.08 AC (4.70(0.85) + 2.28(0.15)) = 28.37 CFS  
 Outflow 2 = 0.16 AC (4.70(0.85) + 2.28(0.15)) = 0.69 CFS

7-01-03  
 THIS SITE PLAN HAS BEEN AMENDED TO SHOW  
 1. DIVISION OF TR. C-4 INTO TRACTS C-4-A AND C-4-B  
 2. ADDITION OF 20' PRIVATE SEWER EASEMENT FOR BENEFIT OF TRACT C-4-A  
 3. ADDITION OF 20' PRIVATE ACCESS EASEMENT FOR BENEFIT OF TRACTS C-4-A AND C-5

**KEYED CONSTRUCTION NOTES**

1. SIDEWALK CULVERT PER COA STD DWG #2236.
2. REMOVE & DISPOSE EXISTING CURB & GUTTER AND/OR PCC DRIVEPAD, CONSTRUCT COA STD VALLEY GUTTER, FILLETS AND WHEELCHAIR RAMPS.
3. REMOVE & DISPOSE EXISTING DRIVEPAD. CONSTRUCT STANDARD CURB & GUTTER AND PCC SIDEWALK.
4. REMOVE & DISPOSE EXISTING CURB & GUTTER, PCC SIDEWALK; RELOCATE TRAFFIC SIGNAL BASE AND TRAFFIC PULLBOX; CONSTRUCT COA STANDARD CURB & GUTTER (30' R) W/PCC SIDEWALK & WHEELCHAIR RAMP.
5. REMOVE & DISPOSE EXISTING CURB & GUTTER, AND PCC SIDEWALK; CONSTRUCT 100' DECELERATION LANE W/150' REVERSE CURVE TRANSITION.
6. ENTRY MEDIAN (PRIVATE).
7. REMOVE & DISPOSE MEDIAN CURB; PLACE ARTERIAL PAVING BETWEEN MODIFIED MEDIAN.
8. CONSTRUCT COA MEDIAN CURB W/4 FT & 50 FT RADII.
9. DRAINAGE RUNDOWN (PCC) PER REQUIRED WIDTHS.
10. 70 FT X 4 FT (WIDE) ENTRY MEDIAN (PRIVATE).
11. 2' CURB CUT & LANDSCAPED RUNDOWN
12. PEDESTRIAN CROSSINGS.
13. REMOVE & RELOCATE FH TO LOCATION SHOWN.
14. CONSTRUCT FH (PUBLIC) INCLUSIVE OF INSERTION TEE, VALVES AND 8" DIA. PIPE. (TR. OF 2)
15. NEW WATER SERVICE.
16. CONSTRUCT PCC SIDEWALK PER COA STD DWG #2430.
17. REMOVE AND DISPOSE OF STANDARD CURB & GUTTER. CONSTRUCT DRIVEPAD PER COA STD DWG #2425.

THIS SITE PLAN IS BEING AMENDED TO SHOW SUBDIVISION OF TRACTS C-4 AND C-5, TO ADD A PRIVATE SEWER EASEMENT FOR THE BENEFIT OF TRACT C-5 AND TO SHOW A CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT C-4.

DUKE CITY INDUSTRIAL AREA LOT C-2 (10-10-91, 91C-228)  
 DUKE CITY INDUSTRIAL AREA LOT C-3-B (04-15-94, 94C-125)  
 DUKE CITY INDUSTRIAL AREA TRACT B (02-04-63, 63-148)

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Bureau Street N.E.  
 Albuquerque, New Mexico

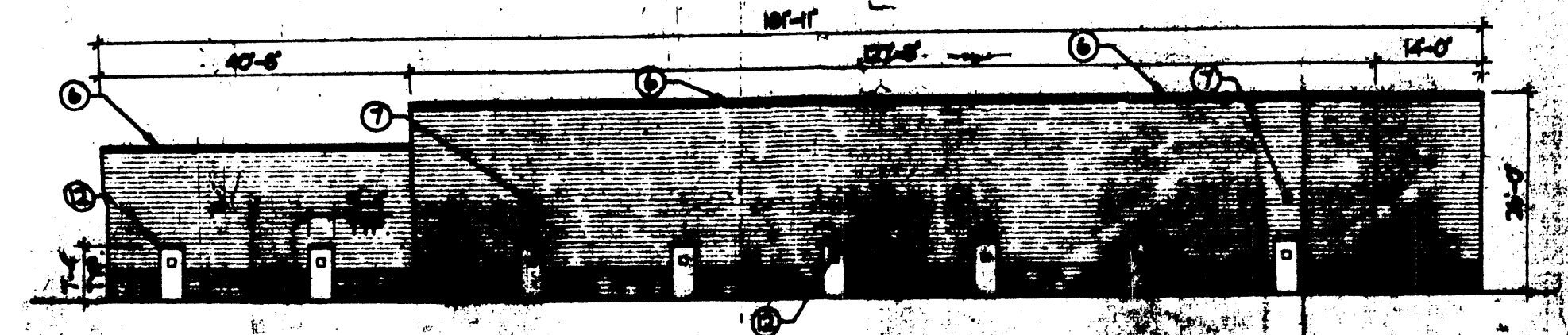
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Job title  
**THE SHOPS AT CARLISLE**  
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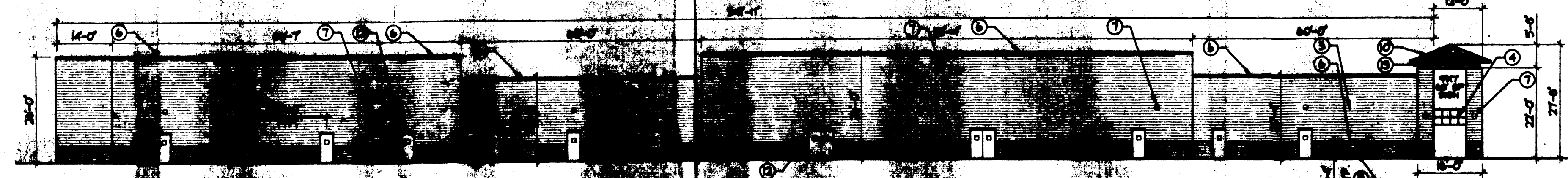
PROJECT MANAGER ARNE DE LA TORRE, MA	Job no 08822	date 7/28/99
sheet title CONCEPTUAL DRAINAGE/UTILITY PLAN	by FCA	

**de la torre architecte, p.a.**  
 north town office park  
 760 academy rd n.e., building 2 - suite 200  
 albuquerque nm 87109 • 505-865-7918

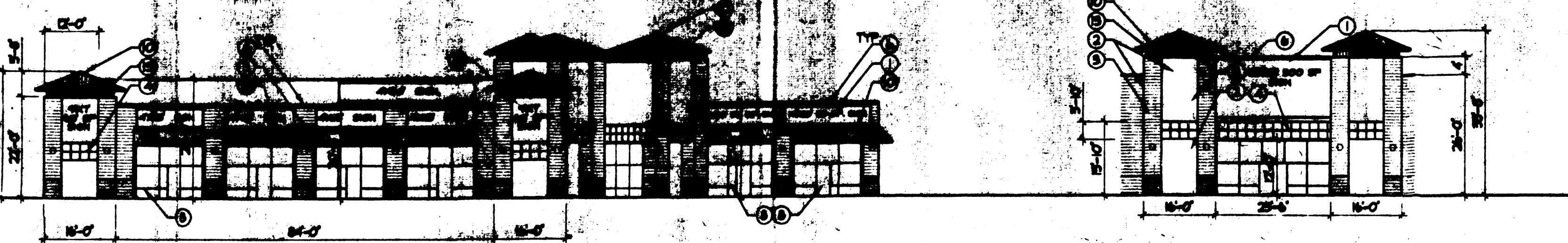
sheet-2  
**C2**  
 of-4  
 START DATE: 6/10/99



**NORTH ELEVATION BLDG. B**  
SCALE 1/8" = 1'-0"

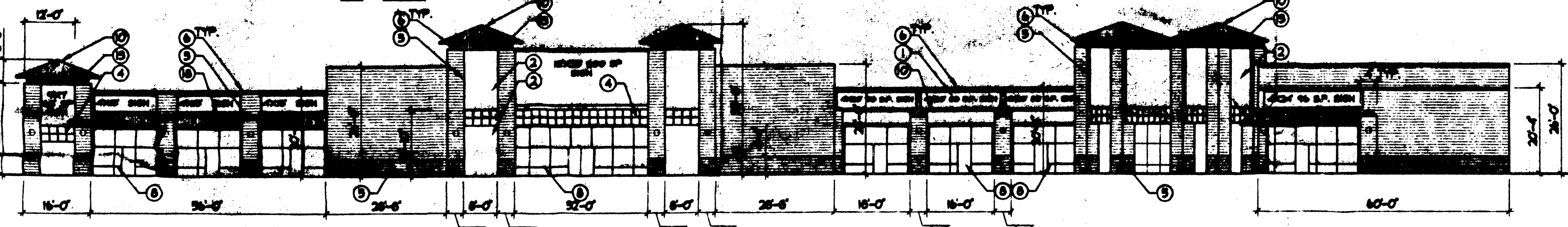


**WEST ELEVATION BLDG. B**  
SCALE 1/8" = 1'-0"

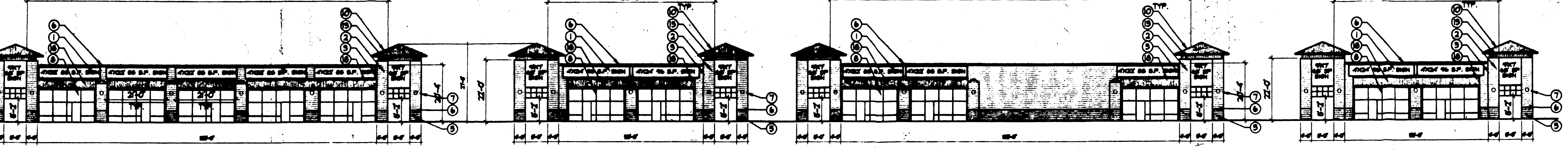


**SOUTH ELEVATION BLDG. B**  
SCALE 1/8" = 1'-0"

**CORNER ELEVATION**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION BLDG. B**  
SCALE 1/8" = 1'-0"

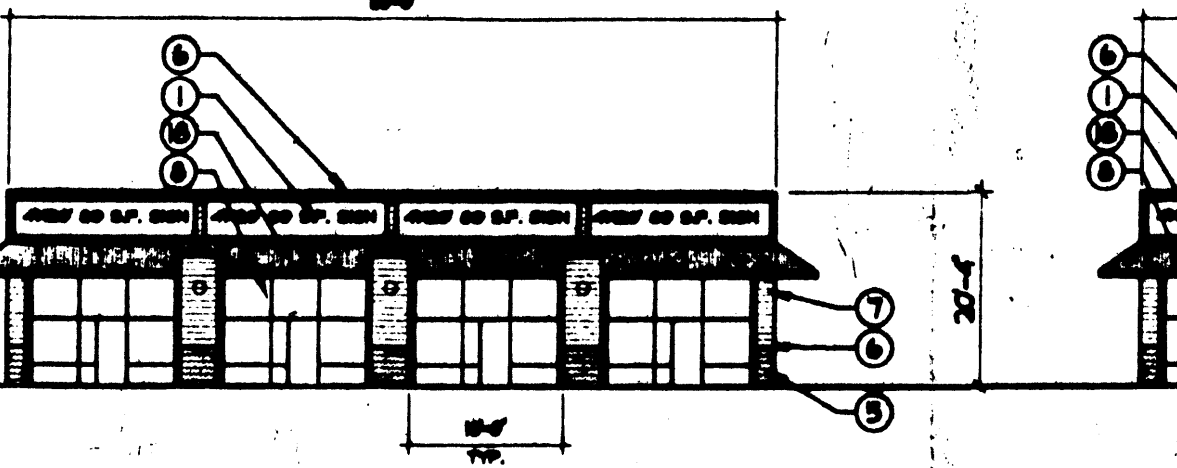


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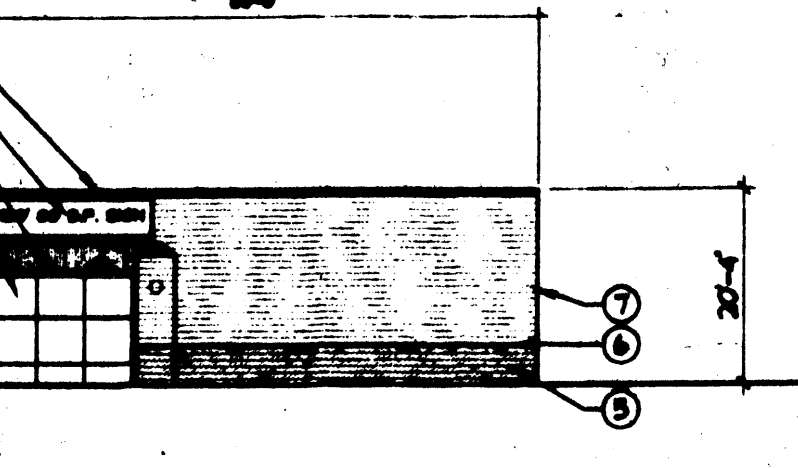
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SCALE 1/8" = 1'-0"

**EAST ELEVATION BLDG. D**  
SCALE 1/8" = 1'-0"

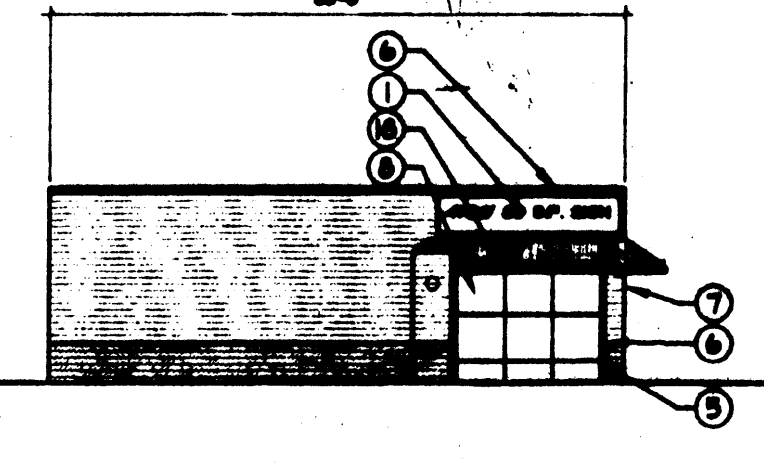
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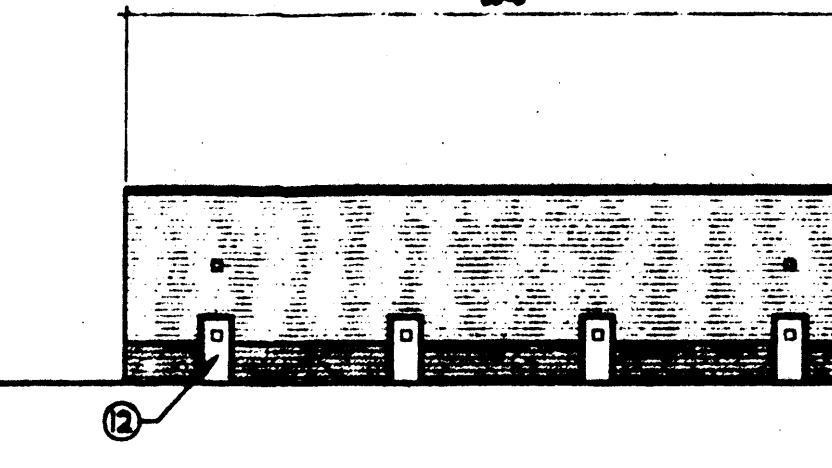
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SCALE 1/8" = 1'-0"



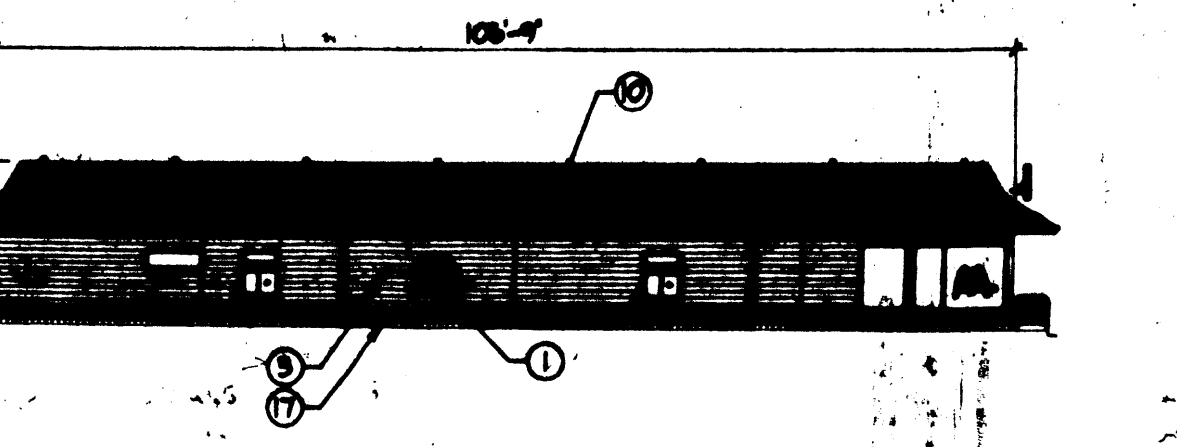
**EAST ELEVATION BLDG. C**  
SCALE 1/8" = 1'-0"



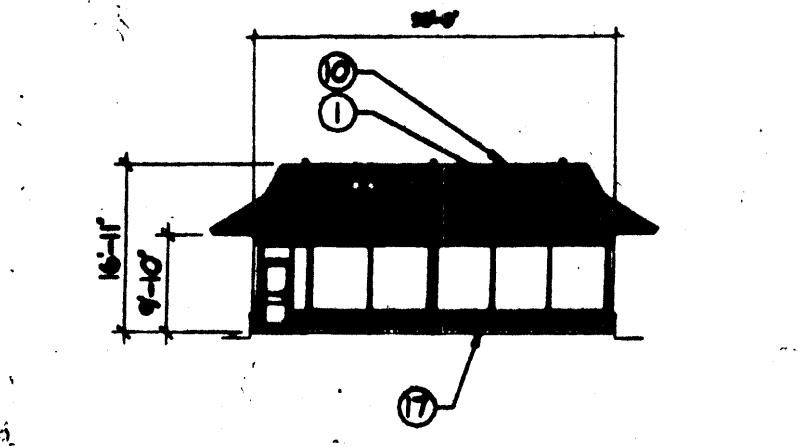
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SCALE 1/8" = 1'-0"



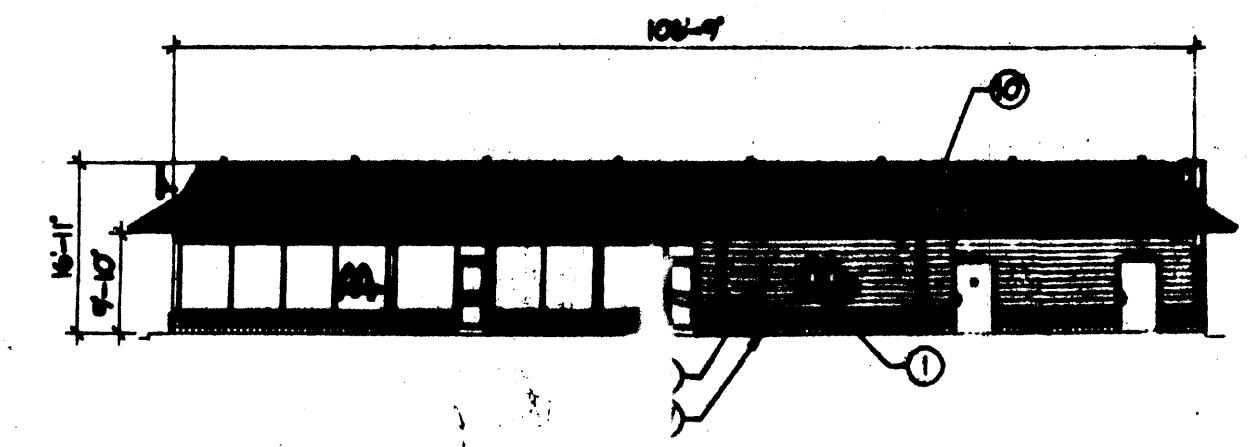
**NORTH ELEVATION BLDG. C**  
SCALE 1/8" = 1'-0"



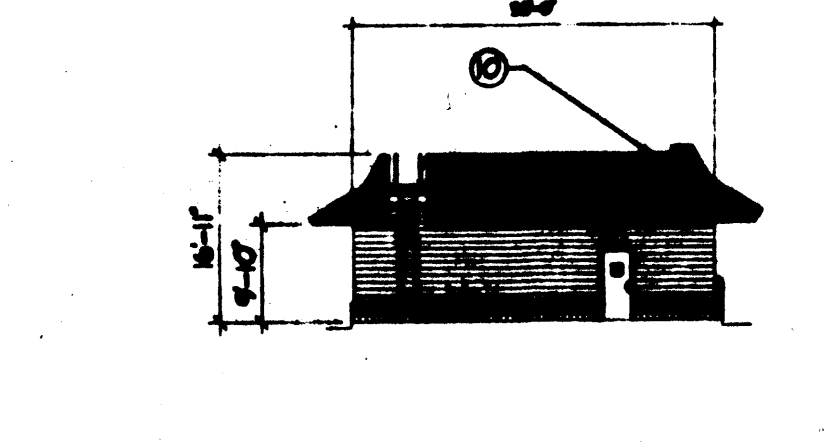
**NORTH ELEVATION BLDG. A**  
SCALE 1/8" = 1'-0"



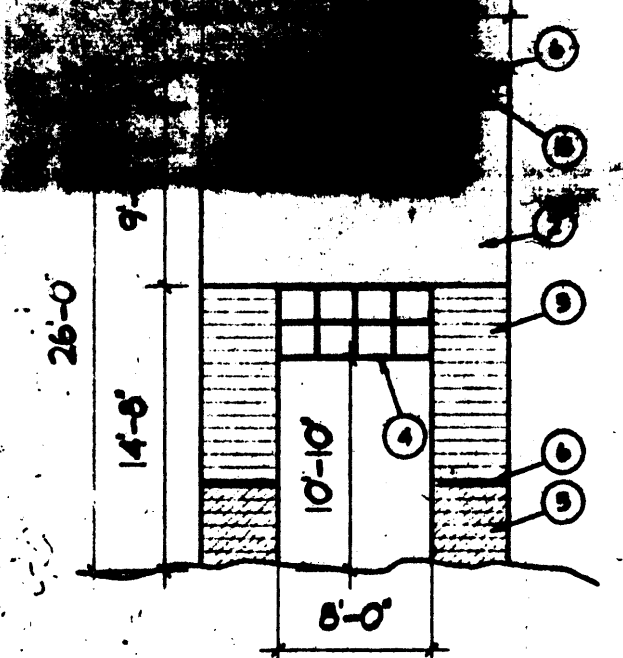
**WEST ELEVATION BLDG. A**  
SCALE 1/8" = 1'-0"



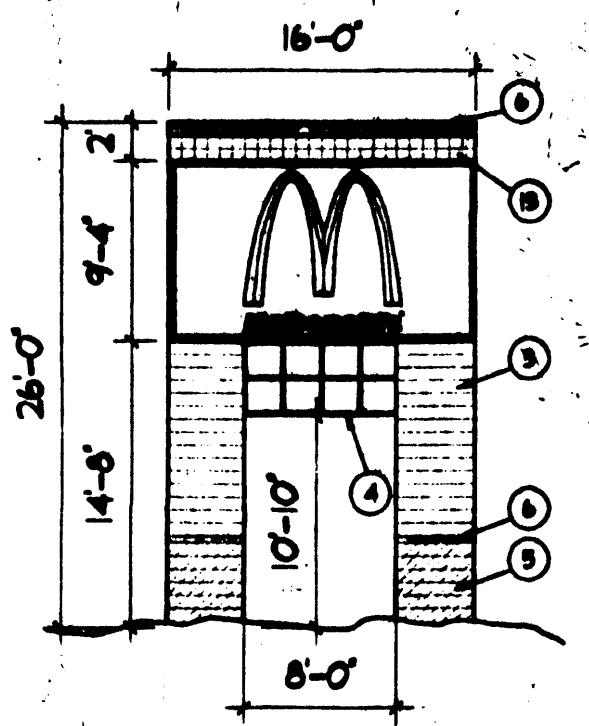
**SOUTH ELEVATION BLDG. A**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION BLDG. A**  
SCALE 1/8" = 1'-0"



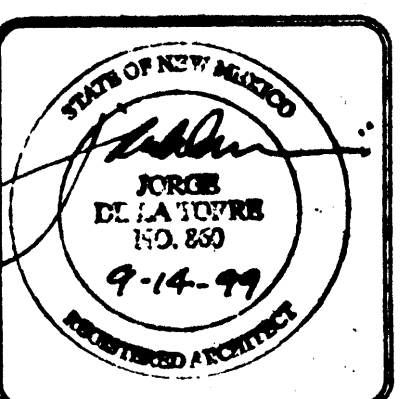
**MONUMENT SIGN**  
SCALE 1/8" = 1'-0"



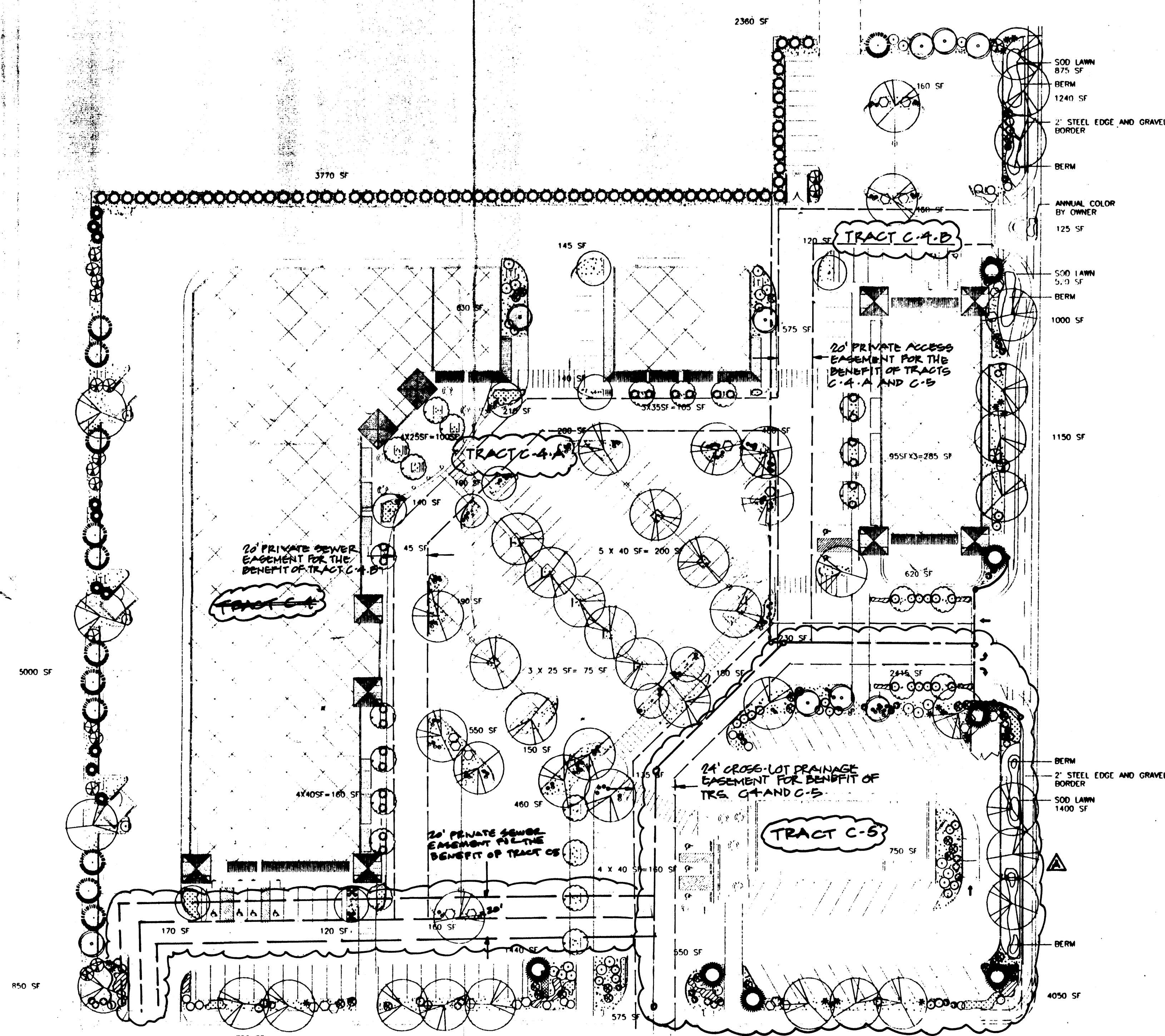
**MONUMENT SIGN - McDONALD'S**  
SCALE 1/8" = 1'-0"

1. STUCCO FINISH WITH OR PLASTIC FACE
2. STUCCO FINISH WITH OR PLASTIC FACE
3. STUCCO FINISH WITH OR PLASTIC FACE
4. STUCCO FINISH WITH OR PLASTIC FACE
5. STUCCO FINISH WITH OR PLASTIC FACE
6. STUCCO FINISH WITH OR PLASTIC FACE
7. STUCCO FINISH WITH OR PLASTIC FACE
8. STUCCO FINISH WITH OR PLASTIC FACE
9. STUCCO FINISH WITH OR PLASTIC FACE
10. SILVER STANDING SEAM ROOF MATERIAL
11. SLAB, TYP. LIGHT TAN TINT
12. METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR. PROVIDE ONE SQUARE FOOT OF GLASS FOR SECURITY (TYP.)
13. SCORED CHU BLOCK AND PATTERN, LT. GREY
14. HALL MOUNTED SECURITY LIGHT, DK. BRONZ. SEE LIGHTING NOTE C-1
15. GRS. GLENNY TILE, COLOR TO MATCH RUST BROWN SPILT BLOCK
16. STUCCO COLOR MUST BROWN AT BASE TYP.
17. SCORED CHU BLOCK AND PATTERN, RUST BROWN
18. HALL MOUNTED SHADE STRUCTURE WITH 6" OVERHANG SILVER STANDING SEAM ROOF
19. 12" DIA. COLUMN, DK. GREY
20. INTERNALLY ILLUMINATED SIGN AREA
21. BLUE STUCCO FINISH

job title		
THE SHOPS AT CARLISLE		
CARLISLE BLVD AND CLAREMONT AVE		
ALBUQUERQUE, NM		
PROJECT MANAGER	job no	date
JORGE DE LA TORRE, AIA	99022	9/14/99
sheet title	by	
ELEVATIONS	NAP	



de la torre architecte, p.a. c/a  
2400 louisiana Blvd ne  
building 3 suite 110  
albuquerque nm 87110 / 505-883-5671



LANDSCAPE PLAN

1"=40'-0"

PLANT LEGEN

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	STATE
(Symbol)	49	PISTACHIA	CHINESE PISTACHIO	CA
(Symbol)	6	CHILOPSIS	ALPA	CA
(Symbol)	9	CHILOPSIS	DESERT WILLOW	CA
(Symbol)	27	PINUS	AUSTRIAN PINE	CA
(Symbol)	24	CRATAEGUS	HAWTHORN	CA
(Symbol)	21	PINUS	PINON PINE	CA
(Symbol)	65	CUPRESSUS	LEVYLANDI CYPRUS	CA
(Symbol)	24	SPARTANUM	SPANISH BROOM	CA
(Symbol)	22	CERCOCARPUS	MOUNTAIN MAHOGANY	CA
(Symbol)	19	JUNIPERUS	BUFFALO JUMPER	CA
(Symbol)	41	ROSMARINUS	ROSEMARY	CA
(Symbol)	43	CHRYSOTHAMNUS	CHAMISA	CA
(Symbol)	26	FALLUKIA	APACHE PLUME	CA
(Symbol)	29	CARYOPTERIS	BLUE MIST	CA
(Symbol)	18	ARTEMISIA	SILVER SAGE	CA
(Symbol)	19	SALVIA	CHERRY SAGE	CA
(Symbol)	20	HESPERALOE	RED YUCCA	CA
(Symbol)	22	MAHO	COMPACT MAHOGANY	CA
(Symbol)	127	FESTUCA	BLUE FESCUE	CA
(Symbol)	50	EUPHORBIA	BLUE SPURGE	CA
(Symbol)	50	DELOS	YELLOW ICE PLANT	CA

SITE DATA

GROSS LOT AREA	72,424 SF
LESS BUILDING	56,152 SF
NET LOT AREA	16,272 SF
REQUIRED LANDSCAPE	32,440 SF
125% OF NET LOT AREA	20,340 SF
PROPOSED LANDSCAPE	53,300 SF
PERCENT OF NET LOT AREA	326%

HIGH WATER USE TURF ALLOWANCE	6,600 SF
20% OF LANDSCAPE AREA	6,494 SF
PROPOSED LAWN AREA	2,695 SF
PERCENT OF LANDSCAPE AREA	8%

REQUIRED PARKING LOT TREES  
ONE TREE PER 10 SPACES  
(244 SPACES/10 = 24 TREES PROVIDED MINIMUM)

REQUIRED STREET TREES  
APPROX. ONE PER 30' OF STREET FRONTAGE

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM

LAWN AREAS TO BE WATERED BY AUTO POP UP SPRAY IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

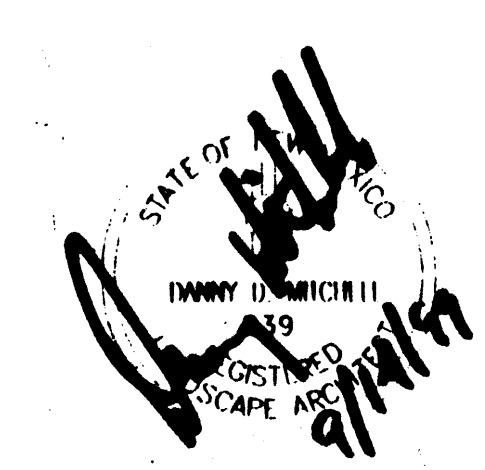
PLANTING AREAS TO BE MULCHED WITH 2"-4" SANTA ANA TAN GRAVEL OVER FILTER FABRIC

CRUSHER FINES WITHOUT FABRIC TO BE INSTALLED AT EUPHORBIA AND ICE PLANT

THIS SITE PLAN IS BEING AMENDED TO SHOW SUBDIVISION OF TRACTS C-4 AND C-5, TO ADD A PRIVATE SEWER EASEMENT FOR THE BENEFIT OF TRACT C-5 AND TO SHOW A CROSS-LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS C-4 AND C-5

THIS SITE PLAN HAS BEEN AMENDED TO SHOW  
1. DIVISION OF TR. C-4 INTO TRS. C-4-A AND C-4-B.  
2. ADDITION OF 20' PRIVATE SEWER EASEMENT FOR BENEFIT OF TRACT C-4-B.  
3. ADDITION OF 20' PRIVATE ACCESS EASEMENT FOR BENEFIT OF TRACTS C-4-A AND C-5.

7-01-03



**HeadUp**  
LANDSCAPE CONTRACTORS  
7525 SECOND ST. NW  
ALBUQUERQUE, NM  
(505) 898-9615  
LICENSE 18890

THE SHEETS ARE PART OF  
CARLISLE BLVD AND GARLIMONT AVE  
ALBUQUERQUE, NM  
PROJECT MANAGER  
JORGE DE LA TORRE AIA 94022 1/26-04  
DATE PLOTTED  
LANDSCAPE PLAN

7-01-03  
L1  
4