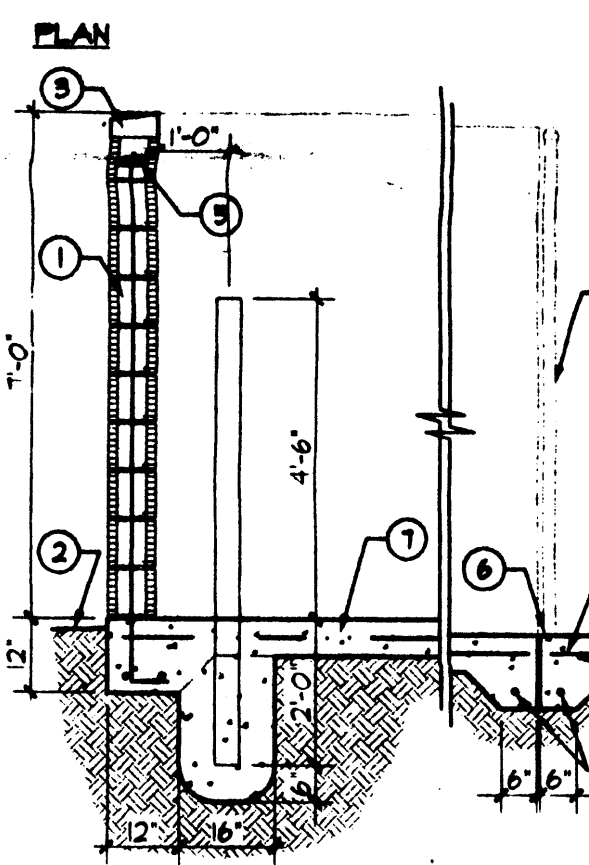
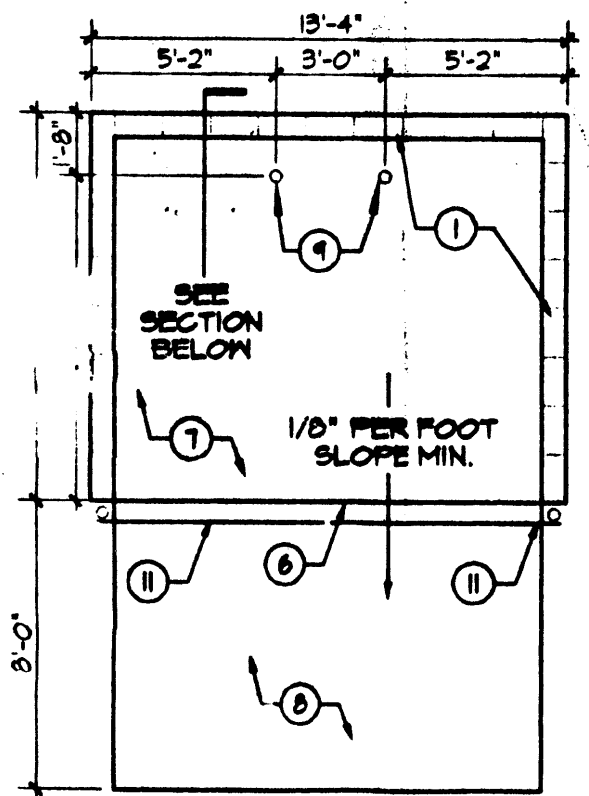


VICINITY MAP

NOT TO SCALE



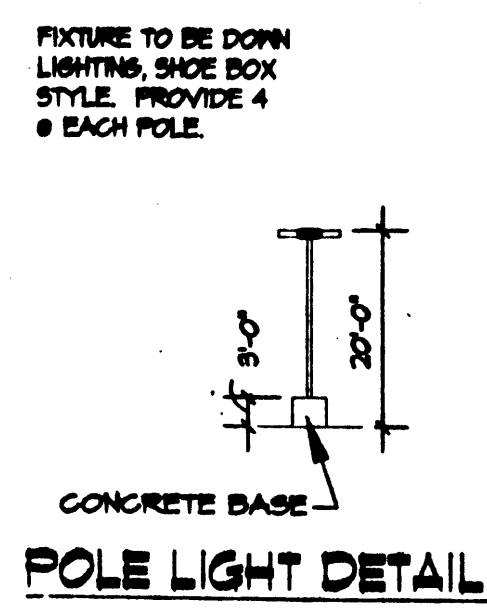
SECTION REFUSE ENCLOSURE

REFUSE NOTES

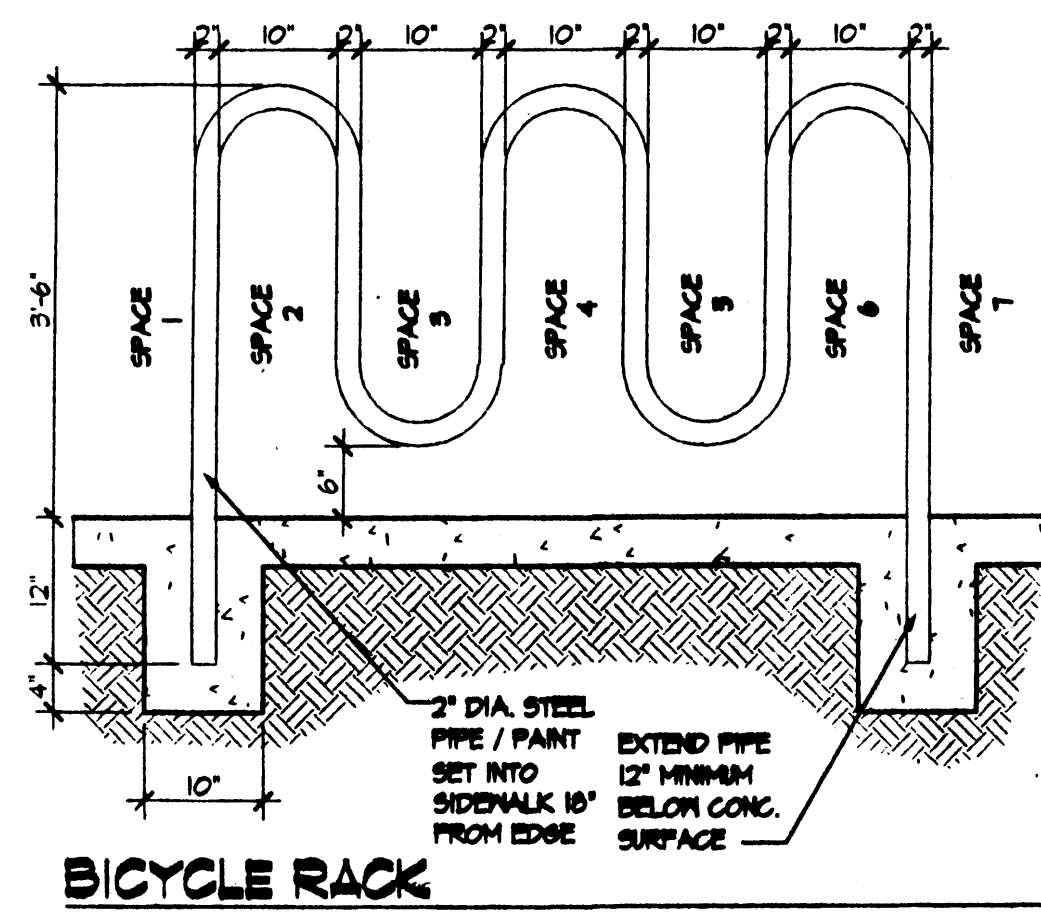
1. SPLIT FACE CMU BLOCK WALL FINISH - COLOR TO MATCH BLDG.
2. FINISH GRADE
3. MASONRY CAP
4. 1-#5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2-#5 BARS @ BOTTOM OF 12" TURNDOWNS
5. 2-#5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2-#5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 52" O.C. VERTICAL GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL
6. 1/2" EXPANSION JOINT MATERIAL
7. 6" CONCRETE SLAB, 4000 PSI, 5/4" AGGREGATE WITH 6X6 - 10X10MM 1/4" 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
8. 6" CONCRETE APRON, 4000 PSI, 5/4" AGGREGATE WITH 6X6 - 10X10MM 1/4" 12" TURNDOWN EDGES (W/ 1-#5 CONT.) AND APRON EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
10. ASPHALT PAVING - SEE PAVING SECTION
11. SWANNEAU GATE INTERLOCKING, PRE-CAST CONCRETE INTERLOCKING, COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

RADIUS LEGEND

- 1" RADIUS
- 2" RADIUS
- 3" RADIUS
- 4" RADIUS
- 5" RADIUS
- 10" RADIUS
- 15" RADIUS
- 20" RADIUS
- 25" RADIUS
- 45" RADIUS
- 50" RADIUS
- 150" RADIUS



POLE LIGHT DETAIL

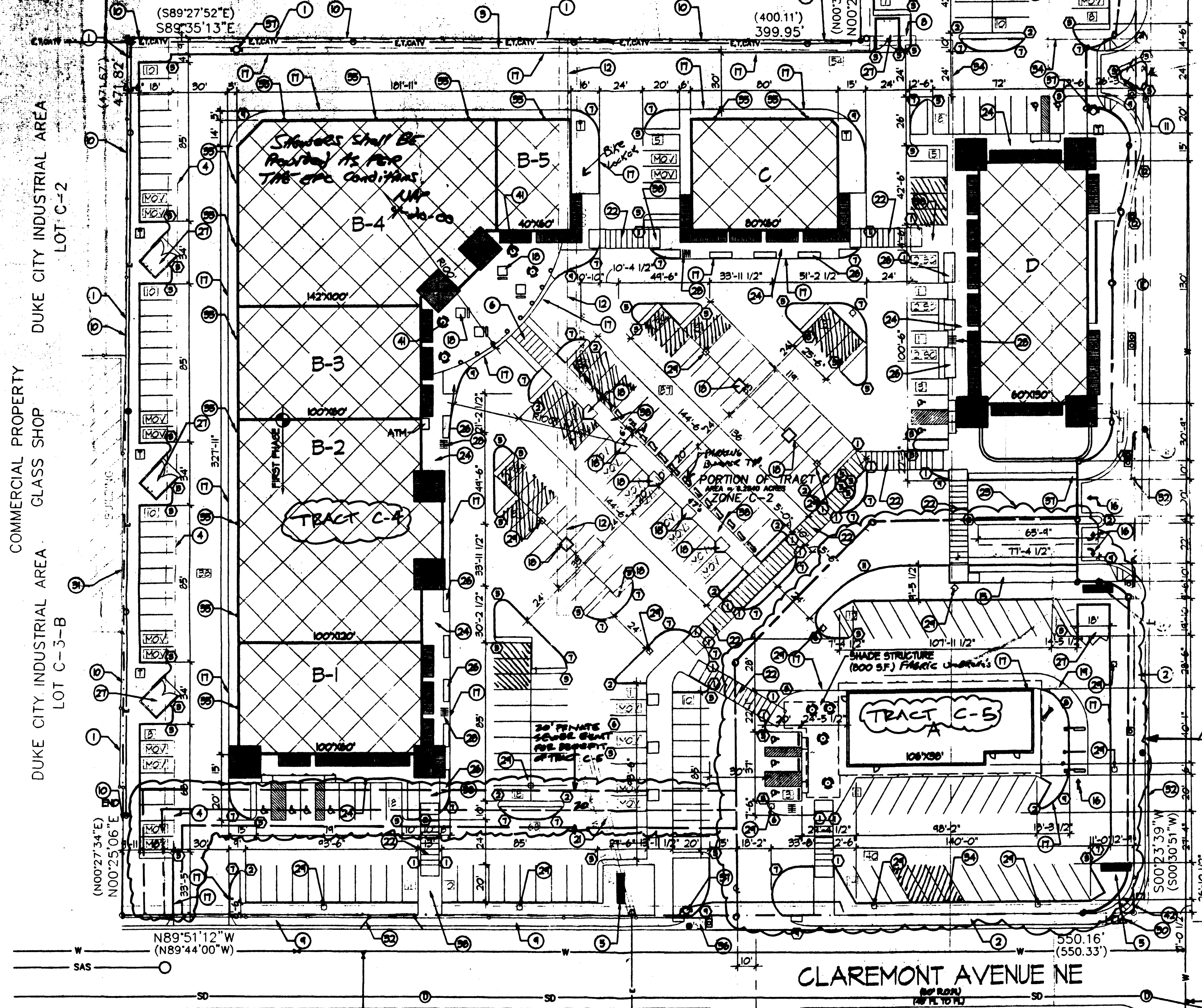


BICYCLE RACK

LIGHTING NOTE:
 LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC PLAZA. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

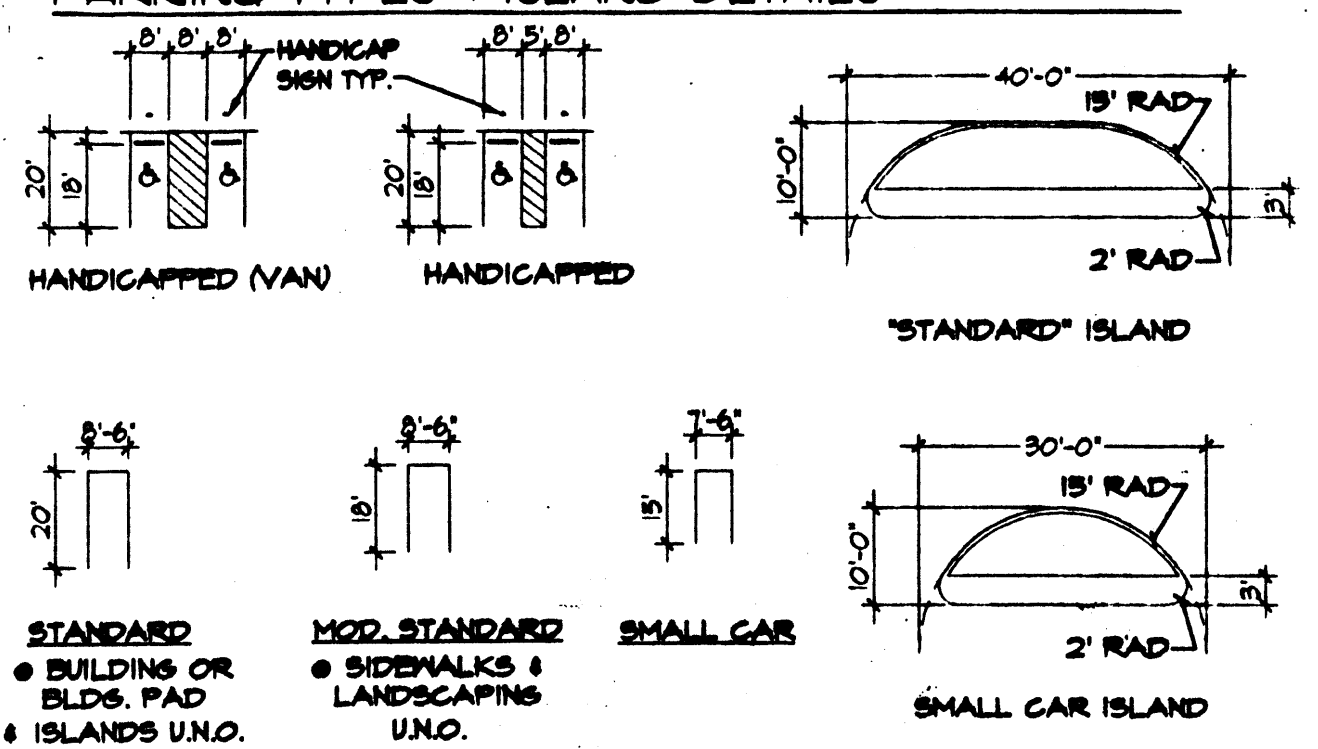
ROOFTOP EQUIPMENT NOTE:
 ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED.

DUKE CITY INDUSTRIAL AREA
 TRACT B
 (02-04-63, C5-148)
 RESIDENTIAL TRAILER PARK



SITE PLAN SCALE 1"=40'-0"

PARKING TYPES & ISLAND DETAILS



LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- EXISTING LOT LIGHT (BASE ONLY) TO BE REMOVED
- TRAFFIC LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- SIGN
- INDICATES PROPOSED SPACES TO BE DEDICATED BY 3-29-99 AND PAINTED ON THE ASPHALT

SIGNATURE BLOCK
 2-99-76 / 1880 3-95
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON Aug. 17, 1999
 PROJECT MANAGER: [Signature] DATE: 9-22-99
 CITY ENGINEER: [Signature] DATE: 3-27-00
 WATER RESOURCES: [Signature] DATE: 3-20-00

- NOTES:**
1. ALL UNAPPROVED CONSTRUCTION SHALL BE REMOVED.
 2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 3. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 5. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 6. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 7. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 8. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 9. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 10. NEW 8" TALL SPLIT FACE CMU WALL TO BOUND PER PROPERTY COLORS TO MATCH BUILDING
 11. RELOCATE CITY LIGHT POLE
 12. EXISTING 10" PNM & M57" UTILITY EASEMENT TO BE MAINTAINED
 13. NOT USED
 14. RELOCATE EXISTING POWER POLE
 15. NEW 12" SIDEWALK AND PEDESTRIAN CONNECTION TO CENTER, PROVIDE TEXTURE @ ASPHALT
 16. PAINTED DIRECTION ARROWS
 17. PAINTED FIRE LANE - NO PARKING IN RED WITH 14" TALL LETTERS EVERY 25' O.C.
 18. NEW 5"X5" PLANTER (INTERIOR DIMENSIONS)
 19. DRIVE-THRU LANE
 20. NOT USED
 21. FIRE US REST OVERHEAD EASEMENT TO BE MAINTAINED
 22. PEDESTRIAN ACCESS - SCORED SURFACE
 23. ONE-WAY DRIVE
 24. 15" WIDE WALK WITH SCORED CONCRETE PATTERN @ 1" GAL
 25. NOT USED
 26. LANDSCAPE PLANTER, TYPICAL
 27. REUSE EXISTING FIRE DETAIL THIS SHEET
 28. BICYCLE RACK PER DETAIL THIS SHEET
 29. NEW POLE LIGHT - SEE DETAIL THIS SHEET
 30. EXISTING STREET TRAFFIC LIGHT TO BE REMOVED
 31. EXISTING BUILDING IN PROP. LINE
 32. CLOSE EXISTING DRIVE AND PROVIDE 12" WALKS & LANDSCAPING AS SHOWN
 33. NOT USED
 34. ZONING BOUNDARIES TO BE REMOVED
 35. WALL-MOUNTED SITE LIGHT @ 12" AFF., 50" O.C. TYP SEE LIGHTING NOTE
 36. EXISTING FIRE HYDRANT TO BE REMOVED
 37. NEW FIRE HYDRANT LOCATION
 38. NEW 12" WIDE SIDEWALK
 39. 3" T CONCRETE PAD FOR BUS BENCH - VERIFY FINAL LOCATION WITH TRANS. AUTHORITY
 40. DELETED
 41. NEW BENCHES AND TABLES AS SHOWN
 42. REMOVE EXISTING CURB AND RAMP AND REPLACE WITH 50' RADIUS CORNER 3" H.C. RAMP PER C.O.A. DETAILS

GENERAL NOTES

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALKS AND CURBS IN DISCREPANCY WILL BE REMOVED AND REPLACED.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- REMOVE ALL FENCES, POSTS, ETC. ON SITE DURING CARLISLE AND CLAREMONT

PROJECT INFORMATION

LOCATION: NORTHWEST CORNER CARLISLE BOULEVARD NE CLAREMONT AVENUE NE
 DEVELOPER: BIRD OF PARADISE
 LEGAL DESCRIPTION: A PORTION OF TRACT B, DUKE CITY INDUSTRIAL AREA WITHIN SECTION 10, TOWNSHIP 18 NORTH, RANGE 9 EAST 148MM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
 CURRENT ZONING: C-2, C-1, P
 PROPOSED: C-2
 TOTAL ACRES: 6.2540 ACRES
 ZONING ATLAS PAGE: H-18-2

BUILDING LEGEND

NEW RESTAURANT	A	3,941 S.F.	282 SPACES
NEW BUILDING	TOTAL	3,941 S.F.	282 SPACES
NEW RESTAURANT	B-1	6,000 S.F.	PHASE I
NEW BUILDING	B-2	12,000 S.F.	PHASE I
NEW BUILDING	B-3	6,000 S.F.	FUTURE
NEW BUILDING	B-4	12,000 S.F.	FUTURE
NEW BUILDING	B-5	2,400 S.F.	FUTURE
TOTAL		34,440 S.F.	
NEW RESTAURANT	C	0 S.F.	FUTURE
NEW BUILDING	TOTAL	4,000 S.F.	
NEW RESTAURANT	D	7,800 S.F.	FUTURE
NEW BUILDING	TOTAL	7,800 S.F.	
TOTAL		56,152 S.F.	

PARKING REQUIRED: 20 RESTAURANT + 262 RETAIL = 282 SPACES
 282 * 10 (BUS DISCOUNT) = 2,820 SPACES (16 SPACES)

IN ADDITION TO THE DRIVE-THRU RESTAURANT OF 5,000 S.F. THE SHOPPING CENTER SITE IS ANTICIPATED TO HAVE A RESTAURANT OF 80 SEATS WITHOUT LIQUOR OR 152 SEATS WITH LIQUOR. THE PARKING SHOWN ON THE SITE PLAN ACCOMMODATES THE PROPOSED USES.

PARKING PROVIDED: 282 SPACES (16 SPACES) (ON SMALL CAR - TO ALLOWED)

NOTE: THE APPLICANT MAY FURTHER AN ADMINISTRATIVE APPROVAL OF THE CONVERSION OF FIVE PARKING SPACES FOR OUTDOOR PATIO SEATING IF AND WHEN AN ADDITIONAL RESTAURANT HERE TO LOCATE AT THE SHOPPING CENTER. IN SUCH INSTANCE, THE ELIMINATION OF PARKING SPACES COULD OCCUR EVEN IF THE RESULT WAS A DEFICIENCY OF PARKING UNDER THE PROVISIONS OF THE ZONING CODE.

BICYCLE PARKING: 15 SPACES NEEDED / 95 SPACES PROVIDED

LANDSCAPING REQUIRED: TOTAL SITE = 272,424 S.F. - 36,852 S.F. (BUILDING AREA) = 235,572 NET LOT AREA * * = \$2,442.82

LANDSCAPING PROVIDED:

REVISION AUGUST 19, 1999 / DRB SUBMITTAL 9/14/99

Job title: THE SHOPS AT CARLISLE
 CARLISLE BLVD AND CLAREMONT AVE
 ALBUQUERQUE, NM

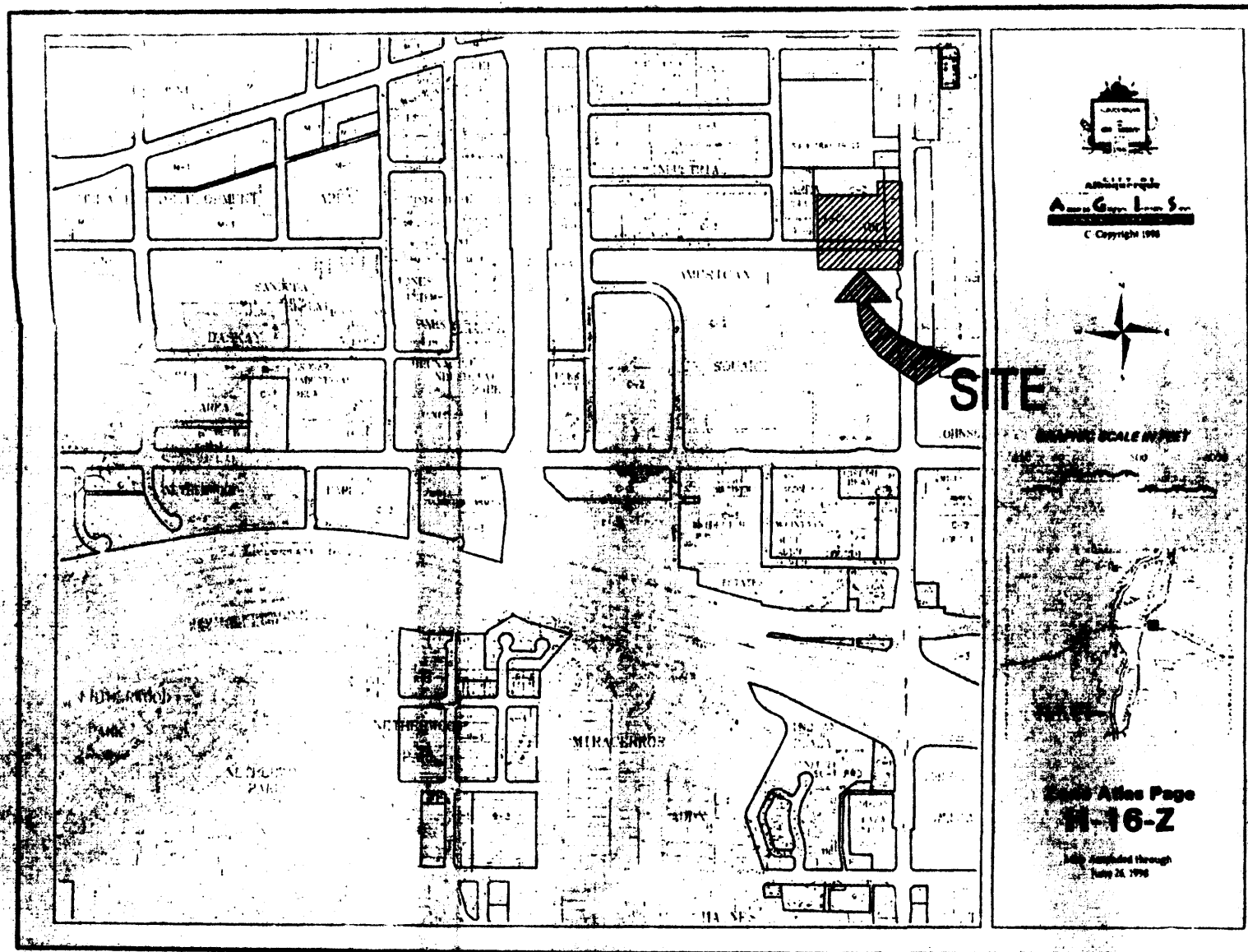
PROJECT MANAGER: JORSE DE LA TORRE, AIA
 JOB NO: 99022
 DATE: 9/14/99

SHEET TITLE: SITE PLAN FOR BUILDING PERMIT
 BY: NAP

de la torre architecte, p.a. d.a.
 2400 boulevards blvd ne
 building 3 / suite 110
 albuquerque n.m. 87110 / 505-883-5671

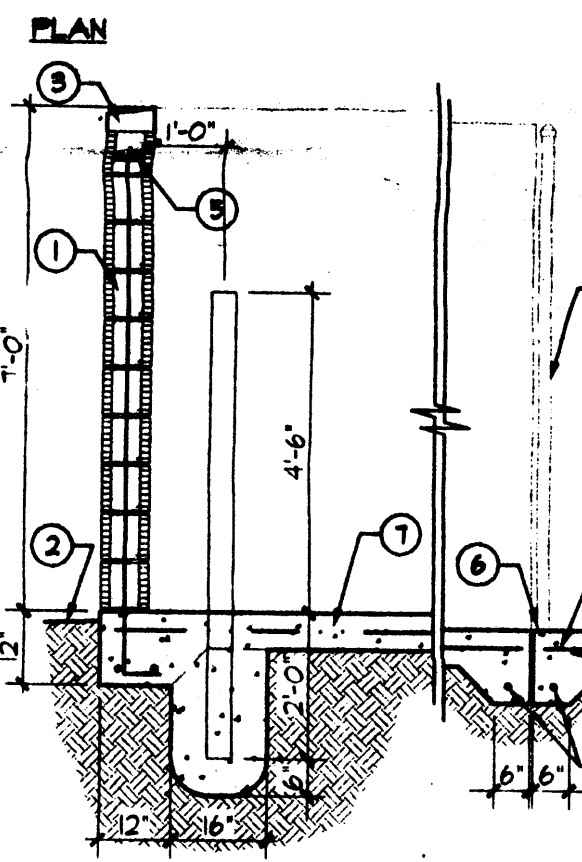
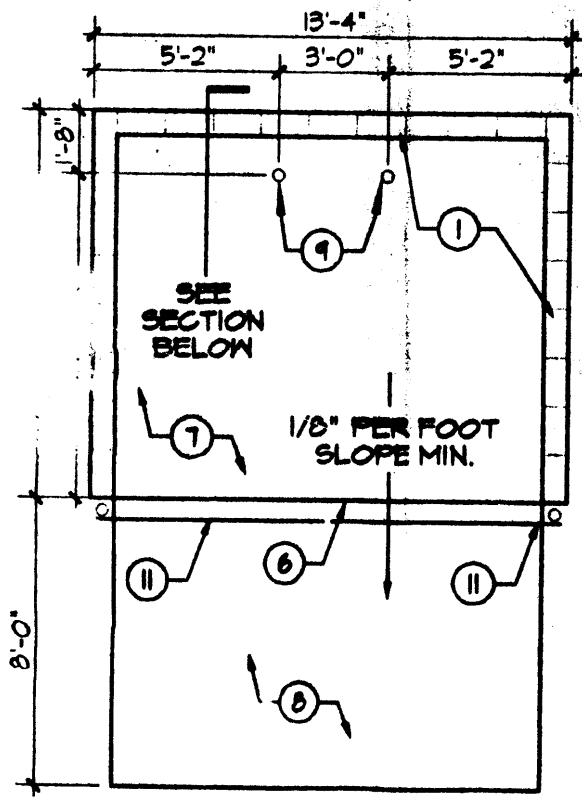
START DATE: 5/10/99

PROJ# 1000375



VICINITY MAP

NOT TO SCALE

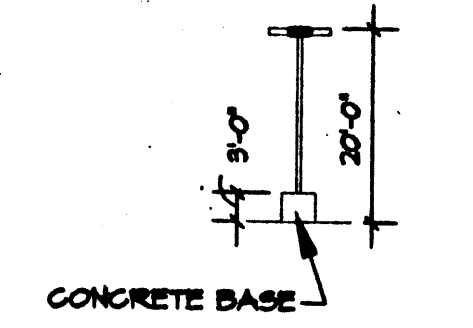


SECTION REFUSE ENCLOSURE

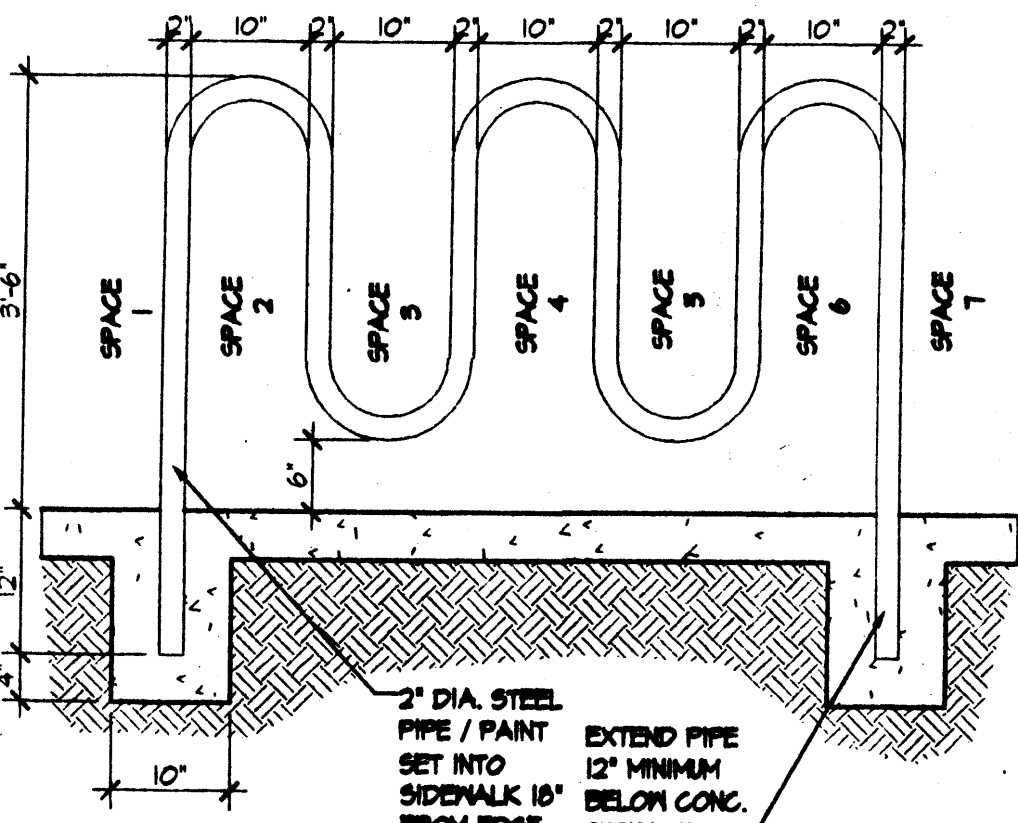
RADIUS LEGEND

- ① 1' RADIUS
- ② 2' RADIUS
- ③ 3' RADIUS
- ④ 4' RADIUS
- ⑤ 5' RADIUS
- ⑥ 10' RADIUS
- ⑦ 15' RADIUS
- ⑧ 20' RADIUS
- ⑨ 25' RADIUS
- ⑩ 45' RADIUS
- ⑪ 50' RADIUS
- ⑫ 150' RADIUS

FIXTURE TO BE DOWN LIGHTING, SHADE BOX STYLE. PROVIDE 4" EACH POLE.



POLE LIGHT DETAIL



BICYCLE RACK

SCALE: 3/4"=1'-0"

LIGHTING NOTE:

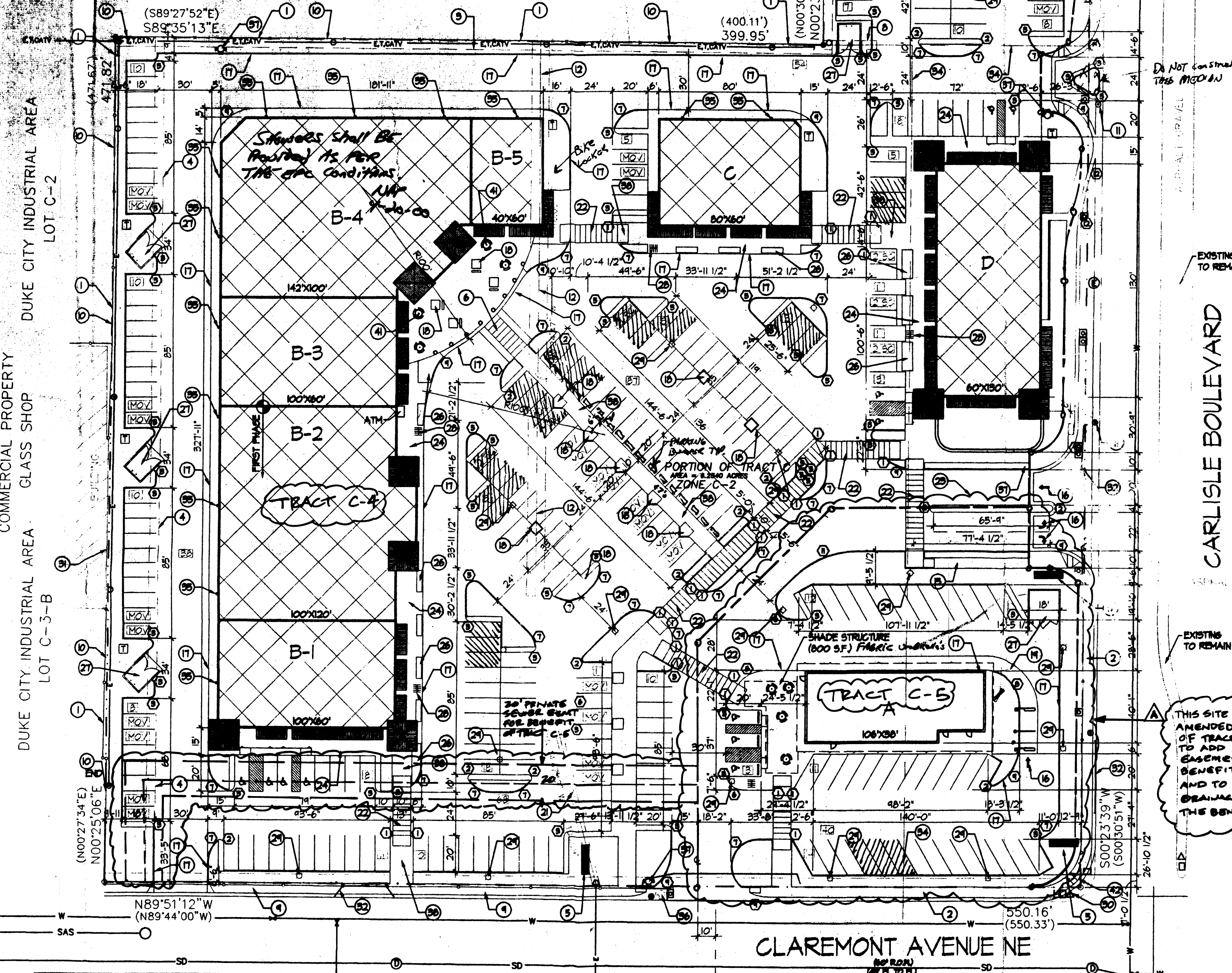
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC PLAZA. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

ROOFTOP EQUIPMENT NOTE:

ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED.

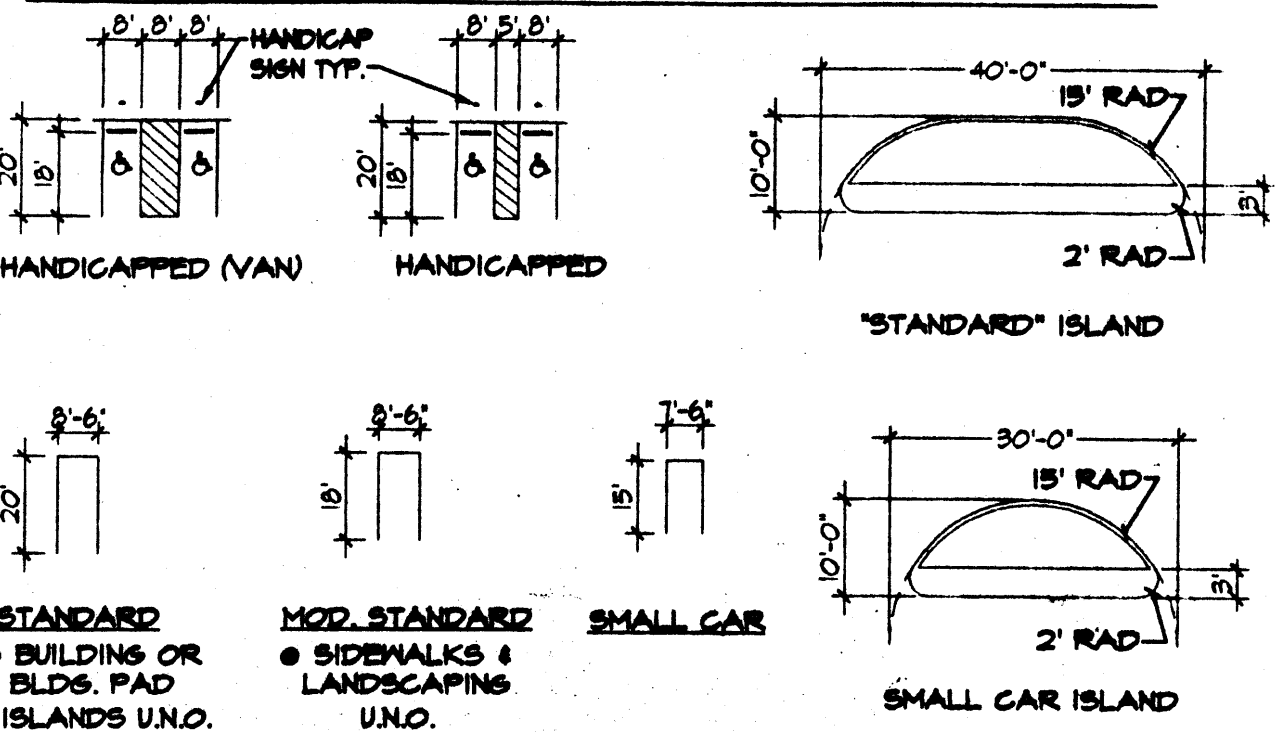
DUKE CITY INDUSTRIAL AREA
TRACT B
(02-04-63, C5-148)
RESIDENTIAL TRAILER PARK

COMMERCIAL PROPERTY
DUKE CITY INDUSTRIAL AREA - CLASS SHOP
LOT C-3-B
LOT C-2



SITE PLAN
SCALE: 1"=40'-0"

PARKING TYPES & ISLAND DETAILS



LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- EXISTING LOT LIGHT (BASE ONLY) TO BE REMOVED
- △ TRAFFIC LIGHT
- TRAFFIC SIGNAL OR FULLBOX
- ◇ NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SAS - SANITARY SEWER LINE
- SD - STORM SEWER LINE
- SIGN
- ||||| indicates P.O.U. SPACES TO BE DONATED BY A SIGN AND PAINTED ON THE ASPHALT

- NOTES
1. REFER TO APPROVED PERMITS FOR ALL EXISTING UTILITIES.
 2. EXISTING CITY LIGHT POLE TO REMAIN. PROPERTY COLORS TO MATCH BUILDING.
 3. EXISTING 10" FIBER OPTIC UTILITY EASEMENT TO BE MAINTAINED.
 4. NOT USED.
 5. RELOCATE EXISTING POWER POLE.
 6. NEW 6" SIDEWALK AND PEDESTRIAN CONNECTION TO CENTER, PROVIDE FINISH @ ASPHALT.
 7. PAINTED DRIVEWAY - NO PARKING IN RED WITH WHITE 5' TALL L.F. EVERY 25' O.C.
 8. NEW 5'x5' PLANTER (INTERIOR DIMENSIONS).
 9. DRIVE-THRU LANE.
 10. NOT USED.
 11. 4" WIDE US REST OVERHEAD EASEMENT TO BE ABANDONED.
 12. PEDESTRIAN ACCESS - SCORED SURFACE.
 13. ONE-WAY DRIVE.
 14. 15' WIDE WALK WITH SCORED CONCRETE PATTERN. 1" GAL.
 15. NOT USED.
 16. LANDSCAPE PLANTER, TYPICAL.
 17. REUSE CONTAINER PER DETAIL THIS SHEET.
 18. BICYCLE RACK PER DETAIL THIS SHEET.
 19. NEW POLE LIGHT - SEE DETAIL THIS SHEET. TYPICAL.
 20. EXISTING STREET TRAFFIC LIGHT TO BE RELOCATED TO NEAR 5-WAY.
 21. EXISTING BUILDING IN PROP. LINE.
 22. CLOSE EXISTING DRIVE AND PROVIDE SIDE WALKS AND SIDEWALKS AS SHOWN.
 23. NOT USED.
 24. ZONING BOUNDARIES TO BE REMOVED.
 25. WALL-MOUNTED SITE LIGHT @ 12' AFF. 30" O.C. TYP. SEE LIGHTING NOTE.
 26. EXISTING FIRE HYDRANT TO BE REMOVED.
 27. NEW FIRE HYDRANT LOCATION.
 28. NEW 10" WIDE SIDEWALK.
 29. 5" CONCRETE PAD FOR BUS BENCH. VERIFY FINAL LOCATION WITH TRANS. OR CITY.
 30. DELETED.
 31. NEW BENCHES AND TABLES AS SHOWN.
 32. REMOVE EXISTING CURB AND RAMP AND REPLACE WITH 30" RADIUS CORNER WITH H.C. RAMP PER C.O.A. DETAILS.

- GENERAL NOTES
- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
 - B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EMPLOYED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) IMMEDIATE CLOSURE OF THE PROJECT FOR TEMPORARY OCCUPANCY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - D. ALL SIDEWALK AND CURB IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS. NO. 2426.
 - F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - G. REMOVE ALL FENCES, POSTS, ETC. ON SITE INCLUDING CARLISLE AND CLAREMONT.

PROJECT INFORMATION

LOCATION:	NORTHWEST CORNER CARLISLE BOULEVARD NE
DEVELOPER:	BIRD OF PARADISE
LEGAL DESCRIPTION:	A PORTION OF TRACT B, DUKE CITY INDUSTRIAL AREA WITHIN SECTION 10, TOWNSHIP 10 NORTH, RANGE 3 EAST 14WPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
CURRENT ZONING:	C-2, C-1, P
PROPOSED:	C-2
TOTAL ACREAGE:	6.2540 ACRES
ZONING ATLAS PAGE:	H-16-2

BUILDING LEGEND

NEW BUILDING	A	3,947 S.F.	PHASE I
NEW BUILDING	B-1	6,000 S.F.	PHASE I
NEW BUILDING	B-2	12,000 S.F.	PHASE I
NEW BUILDING	B-3	6,000 S.F.	FUTURE
NEW BUILDING	B-4	15,200 S.F.	FUTURE
NEW BUILDING	B-5	2,400 S.F.	FUTURE
TOTAL		39,547 S.F.	
NEW RETAIL	C	5,000 S.F.	FUTURE
NEW RETAIL	D	4,000 S.F.	FUTURE
NEW RETAIL		7,500 S.F.	FUTURE
TOTAL		16,500 S.F.	
TOTAL		56,047 S.F.	

PARKING REQUIRED: 20 RESTAURANT + 262 (RETAIL) = 282 SPACES (111 H.C. SPACES) 202 * 10 (BUS DISCOUNT) = 204 SPACES

IN ADDITION TO THE DRIVE-THRU RESTAURANT OF 5,000 S.F., THE SHOPPING CENTER SITE IS ANTICIPATED TO HAVE A RESTAURANT OF 80 SEATS WITHOUT LIQUOR OR 150 SEATS WITH LIQUOR. THE PARKING SHOWN ON THE SITE PLAN ACCOMMODATES THE PROPOSED USES.

PARKING PROVIDED: 287 SPACES (111 H.C. SPACES) (54 SMALL CARS, 172 ALLOWED)

NOTE: THE APPLICANT MAY PURSUE AN ADMINISTRATIVE APPROVAL OF THE CONVERSION OF FIVE PARKING SPACES FOR OUTDOOR PATIO SEATING IF AND WHEN AN ADDITIONAL RESTAURANT HERE TO LOCATE AT THE SHOPPING CENTER. IN SUCH INSTANCE, THE ELIMINATION OF PARKING SPACES COULD OCCUR EVEN IF THE RESULT WAS A DEFICIENCY OF PARKING UNDER THE PROVISIONS OF THE ZONING CODE.

BICYCLE PARKING: 15 SPACES NEEDED / 25 SPACES PROVIDED

LANDSCAPING REQUIRED: TOTAL SITE = 272,424 S.F. - 56,047 S.F. (BUILDING AREA) = 216,377 NET LOT AREA * = 32,440 S.F.

LANDSCAPING PROVIDED:

REVISION AUGUST 14/1999 / DRB SUBMITTAL 9/14/99

job title	PROJECT MANAGER	job no	99022	date	9/14/99
THE SHOPS AT CARLISLE CARLISLE BLVD AND CLAREMONT AVE ALBUQUERQUE, NM					
sheet title	SITE PLAN FOR BUILDING PERMIT		by	NAP	

de la torre architects, p.a. 2400 loubiana blvd ne building 3 suite 110 albuquerque nm 87110-5055-883-5671

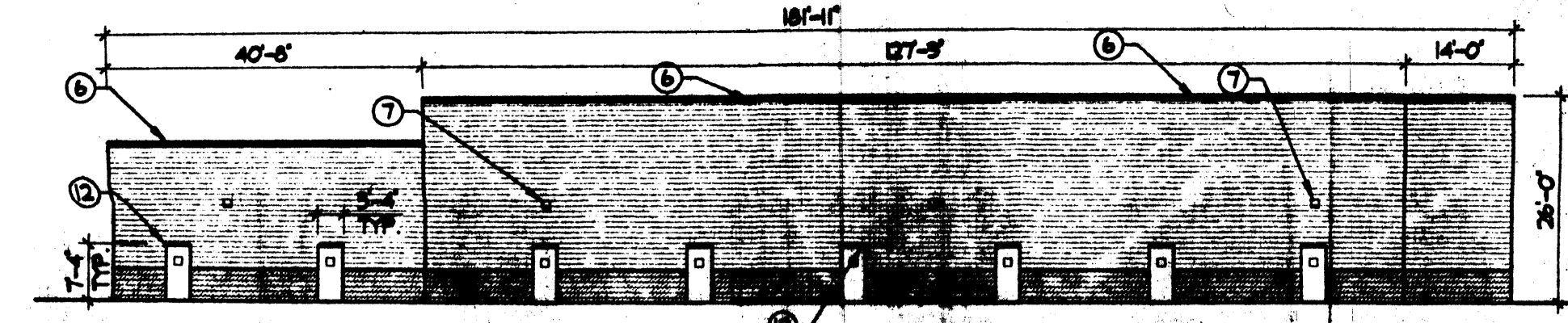
sheet - 1 of - 4

START DATE 6/10/99

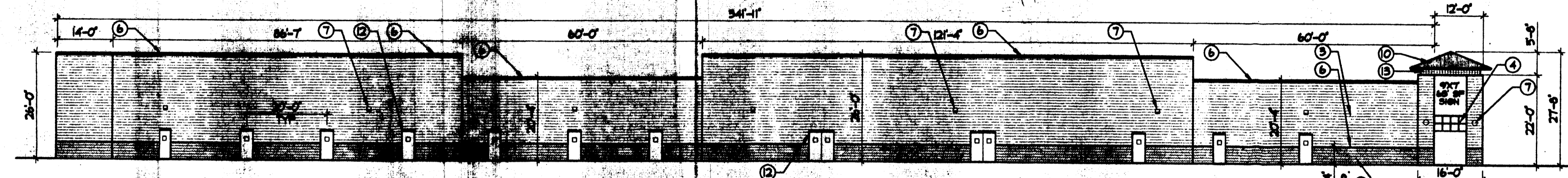
SIGNATURE BLOCK

2-99-76 (PLAN 1500 S.F.)
THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON Aug. 17, 1999

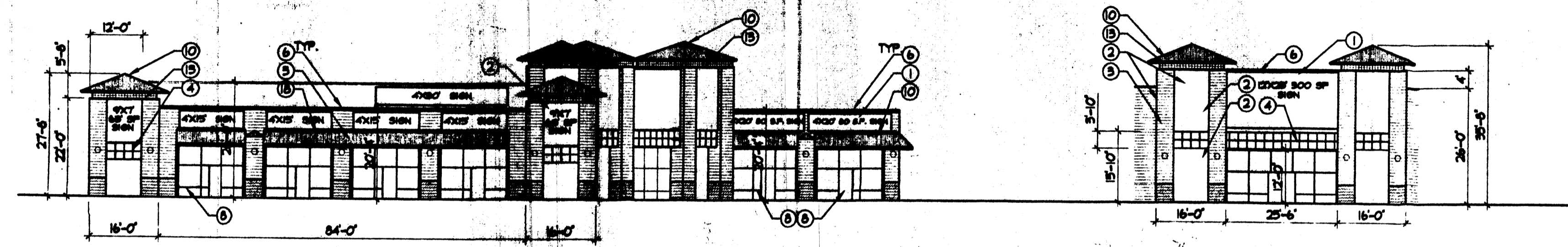
PLANNING DIRECTOR: *[Signature]* DATE: 9-22-99
APPROVED AS TO THE REQUIREMENTS: *[Signature]* DATE: 9-22-99
TRAFFIC ENGINEER: *[Signature]* DATE: 9-22-99
CITY ENGINEER: *[Signature]* DATE: 3-27-00
WATER RESOURCES: *[Signature]* DATE: 3-20-00



NORTH ELEVATION BLDG. B
SCALE 1" = 20'

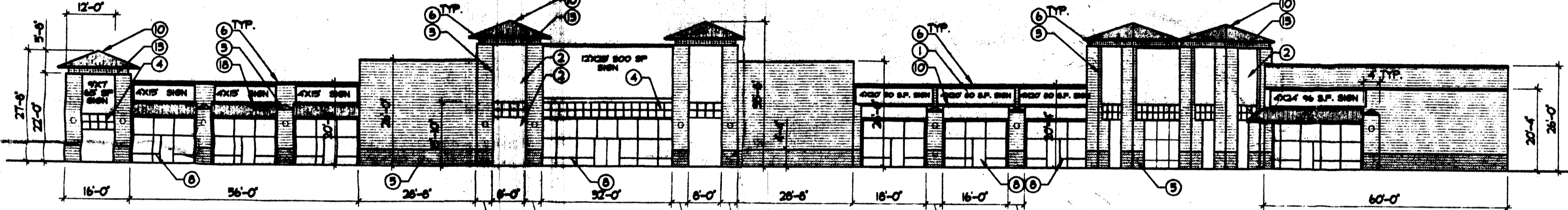


WEST ELEVATION BLDG. B
SCALE 1" = 20'

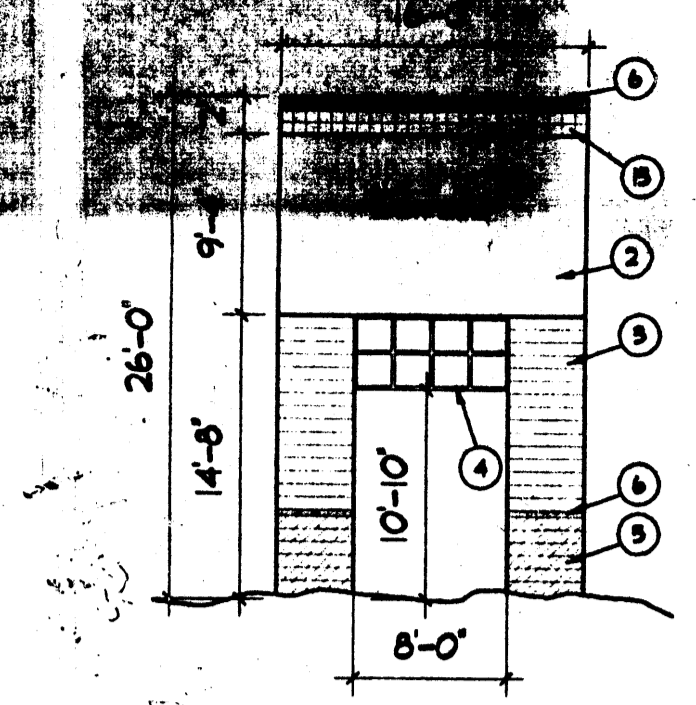


SOUTH ELEVATION BLDG. B
SCALE 1" = 20'

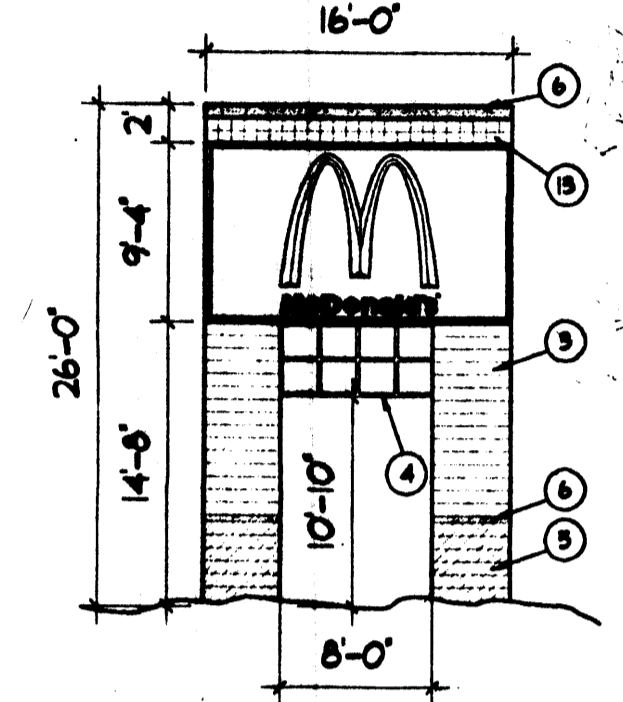
CORNER ELEVATION
SCALE 1" = 20'



EAST ELEVATION BLDG. B
SCALE 1" = 20'

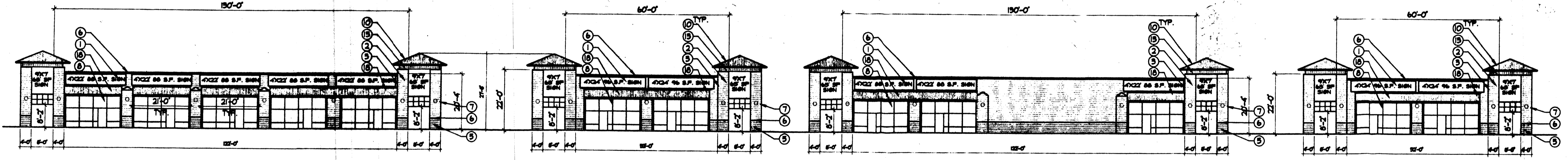


MONUMENT SIGN
SCALE 1" = 10'



MONUMENT SIGN - MCDONALD'S
SCALE 1" = 10'

- 1. LIGHTING FIXTURES SEE LIGHTING NOTE C-1
- 2. BLUE STUCCO FINISH
- 3. BLUE STUCCO FINISH
- 4. BLUE STUCCO FINISH
- 5. BLUE STUCCO FINISH
- 6. BLUE STUCCO FINISH
- 7. BLUE STUCCO FINISH
- 8. BLUE STUCCO FINISH
- 9. BLUE STUCCO FINISH
- 10. BLUE STUCCO FINISH
- 11. BLUE STUCCO FINISH
- 12. BLUE STUCCO FINISH
- 13. BLUE STUCCO FINISH
- 14. BLUE STUCCO FINISH
- 15. BLUE STUCCO FINISH
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- 17. BLUE STUCCO FINISH
- 18. BLUE STUCCO FINISH
- 19. BLUE STUCCO FINISH
- 20. BLUE STUCCO FINISH
- 21. BLUE STUCCO FINISH

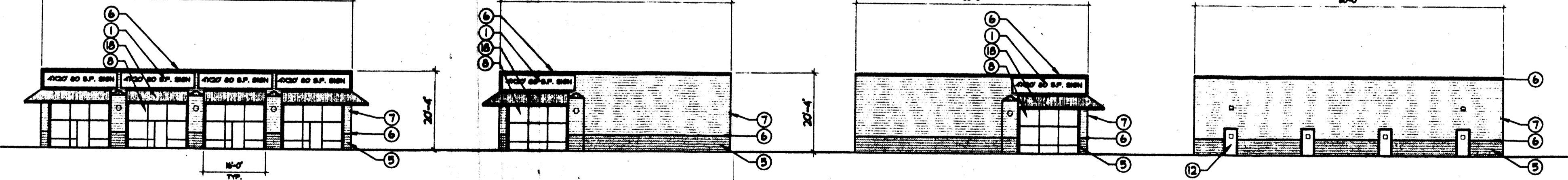


WEST ELEVATION BLDG. D
SCALE 1" = 20'

SOUTH ELEVATION BLDG. D
SCALE 1" = 20'

EAST ELEVATION BLDG. D
SCALE 1" = 20'

NORTH ELEVATION BLDG. D
SCALE 1" = 20'

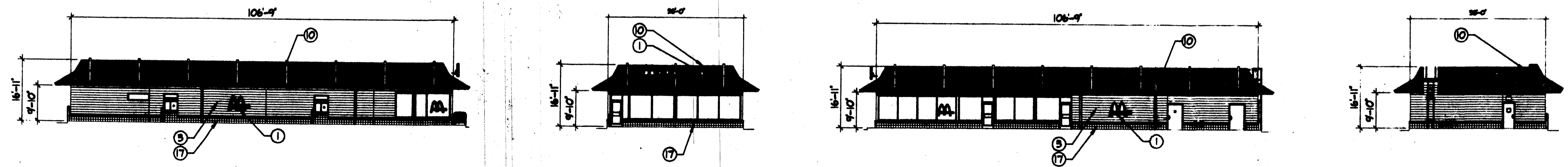


SOUTH ELEVATION BLDG. C
SCALE 1" = 20'

EAST ELEVATION BLDG. C
SCALE 1" = 20'

WEST ELEVATION BLDG. C
SCALE 1" = 20'

NORTH ELEVATION BLDG. C
SCALE 1" = 20'



NORTH ELEVATION BLDG. A
SCALE 1" = 20'

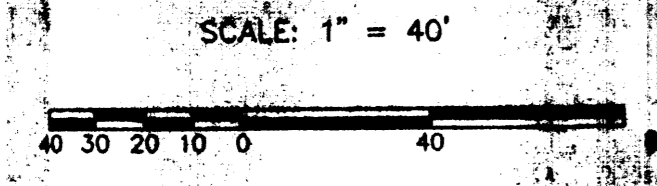
WEST ELEVATION BLDG. A
SCALE 1" = 20'

SOUTH ELEVATION BLDG. A
SCALE 1" = 20'

EAST ELEVATION BLDG. A
SCALE 1" = 20'

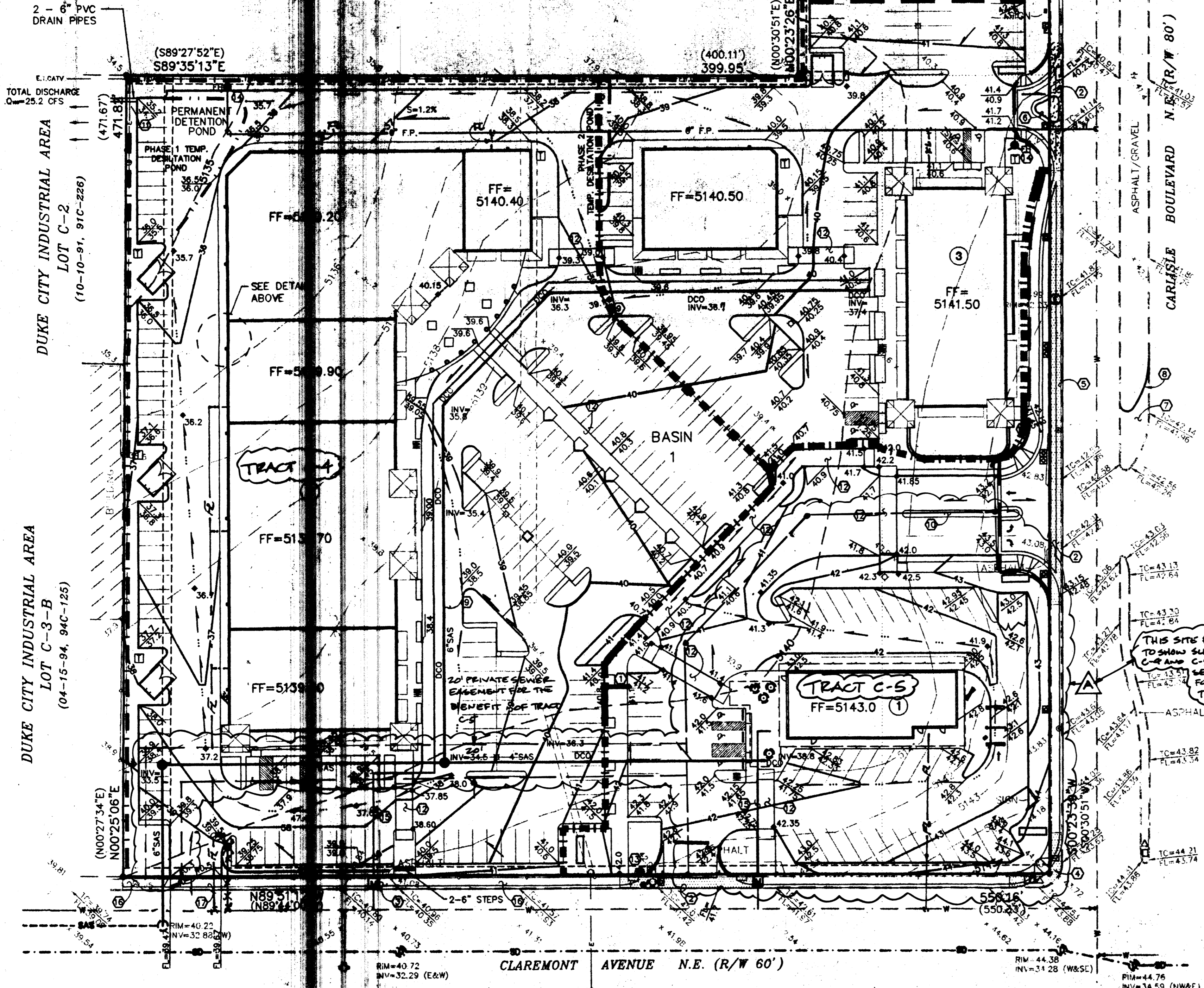
Job title THE SHOPS AT CARLISLE			
CARLISLE BLVD AND CLAREMONT AVE ALBUQUERQUE, NM			
PROJECT MANAGER JORGE DE LA TORRE AIA	job no 99022	date 9/14/99	
sheet title ELEVATIONS	by NAP		

de la torre architecte, p.a. aia
2400 luisiana blvd ne
building 3 / suite 110
albuquerque nm 87110 / 505-883-5671

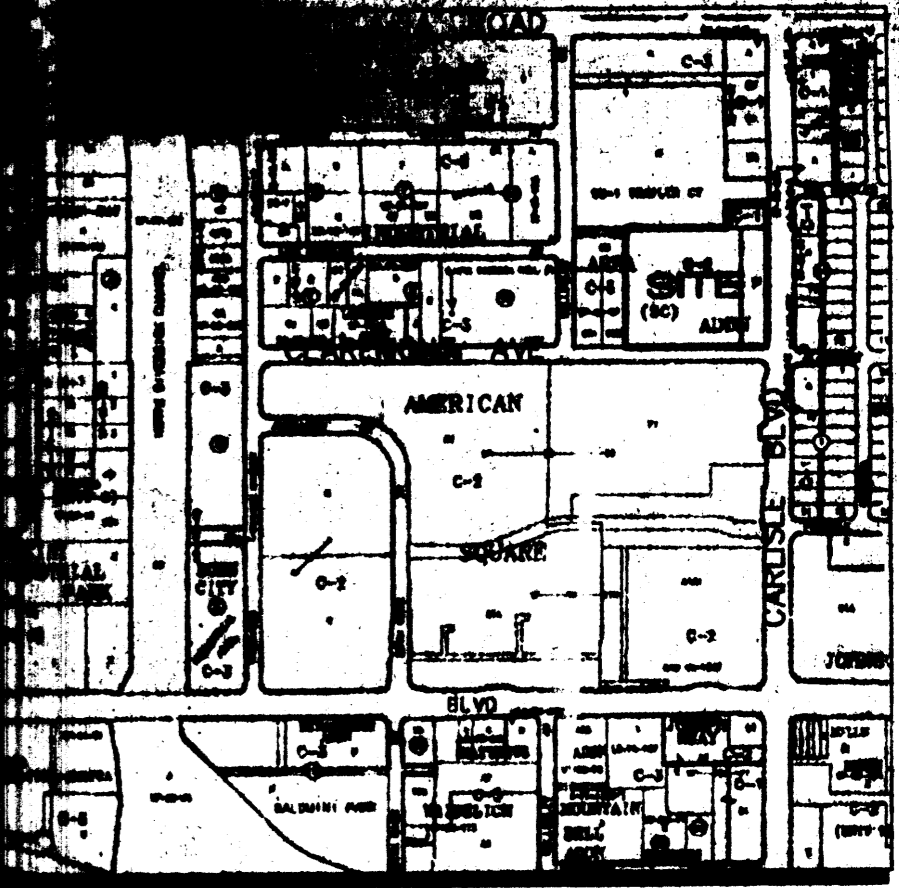


TYPICAL REAR DOOR LANDING
AT EACH DOOR LOCATION
AT REAR OF BUILDING(S)
NOT TO SCALE

DUKE CITY INDUSTRIAL AREA
TRACT B
(02-04-63, C5-148)



EXISTING	PROPOSED
--- CURB AND GUTTER	--- EROSION CONTROL BERM
--- WALL OR HEAD WALL	--- DETENTION POND
--- BOLLARD	--- DRAINAGE BASIN LIMITS
--- SIGN	--- SIDEWALK CULVERT
--- METAL FENCE	--- PHASE LIMITS
--- CHAIN LINK FENCE	--- MINOR CONTOUR
○ SANITARY SEWER MANHOLE	--- MAJOR CONTOUR
⊕ WATER VALVE	41.4 + SPOT ELEVATION
⊕ FIRE HYDRANT	42.0 TOP OF CURB ELEVATION
⊕ WATER METER	41.5 FLOWLINE
⊕ ELECTRIC MANHOLE	--- EXISTING CURB & GUTTER, PCC SIDEWALK AND DRIVEPAD TO BE REMOVED
⊕ ELECTRIC PEDESTAL	--- FLOW DIRECTION ARROW
--- OVERHEAD ELECTRIC LINE	--- SWALE
○ STREET LIGHT	INV=38.8 SAS SERVICE LINE INVERT ELEVATION
○ POWER POLE	--- ON-SITE PRIVATE SAS
⊕ ANCHOR	--- DOUBLE CLEANOUT
⊕ LOT LIGHT (BASE ONLY)	⊕ WATER METER
⊕ TRAFFIC LIGHT	⊕ FIRE HYDRANT
⊕ TRAFFIC SIGNAL OR PULLBOX	③ PHASE NUMBER
○ GAS VALVE	--- FL FIRE LINE
--- WATERLINE	
--- SANITARY SEWER LINE	
--- STORM SEWER LINE	
---5140--- MAJOR CONTOUR	
5141 MINOR CONTOUR	
--- FL --- TOP OF CURB ELEVATION	
--- FLOWLINE ELEVATION	
○ SPOT ELEVATION	



VICINITY MAP
TRACT C, DUKE CITY INDUSTRIAL AREA
272250 SF
NCS-1 1/2" ALUMINUM DISK STAMPED "12-H17" LOCATED IN THE NNE CARLISLE BLVD. & PHOENIX AVE. S.E. 78
NOTATION: AS PER DESIGNATED ON PANE #351 OF 825 OF THE DISCHARGE RATE MAPS DATED SEPTEMBER 20, 1996, NO PORTION OF THIS PARCEL IS WITHIN A FLOOD PLAIN.
NOTES: CONDITIONS HAVE NOT CHANGED FROM THE APPROVED 1996. THIS PARCEL OF LAND WAS PREVIOUSLY DEVELOPED AS A CAR WASH ALMOST 100% ASPHALT PAVEMENT. ALTHOUGH RECENTLY CLEARED OF ASPHALT IMPROVEMENTS IN ANTICIPATION OF REDEVELOPMENT, THE EXISTING HYDROLOGICAL IS THAT OF FULL DEVELOPMENT. THE ENTIRE PARCEL, 6.09 ACRES, IS DIVIDED INTO TWO BASINS. BASIN 1 CONSISTS OF THE WESTERN PORTION OF THE SITE. RUNOFF FROM BASIN 1 FLOWS TO THE EAST. THERE IT IS ALLOWED TO FLOW ONTO THE BLAKE'S SITE. BASIN 2 CONSISTS OF APPROXIMATELY 0.16 ACRES AND HAS A DEVELOPMENT DISCHARGE RATE OF APPROXIMATELY 0.69 CFS.
NOTES: THIS SITE HAS NOT BEEN THE SUBJECT OF A DRAINAGE PLAN, BUT IT IS INCLUDED IN THE DRAINAGE PLAN FOR THE PARCEL TO THE NORTHWEST. AN OFFSITE CONTRIBUTING BASIN. THE DRAINAGE PLAN FOR THAT PARCEL, A "MAINTENANCE BUILDING" PARCEL, IS IN FILE H-16/0101. THAT REPORT SHOWS THE RUNOFF FROM THIS PARCEL (CALCULATED AS 25.23 CFS) TO BE AN OFFSITE FLOW. NO OFFSITE FLOWS CROSS THIS SITE.
NOTES: THE SITE IS PLANNED TO BE DEVELOPED WITH A BUSINESS BUILDING, AND A MCDONALD'S. THE REMAINDER OF THE SITE IS TO BE USED FOR PARKING AREA AND LANDSCAPING.
NOTES: BASIN 1 WILL REMAIN IN THEIR CURRENT CONFIGURATION, WITH WATER BLOCKS. BASIN 1 WILL GENERATE A TOTAL FLOW RATE OF 26.37 CFS. A DETENTION POND IS LOCATED IN THE NORTHWEST CORNER OF THE PROPERTY WILL LIMIT THE ALLOWABLE DISCHARGE RATE OF 25.23 CFS. BASIN 2 WILL DISCHARGE 0.69 CFS TO CARLISLE BLVD. THE WATER BLOCKS REPEATED SPACES WILL ACCOUNT FOR ABOUT 0.1 CFS WHICH WILL FLOW TO THE WEST.
NOTES: THE SITE IS PLANNED IN PHASES. THE FIRST PHASE WILL BE THE SOUTHWEST CORNER OF THE PROPERTY AND WILL CONSIST OF 1.409 ACRES. RUNOFF FROM THIS PORTION OF THE SITE EQUALS 6.11 CFS AND WILL DISCHARGE FREELY ACROSS THE REMAINDER OF THE SITE. RUNOFF FROM THIS PORTION OF THE SITE WILL BE ALLOWED TO FLOW TO THE WEST. A SMALL DETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE PROPERTY BEFORE DISCHARGING TO THE "BLAKE'S MAINTENANCE BUILDING".
NOTES: PHASE OF DEVELOPMENT (3.299 ACRES) WILL CONSIST OF THE WESTERN PORTION OF THE REQUIRED DETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE WILL BE CONSTRUCTED AT THIS TIME. A DETENTION POND LOCATED IN THE WESTERN BOUNDARY OF PHASE 3 WILL ALSO BE CONSTRUCTED FOR THE SECOND PHASE.
NOTES: PHASE OF DEVELOPMENT WILL BE LOCATED IN THE NORTHEAST CORNER OF THE PROPERTY. THE TEMPORARY DETENTION POND CONSTRUCTED WITH PHASE 2 WILL BE ALLOWED TO FLOW TO THE WEST. THE DETENTION POND WILL ALSO INCLUDE THE DEVELOPMENT OF BASIN 2. A LANDSCAPED DETENTION POND WILL CONVEY THE FLOWS TO CARLISLE BLVD.

KEYED CONSTRUCTION NOTES

- SIDEWALK CULVERT PER COA STD DWG #2236.
- REMOVE & DISPOSE EXISTING CURB & GUTTER AND/OR PCC DRIVEPAD, CONSTRUCT COA STD VALLEY GUTTER, FILLETS AND WHEELCHAIR RAMPS.
- REMOVE & DISPOSE EXISTING DRIVEPAD. CONSTRUCT STANDARD CURB & GUTTER AND PCC SIDEWALK.
- REMOVE & DISPOSE EXISTING CURB & GUTTER, PCC SIDEWALK, RELOCATE TRAFFIC SIGNAL BASE AND TRAFFIC PULLBOX; CONSTRUCT COA STANDARD CURB & GUTTER (30' R) W/PCC SIDEWALK & WHEELCHAIR RAMP.
- REMOVE & DISPOSE EXISTING CURB & GUTTER, AND PCC SIDEWALK; CONSTRUCT 100' DECELERATION LANE W/150' REVERSE CURVE TRANSITION.
- ENTRY-MEDIAN (PRIVATE).
- REMOVE & DISPOSE MEDIAN CURB; PLACE ARTERIAL PAVING BETWEEN MODIFIED MEDIAN.
- CONSTRUCT COA MEDIAN CURB W/4 FT & 50 FT RADIUS.
- DRAINAGE RUNDOWN (PCC) PER REQUIRED WIDTHS.
- 70 FT x 4 FT (WIDE) ENTRY MEDIAN (PRIVATE).
- 2' CURB CUT & LANDSCAPED RUNDOWN
- PEDESTRIAN CROSSINGS.
- REMOVE & RELOCATE FH TO LOCATION SHOWN.
- CONSTRUCT FH (PUBLIC) INCLUSIVE OF INSERTION TEE, VALVES AND 6" DIA. PIPE. (7 1/2" OF 2)
- NEW WATER SERVICE.
- CONSTRUCT PCC SIDEWALK PER COA STD DWG #2430.
- REMOVE AND DISPOSE OF STANDARD CURB & GUTTER. CONSTRUCT DRIVEPAD PER COA STD DWG #2425.

THIS SITE PLAN IS BEING AMENDED TO SHOW SUBDIVISION OF TRACTS C-3 AND C-5, TO ADD A PRIVATE SEWER EASEMENT FOR THE BENEFIT OF TRACT C-5 AND TO SHOW A CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT C-5.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

069GRD.DWGnew 09/07/99

SHOPS AT CARLISLE
CARLISLE BLVD AND CLAREMONT AVE
ALBUQUERQUE, NM

PROJECT MANAGER	Job no	date
DE LA TORRE, AA	99022	7/26/99
TYPE	CONCEPTUAL	by
DATE	7/26/99	FCA

la torre architects, p.c.a.
town office park
academy rd ne, building 2 suite 200
albuquerque nm 87109 / 505-883-7918

sheet- 2
C2
of- 4
START DATE: 6/10/99