

LEGAL DESCRIPTION:

TRACT 5-42 OF THE REVISION OF PARCELS 7-4-A* AND 7-5-A* LANDS OF JOEL P. TAYLOR, COORS BOULEVARD N.E. AND MONTANO ROAD N.W., ALBUQUERQUE, NEW MEXICO

CURRENT ZONING: C2
 TOTAL ACRES: 3.3067 AC.
 ZONE ATLAS: E-12-Z

BUILDING AREA and PARKING CALCULATIONS:

BUILDING AREA
 15,120 SF / 200 = 76 SPACES
 SPACES REQUIRED: 76 SPACES
 10K BUS CREDIT: 76 SPACES x 9 = 69 SPACES
 SPACES REQUIRED: 69 SPACES

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"
 TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0"
 WITH A 8' WIDE ACCESS AISLE

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

TOTAL PARKING SPACES REQUIRED: 69 SPACES
 TOTAL PARKING SPACES PROVIDED: 73 SPACES
 INCLUDING: 3 HC SPACE & 1 VAN SPACE
 INCLUDING: 17 SMALL CAR PARKING

RADIUS:

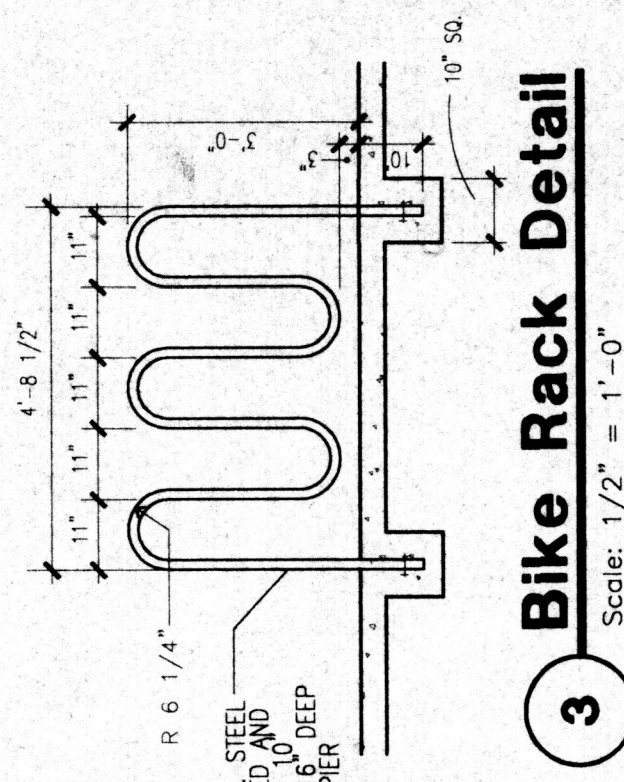
- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 50'-0"
- ⑩ RADIUS = 80'-0"
- ⑪ RADIUS = 160'-0"

PARCEL BREAKDOWN

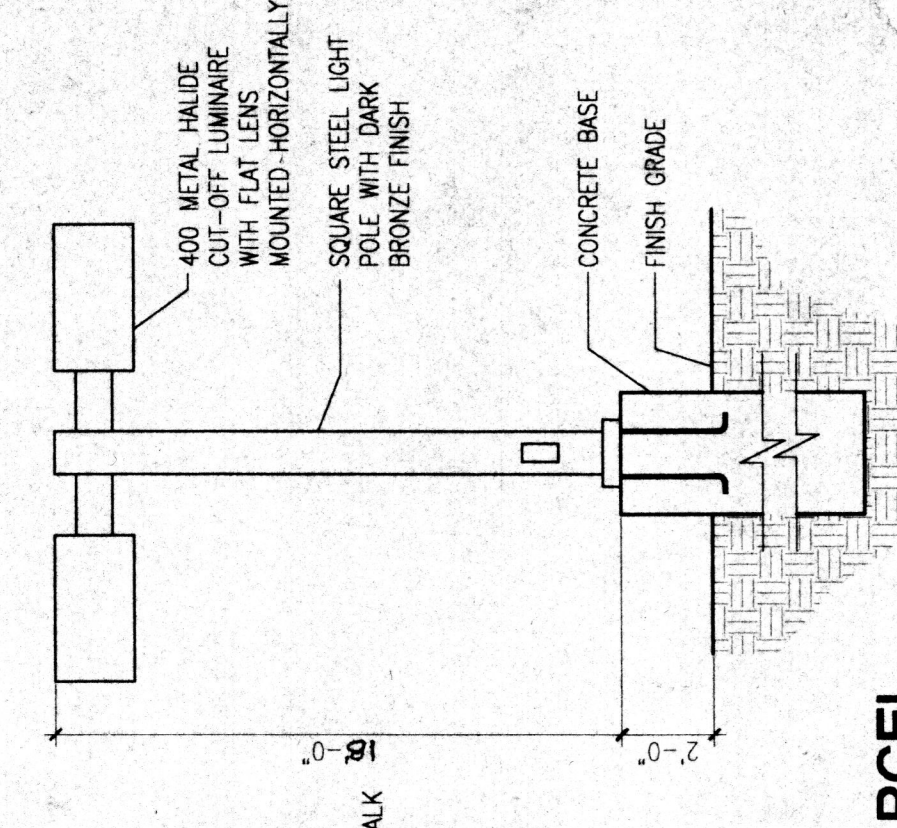
WALGREENS PARCEL (NET): 114,601 SF. OR 2.63 AC.
 EASEMENT PARCEL: 13,557 SF.
 WALGREENS PARCEL (GROSS): 128,158 SF. OR 2.94 AC. (INCLUDING EASEMENT PARCEL)
 NOT A PART: 26,670 SF. OR 0.61 AC.

KEYED NOTES:

1. GAS METER LOCATION. PROVIDE BOLLARDS PER LOCAL TRANSFORMER LOCATION
2. TRANSFORMER LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
3. 75# MONUMENT SIGN TO MATCH CENTER
4. WHITE PAVEMENT ARROW
5. LANDSCAPE STRACK/ISLANDS
6. BICYCLE RACK LOCATION - 4 BIKES. SEE 3/CO.1
7. NEW CONCRETE CURB IN EXISTING PARKING AREA.
8. NEW CONCRETE SIDEWALK
9. STOPPING WALKWAY - 4' WIDE (TYPICAL)
10. HANDICAP SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS. SEE 8/CO.0 AND 1/CO.1
11. HANDICAP VAN SPACE. SEE 8/CO.0 AND 1/CO.1
12. STANDARD ASPHALT PAVING
13. CONCRETE PAVING AT DRIVE-THRU AND RECEIVING PAD. SEE A4.4
14. PHARMACY DRIVE THRU RAMP. 1:12 MAXIMUM SLOPE ON RAMP. SEE 10/CO.0
15. SMALL CAR 7'-6" x 13'-6" STALL TYPICAL
16. STRIPPED HANDICAP ACCESS AISLE. SEE 2/CO.1
17. 8'-6" x 18'-0" STALLS TYPICAL
18. HEAVY DUTY ASPHALT PAVING
19. SEE 5/CO.0
20. YELLOW PAINTED ARROW AND 24" HIGH LETTERS.
21. 8'-6" x 20'-0" STALLS TYPICAL
22. NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE
23. EXISTING TRANSFORMER TO REMAIN
24. EXISTING TRANSFORMER TO REMAIN
25. EXISTING TRANSFORMER TO REMAIN
26. EXISTING TRANSFORMER TO REMAIN
27. RELOCATED IRRIGATION CONTROL VALVE
28. CONCRETE CURB PER CITY OF ALBUQUERQUE
29. NEW 6" CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARDS
30. EXISTING STREET LIGHT TO REMAIN
31. RELOCATED STREET LIGHT PER CITY OF ALBUQUERQUE STANDARDS
32. FUTURE CURB AND GUTTER BY OTHERS
33. NEW TEMPORARY ASPHALT PAVING PER CITY OF ALBUQUERQUE STANDARDS
34. GET LOTS STORAGE ENCLOSURE. PAINT TO MATCH BUILDING.
35. FUTURE RIGHT IN & OUT PENDING APPROVAL OF N.M. STATE HIGHWAY DEPT. AND CITY OF ALBUQUERQUE



3 Bike Rack Detail
 Scale: 1/2" = 1'-0"



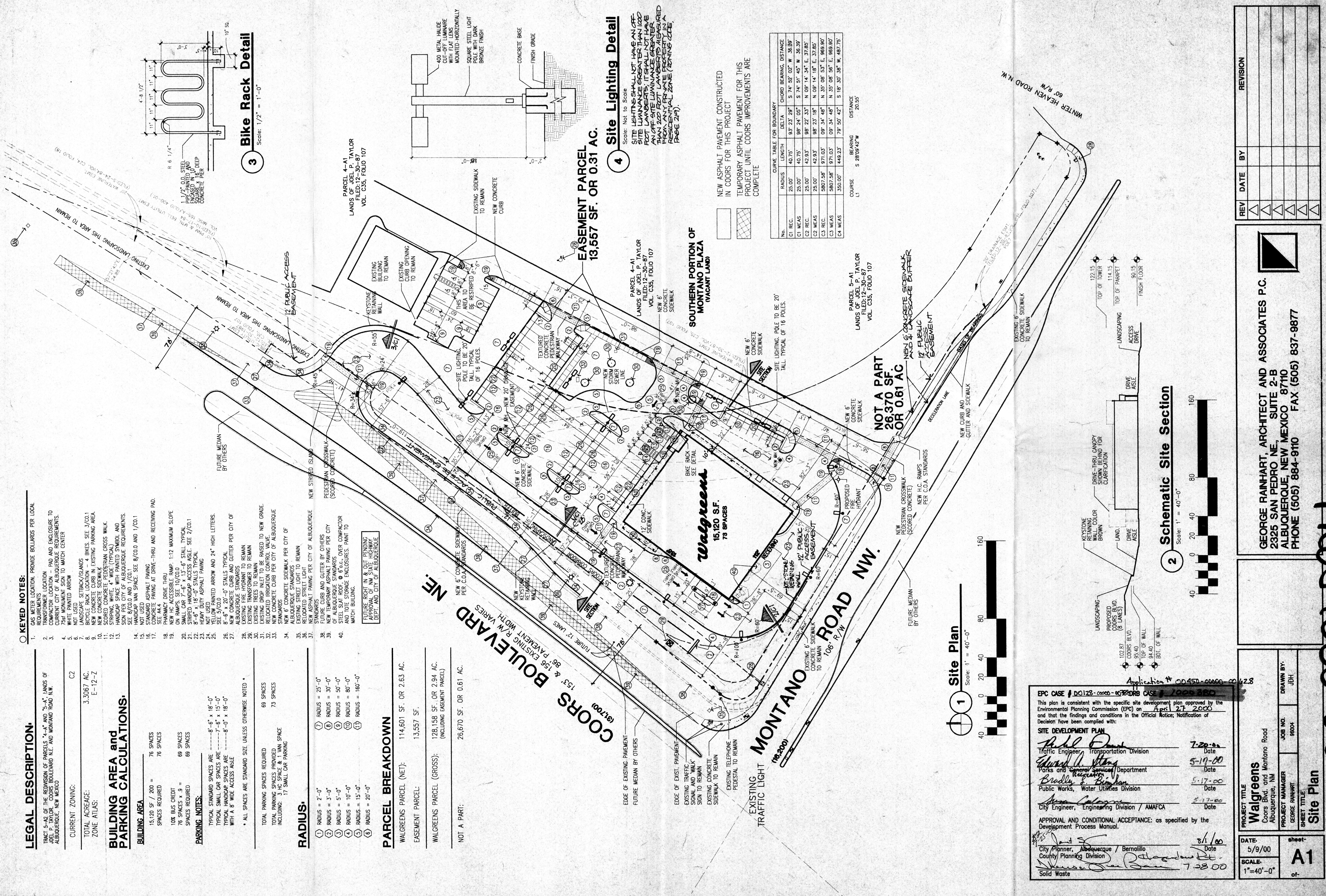
4 Site Lighting Detail
 Scale: Not to Scale

SITE LIGHTING SHALL HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT CANDLES. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 25 FOOT CANDLES MEASURED FROM ANY LOCAL ZONE (SEE PAGE 21).

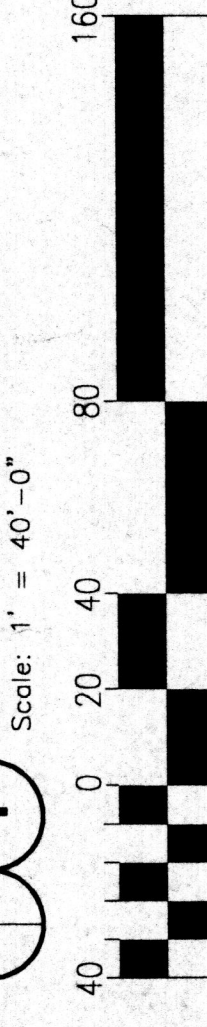
NEW ASPHALT PAVEMENT CONSTRUCTED IN COORS FOR THIS PROJECT
 TEMPORARY ASPHALT PAVEMENT FOR THIS PROJECT UNTIL COORS IMPROVEMENTS ARE COMPLETE

NO.	RADIUS	LENGTH	DELTA	CHORD BEARING DISTANCE
C1 REC.	25.00'	93.23 29'	S 74° 52' 02" W	36.39'
C1 MEAS.	40.75'	98° 24' 05"	S 74° 51' 45" W	36.39'
C2 REC.	25.00'	42.93'	N 09° 14' 34" E	37.85'
C2 MEAS.	25.00'	42.93'	N 09° 14' 18" E	37.85'
C3 REC.	5807.58'	971.03'	N 35° 08' 53" E	969.90'
C3 MEAS.	5807.58'	971.03'	N 35° 08' 56" E	969.90'
C4 REC.	350.00'	449.23'	S 18° 30' 38" W	487.75'
C4 MEAS.	350.00'	449.23'	S 18° 30' 38" W	487.75'

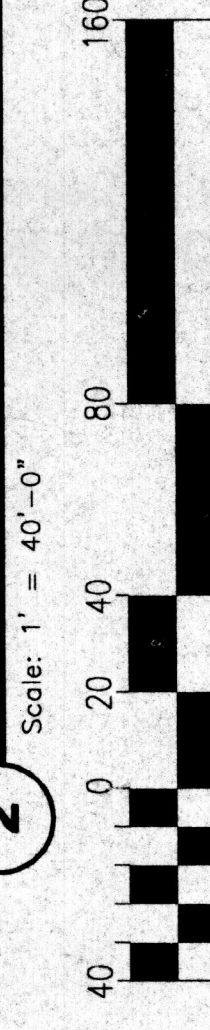
COURSE BEARING DISTANCE
 L1 S 28°09'42"W 20.55'



1 Site Plan
 Scale: 1" = 40'-0"



2 Schematic Site Section
 Scale: 1" = 40'-0"



EPC CASE # DC128-0000-000000 CASE # 7000 3100
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on April 27, 2000 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Richard D. Smith</i> Traffic Engineer	Transportation Division	7-20-00	Date
<i>Edward A. Stang</i> Parks and General Services Department		5-19-00	Date
<i>Bradley S. Bingham</i> Public Works, Water Utilities Division		5-17-00	Date
<i>Mark Coleman</i> City Engineer, Engineering Division / AMAFCA		5-17-00	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo
County Planning Division
 Solid Waste

PROJECT TITLE: **Walgreens**
 Coors Blvd. and Montano Road
 Albuquerque, NM

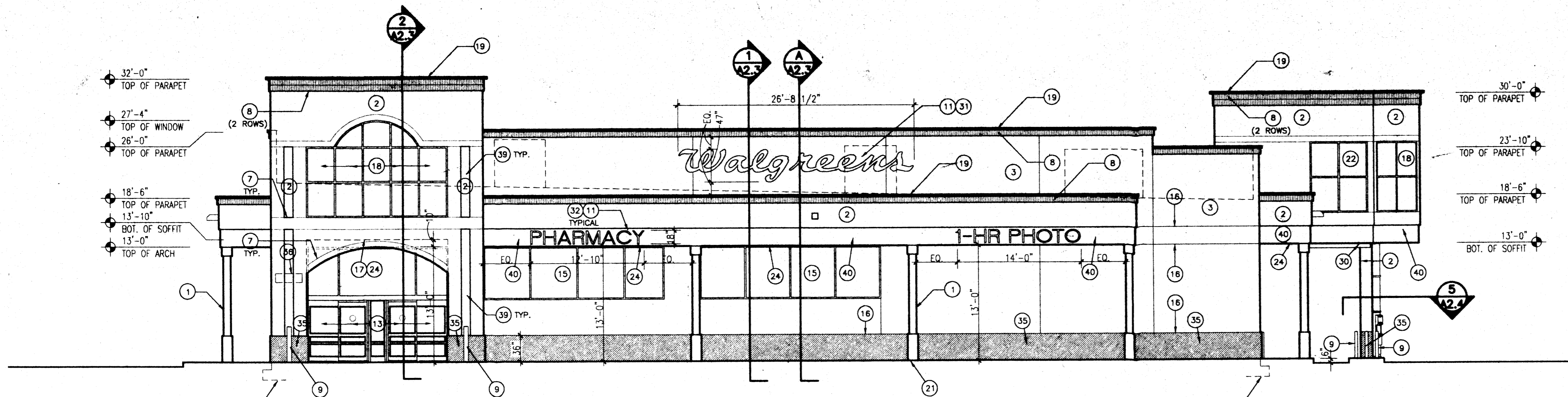
PROJECT MANAGER: **George Rainhart**
 JOB NO.: 98004

DRAWN BY: **JDH**

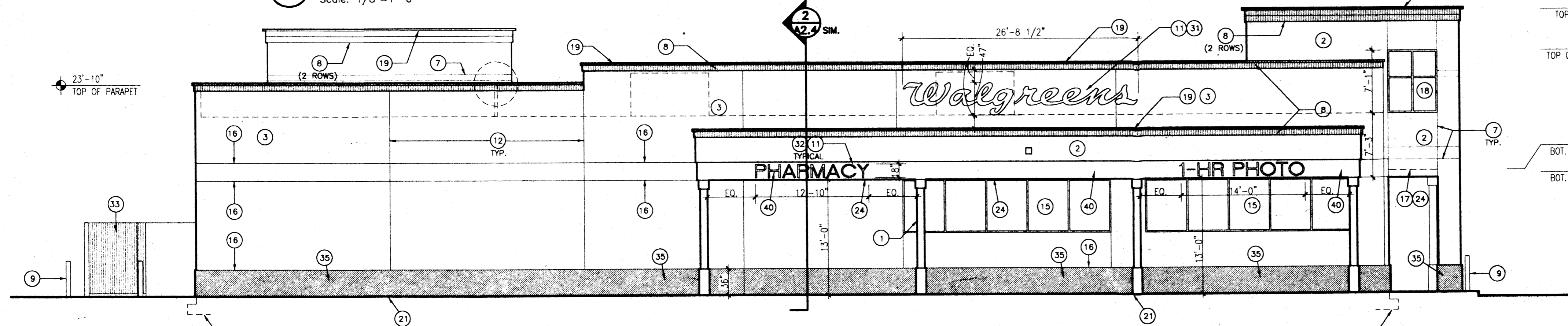
DATE: 5/9/00
 SCALE: 1" = 40'-0"
 SHEET TITLE: **Site Plan**
 sheet: **A1**
 of:

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

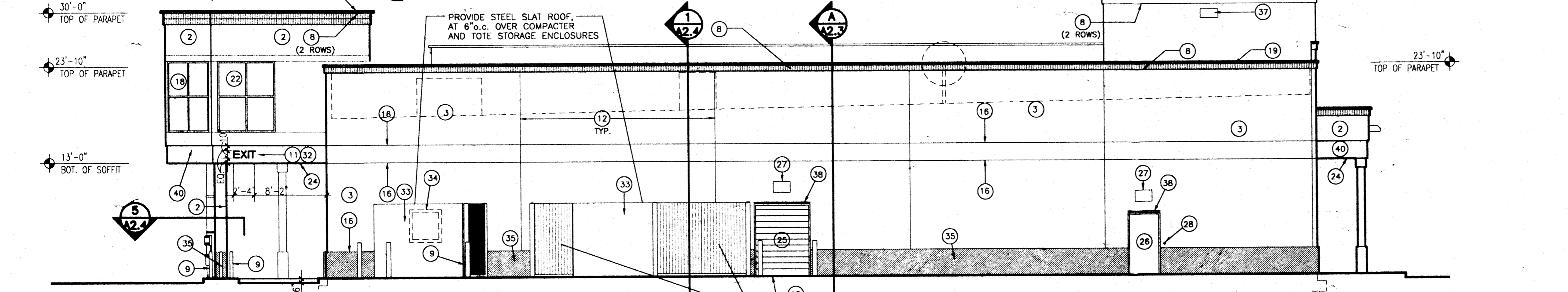
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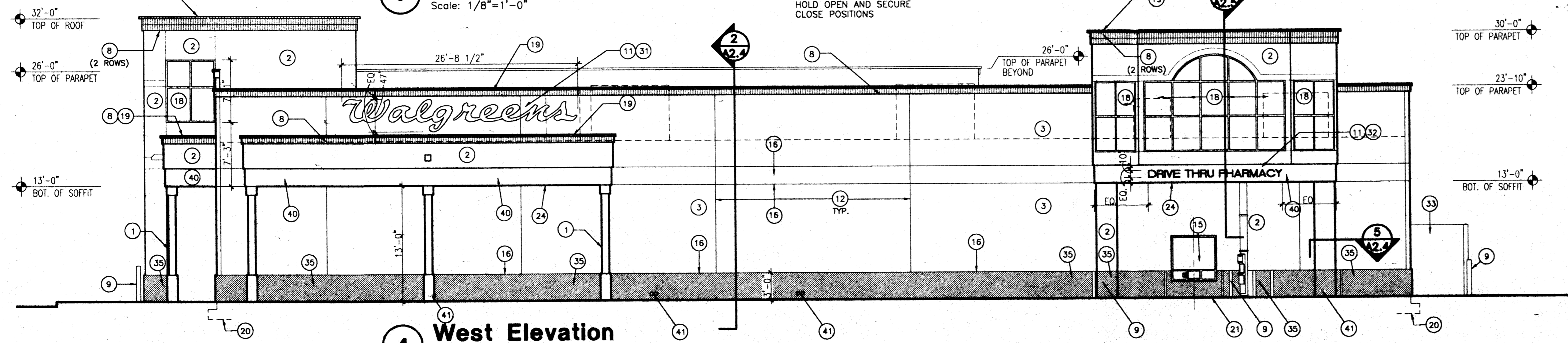
1 North Elevation
Scale: 1/8"=1'-0"



2 East Elevation
Scale: 1/8"=1'-0"



3 South Elevation
Scale: 1/8"=1'-0"



4 West Elevation
Scale: 1/8"=1'-0"

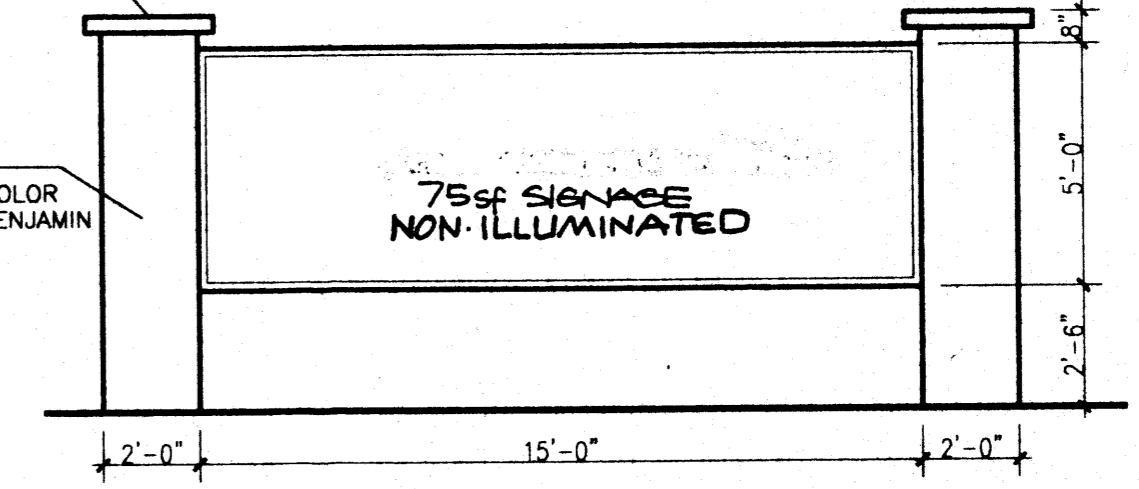
KEYED NOTES:

1. 10x10 WOOD COLUMN WITH BASE AND CAPITAL TRIM. PAINTED WHITE.
2. TWO COAT STUCCO SYSTEM OVER METAL LATH, AND 15lb. BUILDING PAPER OVER SHEATHING ON METAL STUDS. COLOR TO MATCH BENJAMIN MOORE #951
3. CONCRETE TILT-UP PANEL WITH SPRAY-ON TEXTURE. COLOR TO MATCH BENJAMIN MOORE #951.
4. NOT USED.
5. NOT USED.
6. NOT USED.
7. CONTROL JOINT.
8. BRICK SOLDIER COURSE.
9. STEEL PIPE BOLLARDS. SEE 7/CO.D.
10. RECEIVING AREA CONCRETE SLAB.
11. TENANT SIGNAGE. SEE ELECTRICAL.
12. SEALANT IN PANEL JOINTS.
13. AUTOMATIC SLIDING DOOR ENTRANCE/EXIT.
14. NOT USED.
15. DARK BRONZE STOREFRONT SYSTEM WITH 1" INSULATED LOW 'E' TINTED GLAZING
16. CONTROL JOINT AROUND PERIMETER OF BUILDING
17. SOFFIT BEYOND
18. DARK BRONZE STOREFRONT SYSTEM WITH 1/2" CLEAR GLAZING.
19. BRICK PARAPET CAP.
20. LINE OF FOUNDATION.
21. LINE OF FINISH FLOOR.
22. DARK BRONZE STOREFRONT SYSTEM WITH SPANDREL GLAZING.
23. NOT USED.
24. GYP. SOFFIT BOARD, TAPE, TEXT & PAINT.
25. STEEL ROLLING DOOR. PAINTED TO MATCH BENJAMIN MOORE #951.
26. HOLLOW METAL DOOR AND FRAME. PAINTED TO MATCH BENJAMIN MOORE #951.
27. LIGHT FIXTURE OVER DOOR.
28. STOCK ROOM DOOR BELL TO RING OVER PHARMACY CEILING.
29. NOT USED.
30. CLEARANCE SIGN. SEE SHEET A5.1
31. WALGREENS SCRIPT SIGN BY WALGREENS. POWER AND BLOCKING BY GENERAL CONTRACTOR.
32. INDIVIDUAL LETTER SIGN BY WALGREENS. POWER AND BLOCKING BY GENERAL CONTRACTOR.
33. CMU COMPACTOR ENCLOSURE WITH STUCCO FINISH TO MATCH BENJAMIN MOORE #951.
34. COMPACTOR OPENING BEYOND.
35. TWO COAT STUCCO SYSTEM OVER METAL LATH, AND 15lb. BUILDING PAPER OVER 1 1/2" RIGID INSULATION AND HIGH-IMPACT FIBER REINFORCING. COLOR TO MATCH BENJAMIN MOORE #1123
36. 12" ALUMINUM ADDRESS NUMBERS OF CONTRASTING COLOR TO BACKGROUND.
37. VENT WITH INSECT SCREEN
38. PREFINISHED GALVANIZED RAIN DRIP
39. 4" STUCCO REVEAL
40. 24" STUCCO WIDE ACCENT BAND. COLOR: WHITE
41. DAYLIGHT ROOF DRAINS THRU WALL WITH NOZZLE ABOVE SIDEWALK

NOTE:
ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEWS ALONG THE PERIMETER OF THE PROPERTY. THE TOP OF ROOFTOP EQUIPMENT HEIGHT SHALL BE BELOW THE TOP OF THE BUILDING PARAPET. THE TOP OF ALL GROUND MOUNTED EQUIPMENT SHALL BE BELOW THE TOP OF ANY SCREEN WALL.

METAL CAP
COLOR TO MATCH
BENJAMIN MOORE
#1123

METAL SIGN
SUPPORTS. COLOR
TO MATCH. BENJAMIN
MOORE #951



5 Monument Sign
Scale: 1/4"=1'-0"

REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
Walgreens
Coors Blvd. and Montana Road
Albuquerque, NM

PROJECT MANAGER
GEORGE RAINHART

DRAWN BY
JDH

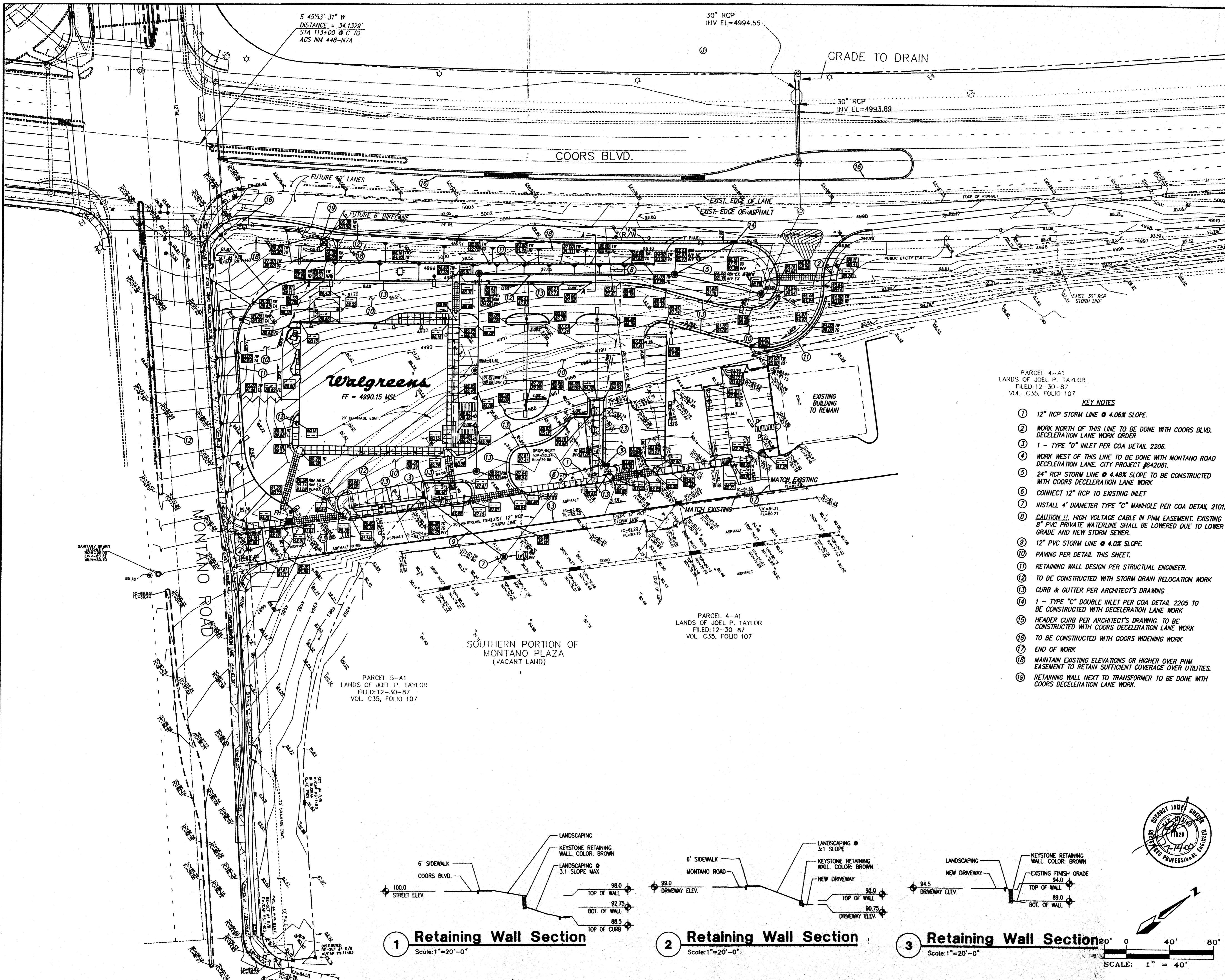
JOB NO.
9604

SHEET TITLE
Building Elevations

DATE
5/9/00

SCALE
1/8"=1'-0"

sheet
A2



PARCEL 4-A1
 LANDS OF JOEL P. TAYLOR
 FILED: 12-30-87
 VOL. C35, FOLIO 107

KEY NOTES

- 1 12" RCP STORM LINE @ 4.06% SLOPE.
- 2 WORK NORTH OF THIS LINE TO BE DONE WITH COORS BLVD. DECELERATION LANE WORK ORDER
- 3 1 - TYPE "D" INLET PER COA DETAIL 2206.
- 4 WORK WEST OF THIS LINE TO BE DONE WITH MONTANO ROAD DECELERATION LANE. CITY PROJECT #642081.
- 5 24" RCP STORM LINE @ 4.48% SLOPE TO BE CONSTRUCTED WITH COORS DECELERATION LANE WORK
- 6 CONNECT 12" RCP TO EXISTING INLET
- 7 INSTALL 4' DIAMETER TYPE "C" MANHOLE PER COA DETAIL 2101.
- 8 CAUTION !! HIGH VOLTAGE CABLE IN PNM EASEMENT. EXISTING 8" PVC PRIVATE WATERLINE SHALL BE LOWERED DUE TO LOWER GRADE AND NEW STORM SEWER.
- 9 12" PVC STORM LINE @ 4.0% SLOPE.
- 10 PAVING PER DETAIL THIS SHEET.
- 11 RETAINING WALL DESIGN PER STRUCTURAL ENGINEER.
- 12 TO BE CONSTRUCTED WITH STORM DRAIN RELOCATION WORK
- 13 CURB & GUTTER PER ARCHITECT'S DRAWING
- 14 1 - TYPE "C" DOUBLE INLET PER COA DETAIL 2205 TO BE CONSTRUCTED WITH DECELERATION LANE WORK
- 15 HEADER CURB PER ARCHITECT'S DRAWING. TO BE CONSTRUCTED WITH COORS DECELERATION LANE WORK
- 16 TO BE CONSTRUCTED WITH COORS WIDENING WORK
- 17 END OF WORK
- 18 MAINTAIN EXISTING ELEVATIONS OR HIGHER OVER PNM EASEMENT TO RETAIN SUFFICIENT COVERAGE OVER UTILITIES.
- 19 RETAINING WALL NEXT TO TRANSFORMER TO BE DONE WITH COORS DECELERATION LANE WORK.

VICINITY MAP ZONE MAP: E-12

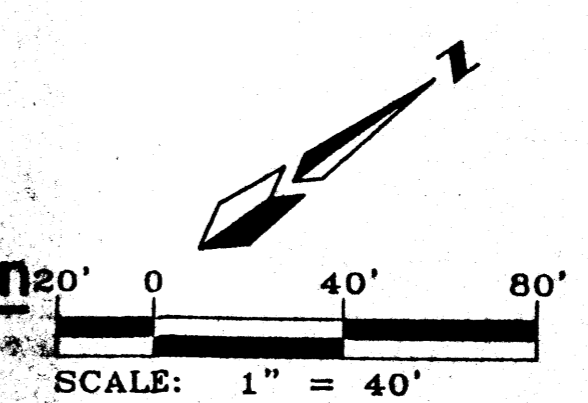
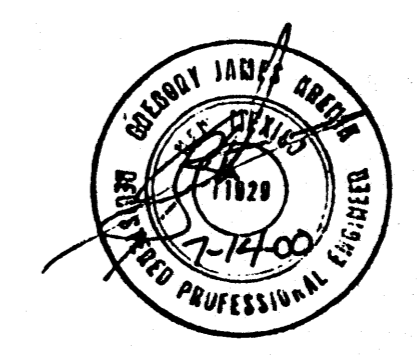
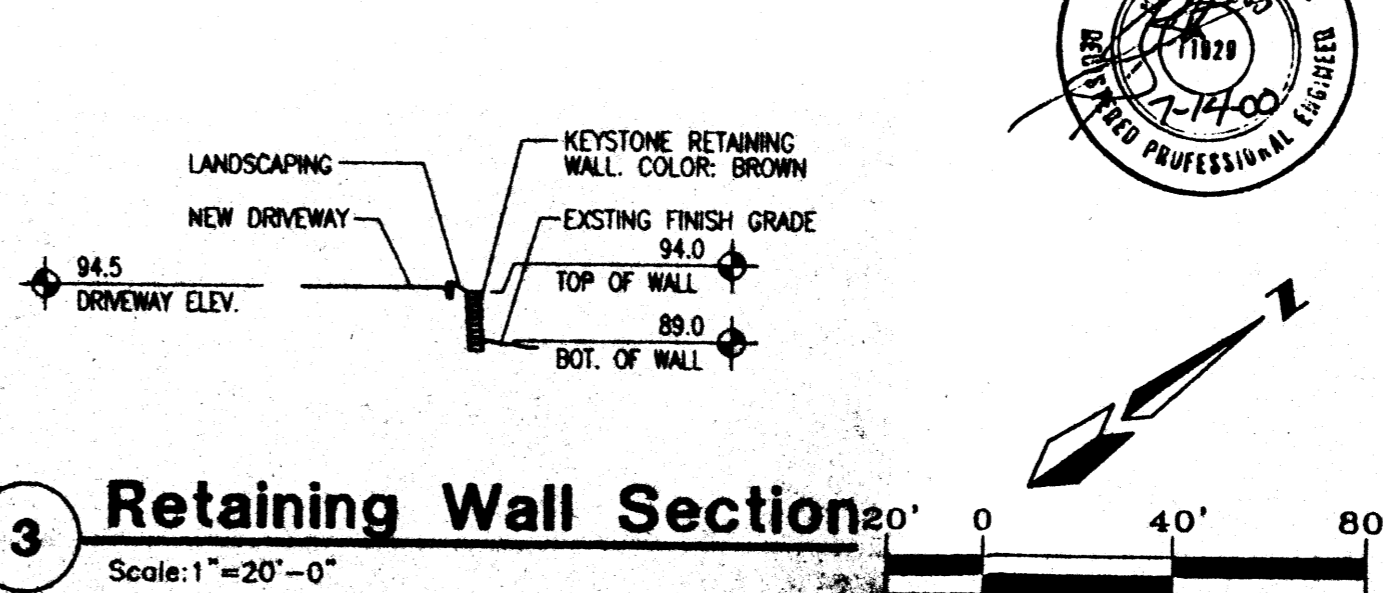
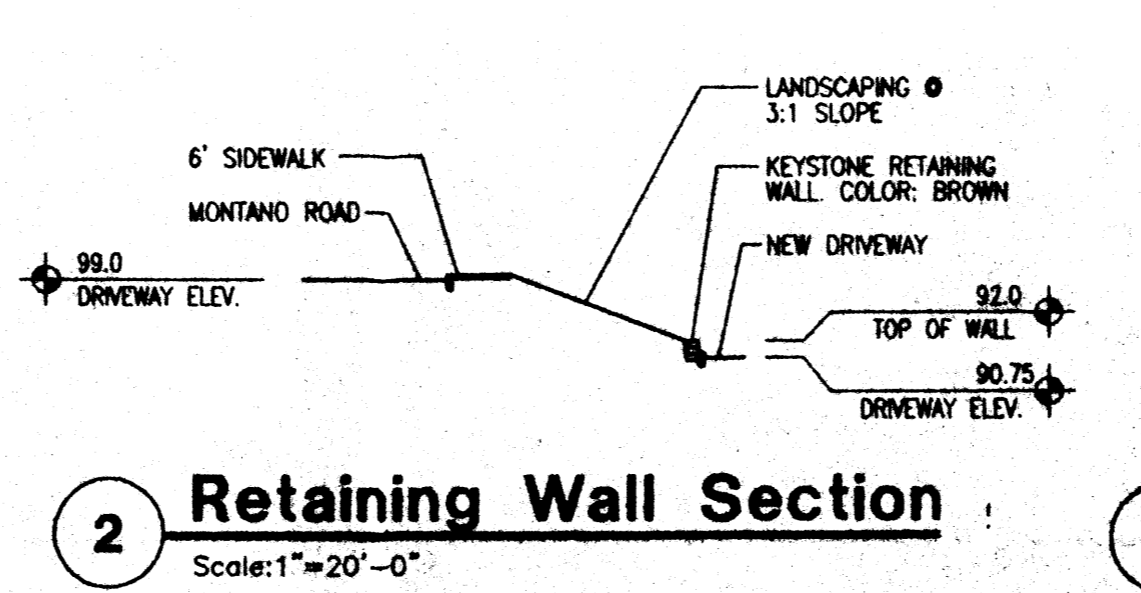
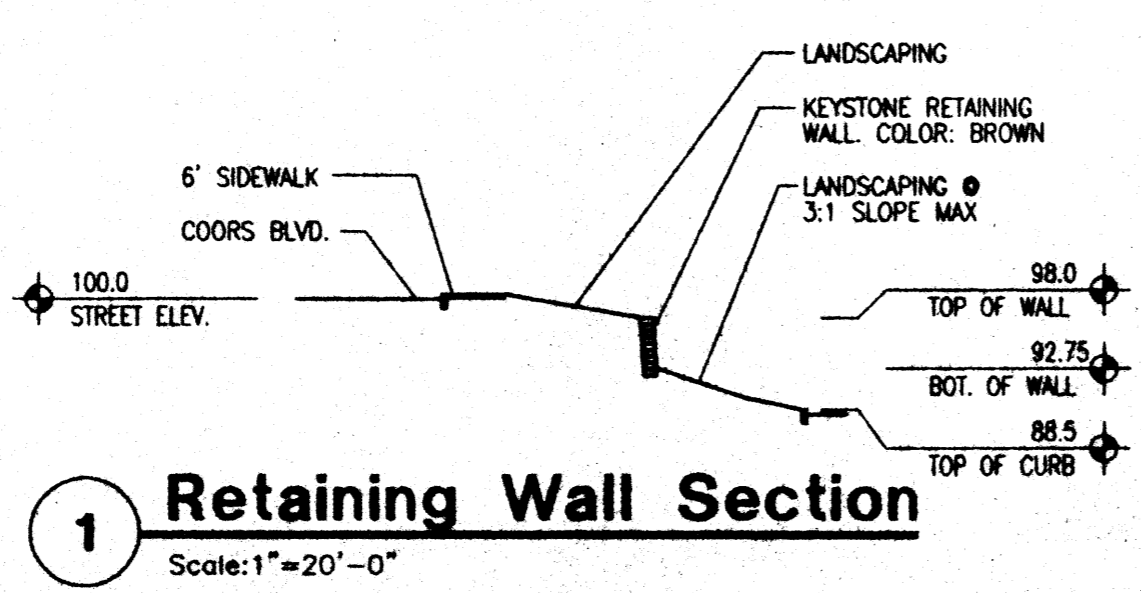
TBM (TEMPORARY BENCHMARK)
 SANITARY SEWER MANHOLE ON MONTANO ROAD, RIM ELEVATION = 4990.02

ACS BENCHMARK
 STATION "NM 448-N7A"
 X = 369804.62, Y = 1510014.99, G - G = .9996799
 ELEVATION = 5006.41

LEGAL DESCRIPTION
 PARCEL NUMBERED FIVE - A - 2 (S-A2) OF THE REDIVISION OF PARCELS "4-A" AND "5-A", LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO.

LEGEND

- ASPHALT CURB
- CONCRETE CURBING
- TC = TOP OF CURB
- TAC = ASPHALT TOP OF CURB
- FL = FLOW LINE
- CP = TOP OF CONCRETE
- EA = EDGE OF ASPHALT
- ☐ = TRANSFORMER PAD
- = WATER METER
- ⊕ = FIREHYDRANT
- ⊙ = WATER VALVE
- ⊕ = ALUMINUM LIGHT POLE
- ⊕ = PHONE PEDISTAL
- ⊙ = SANITARY SEWER MANHOLE
- ⊙ = STORM DRAIN MANHOLE
- ⊕ = TRAFFIC SIGNAL BOX
- ⊕ = TRAFFIC LIGHT POLE
- ⊕ = PEDESTRAIN POLE
- ⊕ = CONC
- PS = PARKING SPACES
- ⊙ = NEW SD MANHOLE
- RIM ELEVATION
- INVERT ELEVATION
- TOP OF CURB
- FLOWLINE
- SWALE
- FLOW DIRECTION
- HIGH POINT
- TOP OF WALL
- TOP OF GRADE
- NEW PAVEMENT
- TEMPORARY PAVEMENT
- 3:1 SLOPE OR LESS

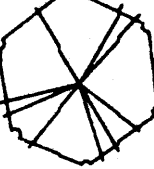


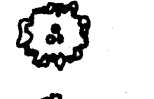



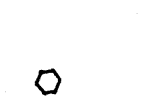
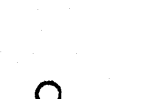
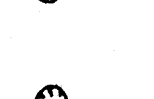
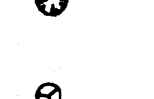
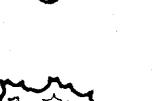
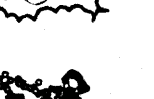
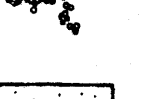
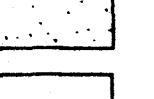
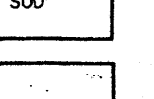



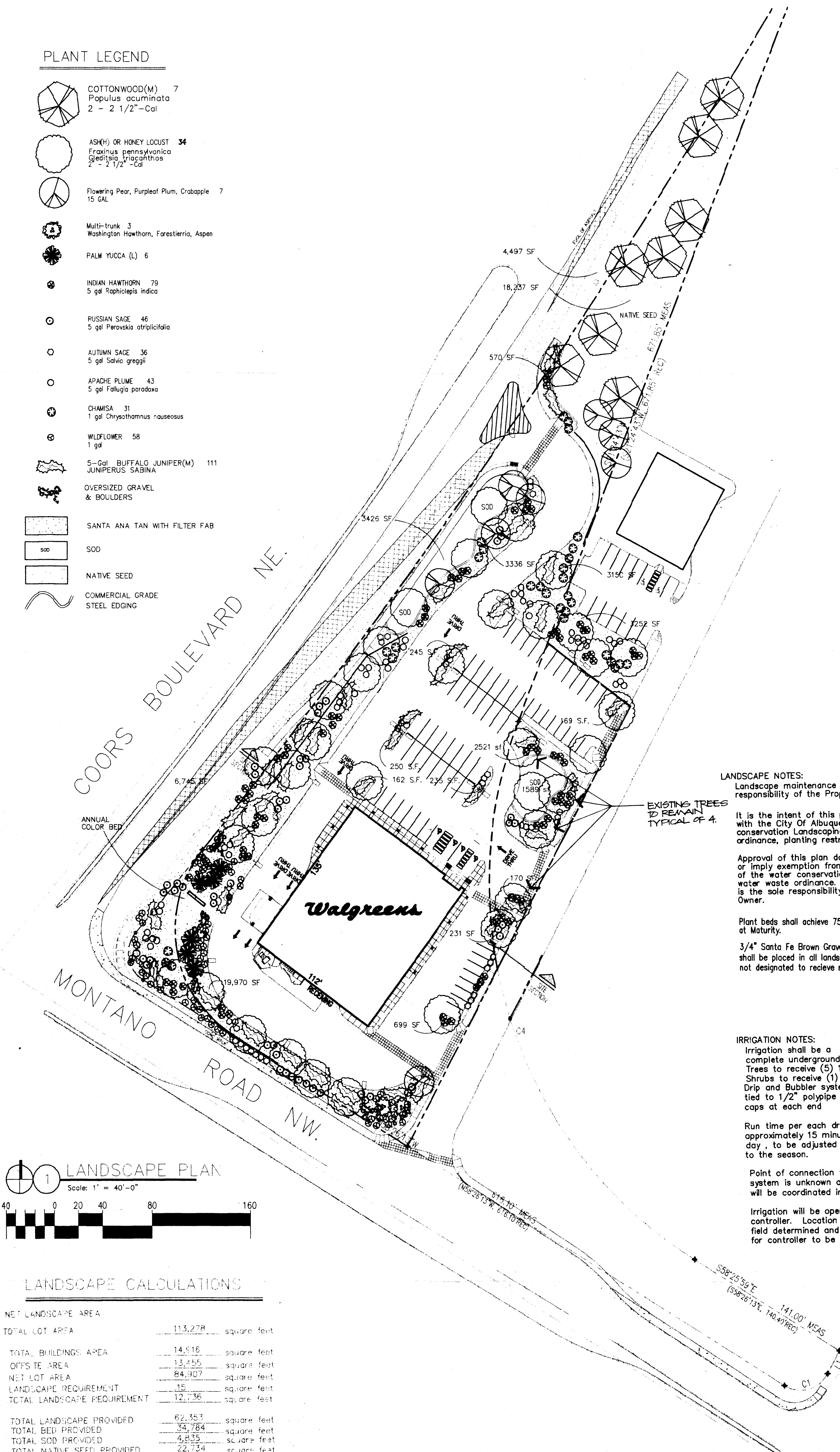
WALGREENS-COORS & MONTAÑO ON-SITE GRADING AND DRAINAGE PLAN

dmj MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: ALD Drawn: MJR, WLW Checked: DMG
 Scale: 1" = 40' Date: 02/10/00 Job: 99153 Sheet C-7 of

PLANT LEGEND

-  COTTONWOOD(M) 7
Populus acuminata
2 - 2 1/2" - Cal
-  ASH(H) OR HONEY LOCUST 34
Fraxinus pennsylvanica
Gleditsia triacanthos
2 - 2 1/2" - Cal
-  Flowering Pear, Purpleleaf Plum, Crabapple 7
15 GAL
-  Multi-trunk 3
Washington Hawthorn, Forestiera, Aspen
-  PALM YUCCA (L) 6
-  INDIAN HAWTHORN 79
5 gal Raphiolepis indica
-  RUSSIAN SAGE 46
5 gal Paroskia atriplicifolia
-  AUTUMN SAGE 36
5 gal Salvia greggii
-  APACHE PLUME 43
5 gal Falugia paradoxa
-  CHAMISA 31
1 gal Chrysanthemum nauseosus
-  WILDFLOWER 58
1 gal
-  5-gal BUFFALO JUNIPER(M) 111
JUNIPERUS SABINA
-  OVERSIZED GRAVEL
& BOULDERS
-  SANTA ANA TAN WITH FILTER FAB
-  SOD
-  NATIVE SEED
-  COMMERCIAL GRADE
STEEL EDGING



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and waste water ordinance. Water management is the sole responsibility of the Property Owner.

Plant beds shall achieve 75% live ground cover at Maturity.

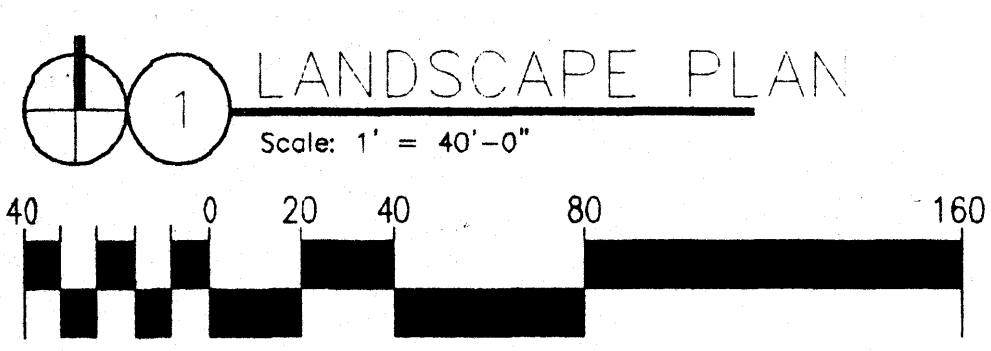
3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with
Trees to receive (5) 1.0 GPM Drip Emitters
Shrubs to receive (1) 1.0 GPM Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.



LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	113,278	square feet
TOTAL BUILDINGS AREA	14,516	square feet
OFFSITE AREA	13,455	square feet
NET LOT AREA	84,907	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	12,736	square feet
TOTAL LANDSCAPE PROVIDED	62,353	square feet
TOTAL BED PROVIDED	34,784	square feet
TOTAL SOD PROVIDED	4,835	square feet
TOTAL NATIVE SEED PROVIDED	22,734	square feet

The Hilltop
Cont. Lic. #28458
7908 Edith N.E.
Albuquerque, NM 87184
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DATE: 2/25/00 SCALE: 1"=40'-0"	PROJECT TITLE Walgreens Coors Blvd and Montano Road Albuquerque, NM		GEORGE RAINHART, ARCHITECT AND ASSOCIATES P 2325 SAN PEDRO NE., SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877	REV	DATE	BY	REVISION
	PROJECT MANAGER GEORGE RAINHART	JOB NO. 98004					
SHEET: A1	SHEET TITLE Site Plan						