

**SITE DEVELOPMENT DATA:**  
 LEGAL DESCRIPTION: TRACT 4AA-3B JOURNAL CENTER, BERNALILLO COUNTY, NEW MEXICO  
 BUILDING ADDRESS: 5141 MASTHEAD STREET NE, ALBUQUERQUE, NEW MEXICO  
 CURRENT ZONING: IP  
 ZONE ATLAS PAGE: D-17-Z  
 LAND AREA: 1.3353 ACRES  
 BUILDING AREA: 10,470 S.F. (EXISTING BUILDING AREA)  
 PARKING REQUIREMENTS: 10,470 SF/200

53 SPACES REQ'D  
 71 SPACES PROVIDED  
 INCLUDING:  
 - 18 SMALL CAR SPACES  
 - 3 HANDICAP SPACES  
 - 1 HANDICAP VAN SPACE

46 SPACES EXISTING  
 25 SPACES ADDED  
 71 SPACES TOTAL  
 SEE CLOUDED AREA

**GENERAL NOTES:**  
 [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
 [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.  
 [C] SEE LANDSCAPE PLAN FOR LANDSCAPING TO BE REMOVED AND NEW LANDSCAPING.

**KEYED NOTES:**  
 [1] NEW CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C.  
 [2] EXISTING HC RAMP TO REMAIN.  
 [3] LANDSCAPING. SEE LANDSCAPING PLAN.  
 [4] RESTRIPE EXISTING PARKING SPACES.  
 [5] CONCRETE PARKING BUMPERS TYPICAL OF 2.  
 [6] PAINTED HC PARKING BUMPERS TYPICAL OF 2.  
 [7] EXISTING CONCRETE SYMBOL.  
 [8] 24" WIDE CONCRETE CURB, TYP.  
 [9] EXISTING CURB CUT TO REMAIN.  
 [10] EXISTING TREE/LANDSCAPING TO BE REMOVED.  
 [11] NEW ASPHALT PAVING OVER COMPACTED SUBGRADE. MATCH EXISTING ASPHALT THICKNESS.  
 [12] EXISTING CONCRETE PAD & TRANSFORMER.  
 [13] NEW CONCRETE HEADER CURB.  
 [14] HC PARKING SIGN, TYPICAL OF 4.  
 [15] PAINTED HC PARKING STRIPING.  
 [16] NEW CMU DUMPSTER ENCLOSURE.  
 [17] EXISTING CONCRETE SIDEWALK TO REMAIN.  
 [18] NEW HC RAMP. SEE 9/A002.  
 [19] EXISTING STORM SEWER CATCH BASIN TO REMAIN.  
 [20] EXISTING SIDEWALK TO BE REMOVED, SHOWN AS DASHED LINE.  
 [21] EXISTING DOCK LEVELER AND CONCRETE APRON TO BE REMOVED. FILL PIT.  
 [22] EXISTING TREE TO REMAIN.  
 [23] EXISTING PARKING TO REMAIN AS IS. REPAINT STRIPES.  
 [24] EXISTING GAS METER LOCATION.  
 [25] EXISTING FIRE HYDRANT.  
 [26] EXISTING CURB, SHOWN AS A DASHED LINE, TO BE REMOVED ALONG WITH RELATED ASPHALT AS NECESSARY TO TIE INTO NEW GRADES. SEE CIVIL.  
 [27] NEW BIKE RACK.  
 [28] EXISTING DUMPSTER ENCLOSURE TO BE REMOVED COMPLETELY.  
 [29] NEW CONCRETE PATIO.  
 [30] NEW STONE VENEER COLUMN.  
 [31] LINE OF NEW CANOPY ABOVE.  
 [32] 8'x15' COMPACT SPACES WITH "COMPACT" NOTATION AT END OF STALL.  
 [33] NEW COMPACT SPACES WITH COMPACT NOTATION AT END OF STALL.  
 [34] EXISTING FOOT BRIDGE OVER ARROYO.  
 [35] NEW CONCRETE SIDEWALK. MATCH WIDTH AND STYLE OF EXISTING.  
 [36] STRIPE FROM HANDICAP AISLE ACROSS PARKING TO NEW HC RAMP.  
 [37] NEW PARKING LIGHT POLE AND BASE.  
 [38] NEW VAN ACCESSIBLE HC SPACE.

**RADIUS INFO**  
 (1) 2'-6" RADIUS  
 (2) 3' RADIUS  
 (3) 10' RADIUS  
 (4) 15' RADIUS

**Site Plan**  
 Scale: 1"=20'-0"

*PROJ 1000389*

PROJECT NO. 1000389  
 APPLICATION # 06AA-01197  
*Old parking, remove aesthetics of old exterior, update landscape*  
 DATE 9/12/06  
 PLANNING DIRECTOR

rev	date	by	revision

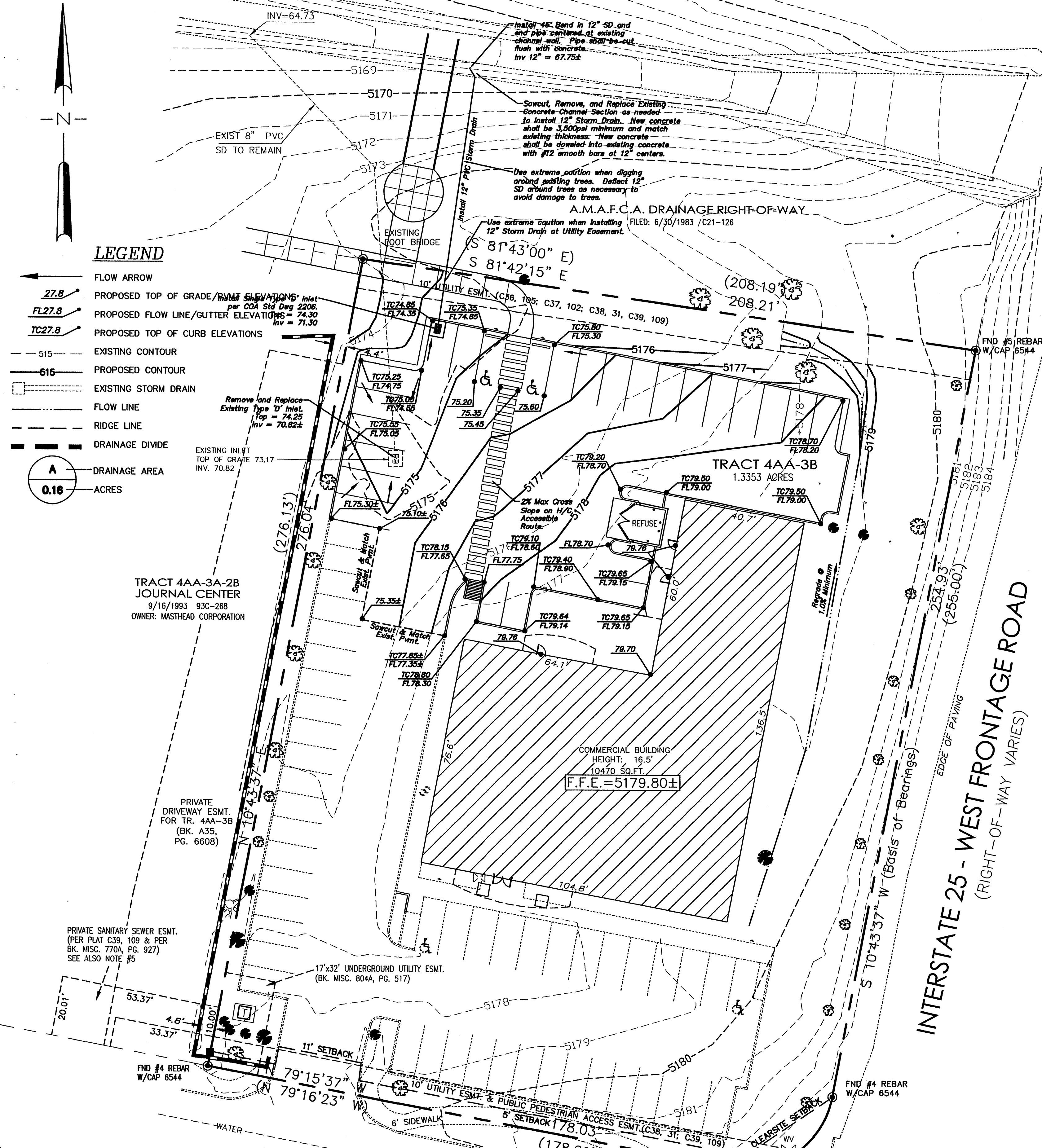
**MH**  
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job number	06-23
drawn by	mxs
project manager	Douglas Heller, AIA
date	08-14-06

project title  
**Forest Services Building Exterior Improvements**  
 5141 Masthead NE,  
 Albuquerque, New Mexico  
 sheet title  
**Site Plan for Building Permit**

sheet  
**A001**





**LEGEND**

- 27.8 FLOW ARROW
- FL27.8 PROPOSED TOP OF GRADE/PAVING SURF ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE
- DRAINAGE DIVIDE
- DRAINAGE AREA
- 0.16 ACRES

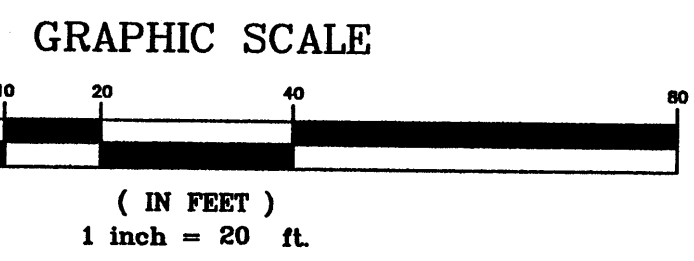
TRACT 4AA-3A-2B  
JOURNAL CENTER  
9/16/1993 93C-268  
OWNER: MASTHEAD CORPORATION

PRIVATE DRIVEWAY ESMT.  
FOR TR. 4AA-3B  
(BK. A35, PG. 6608)

PRIVATE SANITARY SEWER ESMT.  
(PER PLAT C39, 109 & PER  
BK. MISC. 770A, PG. 927)  
SEE ALSO NOTE #5

17" x 32" UNDERGROUND UTILITY ESMT.  
(BK. MISC. 804A, PG. 517)

RADIUS = 30.00'  
LENGTH = 47.10'  
DELTA = 89°56'54"  
CHORD = 42.41'  
C.B. = N55°44'14"E



**GENERAL NOTES**

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. IF REQUIRED, THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. IF REQUIRED, ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. IF REQUIRED, THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

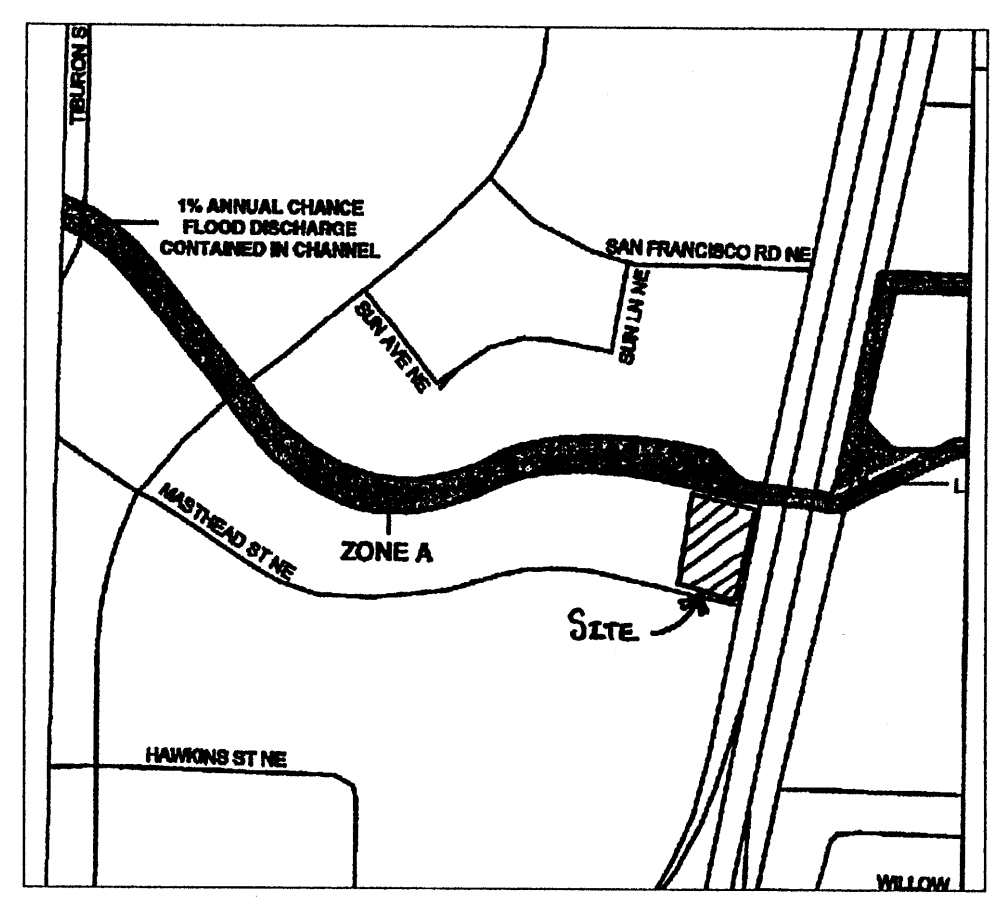
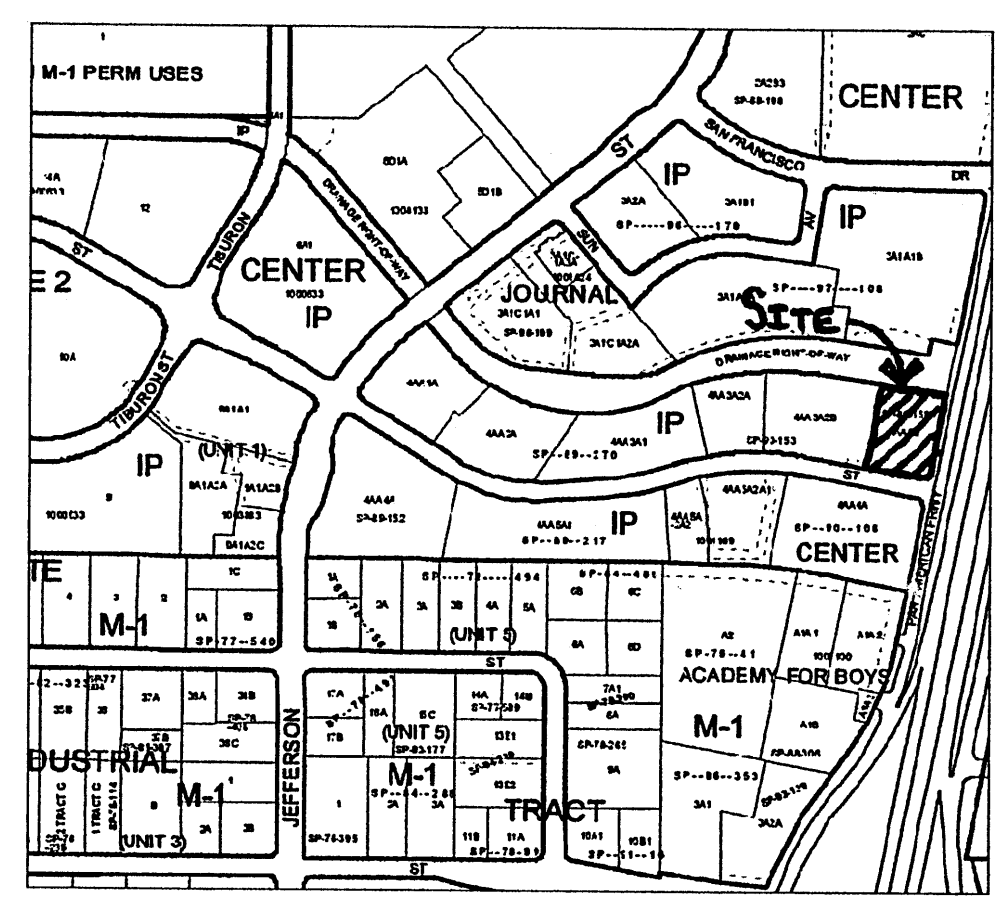
**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE FEASIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARK:**  
A BENCHMARK HAS NOT BEEN ESTABLISHED FOR THIS PROJECT. A SURVEY WAS NOT PROVIDED FOR DESIGN PURPOSES. TOPOGRAPHY WAS OBTAINED FROM THE ALBUQUERQUE GIS SYSTEM AND SKETCHED INTO FILE. CONTRACTOR SHALL VERIFY ALL EXISTING DATA PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

**Forest Service (Masthead Location) Basin Calculations**  
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 2											
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/fac.)	Q(100) (cfs)	WT E (Inches)	V(100) <sub>300</sub> (CF)	V(100) <sub>1440</sub> (CF)
PROPOSED CONDITIONS			A	B	C	D					
A	58007	1.33	0.0%	0.0%	30.0%	70.0%	4.23	5.64	1.82	8812	10369



**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**

The purpose of this submittal is to provide a final drainage management plan for development of the Sun Health Care Parking Lot on the NW corner of Masthead Road and the I-25 Frontage Road.

**SITE LOCATION**

The site is currently legally described as Tract 4AA-3B, Journal Center (1.33 acres). The site is bounded by Masthead to the south and the I-25 Frontage Road to the east. The site is located within zone atlas map D-17 and hydrologic zone 2.

**EXISTING HYDROLOGIC CONDITIONS**

The site is the former Sivage Thomas office site. The site currently contains the existing building and the surrounding parking lot. Current flows are conveyed by surface pavement and curb/gutter to a drop inlet located near the northwest corner of the site. The existing 8" SD pipe is not adequately sized to serve the development and there is a possibility that the Sun Healthcare Building to the west will receive drainage water from this development. In order to correct this situation, a new 12" SD pipe is being proposed.

**PROPOSED HYDROLOGIC CONDITIONS**

The proposed conditions for the site are shown on the Basin Calculations Table (this sheet). The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.

The site will generate 5.64 cfs under newly developed conditions and consists of approximately 70% D land treatment. Flows will be conveyed by surface and curb/gutter to the existing grate inlet located near the northwest corner of the site. The revised Journal Center Drainage Management Plan (DMP) dated December 1992 shows the site in Basin G. According to the aforementioned DMP, the site has free discharge into the North Pino Arroyo Channel.

The existing 8" SD and channel penetration are to be utilized for conveyance of the proposed parking lot addition, but has a capacity of approximately 3 cfs. In order to capture the additional runoff during the 100 year event, a new Type 'D' inlet and 12" Storm Drain are being installed. The capacity of the 12" Storm Drain is 7.20 cfs, which is more than adequate to serve the development.

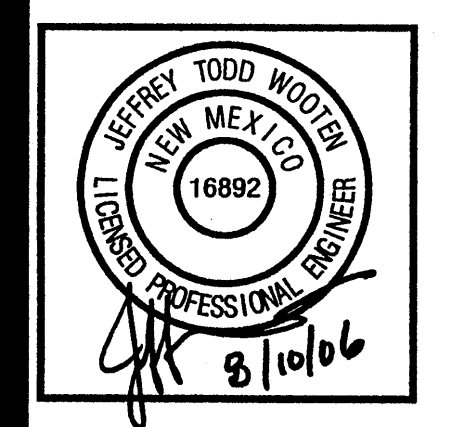
**CONCLUSION**

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. With this submittal, we are requesting final grading and drainage plan approval for building permit.

**Wooten Engineering**  
5017 Sanbusco Dr NE, Rio Rancho, NM 87144  
Ph: 505.771.8038 Fax: 505.771.8905

rev	date	by	revision
1			
2			
3			

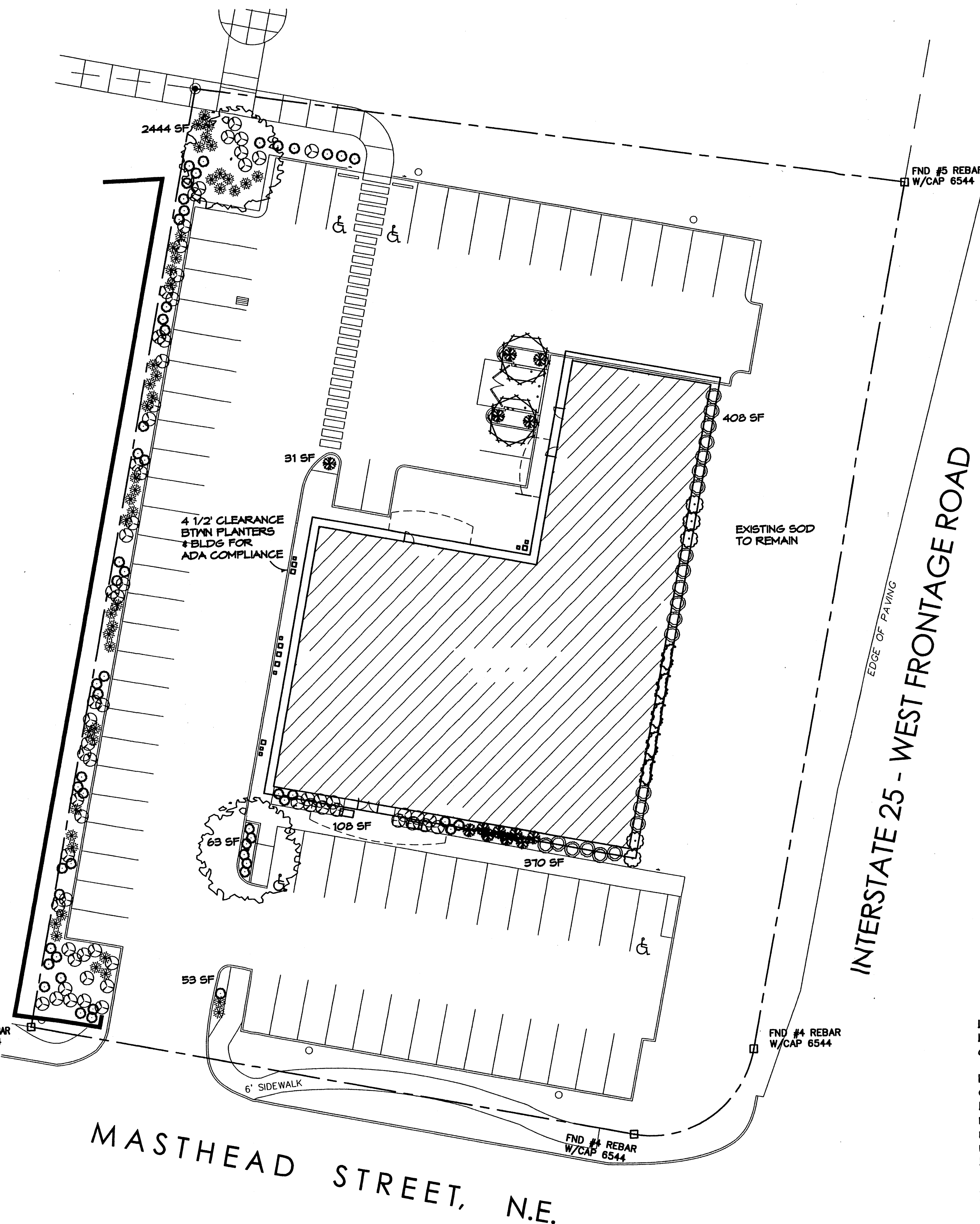
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job number	06-23
drawn by	jfw
project manager	Jeffrey T. Wooten, P.E.
date	07-17-06

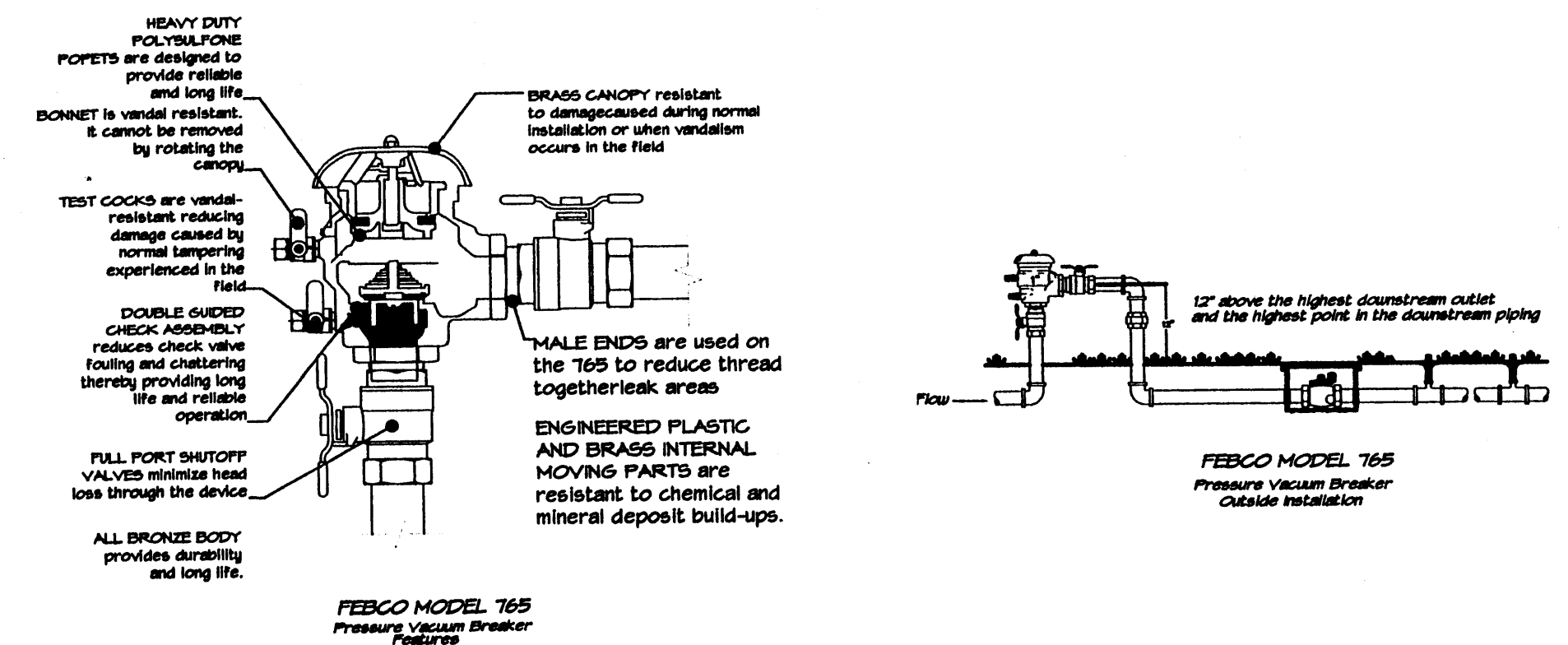
project title: **Forest Services Building Exterior**  
5141 Masthead NE  
Albuquerque, New Mexico  
sheet title: **Grading Plan**  
sheet: **C100**





**PLANT LEGEND**

- CHINESE PISTACHE (M) 2  
*Pistacia chinensis*  
2" Gal.
  - DESERT WILLOW (L) 2  
*Chilopsis linearis*  
15 Gal. 225sf
  - ROSEMARY (M) 22  
*Rosmarinus officinalis*  
5 Gal. 25sf
  - LAVENDER (M) 52  
*Lavandula angustifolia*  
1 Gal. 9sf
  - WILDFLOWER 64  
1 Gal. 4sf
  - NANDINA (M) 5  
*Nandina domestica*  
5 Gal. 25sf
  - REGAL MIST (M) 13  
*Muhlenbergia capillaris*  
5 Gal. 4sf
  - COMPACT OREGON GRAPE (M) 47  
*Mahonia aquifolium 'Compacta'*  
5 Gal. 4sf
  - GREYLEAF COTONEASTER (M) 15  
*Cotoneaster luxifolius*  
5 Gal. 81sf  
Symbol indicates 3 plants
  - SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- ORNAMENTAL POTS**
- ORNAMENTAL POT 34"x15" W WITH 1 LAVENDER EACH 7
  - ORNAMENTAL POT 23"x10" W WITH 1 CREEPING ROSEMARY EACH 7



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

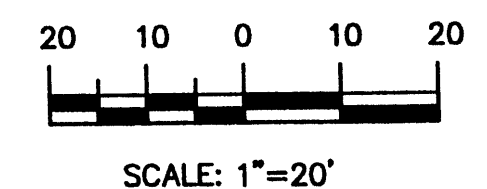
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	58118	square feet
TOTAL BUILDINGS AREA	10449	square feet
NET LOT AREA	47669	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7150	square feet
TOTAL BED PROVIDED	3471	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2607	square feet
TOTAL GROUND COVER PROVIDED	3154	square feet
TOTAL EXISTING TURF	14088	square feet
TOTAL LANDSCAPE PROVIDED	17565	square feet

**GRAPHIC SCALE**



revision

by RHM RHM

date 8-10-06 8-8-06

rev A A A A A

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nms  
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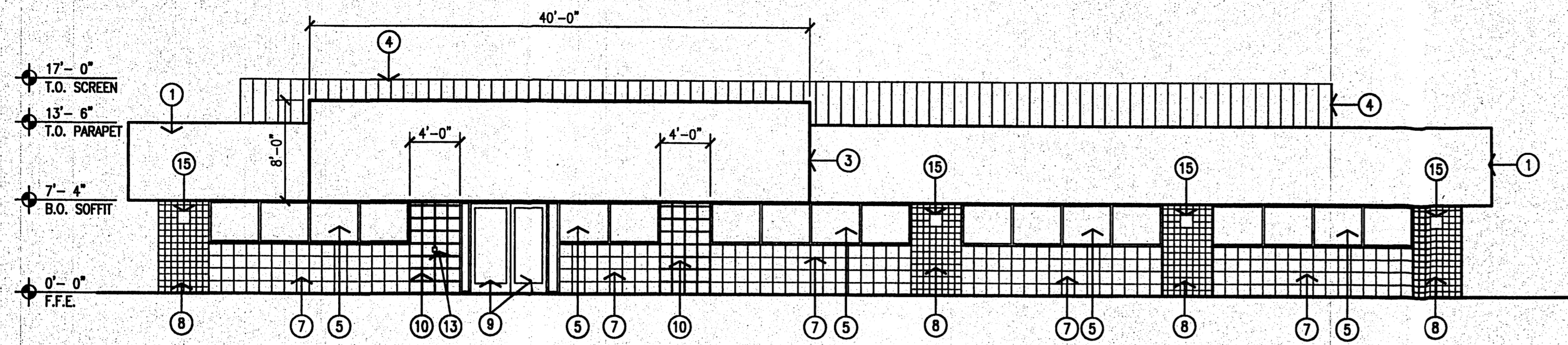
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project title  
Forest Services Building Renovation  
5141 Masthead NE  
Albuquerque, New Mexico

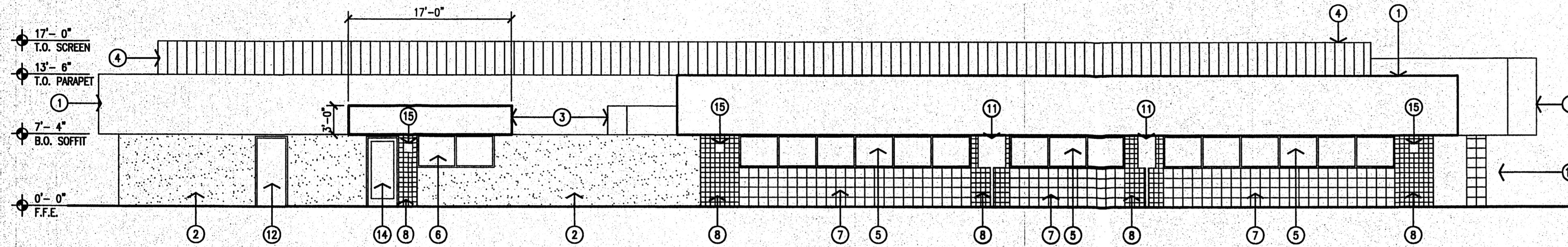
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Landscape Plan

sheet  
**L001**

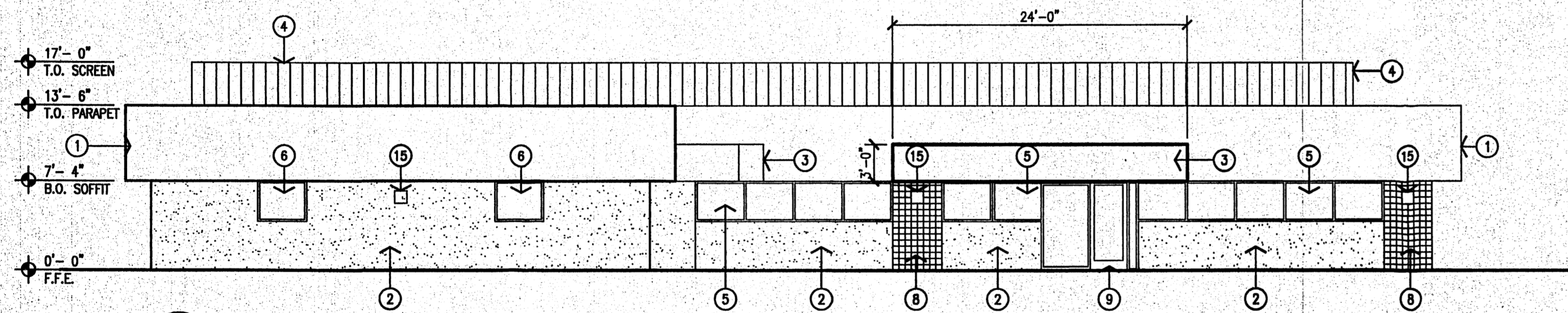




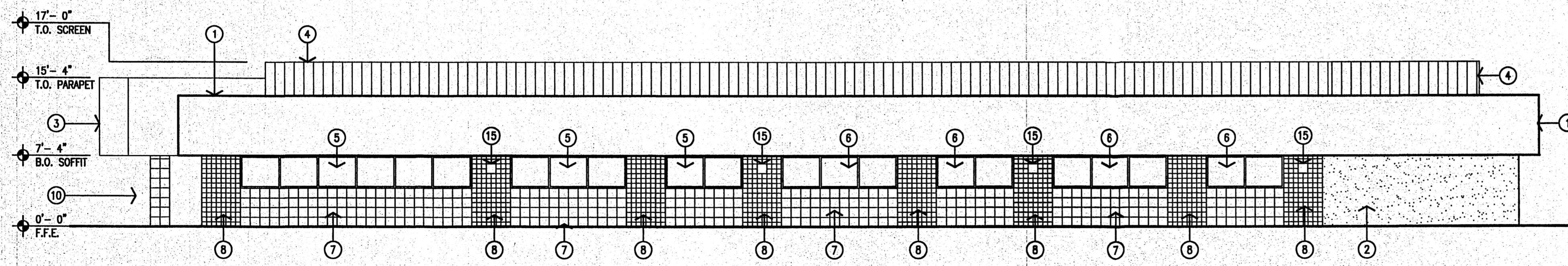
1 South Elevation  
Scale: 1/8" = 1'-0"



2 West Elevation  
Scale: 1/8" = 1'-0"



3 North Elevation  
Scale: 1/8" = 1'-0"



4 East Elevation  
Scale: 1/8" = 1'-0"

GENERAL NOTES:  
A. ALL BUILDING HEIGHTS TO REMAIN UNCHANGED.

- KEYED NOTES:
- [1] NEW STUCCO COLOR COAT TO BE APPLIED TO EXISTING FASCIA AND SOFFIT. REFER TO SCHEDULE FOR COLOR.
  - [2] NEW 2 COAT STUCCO SYSTEM OVER EXISTING EXTERIOR WALL. REFER TO SCHEDULE FOR COLOR.
  - [3] NEW METAL CANOPY.
  - [4] NEW METAL PRO PANEL TO BE FASTENED TO EXISTING MECHANICAL SCREEN FRAME WORK. PAINT FRAME TO MATCH METAL PANEL.
  - [5] EXISTING STOREFRONT WINDOW TO REMAIN.
  - [6] NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
  - [7] NEW STONE VENEER OVER EXISTING BRICK VENEER.
  - [8] NEW 6"x6" TILE MOSAIC. REFER TO SCHEDULE FOR COLOR AND PATTERN.
  - [9] EXISTING STOREFRONT DOOR TO REMAIN.
  - [10] NEW COLUMNS WITH STONE VENEER FINISH.
  - [11] EXISTING ELECTRICAL GEAR TO REMAIN.
  - [12] NEW HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
  - [13] NEW HC ACCESSIBLE AUTOMATIC DOOR PUSH BUTTON ON NEW COLUMN.
  - [14] NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
  - [15] NEW SURFACE MOUNTED SHIELDED EXTERIOR LIGHT FIXTURE.

revision	by	date
rev	AA	AA
rev	AA	AA
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rev	AA	AA



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job number	drawn by	project manager	date
06-23	CJH	Douglas Heller, AIA	08-14-06

project title  
**Forest Services Building Exterior Improvements**  
5141 Masthead NE  
Albuquerque, New Mexico  
sheet title  
**Exterior Elevations**

sheet  
**A401**