

VICINITY MAP

INDEX OF DRAWINGS:

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2. DRB-2 ENLARGED PLAN-MASTHEAD LOT
3. DRB-3 ENLARGED PLAN-JEFFERSON LOT
4. DRB-4 GRADING & DRAINAGE-JEFFERSON/SF.
5. DRB-5 GRADING & DRAINAGE-MASTHEAD
6. DRB-6 LANDSCAPE PLAN
7. SHEET 1 APPROVED SITE DEVELOPMENT PLAN
8. SHEET 2 APPROVED SITE DEVELOPMENT PLAN

KEYED NOTES

1. EXISTING PEDESTRIAN BRIDGE
2. EXISTING SURFACE PARKING FOR PHASES III AND IV.
3. EXISTING BRICK PAVERS
4. INGRESS/EGRESS TO PARKING LOT
5. BICYCLE RACK

GENERAL NOTES

- A. HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
- B. PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE-TYP.
- C. THE NEW PARKING LOTS WILL REMAIN AS SHOWN, IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

SITE DEVELOPMENT APPROVAL FOR PHASE 4
 THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980(AJ-79-13, 2-79-80-8) AND THE IP ZONE.
 IT CONFORMS WITH THE COMMENTS REFERRED BY THE DEVELOPMENT REVIEW BOARD ON 4/24/02, 4/22/02 AS REFLECTED BY DRB 96-389.
 Planning Director: *[Signature]* DATE: 4/24/02

02.400-00480
DRB APPROVAL #96-389
 Planning Director: *[Signature]* DATE: 4/24/02
 City Engineer/MAFCA Designer: *[Signature]* DATE: 4/24/02
 Transportation Development Dept.: *[Signature]* DATE: 4-24-02
 Utility Development Dept.: *[Signature]* DATE: 4/24/02
 Parks & General Services Section: *[Signature]* DATE: 4/24/02

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Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE
 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO
 Sheet Title: OVERALL CAMPUS SITE PLAN
 Date: March 2002

Sheet: DRB-1
 1 of 8

DESIGN DATA:

LEGAL DESCRIPTIONS: TRACT 3A-1A-1B JOURNAL CENTER SUBDIVISION, 5.22 ACRES
 TRACT 2A-2B3 JOURNAL CENTER SUBDIVISION, 2.98 ACRES
 TRACT 4AA-3B JOURNAL CENTER SUBDIVISION, 1.335 ACRES

ZONE MAP: D-11-Z (JUNE 1988)

C.O.A. ZONE CODE: IP (ALBUQ. ZONE CODE 1981)

PH III: FOUR-STORY OFFICE BUILDING: (EXISTING)
 OCCUPANCY GROUP: B2 (1991 UBC)
 CONSTRUCTION TYPE: II-ONE HOUR (1991 UBC)

PH IV: SIX-STORY OFFICE BUILDING: (EXISTING, OBTAINED "SHELL" C.O. MARCH 15TH, 2001)
 OCCUPANCY GROUP: B2 (1991 UBC)
 CONSTRUCTION TYPE: I-1R (1991 UBC)

PROJECT BREAKDOWN

PH III: FOUR-STORY OFFICE BUILDING: GROSS SQUARE FEET 12,000 SF. (EXCLUDING MECHANICAL BASEMENT)

PH IV: SIX-STORY OFFICE BUILDING: GROSS SQUARE FEET 18,276 SF. (EXCLUDING MECHANICAL BASEMENT)

PARKING SPACES REQUIRED:
 (1 PER 300 GROSS SF. REQUIRED PER JOURNAL CENTER REQUIREMENTS)

PH III: FOUR-STORY OFFICE BUILDING: 12,000 SF. / 300 = 240

PH IV: SIX-STORY OFFICE BUILDING: 18,276 SF. / 300 = 609

TOTAL REQUIRED: 844 SPACES

PARKING SPACES PROVIDED:

PHASE III: FOUR-STORY OFFICE BUILDING: 371 SURFACE PARKING (1100 JEFFERSON) 314 SURFACE PARKING (SOUTH OF BLDG.) 57

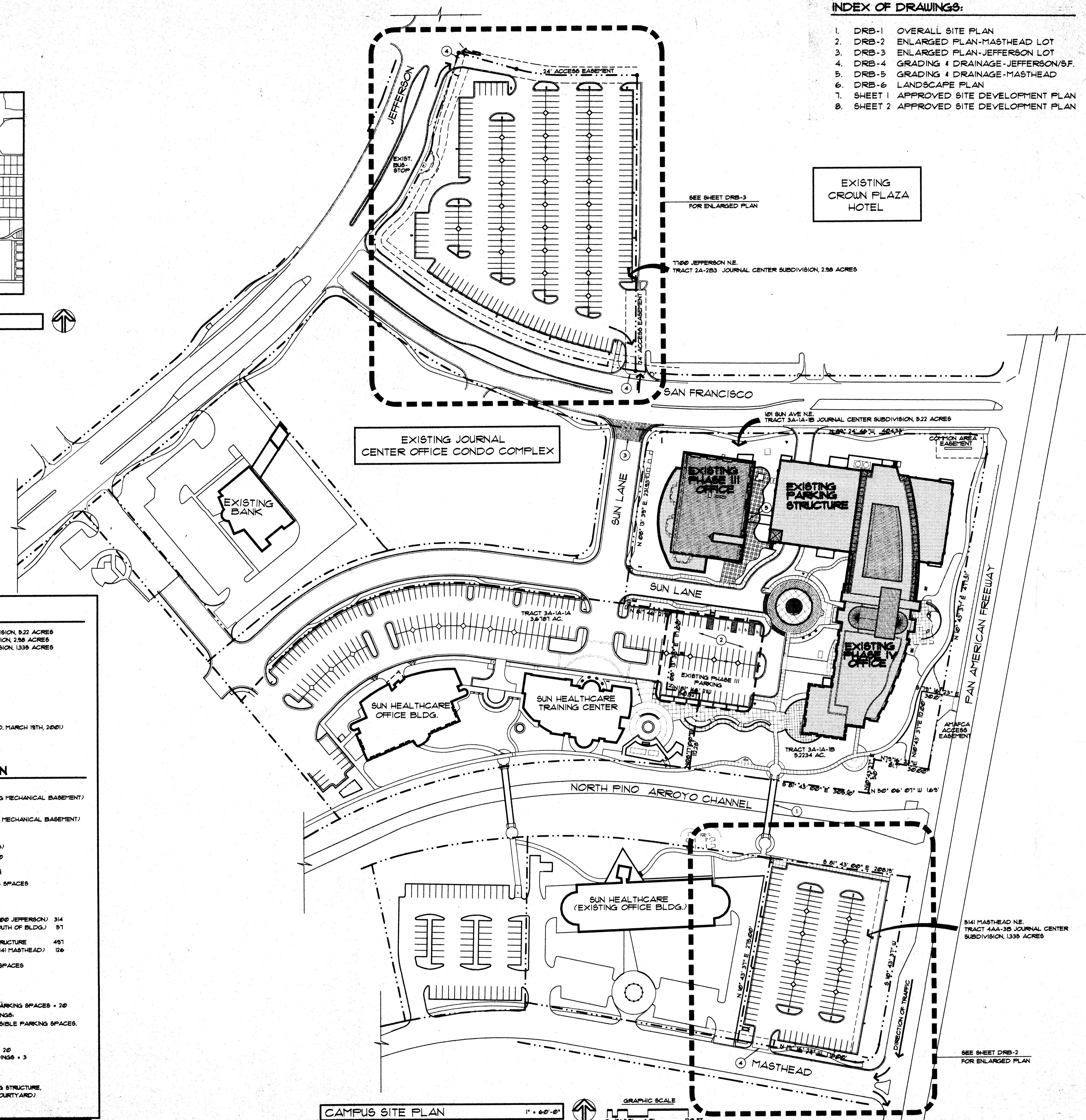
PH IV: SIX-STORY OFFICE BUILDING: 623 EXISTING PARKING STRUCTURE 491 SURFACE PARKING (5141 MASTHEAD) 126

TOTAL PARKING SPACES PROVIDED FOR BOTH BUILDINGS: 934 SPACES

ACCESSIBLE PARKING SPACES: (1991 NEW MEXICO BUILDING CODE)
 TOTAL HANDICAP PARKING SPACES REQUIRED FOR BOTH BUILDINGS: PER SECTION 313, TABLE NO. A-31-A: 801-1000 PARKING SPACES = 20
 TOTAL "VAN" HANDICAP PARKING SPACES REQUIRED FOR BOTH BUILDINGS: PER SECTION 313: ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES REQUIRED = 3

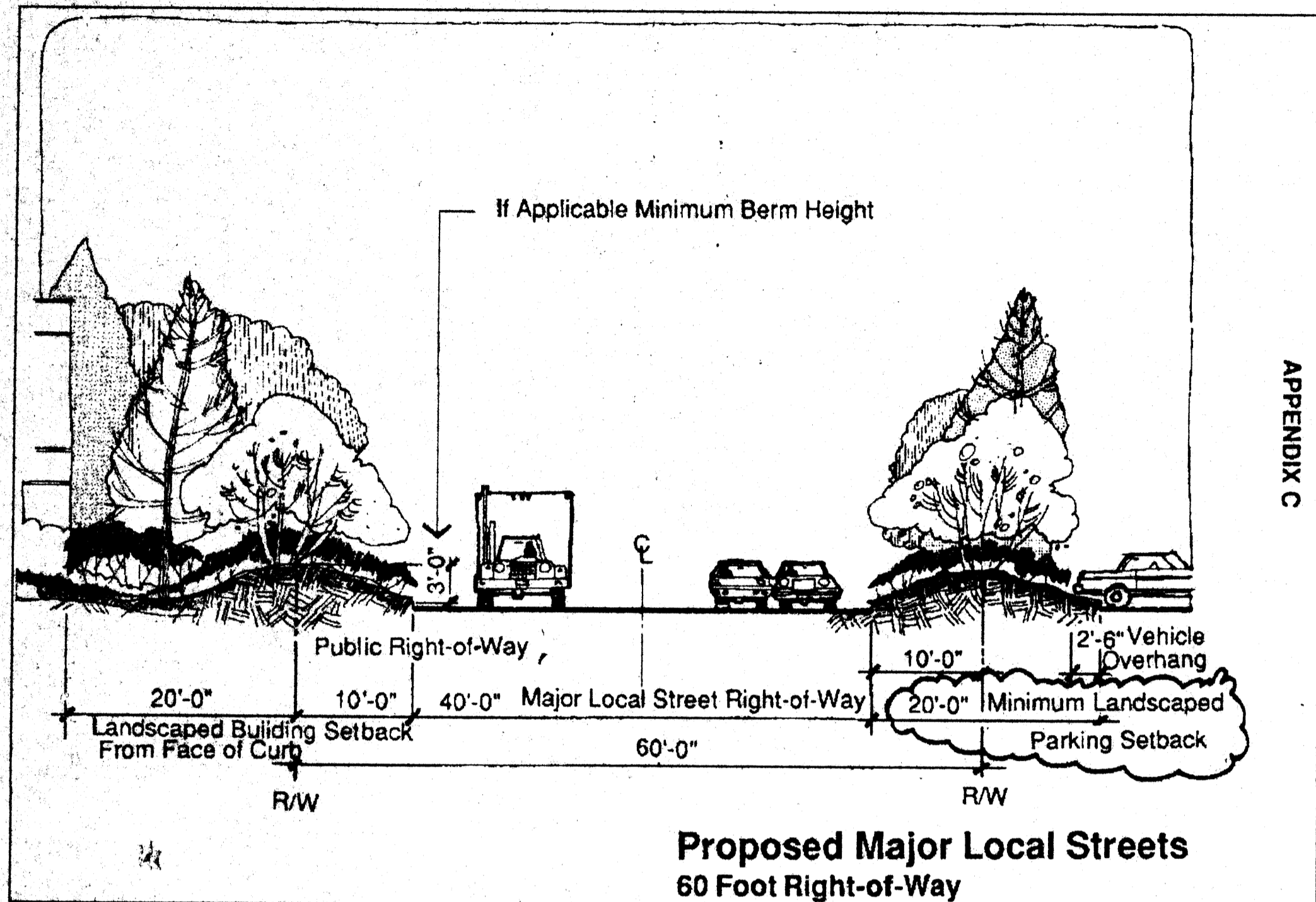
TOTAL HANDICAP PARKING SPACES PROVIDED FOR BOTH BUILDINGS = 20
 TOTAL "VAN" HANDICAP PARKING SPACES PROVIDED FOR BOTH BUILDINGS = 3

BICYCLE RACKS/STORAGE: (1991 NEW MEXICO BUILDING CODE)
 TOTAL PROVIDED: 14 (8 LOCKERS LOCATED IN THE 6-STORY PARKING STRUCTURE, 6-CAPACITY BIKE RACK, LOCATED IN PHASE III COURTYARD)



CAMPUS SITE PLAN 1" = 60'-0" GRAPHIC SCALE 0' 15' 30' 60' 120 FT.

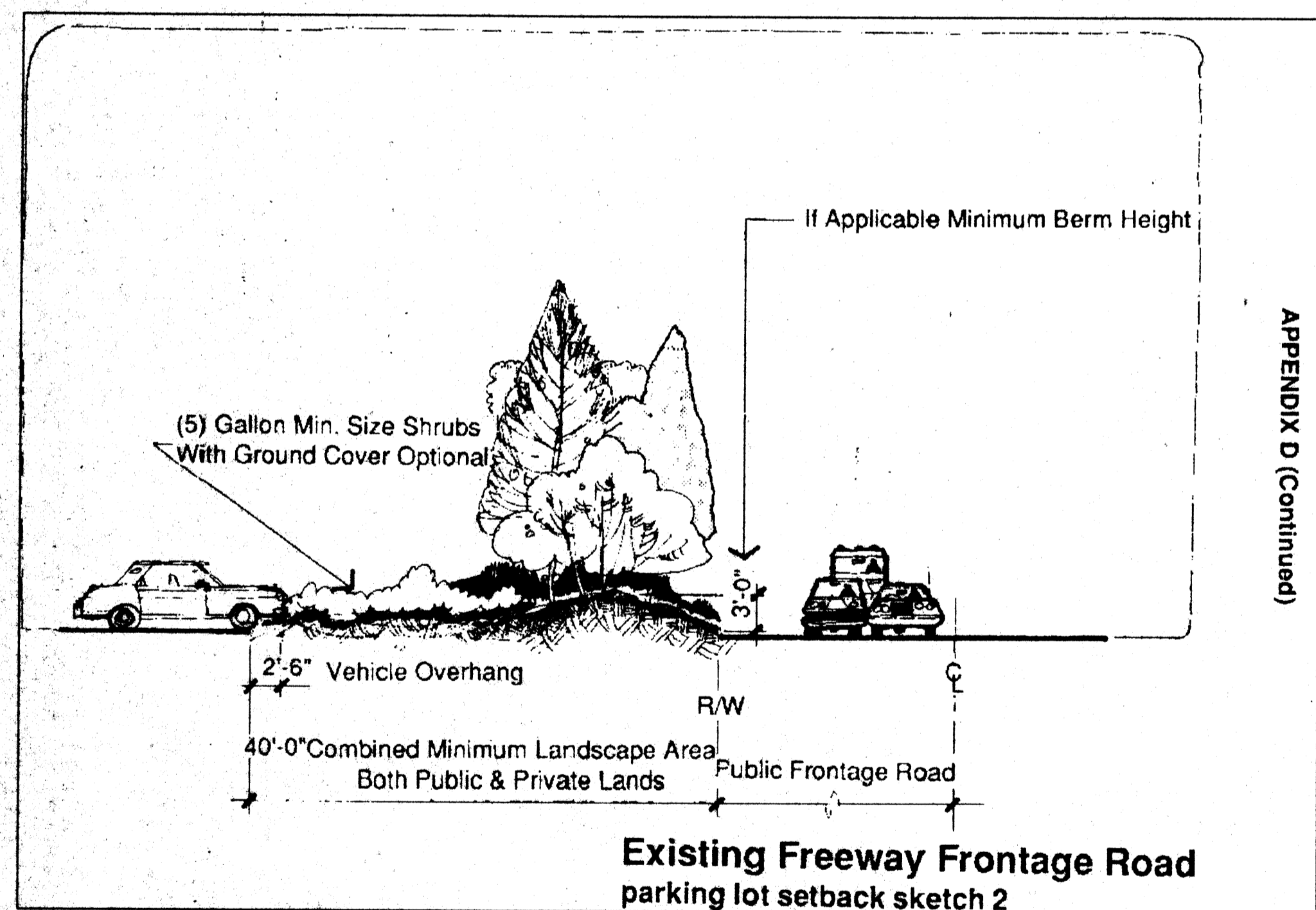
PROJ #1000389



**Proposed Major Local Streets
60 Foot Right-of-Way**

JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"
(Page 35, Appendix C)

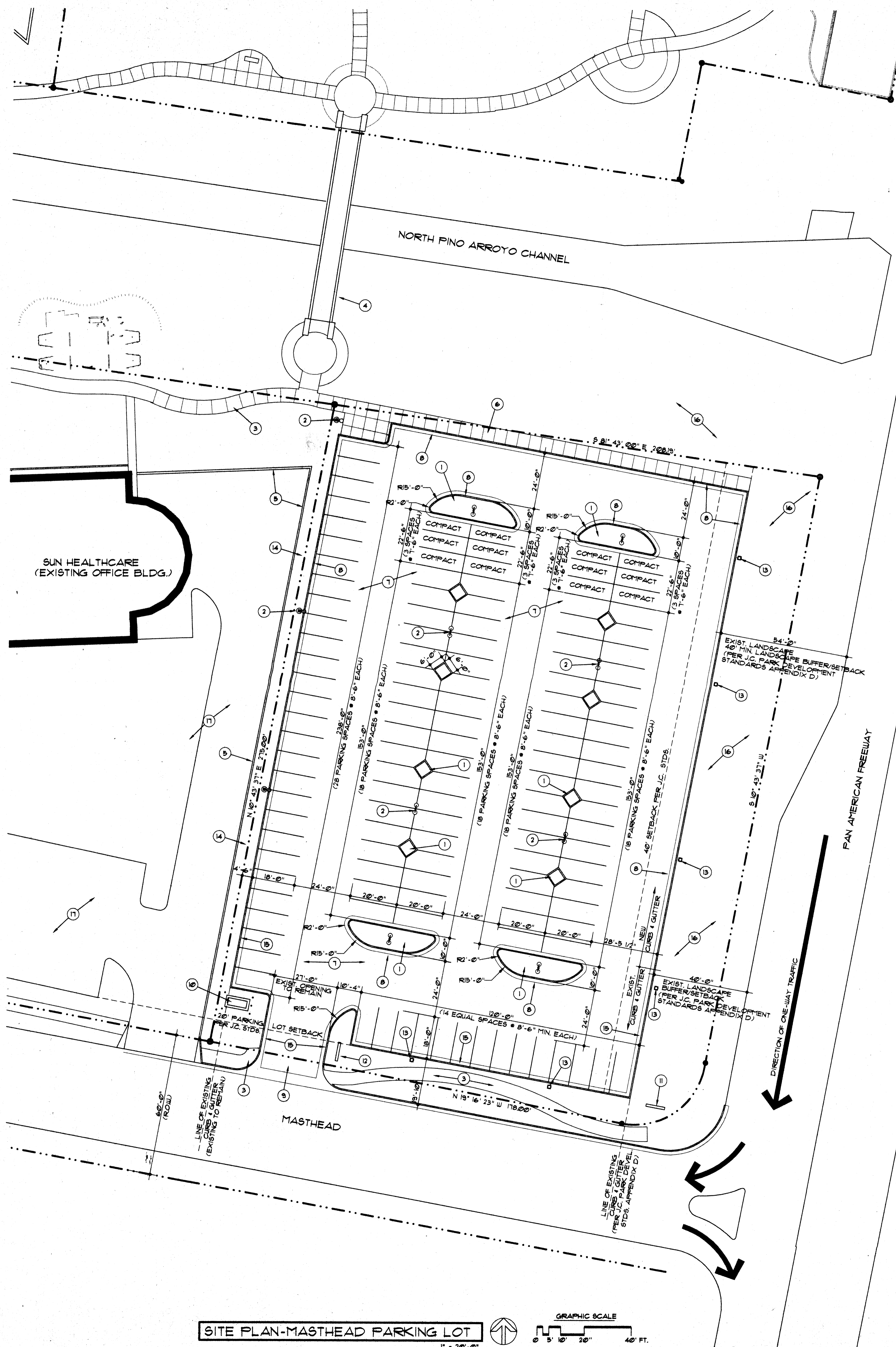
APPENDIX C



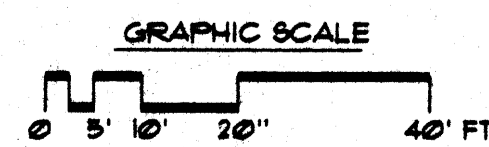
**Existing Freeway Frontage Road
parking lot setback sketch 2**

JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"
(Page 37, Appendix D)

APPENDIX D (Continued)



SITE PLAN-MASTHEAD PARKING LOT



KEYED NOTES

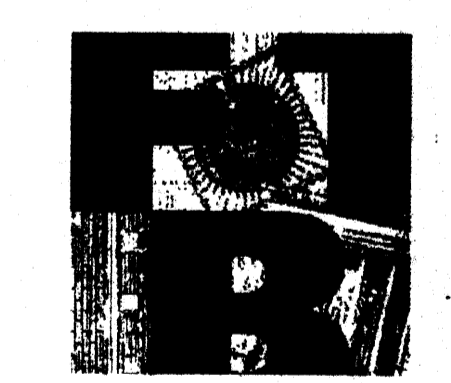
1. PLANTER
 2. 32' TALL, 400 W METAL HALIDE, POLE MOUNTED LIGHT FIXTURE
 3. EXISTING PEDESTRIAN SIDEWALK
 4. EXISTING PEDESTRIAN BRIDGE
 5. EXISTING RETAINING WALL TO REMAIN
 6. NEW 6' WIDE SIDEWALK-CONNECT TO EXISTING AT BRIDGE
 7. ASPHALT PAVING
 8. NEW CONCRETE CURBS AND GUTTER TO EXISTING AT BRIDGE
 9. EXISTING SITE ENTRY
 10. EXISTING TRANSFORMER
 11. NEW LIGHTED TYPENENT SIGN
 12. NEW LIGHTED TYPENENT SIGN TO READ "PARKING ENTRANCE"
- THE SIGN SHALL ALSO INDICATE THAT THIS PARKING LOT IS FOR THE USE OF THE 4-STORY AND/OR THE SIX-STORY OFFICE BUILDING(S) LOCATED ON SUN AVE.
13. BOLLARD LIGHTING
 14. EXISTING LANDSCAPE PLANTER
 15. EXISTING CURBS AND GUTTER TO REMAIN
 16. EXISTING LANDSCAPING TO REMAIN
 17. EXISTING SUN HEALTHCARE PARKING LOT

GENERAL NOTES

- A. HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
- B. PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE.
- C. THE NEW PARKING LOTS WILL REMAIN AS SHOWN. IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

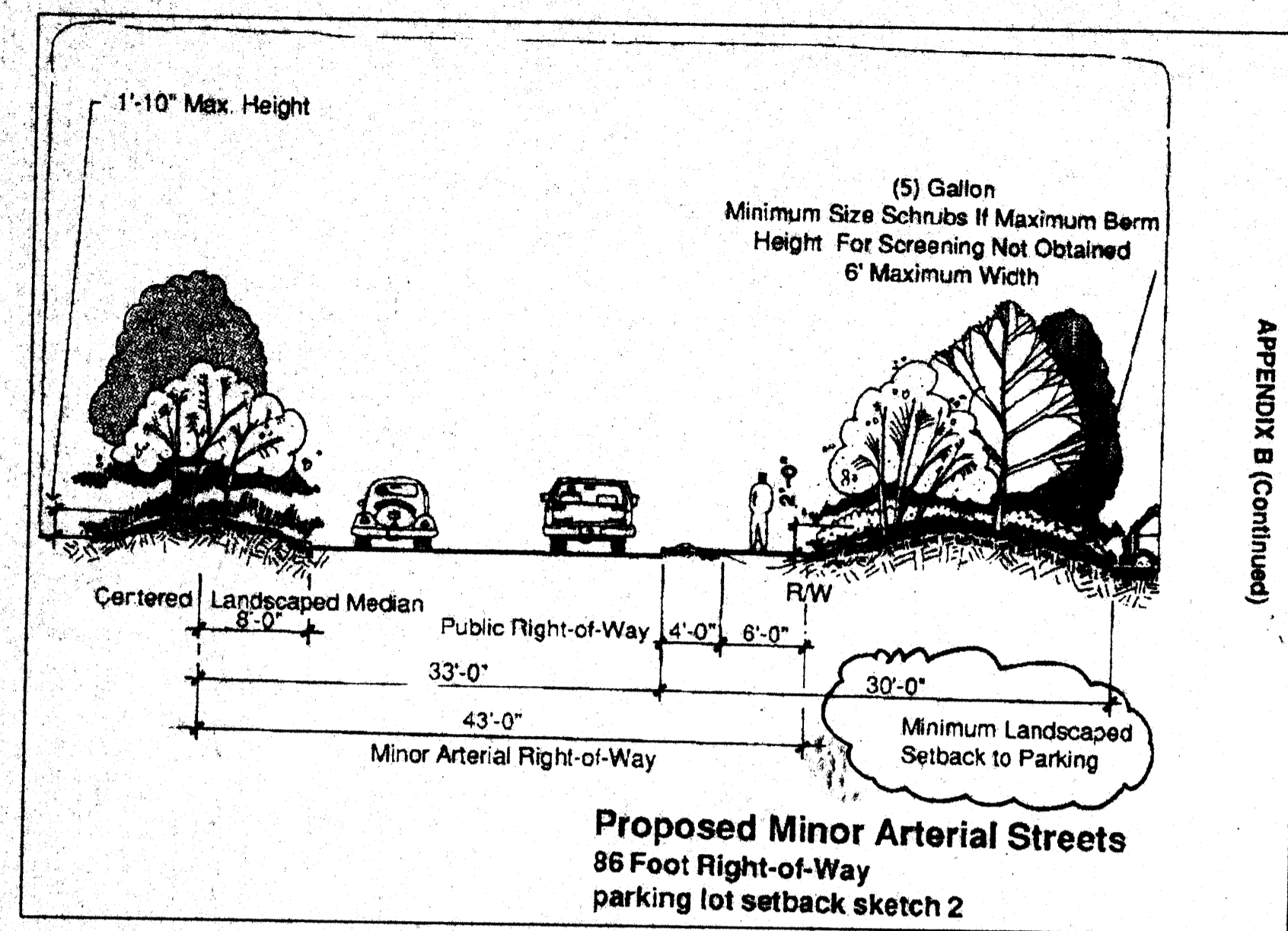
SOUTH PARKING LOT COUNT:

TOTAL NUMBER OF PARKING SPACES: 126
TOTAL NUMBER OF COMPACT PARKING SPACES: 12 (10% OF TOTAL FOR THIS LOT)



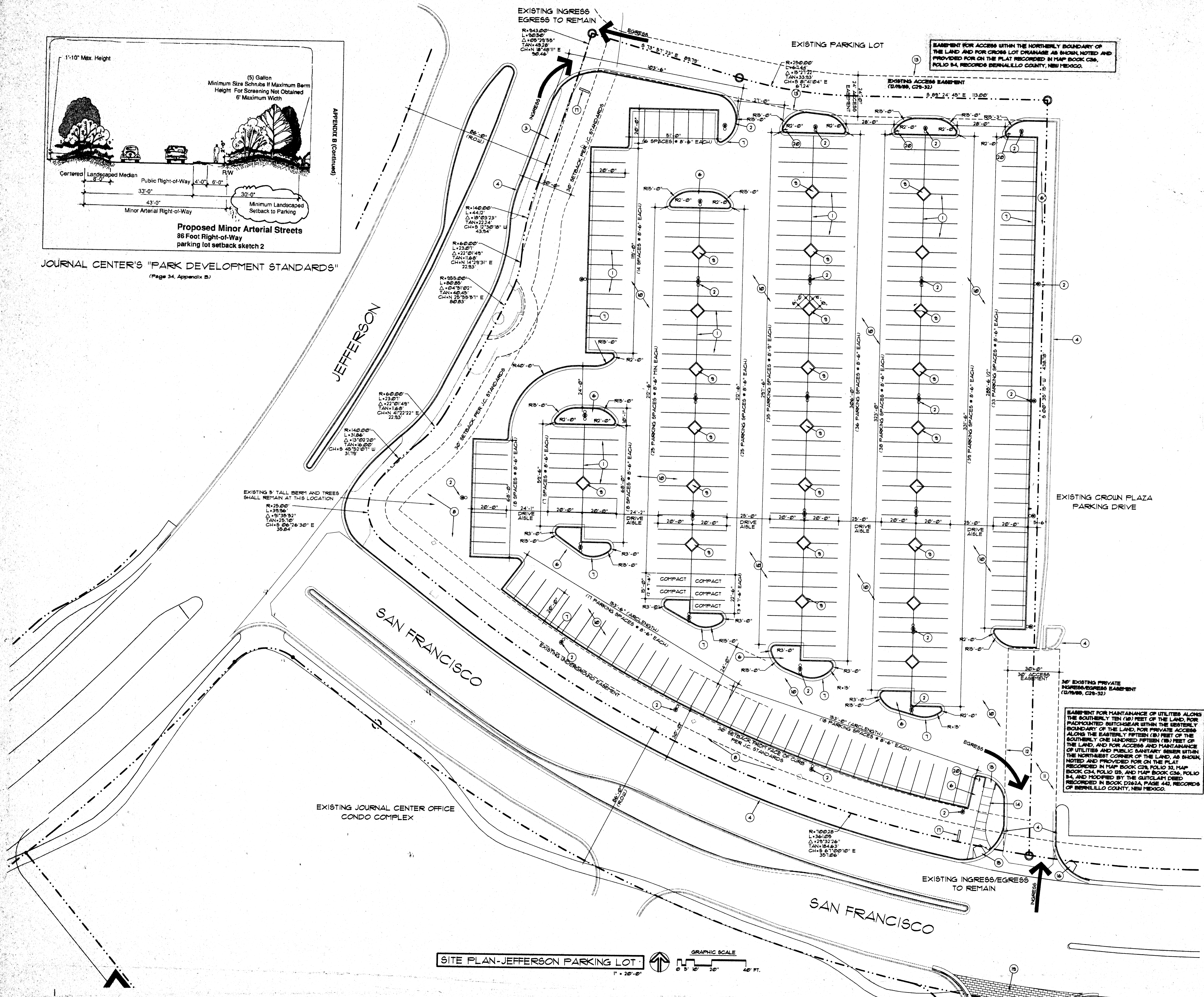
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Project	SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO	Date	March 2002
Sheet Title	SITE PLAN-MASTHEAD	Date	



JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"
(Page 34, Appendix B)

APPENDIX B (Continued)

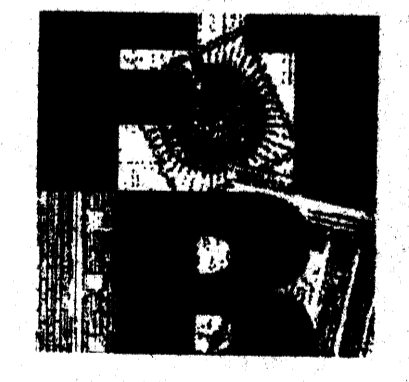


- KEYED NOTES**
- 4" WIDE PAINTED STRIPING-WHITE
 - 22" TALL, 4000' METAL HALIDE, POLE MOUNTED LIGHT FIXTURE
 - EXISTING SIDEWALK
 - EXISTING CURBS & GUTTER
 - EXISTING DRIVE
 - LANDSCAPED PLANTER
 - NEW CURBS AND GUTTER
 - EXISTING LANDSCAPING TO REMAIN
 - 6' X 6' LANDSCAPE PLANTER-TYPICAL
 - ASPHALT PAVING
 - EXISTING ASPHALT PAVING
 - APPROXIMATE LINE OF EXISTING ASPHALT
 - LINE OF ACCESS EASEMENT
 - NEW 6" WIDE CONCRETE SIDEWALK
 - NEW HANDICAP RAMP
 - EXISTING HANDICAP RAMP
 - NEW 4' X 8' SIGN TO READ "PARKING ENTRANCE". THE SIGN SHALL ALSO INDICATE THAT THIS PARKING LOT IS FOR THE USE OF THE 4-STORY AND/OR THE 6th-STORY OFFICE BUILDING(S) LOCATED ON SUN LANE.
 - EXISTING BUS STOP
 - EXISTING BRICK PAVEMENT CROSSWALK
 - STOP SIGN

- GENERAL NOTES**
- HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
 - PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE.
 - THE NEW PARKING LOTS WILL REMAIN AS SHOWN. IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

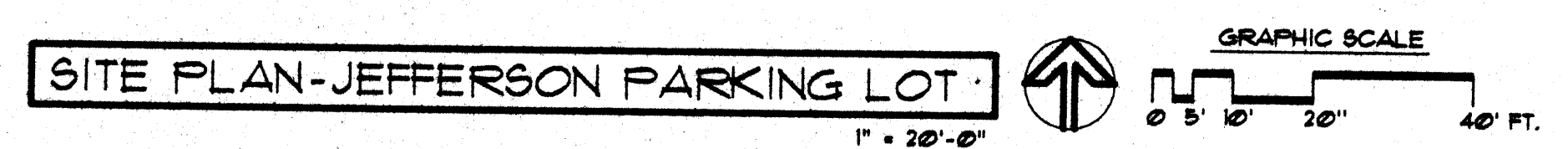
JEFFERSON PARKING LOT COUNT:
TOTAL NUMBER OF PARKING SPACES: 314
TOTAL NUMBER OF COMPACT PARKING SPACES: 5

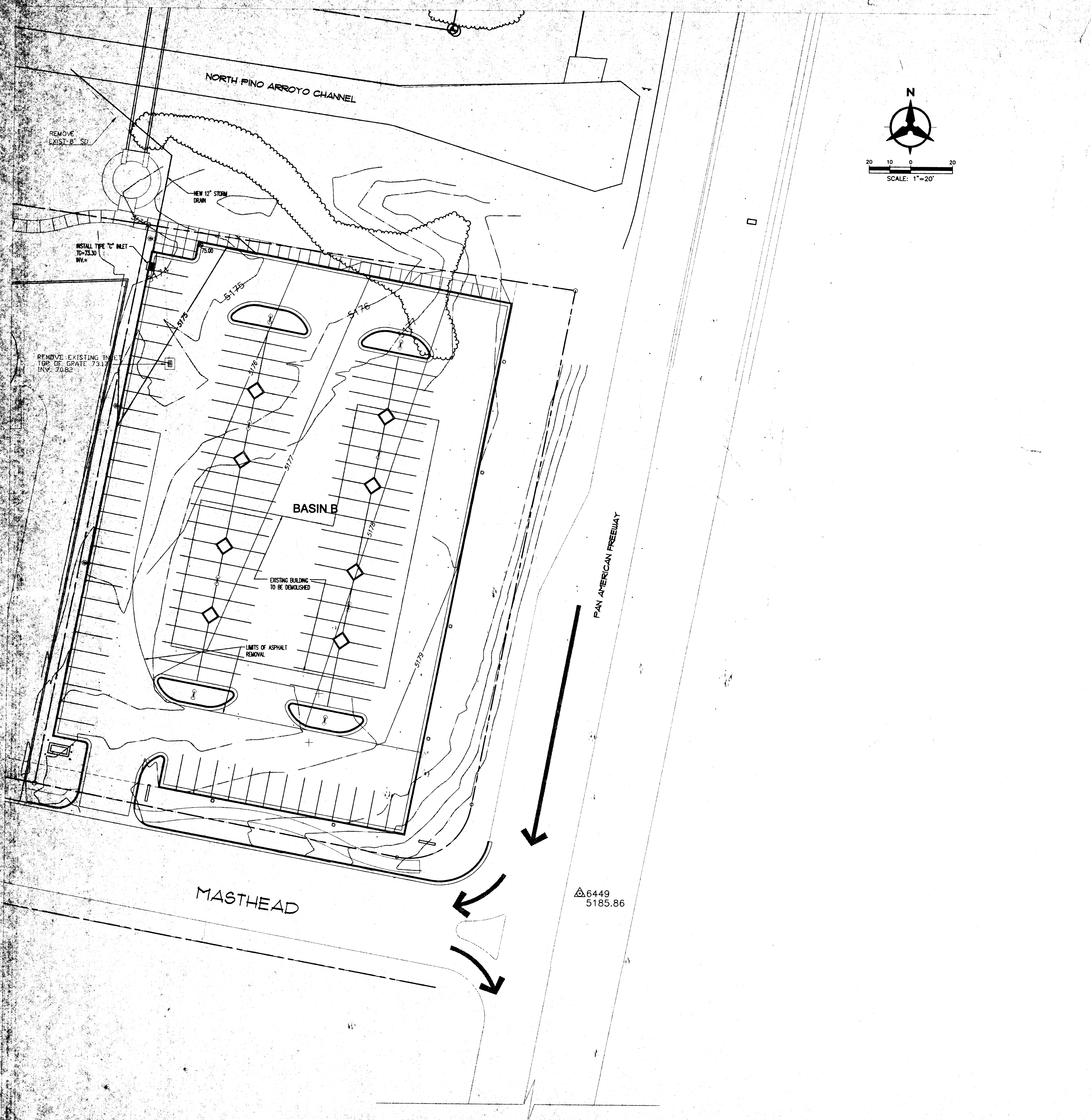
EASEMENT FOR MAINTENANCE OF UTILITIES ALONG THE SOUTHERLY TEN (10) FEET OF THE LAND, FOR PADMOUNTED BUTTRESS WITHIN THE EASTERLY BOUNDARY OF THE LAND, FOR PRIVATE ACCESS ALONG THE EASTERLY FIFTEEN (15) FEET OF THE SOUTHERLY ONE HUNDRED FIFTEEN (150) FEET OF THE LAND, AND FOR ACCESS AND MAINTENANCE OF UTILITIES AND PUBLIC SANITARY SEWER WITHIN THE NORTHWEST CORNER OF THE LAND, AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED IN MAP BOOK C26, FOLIO 32, MAP BOOK C34, FOLIO 05, AND MAP BOOK C36, FOLIO 04, AND MODIFIED BY THE QUITCLAIM DEED RECORDED IN BOOK D262A, PAGE 442, RECORDED IN BERNILLO COUNTY, NEW MEXICO.



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Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE ALBUQUERQUE, NEW MEXICO
Sheet Title: SITE PLAN-JEFFERSON
Date: March 2009





SD PIPES

Pipe#	Size in.	Slope	Capacity cfs	Actual Flow cfs	Pipe Length ft	Upstream Invert	Downstrm Invert
1	12	0.036	6.759941	5.86	110	68.96	65

Pipe capacities are based on gravity flow using manning's equation with n=0.013

INLET TABLE

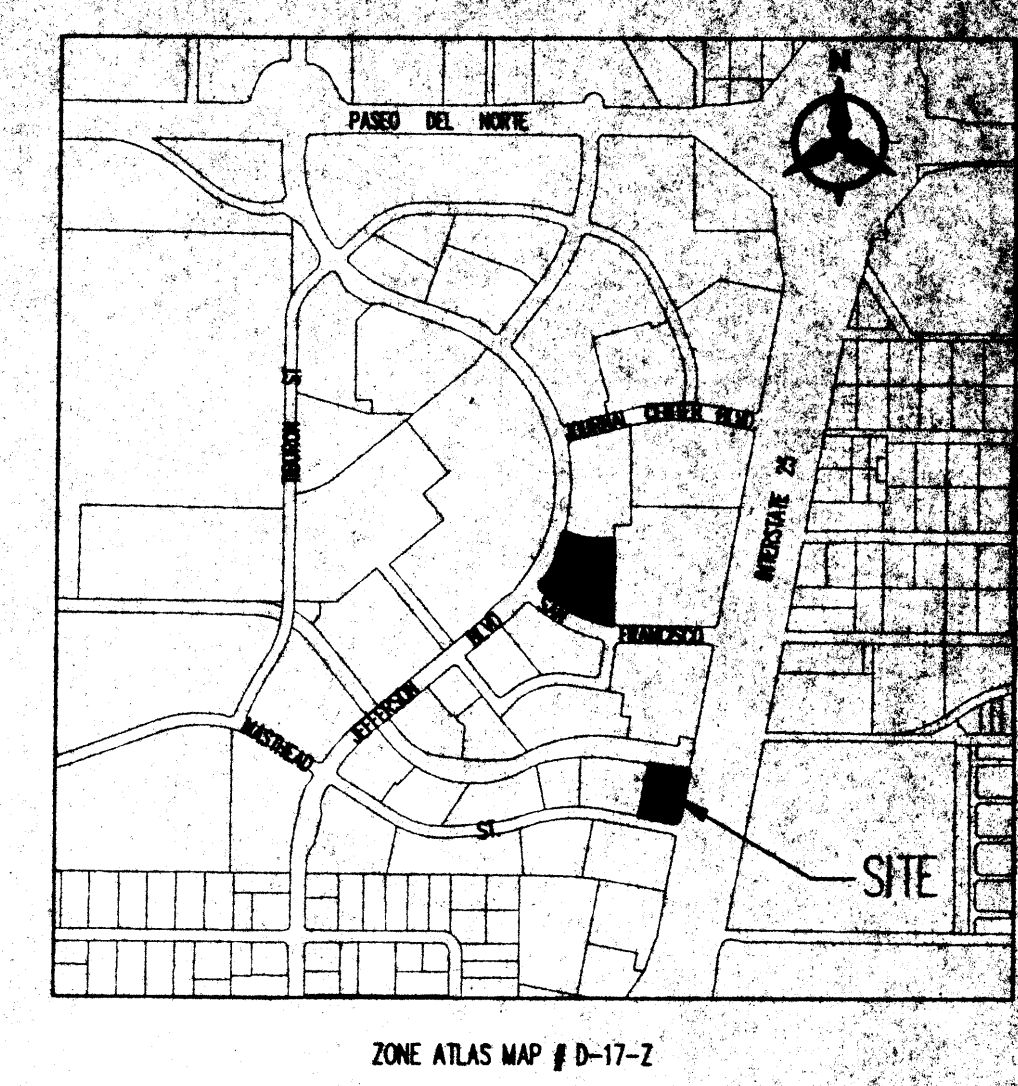
Inlet #	Basin	Inlet Type	Top of Grate	Flow	Avail. Head ft	Capacity*
I1	B	C	66.5	5.53	0.67	7.20

SUN HEALTH CARE MASTHEAD PARKING LOT BASIN CALCULATIONS

Ultimate Development Conditions Basin Data Table

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (CFS)
			A	B	C	D	
B	58153	1.34	0.0%	0.0%	20.0%	80.0%	5.86

This table is based on the DPM Section 22.2, Zone: 2



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submittal is to provide a final Drainage Management Plan for development of the Sun Health Care Parking Lot on the NW corner of Masthead Road & the frontage road.

II. SITE LOCATION
 The site is currently legally described as, Tract 4AA-3B (1.34 ac.) The site is bounded by Masthead on the south and the South Bound Frontage Road on the east. The site is located within zone atlas map #D-17-Z, and hydrologic zone 2.

III. EXISTING HYDROLOGIC CONDITIONS
 Currently the site is the former Savage Thomas office site. Consisting of the existing building (to be razed) and a surrounding parking lot. Currently flows are conveyed by surface and curb and gutter to a drop inlet (to be removed) located in the northwest corner of the site.

IV. PROPOSED HYDROLOGIC CONDITIONS
 The proposed conditions for Sun Health Care Parking Lot near Masthead Road, are shown on this basin map/final grading and drainage plan. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.
 The parking lot site (1.34 ac.) will generate 5.86 cfs under newly developed conditions and consists of approximately 80% D land treatment. Flows will be conveyed by surface and curb and gutter to a new drop inlet located at the north west corner of the proposed parking lot. The revised Journal Center Drainage Management Plan dated Dec. 1992 shows the site in basin G. This site has free discharge in to the North Pino Arroyo Channel.
 The existing 8" SD and channel penetration are inadequate for the proposed development, they will be replaced with a 12" pipe and channel penetration.

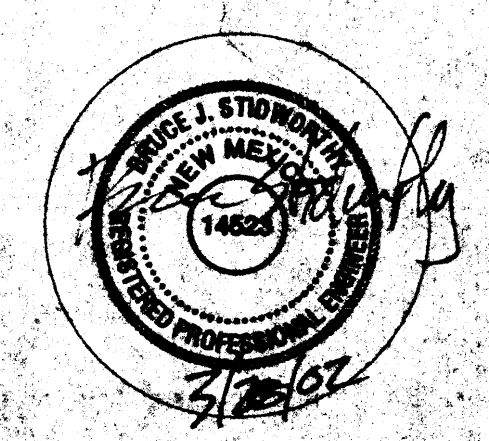
V. CONCLUSION
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal we are requesting conceptual grading and drainage plan and building permit approval.

Bohannon Houston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



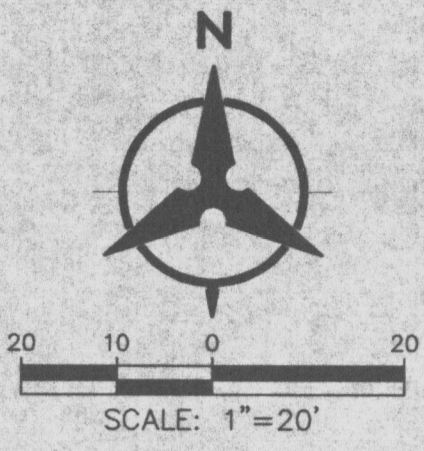
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 505-884-5590

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO
 Sheet Title: CONCEPTUAL GRADING & DRAINAGE PLAN - MASTHEAD



Sheet
 DRB-4
 4 of 8

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 Date: 12/20/02 10:27 PM



SUN HEALTH CARE JEFFERSON PARKING LOT BASIN CALCULATIONS

Ultimate Development Conditions Basin Data Table

BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (CFS)
A			A	B	C	D	
A	129809	2.98	0.0%	0.0%	25.0%	75.0%	12.84
A1	69752	1.60	0.0%	0.0%	9.0%	91.0%	7.30
A2	22747	0.52	0.0%	0.0%	5.0%	95.0%	2.41
A3	12181	0.28	0.0%	0.0%	5.0%	95.0%	1.29
A4	25265	0.58	0.0%	25.0%	60.0%	15.0%	1.83

This table is based on the DPM Section 22.2, Zone: 2

SD PIPES

Pipe#	Size in.	Slope	Capacity cfs	Actual Flow cfs	Pipe Length ft	Upstream Invert	Downstream Invert
1	12	0.024	5.52	5.52	75	64	62.2

Pipe capacities are based on gravity flow using manning's equation with n=0.013

INLET TABLE

Inlet #	Basin	Inlet Type	Top of Grate	Flow	Avail. Head ft	Capacity*
1	A	D	66.5	5.53	1.00	6.75

* This capacity allows for a 30% clogging factor

Detention Pond Volume Calculations

NOTE: Shaded cells require user input, all other cells should not be edited.

ASSUMPTIONS:

- Area less than 40 acres (simplified hydrograph method)
- 100-year, 6-hour storm event

Basin Name	A1		
Choose Zone (1-4)	2		
Basin Area = (acres)	1.60		
Proposed Conditions			
Treatment	Percentage	Area	Q (cfs)
A	0.0%	0.00	0.00
B	0.0%	0.00	0.00
C	10.0%	0.16	0.50
D	90.0%	1.44	6.77
Peak Q Developed =			7.27
Maximum allowable discharge =			5.61

Determine T_b (hours) $T_b = 0.712$

Determine T_c (Note: should be checked using DPM 22.2.B.2) $T_c = 0.2$

Determine T_p and Duration of Peak (hours) $T_p = 0.198333$
Peak Duration = 0.225

Compute the required retention volume using the simple hydrograph. Figure A-3 in DPM Section 22.3

Time to Control Q (hrs)	0.152
Time to end of Control Q (hrs)	0.490873
Duration of Control Q (hrs)	0.339

Required Detention Volume (CF) = 1726



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submittal is to provide a final Drainage Management Plan for development of the Sun Health Care Parking Lot on the NE corner of Jefferson and San Francisco Road.

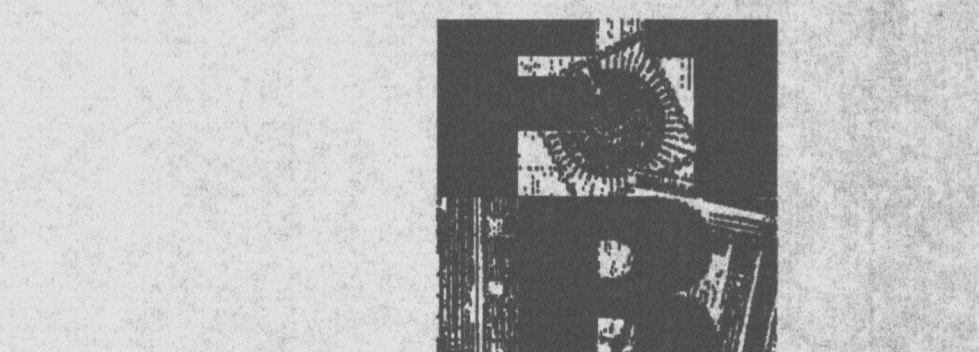
II. SITE LOCATION
The site is currently legally described as, Tract 2A-2B3 Journal Center, 2.98 ac. The site is bounded by Jefferson Blvd on the west and San Francisco Road on the south. The site is located within zone atlas map #D-17-2, and hydrologic zone 2.

III. EXISTING HYDROLOGIC CONDITIONS
Currently the site is cleared and minor grading has been done in the past. The site was used as a staging yard during construction of Sun Health Care - Phase IV. The site drains from east to west with an average slope 1.5%. At this time on offsite flows impact this site.

IV. PROPOSED HYDROLOGIC CONDITIONS
The proposed conditions for Sun Health Care Parking Lot near Jefferson Blvd. are shown on this basin map/final grading and drainage plan. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.
The parking lot area (2.98 ac) will generate 12.84 cfs under developed conditions and consist of approximately 75% D land treatment. The site has been divided into 4 sub-basins. Each sub-basin has been assigned appropriate land treatments corresponding to its location within the site. The revised Journal Center Drainage Management Plan dated Dec. 1992 shows the site in basin E-1. The allowable discharge from this site is 3.74 cfs/ac (3.74 cfs/ac x 2.98 ac = 11.14 cfs) total allowable discharge. A copy of the Journal Center Master Plan is attached.
Currently flows from proposed basin A4 flow directly into Jefferson Blvd. Basin A4 (1.83 cfs) will continue in this manner during developed conditions.
Flows from basin A3 (1.29 cfs) are conveyed on the surface to the drive openings to the north and discharged to the driveway and on to Jefferson Blvd.
Flows from basin A2 (2.41 cfs) are conveyed on the surface and by curb and gutter to a drop inlet located in an "island" near the southwest corner of the proposed parking lot. This area is a depression in order to create a detention pond which will allow for the appropriate discharge of 5.67 cfs. The discharge is controlled by the slope of the 12" sd pipe and discharges to Jefferson through a sidewalk culvert.
The allowable discharge for this basin was calculated as follows:
Total Allowable Discharge = 11.14 cfs
Basins A2, A3 & A4 total free discharge = 11.14 - 5.53 = 5.61
The required detention pond volume was calculated using the simplified hydrograph method provided in section 22.2 of the DPM. The calculations are provided on this sheet.
The detention pond volume provided = 6300cf (surface area) x 0.33 (avg. depth) = 2100cf

V. CONCLUSION
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal we are requesting conceptual grading and drainage plan approval.

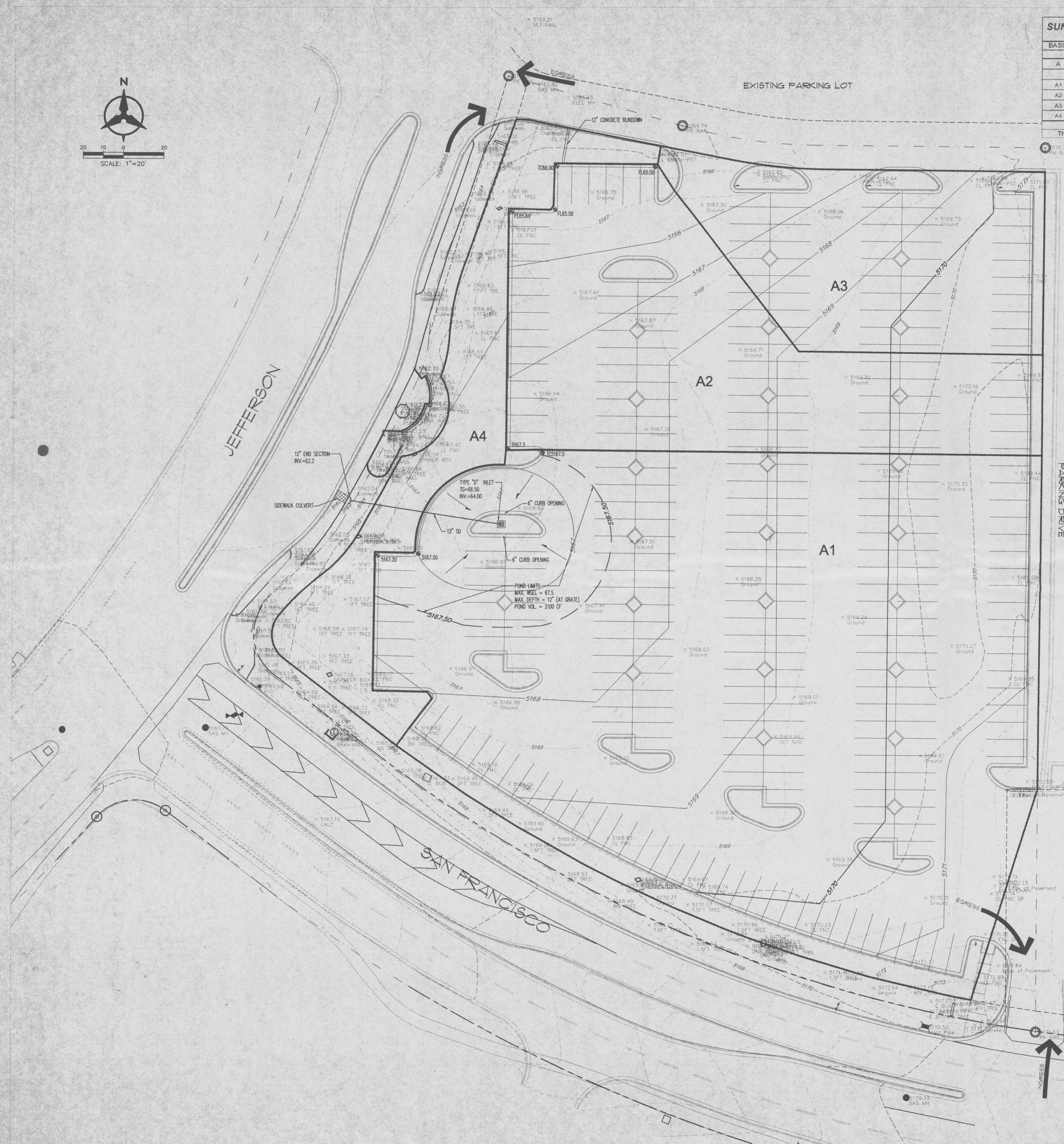
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 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

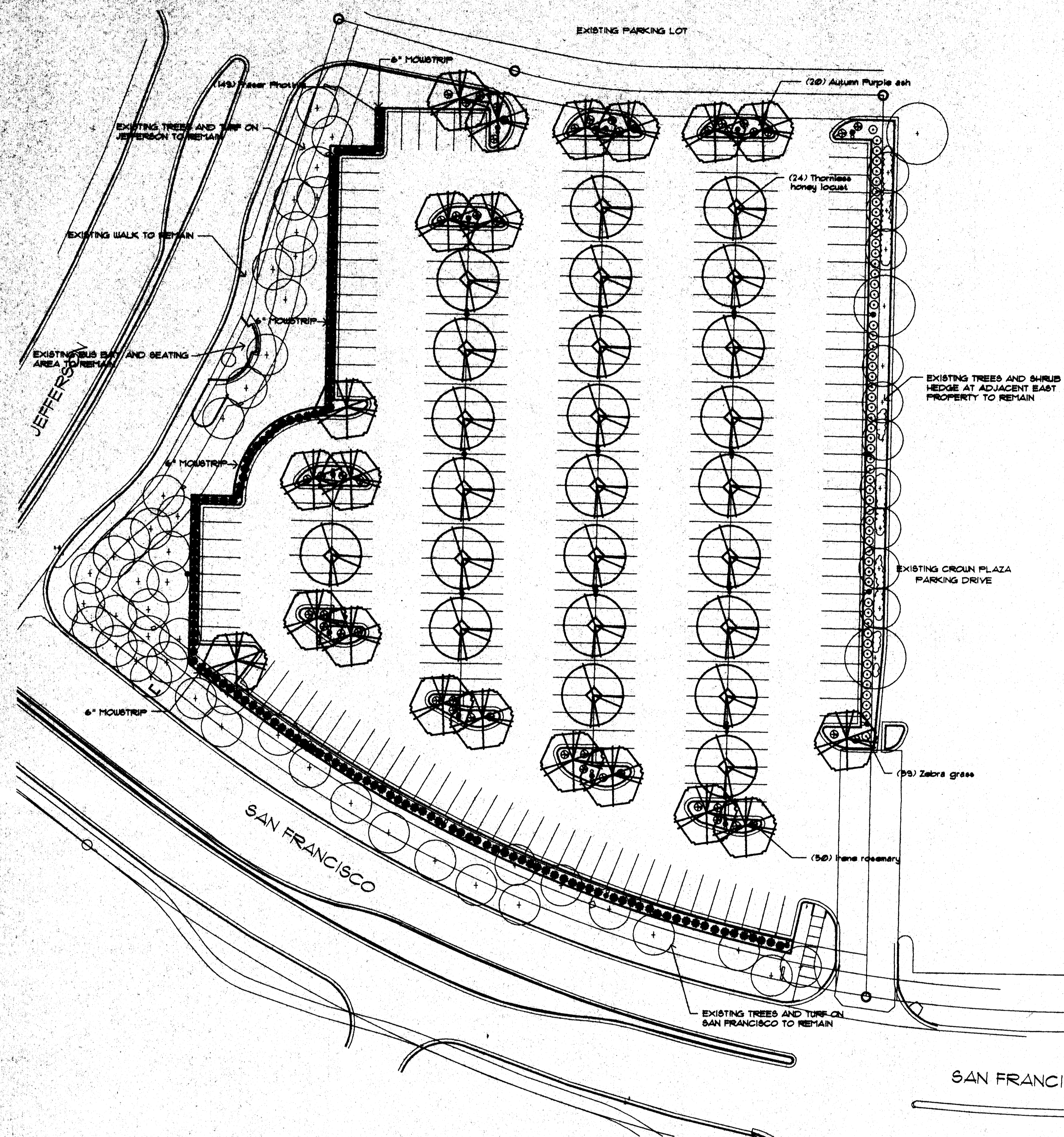


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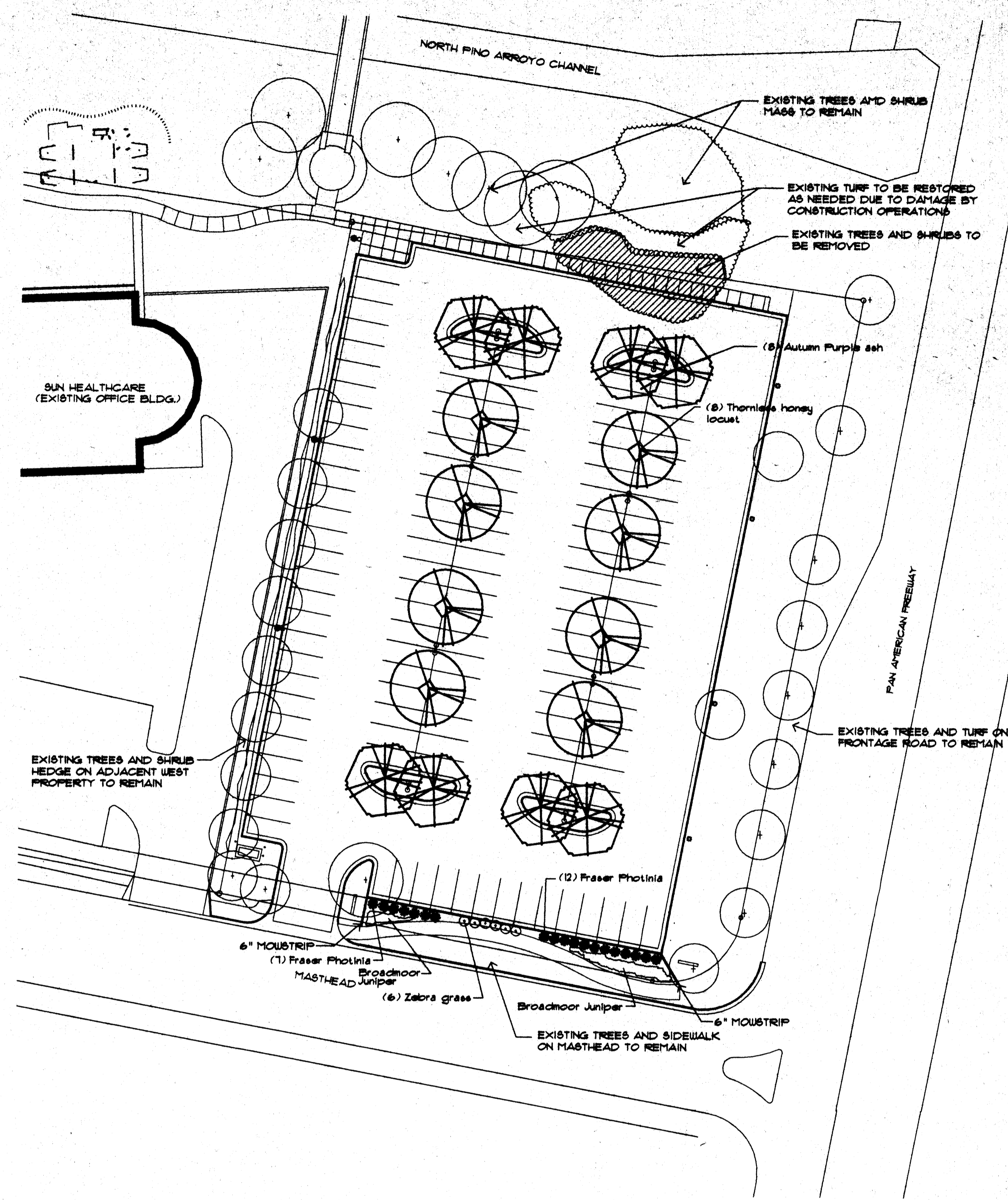
Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO
 Sheet Title: CONCEPTUAL GRADING & DRAINAGE PLAN - JEFFERSON
 Date: March 2002

Sheet: DRB-5
 5 of 8





NORTHWEST PARKING AREA



SOUTHEAST PARKING AREA

LANDSCAPING NOTES

- LANDSCAPE REQUIREMENTS
 NORTHWEST PARKING AREA
 NET LOT AREA = 130,000 SF
 TOTAL LANDSCAPED AREA REQUIRED = 19,500 SF
 (15% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED = 32,000 SF
 SOUTHEAST PARKING AREA
 NET LOT AREA = 98,000 SF
 TOTAL LANDSCAPED AREA REQUIRED = 8,100 SF
 (8% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED = 15,000 SF
- LANDSCAPE IRRIGATION
 AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED.
 TURF, SPRAY IRRIGATION
 TREES AND SHRUBS: SUBIRRIGATION.
- LANDSCAPE MAINTENANCE
 THE OWNER WILL ASSUME RESPONSIBILITY FOR THE
 MAINTENANCE OF THE LANDSCAPE.
- A 4" DEPTH OF MULCH SHALL BE INSTALLED AT
 ALL SHRUB BEDS.
- EXISTING LANDSCAPING DESIGNATED TO REMAIN SHALL
 BE PROTECTED FROM DAMAGE DURING CONSTRUCTION
 OPERATIONS. DAMAGED MATERIAL SHALL BE REPLACED
 IN KIND.

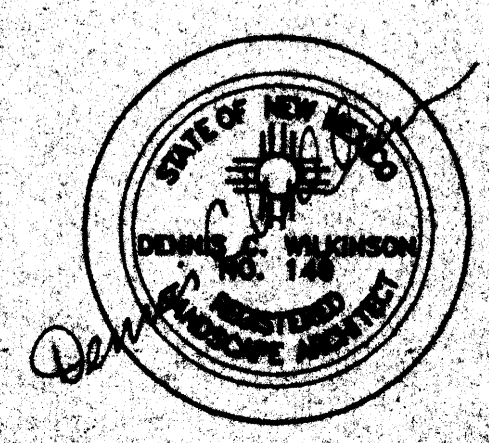
PLANT LIST

COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE INSTALLED
TREES			
Autumn Purple Ash	<i>Fraxinus americana</i> 'Autumn Purple'	28	2 1/2" cal.
Honey Locust	<i>Gleditsia triacanthos</i> 'varna'	32	2 1/2" cal.
SHRUBS			
Broadmoor Juniper	<i>Juniperus sabina</i>	10	5 gal.
Fraser Phloxia	<i>Phloxia fraseri</i>	168	5 gal.
Irish Rosemary	<i>Rosmarinus officinalis</i> 'Irish'	50	5 gal.
ORNAMENTAL GRASSES			
Zebra Grass	<i>Miscanthus sinensis</i> 'Zebrinus'	60	5 gal.

**MORROW
BRADON
WELDON, LTD.**
LANDSCAPE ARCHITECTS
115 N. 1st St., Albuquerque, NM 87102
505.885.5200 FAX 505.885.5207
mrv@mrvnm.com

FANNING BARD TATUM
ARCHITECTS AIA
6100 Indian School Rd. NE Albuquerque, NM 87110
505-885-5200
505-884-5590

Project: SUN HEALTHCARE GROUP, INC.
 WORLD HEADQUARTERS BUILDING
 AND PARKING
 161 SUN AVE NE
 ALBUQUERQUE, NEW MEXICO
 Sheet Title: LANDSCAPE PLAN



Sheet
 DRB-G
 6 of 8

Keyed Notes:

1. 6" WIDE CONCRETE MARK
2. EXPANSION JTS. @ 15'-0" OC.
3. LANDSCAPING
4. EXISTING JOURNAL CENTER MONUMENT SIGN
5. HANDICAP CURB RAMP
6. CONCRETE CURB AND GUTTER
7. ASPHALT PAVING-SEE CIVIL DRAWINGS
8. DASHED LINE REPRESENTS FUTURE 8-STORY OFFICE BUILDING
9. PAINTED STRIPING
10. EXISTING JOSSING TRAIL TO REMAIN
11. REMOVE EXISTING ASPHALT STANDING CURB
12. DASHED LINE REPRESENTS FUTURE SURFACE PARKING
13. NEW PARKING LIGHT FIXTURE
14. NEW FIRE HYDRANT
15. FUTURE PARKING STRUCTURE
16. EXISTING PAVED PARKING
17. NOT USED
18. BICYCLE RACK
19. PLANT BED-SEE LANDSCAPING FOR DETAILS
20. NOT USED
21. REMOVE PORTION OF EXISTING SIDEWALK AS SHOWN
22. EXISTING ELECTRICAL TRANSFORMER
23. NOT USED
24. VAN ACCESSIBLE PARKING SPACE-SIGN TO INCLUDE VAN ACCESSIBLE
25. MECHANICAL AREA WITH METAL GRATE COVER
26. UTILITY TUNNEL BELOW GRADE
27. DRAINAGE STORM INLET
28. CAST-IN-PLACE CONCRETE MALL
29. COOLING TOWER AND ENCLOSURE
30. EMERGENCY POWER GENERATOR-SEE ELECTRICAL
31. 16" WIDE CONT. CONCRETE MONSTRIP-SEE DETAIL
32. RETAINING WALL
33. NOT USED
34. FIRE DEPARTMENT CONNECTIONS
35. GAS METER
36. POST INDICATOR VALVE
37. HOT BOX FOR BACKFLOW PREVENTER
38. EXISTING DRAIN INLET TO REMAIN
39. NEW DRAINAGE MANHOLE
40. NEW ELECTRICAL TRANSFORMER
41. NEW ASPHALT DRIVE
42. EXISTING STORM DRAIN TO REMAIN
43. EXISTING ELECTRICAL/TELEPHONE EQUIPMENT
44. NEW UNDERGROUND WATER METER VAULT

NOTE: ALL CURB RADII SHALL BE 9'-0" UNLESS OTHERWISE INDICATED.

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. 7 AA99-96
See Clouded notes
P. 2
Richard D. Tatum
PLANNING DIRECTOR DATE

SITE DEVELOPMENT PLAN APPROVAL FOR PHASE 4-1000-3
THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, 2-79-80-2) AND THE IP ZONE.
IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 4-22-97 AS REFLECTED IN DRB 96-389.
Kevin J. Dine 5-21-97
PLANNING DIRECTOR DATE

DRB APPROVAL #96-389
Kevin J. Dine 5-21-97
PLANNING DIRECTOR DATE
CITY ENGINEER/PLANNING DESIGNEE DATE 5-28-97
TRANSPORTATION DEVELOPMENT DEPT. DATE 6-22-97
UTILITY DEVELOPMENT DEPT. DATE 5-20-97
PARKS & GENERAL SERVICES DATE 4-22-97

PHASE 3 INCLUDES PAGES 3-2

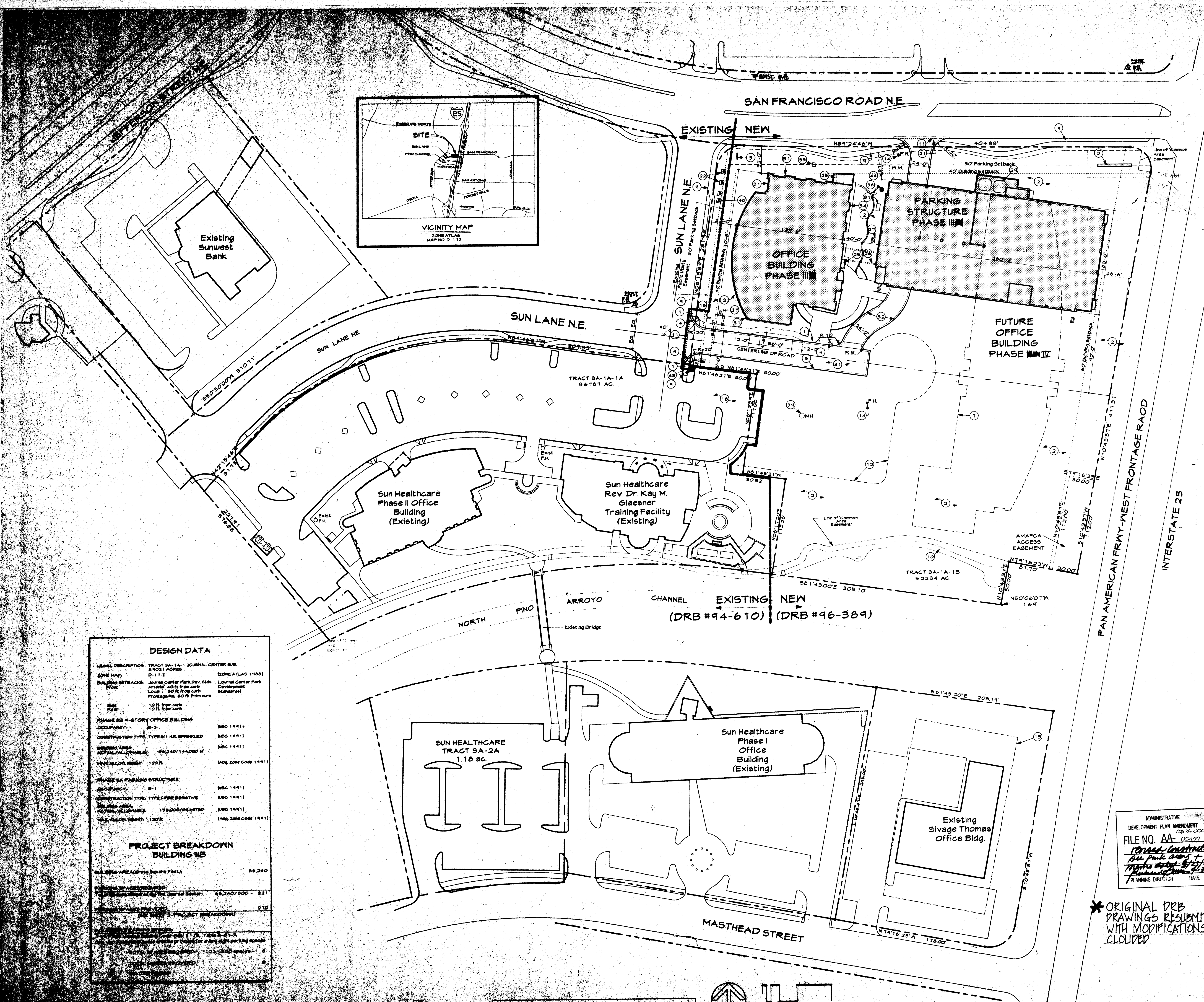
Fanning · Bard · Tatum
ARCHITECTS · AIA · LTD.

6100 Indian School Road NE Suite 210
Albuquerque, New Mexico 87110 505-883-5200

Project: SUN HEALTHCARE GROUP, INC. Phase III
OFFICE BUILDING & GARAGE
101 SUN LANE NE
Albuquerque, New Mexico
Sheet Title: SITE DEVELOPMENT PLAN
Date: APRIL 1997

* ORIGINAL DRB DRAWINGS RESUBMITTED WITH MODIFICATIONS CLOUDED

Sheet 1 (REVISED) 1 of 8



DESIGN DATA

LEGAL DESCRIPTION	TRACT 3A-1A-1 JOURNAL CENTER SUB & 4031 ACRES	(ZONE ATLAS 1400)
ZONE MAP	D-17-2	(Journal Center Park Div. 61st Avenue) 40 ft from curb Local 50 ft from curb Frontage Rd. & O ft from curb
BUILDING SETBACKS	Front 40 ft from curb Local 50 ft from curb Frontage Rd. & O ft from curb	(Journal Center Park Development Standards)
Site	10 ft from curb	
Road	10 ft from curb	
PHASE III 4-STORY OFFICE BUILDING		
OCCUPANCY	B-2	(IBC 1441)
CONSTRUCTION TYPE	TYPE B-1 HR. SPRINKLED	(IBC 1441)
SEISMO RESISTANT		(IBC 1441)
FLOOR AREA	99,240/144,000 sq ft	(Abq. Zone Code 1441)
MAX. ALLOW. HEIGHT	120 ft	(Abq. Zone Code 1441)
PHASE IIIA PARKING STRUCTURE		
OCCUPANCY	B-1	(IBC 1441)
CONSTRUCTION TYPE	TYPE I-FIRE RESISTIVE	(IBC 1441)
FLOOR AREA	189,000/UNLIMITED	(IBC 1441)
MAX. ALLOW. HEIGHT	120 ft	(Abq. Zone Code 1441)
PROJECT BREAKDOWN		
BUILDING III B		
Area (SQA/Gross Square Feet)	66,240	
Volume (SQA/Gross Volume)	66,240/300 = 221	
Number of Units (SQA/Gross Units)	270	
Number of Units (SQA/Gross Units)	270	

SITE PLAN - PHASE II



Keyed Notes:

1. 6" WIDE CONCRETE WALK P/CONTROL JOINTS @ 5'-0" O.C. EXPANSION JTS. @ 15'-0" O.C.
2. LANDSCAPING
3. EXISTING JOURNAL CENTER MONUMENT SIGN
4. HANDICAP CURB RAMP
5. CONCRETE CURB AND GUTTER
6. ASPHALT PAVING
7. PLANT BED-SEE LANDSCAPING
8. PAINTED STRIPING
9. EXISTING SIDEWALK
10. EXISTING JOGGING TRAIL TO REMAIN
11. REMOVE EXISTING CURB AND GUTTER
12. NEW CURB CUT
13. NEW PARKING LIGHT FIXTURE ON 20' POLE
14. NEW FIRE HYDRANT
15. PARKING SIGN IN UNIVERSAL HANDICAP SYMBOL
16. PRE-CAST CONCRETE FIBER STOP
17. PAINTED UNIVERSAL HANDICAP SYMBOL
18. FIRETRUCK TURNING RADIUS 40' TO CENTERLINE
19. PLANT BED-SEE LANDSCAPING FOR DETAILS
20. REMOVE EXISTING STRIPING
21. REMOVE PORTION OF EXISTING SIDEWALK AS SHOWN
22. EXISTING PARKING
23. NEW JOGGING TRAIL
24. VAN ACCESSIBLE PARKING SPACE SIGN TO INCLUDE VAN ACCESSIBLE
25. NEW PEDESTRIAN BRIDGE
26. EXISTING STORM DRAIN INLET
27. NEW DRAINAGE STORM INLET
28. NEW WATER FOUNTAIN

Sun Healthcare Group, Inc.
World Headquarters Building Parking Count Data (REVISED)
April 23, 1999

San Francisco Building	Floor Area	Required Parking (A/200)
First	17018	85
Second	17017	85
Third	14816	74
Fourth	14816	74
Total Required for Building		318

World Headquarters Building	Floor Area to be Occupied (Less/No Occupants)	Required Parking (Less/No Occupants)	Portion of Floor Area to be Occupied
First (Less Dining/Kitchen)	14400	72	100%
Second (Less Mezz. Dining)	14400	72	100%
Third (No occupants)	0	0	0%
Fourth (No occupants)	0	0	0%
Fifth	14400	72	100%
Sixth	14400	72	100%
Total Required for Building	57600	288	

Parking Count	Total
Existing Parking Structure	207
New Surface Parking	51
Total Number of Parking Spaces	258

Available Parking for World Headquarters Building W/O New Parking Garage (Formula: Total Parking Avail. - S.F. Required) = (258 - 213) = 45

Summary:
Without the construction of the new parking structure (Savage Thomas Inc.) total of 97,800 square feet of office space may be occupied given the available number of parking spaces from the existing parking structure and the new surface parking.
Formula: Total Avail. Parking Rate per J.C. Sols. = 326 x 300 = 97,800 Sq. Ft.

SITE DEVELOPMENT PLAN APPROVAL FOR PHASE III

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 10, 1982 (APR 12, 1999) AND THE II ZONE.

IT CONFORMS WITH THE COMMENTS REFERRED DURING DEVELOPMENT REVIEW BOARD ON 4/22/99 AS RECORDED IN DRB 96-389.

[Signature]
PLANNING DIRECTOR

DRB APPROVAL #96-389

PHASE III

PLANNING DIRECTOR	5/21/99
CITY ENGINEER	5/22/99
PLANNING DIRECTOR	5/22/99
CITY DEVELOPMENT DEPT	5/22/99
CITY DEVELOPMENT DEPT	5/22/99
PARKS & GENERAL SERVICES	5/22/99

PHASE 4 INCLUDES PAGES 0-12

4.27.91 ADMINISTRATIVE AMEND

3.25.00 ADMINISTRATIVE AMEND

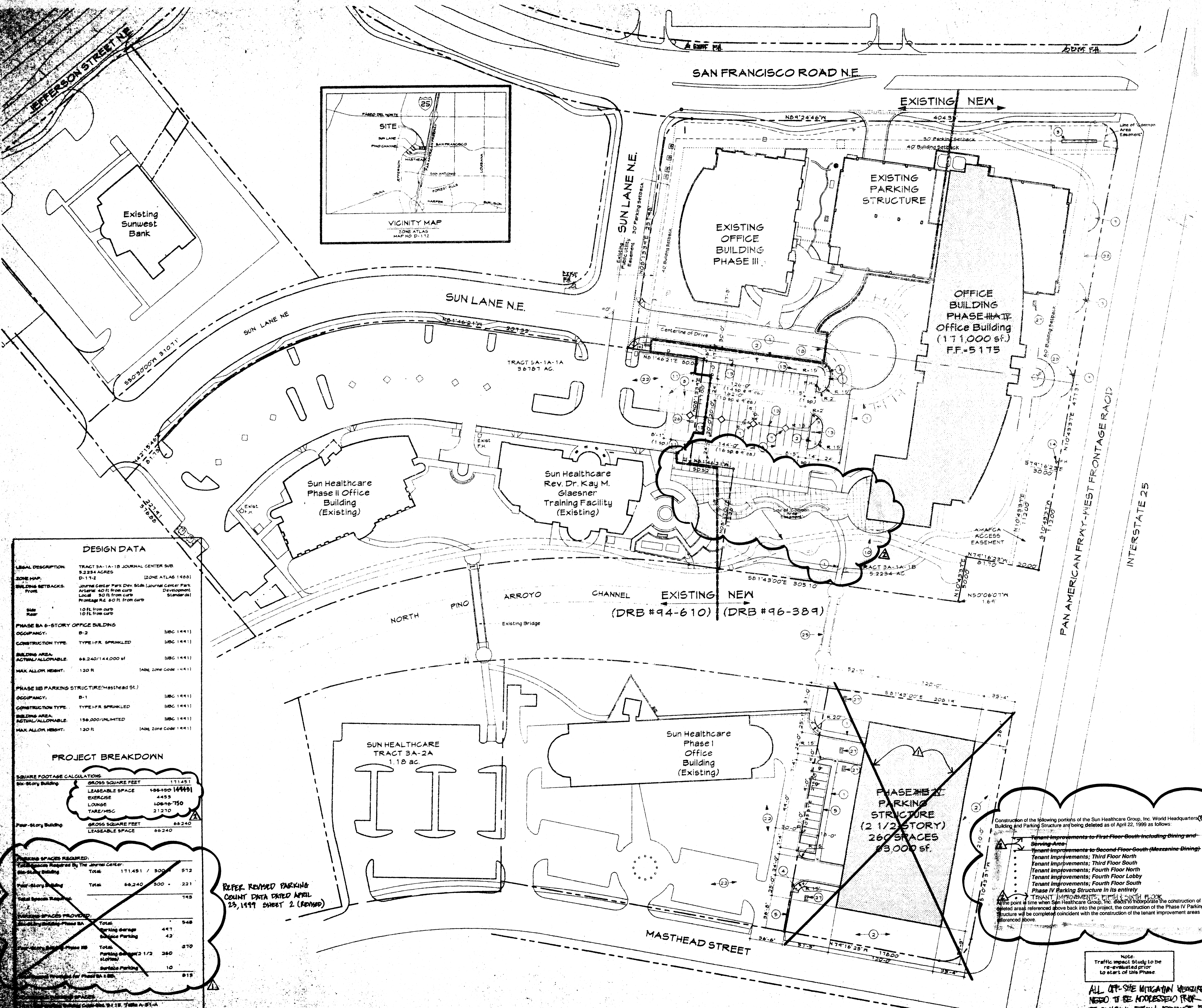
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6100 Indian School Road NE Suite 210
Albuquerque, New Mexico 87110 505-433-5200

Project: SUN HEALTHCARE GROUP, INC. PHASE III & IV: OFFICE BUILDING & GARAGE
101 SUN LANE NE ALBUQUERQUE, NEW MEXICO

Sheet Title: SITE DEVELOPMENT PLAN

Sheet 2 (REVISED) 8 of 8



DESIGN DATA

LEGAL DESCRIPTION: TRACT 5A-1A-1B JOURNAL CENTER SUB 5.234 ACRES (ZONE ATLAS 1488)

ZONE MAP: D-17-2 (ZONE ATLAS 1488)

BUILDING SETBACKS: Journal Center Park Dev. Side Journal Center Park Atlas 40 ft. from curb Development Local 50 ft. from curb Frontage Rd. 80 ft. from curb

Site Map: 10 ft. from curb 10 ft. from curb

PHASE 3A 6-STORY OFFICE BUILDING

OCCUPANCY: B-2 (UBC 1441)

CONSTRUCTION TYPE: TYPE I-FR SPRINKLED (UBC 1441)

BUILDING AREA: 66,240/144,000 sf (UBC 1441)

ACTUAL/ALLOWABLE: 66,240/144,000 sf (UBC 1441)

MAX. ALLOW. HEIGHT: 120 ft. (Adq. Zone Code 1441)

PHASE 3B PARKING STRUCTURE (Masthead St.)

OCCUPANCY: B-1 (UBC 1441)

CONSTRUCTION TYPE: TYPE I-FR SPRINKLED (UBC 1441)

BUILDING AREA: 156,000/UNLIMITED (UBC 1441)

ACTUAL/ALLOWABLE: 156,000/UNLIMITED (UBC 1441)

MAX. ALLOW. HEIGHT: 120 ft. (Adq. Zone Code 1441)

PROJECT BREAKDOWN

SQUARE FOOTAGE CALCULATIONS

6th-story Building	GROSS SQUARE FEET	111,451
	LEASEABLE SPACE	138,450 (144,491)
	OVERAGE	4,459
	LONGS	106,407-750
	TARE/MISC	21,210

4th-story Building

	GROSS SQUARE FEET	66,240
	LEASEABLE SPACE	66,240

PARKING SPACES REQUIRED:

Minimum Required by The Journal Center	Total	111,451 / 300	372
4th-story Building	Total	66,240 / 300	221
Total Spaces Required			593

Minimum Spaces Provided:

Minimum Required Phase 3A	Total	447	548
Surface Parking		42	
4th-story Building Phase 3B	Total	360	370
Surface Parking		10	
Minimum Required for Phase 3A & 3B			818

REFER REVISED PARKING COUNT DATA DATED APRIL 23, 1999 SHEET 2 (REVISED)

Construction of the following portions of the Sun Healthcare Group, Inc. World Headquarters (Phase III) Building and Parking Structure are being deleted as of April 22, 1999 as follows:

- Tenant Improvements to First Floor South including Dining and Serving Area
- Tenant Improvements to Second Floor South (Mezzanine Dining)
- Tenant Improvements; Third Floor North
- Tenant Improvements; Third Floor South
- Tenant Improvements; Fourth Floor North
- Tenant Improvements; Fourth Floor Lobby
- Tenant Improvements; Fourth Floor South

Phase IV Parking Structure In Its entirety

Tenant Improvements to First & Sixth Floor

At the point in time when Sun Healthcare Group, Inc. decides to incorporate the construction of the deleted areas referenced above back into the project, the construction of the Phase IV Parking Structure will be completed coincident with the construction of the tenant improvement areas referenced above.

Note: Traffic Impact Study to be re-evaluated prior to start of this Phase

ALL OFF-SITE MITIGATION MEASURES NEED TO BE ADDRESSED PRIOR TO BUILDING TENANT RESURFACE FOR BASE-A.

SITE PLAN-PHASE III 1/4"=1'-0"