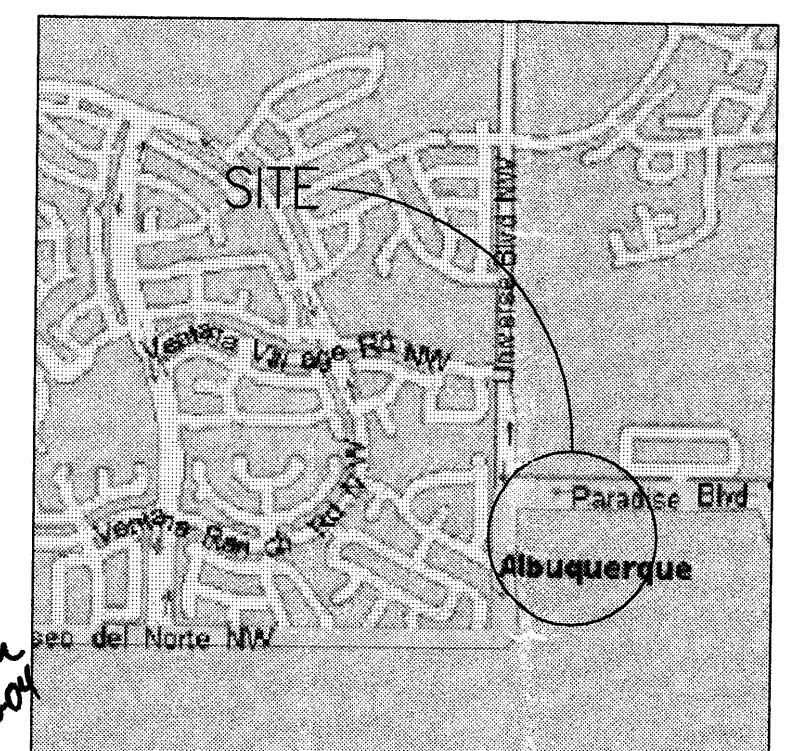


PROJECT NUMBER: 1000390
 APPLICATION NUMBER: 04-01011
 This plan is submitted with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice of Decision have been complied with.

Is an Infrastructure List required? () YES (X) NO

DATE: 8-17-04
 DATE: 7-14-04
 DATE: 7/14/04
 DATE: 6-25-04
 DATE: 8/16/04



BUILDING AREA & PARKING CALCULATIONS:

LOT 1 C-STORE	4,000 SF. BUILDING	LOT SIZE=75,511.26 SQ/FT OR 1.73 AC
PARKING:	4,000 SF / 200 = 20 SPACES	
SPACES PROVIDED:	25 SPACES	
BICYCLE SPACE:	1 SPACE	
LOT 2 BLAKES	2,350 SF. BUILDING	LOT SIZE=41,904.72 SQ/FT OR .96 AC
PARKING:	2,350 SF / 200 = 11.75 SPACES	
SPACES PROVIDED:	12 SPACES	
BICYCLE SPACE:	1 SPACE	
LOT 3 BANK	3,300 SF. BUILDING	LOT SIZE=36,193.40 SQ/FT OR .87 AC
PARKING:	3,300 SF / 200 = 16.5 SPACES	
SPACES PROVIDED:	18 SPACES	
BICYCLE SPACE:	1 SPACE	
LOT 4 SHOPS	7,800 SF. BUILDING	LOT SIZE=40,802.65 SQ/FT OR .93 AC
PARKING:	7,800 SF / 200 = 39 SPACES	
SPACES PROVIDED:	48 SPACES	
BICYCLE SPACE:	2 SPACES	

PARKING NOTES:

TYPICAL STANDARD SPACES ARE: 8'-0" x 18'-0"
 TYPICAL SMALL CAR SPACES ARE: 7'-6" x 15'-0"
 TYPICAL HANDICAP SPACES ARE: 8'-6" x 20'-0"
 WITH 8' WIDE ACCESS AISLE

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

TOTAL STANDARD PARKING SPACES PROVIDED	114 SPACES
TOTAL HC PARKING SPACES PROVIDED	13 SPACES
TOTAL PROVIDED	127 SPACES
TOTAL REQUIRED SPACES	= 87 SPACES
TOTAL PROVIDED SPACES	= 127 SPACES

LEGAL DESCRIPTION
 TRACT H AT VENTANA SQUARE; LOTS 1-4
 CURRENT ZONING
 SU-1 FOR RESTRICTED C-2 USES
 TOTAL ACRES
 4.49 ACRES(TOTAL GROSS)

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL
 General architectural character for pool structures is to follow the general design character of the surrounding area. The design of the pool structure shall be consistent with the surrounding area. The design of the pool structure shall be consistent with the surrounding area. The design of the pool structure shall be consistent with the surrounding area.

PAD ARCHITECTURAL DESIGN STANDARDS

Small structures shall be designed to provide uniform standards for all pads. The design of the pad structure shall be consistent with the surrounding area. The design of the pad structure shall be consistent with the surrounding area. The design of the pad structure shall be consistent with the surrounding area.

SPECIAL BUFFERING

When up side up structures to be screened with a 5' high opaque wall and 5' side (minimum) and the structure area with a minimum of 10' of buffer area (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Signage for pool structures shall be internally illuminated. Individual type lettering not to exceed 10% of the wall area of each building. Letters are to be block letters. The design of the signage shall be consistent with the surrounding area. The design of the signage shall be consistent with the surrounding area.

LANDSCAPING

Landscaping of the pads shall be from the same landscaping plan and concept provided on the master landscaping plan.

AWNINGS

Awnings are permitted above window areas. Awnings with painted or embossed decorative signs or graphics are permitted provided the awning is to be located on the exterior of the building. The design of the awning shall be consistent with the surrounding area. The design of the awning shall be consistent with the surrounding area.

GLAZING

Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS

Service areas such as refuse enclosures and dumpsters are to be located screened from the view of the adjacent residential area, public rights-of-way and the adjacent commercial area. First-aiding dumpster and dumpster enclosures are to be gated. Screening material to match building wall color and material.

LIGHTING

Site lighting for pool structures is to match the site lighting provided for the main parking area. Pool site lighting not to exceed 20' to fixtures. Main parking area lighting not to exceed 20' to fixtures. Exposed, low-voltage lighting fixtures are prohibited. All lighting must be shielded to prevent light spill. Maximum light level under full moonlight is to be 0.02 foot-candles, from locally mounted lighting.

FREE STANDING SIGNAGE

Free standing signs are prohibited. The design of the signage shall be consistent with the surrounding area. The design of the signage shall be consistent with the surrounding area.

TRAFFIC REQUIREMENTS:

All traffic requirements have been met per May 31, 1998 agreement between the city and Las Ventanas limited partnership.

PARKING

The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries.

RESTRICTED USE

1. Restaurant food food with drive up.
 a. Not permitted on pads 3 and 4
 b. Drive up window must be located only adjacent to Paseo Del Norte and Paradise Boulevard or on east elevation.

2. Auto repair, tire, battery, maintenance, parts and detailing
 a. Not permitted on pads 2, 3, 4, 5 and 6
 b. Service areas to face internal to site

3. Retail sales of alcoholic drinks for consumption off premises within 500 feet of any residential use
 a. Limited to Major 1, 2, 3 and 4; Pads 1, 2, 5, 6, 7 and 8; Shops 1 and 2

ALTERNATE USE

Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit shall be prepared and submitted to the DPO for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans). Any use that does not conform to the approved site plan or alternate use plans will require a use submitted to EPC.

1 Site Lighting Detail
 Scale: Not to Scale

2 Bike Rack Detail
 Scale: Not to Scale

3 Monument Sign Detail
 Scale: Not to Scale

4 Monument Sign Detail
 Scale: Not to Scale

5 Refuse Enclosure
 Scale: Not to Scale

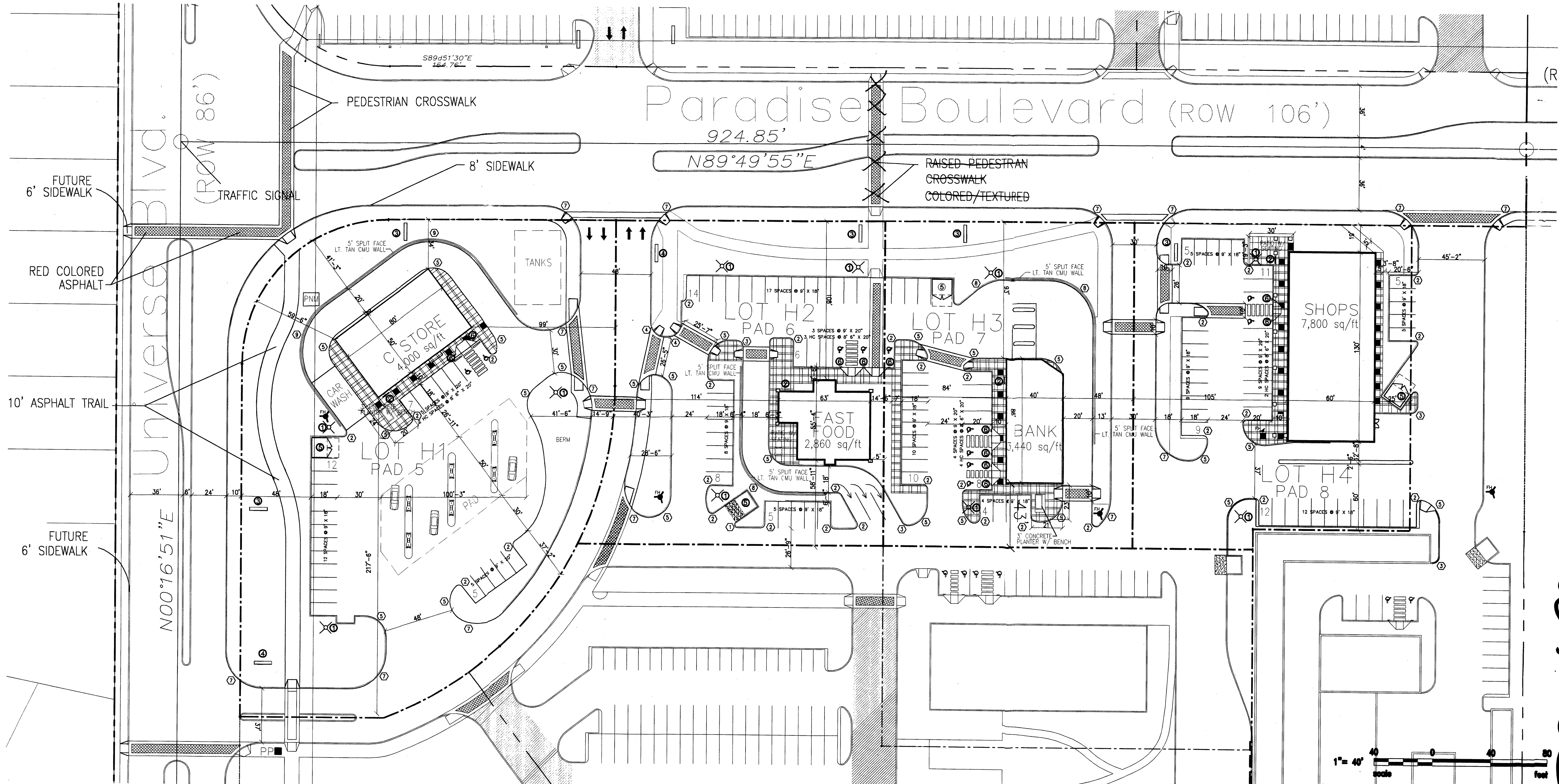
RADIUS INFORMATION:

- 1 RADIUS = 2'-0"
- 2 RADIUS = 3'-0"
- 3 RADIUS = 5'-0"
- 4 RADIUS = 10'-0"
- 5 RADIUS = 15'-0"
- 6 RADIUS = 20'-0"
- 7 RADIUS = 25'-0"
- 8 RADIUS = 30'-0"
- 9 RADIUS = 40'-0"
- 10 RADIUS = 50'-0"
- 11 RADIUS = 60'-0"
- 12 RADIUS = 100'-0"

VICINITY MAP

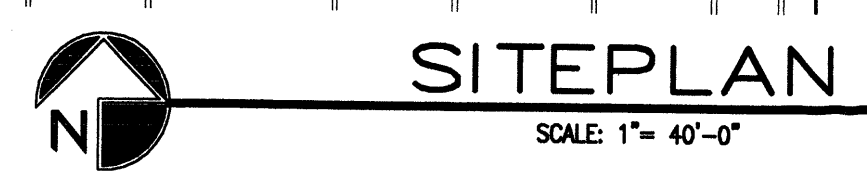
Scale: Not to Scale

[NOTE: Public Elements to be granted as requirement for Certificate of Occupancy.]



PROJECT 1000390

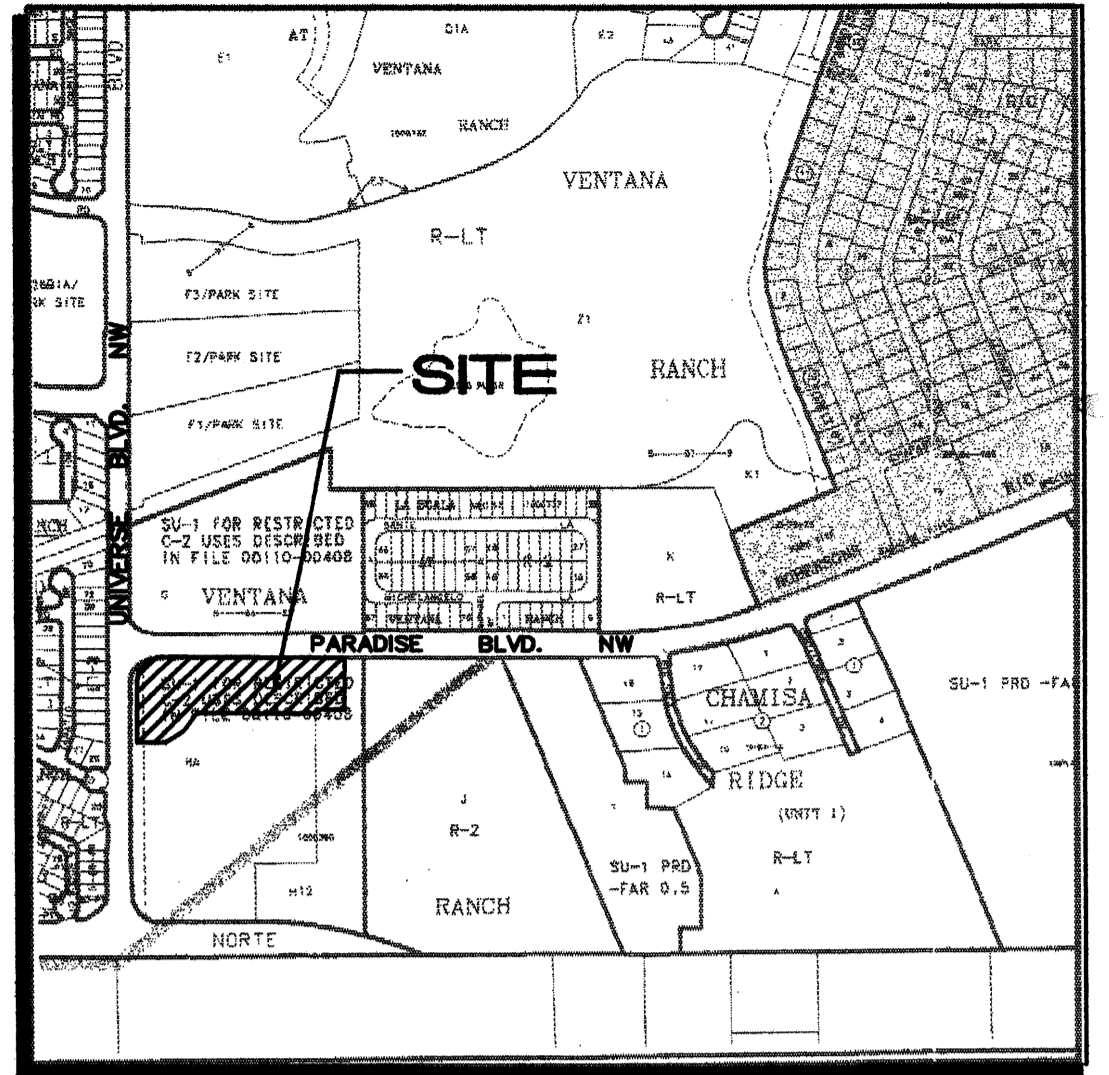
AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 DATE: 6-25-04
 SIGNATURE & DATE
 2960 SWEET/JZN CONST.



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110
 FAX (505) 837-8877

PROJECT TITLE VENTANA SQ. LOTS#1-4 SEC UNIVERSE BLVD. & PARADISE BLVD. ALBUQUERQUE, NEW MEXICO	DRAWN BY: MPS
PROJECT MANAGER MIKE SAFRANY	JOB NO.:
SHEET TITLE SITE PLAN - BLDG PERMIT	
DATE: 6-21-04	sheet- A1.0
SCALE: AS NOTED	of-



B-10-Z
VICINITY MAP
1"=750'

LEGAL DESCRIPTION: A NORTHERLY PORTION OF TRACT HA, VENTANA RANCH

AREA: 4.52 ACRES (196,969 SF)

BENCHMARK: ACS BM "1-B10" LOCATED ON THE EAST SIDE OF UNIVERSE BLVD. NEAR THE SOUTHWEST CORNER OF SITE. ELEVATION= 5419.52

FLOOD ZONE DESIGNATION: THE SITE IS LOCATED OUTSIDE OF THE 500-YR FLOOD PLAIN BOUNDARY AS SHOWN ON THE FEMA FIRM PANEL.

EXISTING CONDITIONS: THE SITE HAS BEEN MASS GRADED AND DRAINS TO THE NORTH DISCHARGING RUNOFF TO PARADISE BLVD. NW. A RECENTLY CONSTRUCTED STORM DRAIN CARRIES FLOW FROM BOTH THIS SITE AND THE PARADISE BLVD. R/W NORTH TO THE LAS VENTANAS DAM.

EXISTING HYDROLOGY:
Precipitation Zone: 1
Land Treatment: 100%
 $Q_{100-0} = (4.52)(2.87) = 13.0$ CFS

PROPOSED CONDITIONS: THE DEVELOPMENT INCLUDES A CONVENIENCE STORE WITH COVERED GAS PUMP ISLANDS, A BLAKE'S RESTAURANT, A BANK, & A FOURTH BUILDING AS SHOWN. ASPHALT PAVED ACCESS/PARKING & LANDSCAPING COMPLETE THE SITE.

PROPOSED HYDROLOGY:
Precipitation Zone: 1
Land Treatment: 7%B, 13%C, 80%
 $Q_{100-0} = (0.32)(2.03) + (0.59)(2.87) + (3.61)(4.37) = 18.12$ CFS

A CONVENIENCE STORE IS PROPOSED AT THE SOUTHEAST CORNER OF UNIVERSE AND PARADISE BLVD. RUNOFF WILL DISCHARGE TO PARADISE VIA DRIVEPAD SHOWN. RUNOFF WILL BE CARRIED EAST TO AN EXISTING SD INLET.

AREA = 1.7 ACRES $Q_{100} = 6.8$ CFS
THE THREE PROPOSED BUILDING SITES TO THE EAST WILL DISCHARGE TO THE TWO PROPOSED AREA DRAINS SHOWN. A PRIVATE STORM DRAIN WILL CONVEY THIS FLOW TO THE BACK OF THE EXISTING CATCH BASIN IN PARADISE BLVD.

AREA = 2.8 ACRES $Q_{100} = 11.2$ CFS
TOTAL RUNOFF = 6.8+11.2+3.2(OFFSITE) = 21.2 CFS
THE MASTER DRAINAGE PLAN INDICATED TOTAL RUNOFF OF 21.3 CFS.

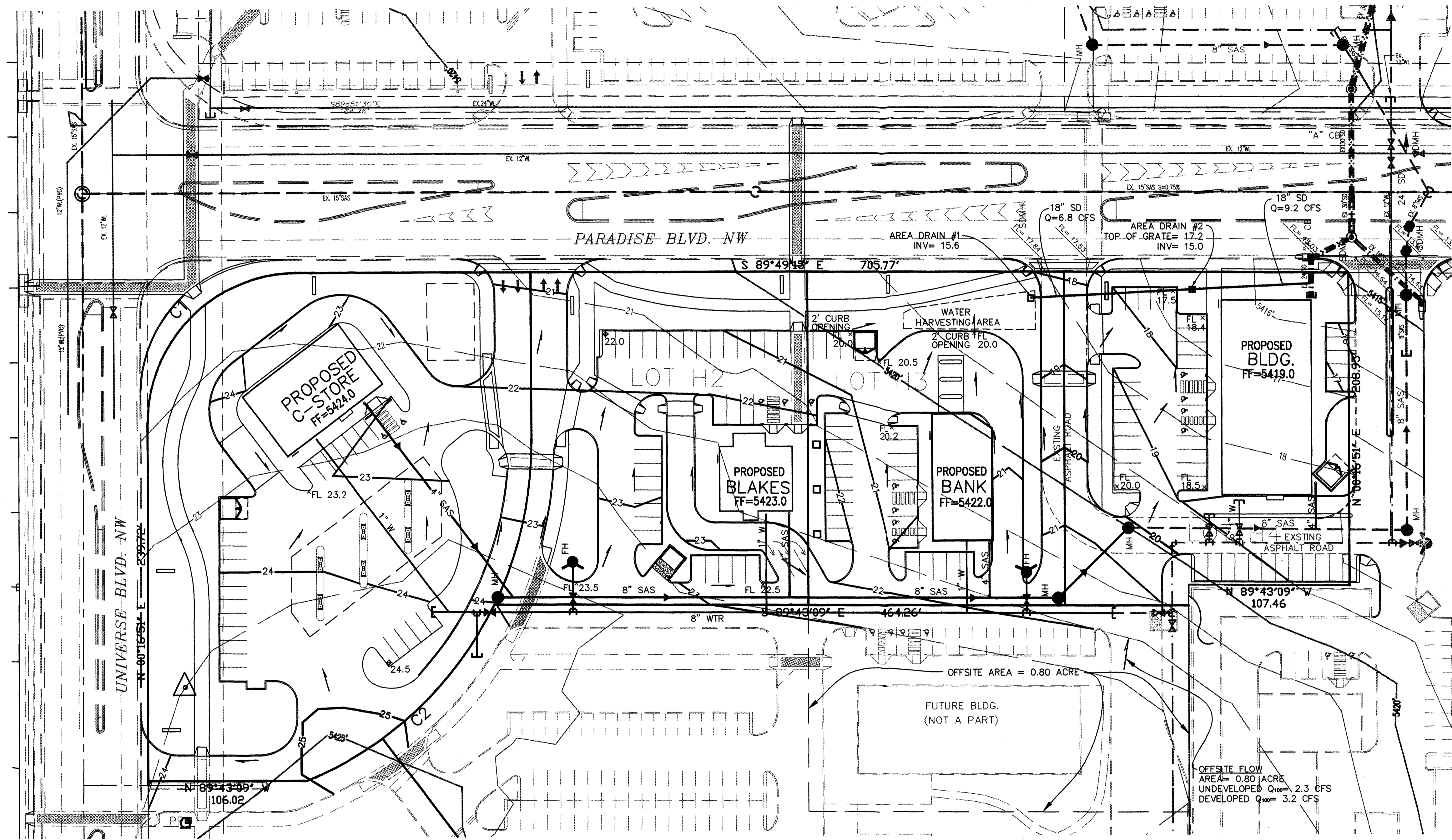
OFFSITE FLOW:
THE MASTER DRAINAGE REPORT INDICATES RUNOFF FROM AN 0.80-ACRE OFFSITE AREA. RUNOFF WILL CONTINUE TO BE ACCEPTED ($Q_{100} = 3.2$ CFS) ONSITE AS SHOWN.

VENTANA RANCH
TRACT HA, PADS 5-8
CONCEPTUAL
GRADING & UTILITY PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

1308GRD.DWGmrj 02/17/04

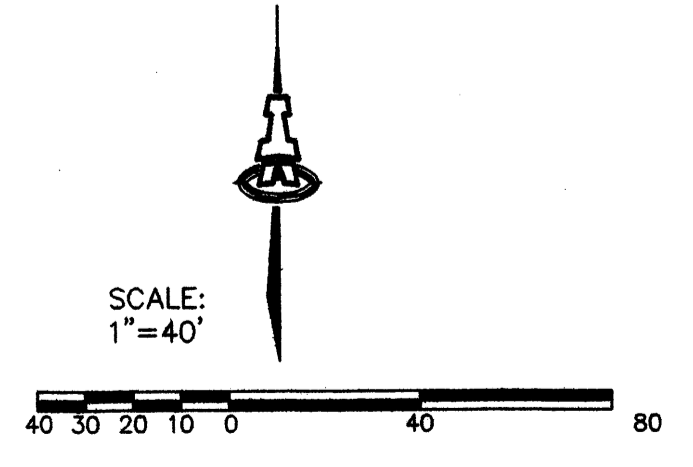
SHEET C1

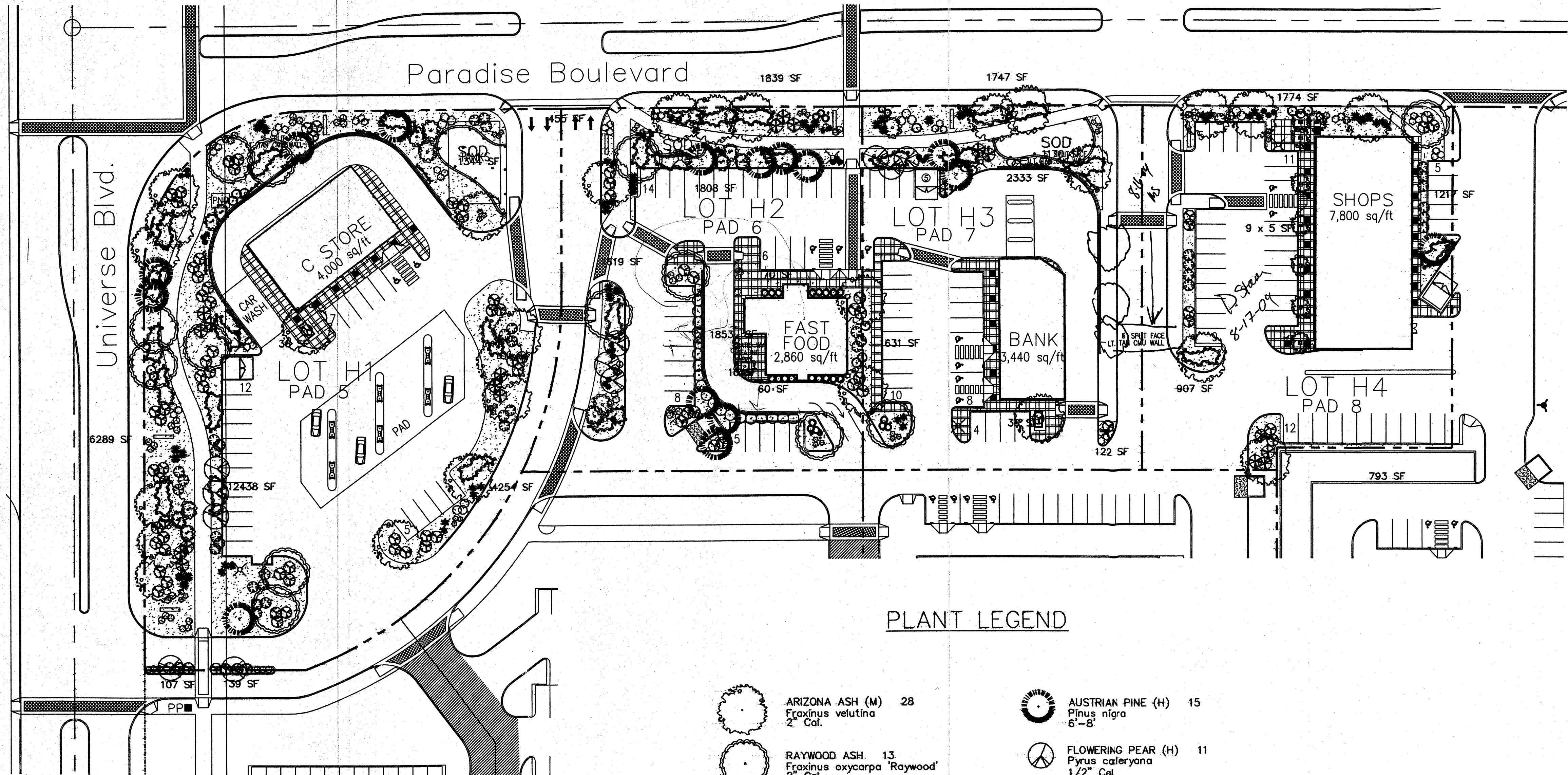


BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00	156.84	99.76	141.25	S 45°12'40" W	89°51'39"
C2	245.00	176.14	92.07	172.37	N 47°01'27" E	41°11'32"

- LEGEND**
- 5420 — EXISTING CONTOUR
 - 25 — PROPOSED CONTOUR
 - ◆ 23.5 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FF=5424.0 FINISH FLOOR ELEVATION
 - TC=81.95 TOP OF CURB ELEVATION
 - FL=81.45 FLOWLINE ELEVATION
 - ~~~~~ WATER BAR





PLANT LEGEND

- | | |
|--|--|
| ARIZONA ASH (M) 28
<i>Fraxinus velutina</i>
2" Cal. | AUSTRIAN PINE (H) 15
<i>Pinus nigra</i>
6"-8" |
| RAYWOOD ASH 13
<i>Fraxinus oxycarpa</i> 'Raywood'
2" Cal. | FLOWERING PEAR (H) 11
<i>Pyrus caleryana</i>
1/2" Cal. |
| PURPLE-LEAF PLUM (M) 15
<i>Prunus</i> spp.
1 1/2" Cal. | WASHINGTON HAWTHORN (H) 8
<i>Crataegus phaenopyrum</i>
15" Gal. |
| SILVERBERRY (M) 18
<i>Elaeagnus pungens</i>
5 Gal. 100sf | MOUNTAIN MAHOGANY 20
<i>Cercocarpus ledifolius</i>
15 Gal. |
| RUSSIAN SAGE (M) 15
<i>Perovskia atriplicifolia</i>
5 Gal. | APACHE PLUME (L) 15
<i>Fallugia paradoxa</i>
5 Gal. 25sf |
| RED YUCCA (L) 29
<i>Hesperaloe parviflora</i>
5 Gal. | BLUE MIST SPIREA (M) 25
<i>Caryopteris clandonensis</i>
5 Gal. |
| MAIDEN GRASS (M) 23
<i>Miscanthus sinensis</i>
5 Gal. | ROSEMARY (M) 28
<i>Rosmarinus officinalis</i>
2 Gal. 36sf |
| GREYLEAF COTONEASTER 81
<i>Cotoneaster buxifolius</i>
5 Gal. | POTENTILLA (M) 33
<i>Potentilla fruticosa</i>
2 Gal. |
| BANK'S ROSE (M) 8
<i>Rosa banksiae</i>
1 Gal. 400sf | AUTUMN SAGE (M) 45
<i>Salvia greggii</i>
1 Gal. 9sf |
| COMMERCIAL GRADE STEEL EDGING | CHAMISA (L) 39
<i>Chrysothamnus nauseosus</i>
1 Gal. 25sf |
| 3/4" GRAY GRAVEL WITH FILTER FABRIC | HONEYSUCKLE (M) 92
<i>Lonicera sempervirens</i>
1 Gal. 200sf
Unstaked-Groundcover |
| SOD | WILDFLOWER 45
1 Gal. 4sf |
| | BOULDERS |
| | POP-UP SPRINKLER HEADS |

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	196761	square feet
TOTAL BUILDINGS AREA	36974	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	159787	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	23968	square feet
TOTAL BED PROVIDED	41543	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	31157	square feet
TOTAL GROUND COVER PROVIDED	33178	square feet
TOTAL SOD PROVIDED	2850	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	44393	square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

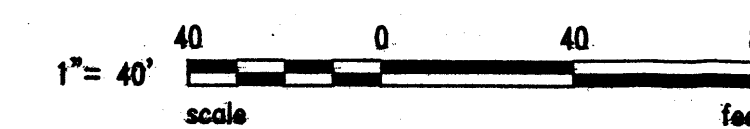
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

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LANDSCAPE PLAN
SCALE: 1" = 40'-0"

The Hilltop

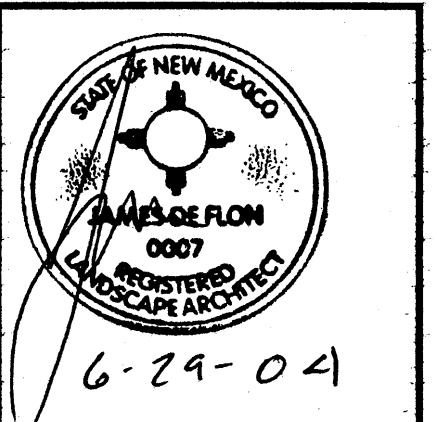
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

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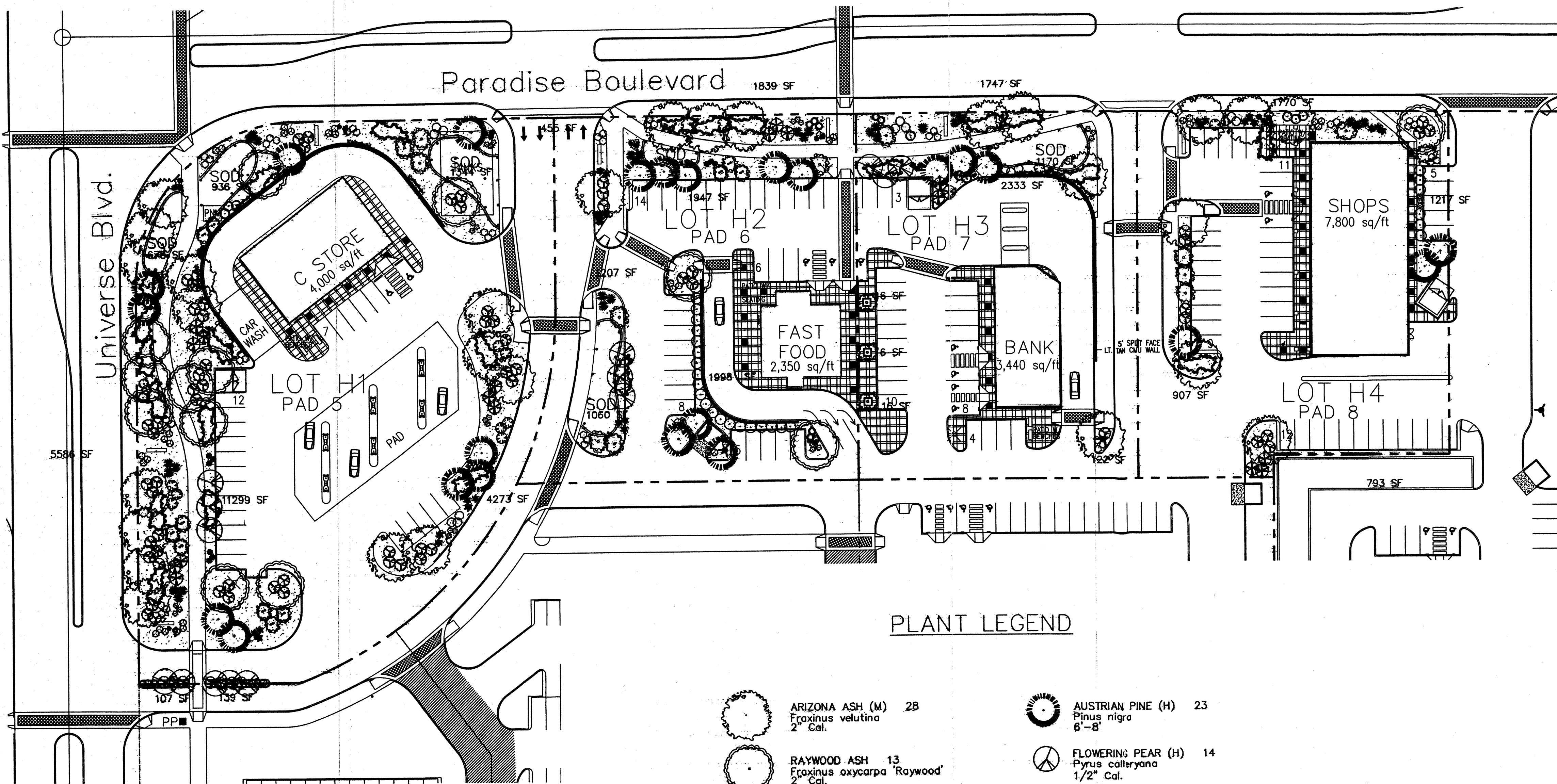
REV	DATE	BY	REVISION
1			
2	6-21-04	SJ	Revised Site Plan
3	5-25-04	SJ	Revised Site Plan
4	5-5-04	SJ	Revised Site Plan
5	12-24-03	SJ	Revised Site Plan

GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-1877



PROJECT TITLE
VENTANA SQ. LOTS 1-4
SEC UNIVERSE BLVD. & PARADISE BLVD.
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
MIKE SAFRANY
JOB NO.
DRAWN BY
SJ
SHEET TITLE
LANDSCAPE PLAN

DATE:
6-21-04
SCALE:
AS NOTED
sheet -
L1.0
of -



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2" Cal.
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Fraxinus oxycarpa 'Raywood'
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Hesperaloe parviflora
5 Gal.
- MAIDEN GRASS (M) 23
Miscanthus sinensis
5 Gal. 16sf
- BUFFALO JUNIPER/
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5 Gal.
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Rosa banksiae
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1 Gal. 200sf
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- BOULDERS
- POP-UP SPRINKLER HEADS

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TOTAL BED PROVIDED	37787	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	28340	square feet
TOTAL GROUND COVER PROVIDED	31585	square feet
TOTAL SOD PROVIDED	5524	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	49292	square feet

LANDSCAPE NOTES:

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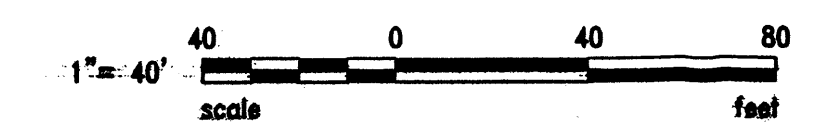
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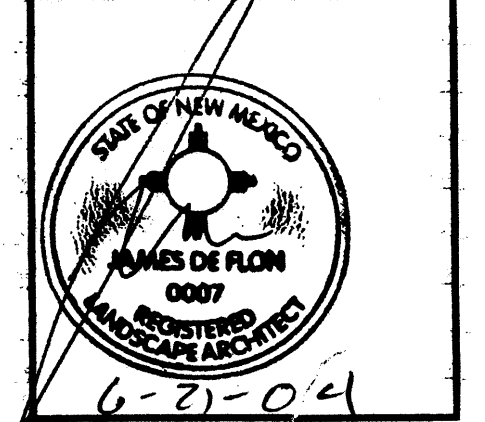
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LANDSCAPE PLAN
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PROJECT MANAGER
MIKE SAFRANY

JOB NO.
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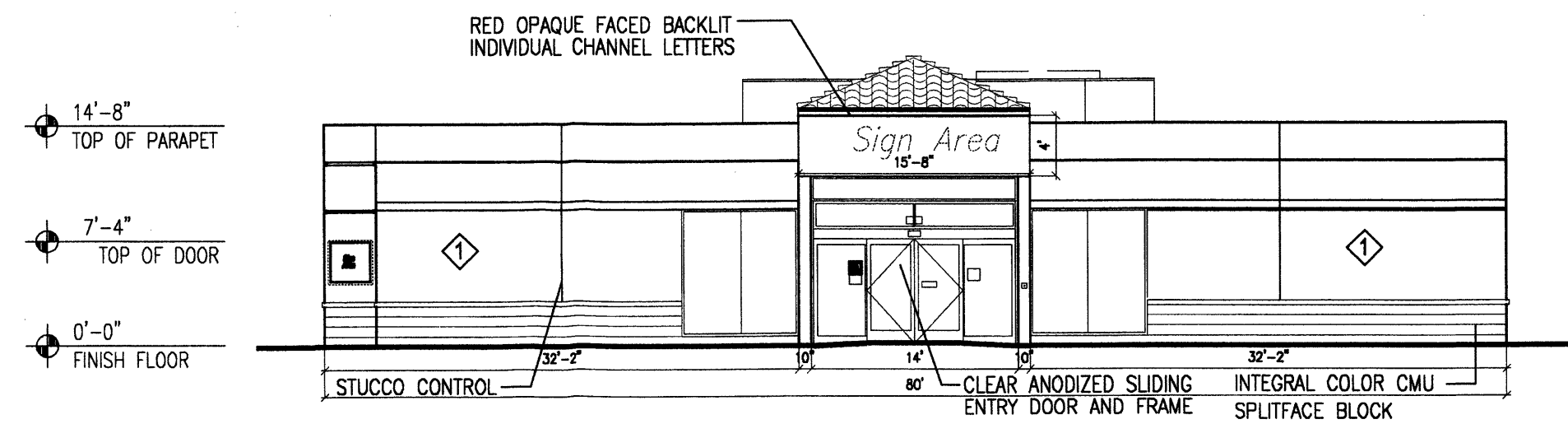
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SU

SHEET TITLE
LANDSCAPE PLAN

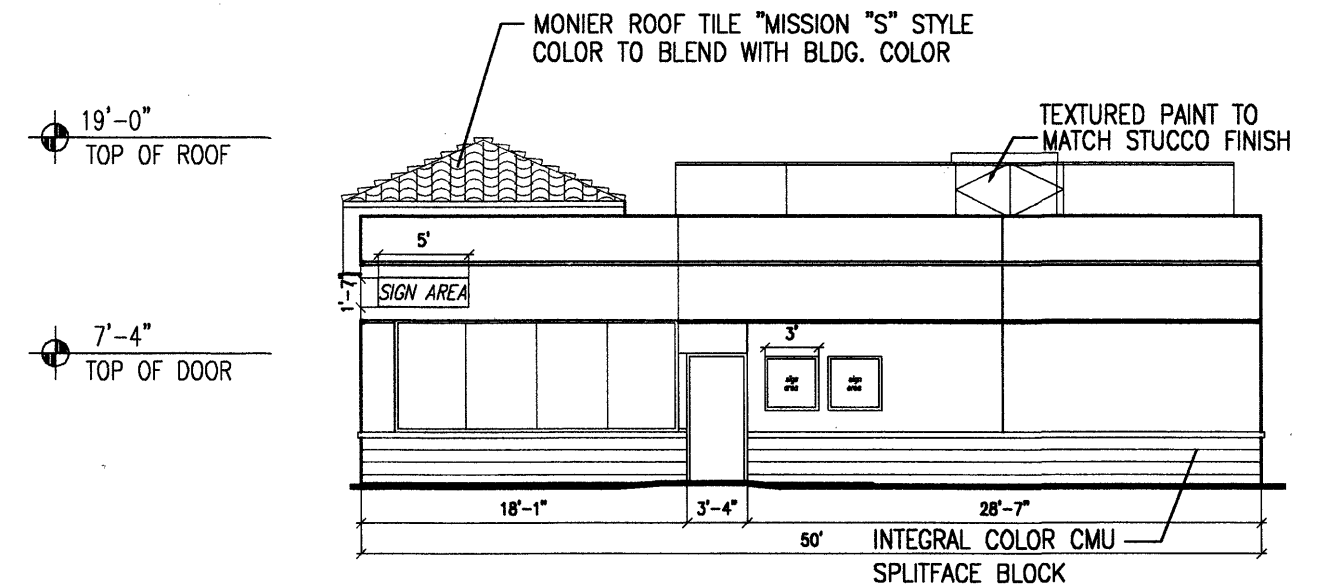
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SCALE: L1.0
AS NOTED of



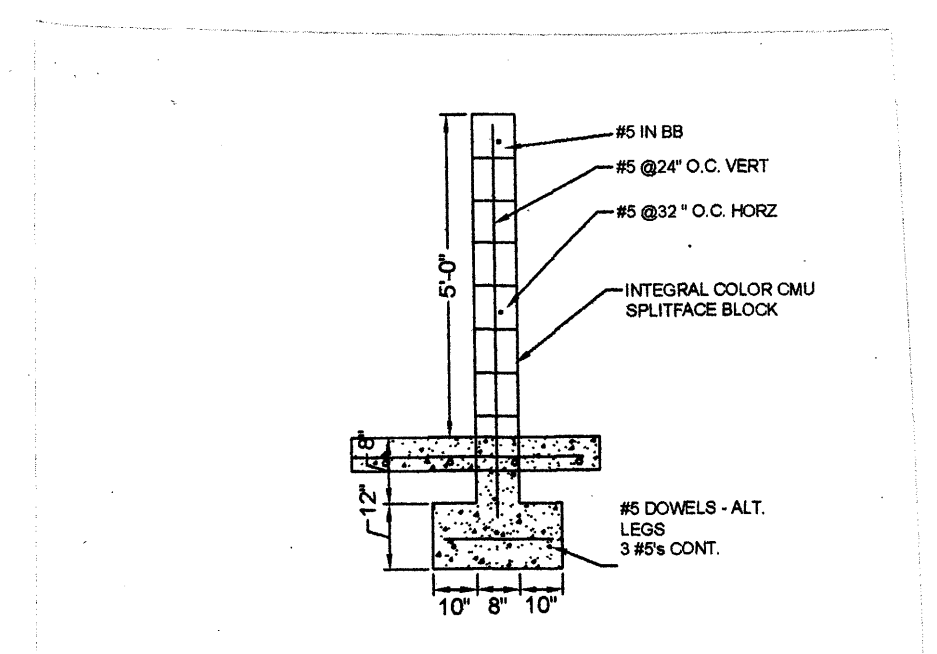
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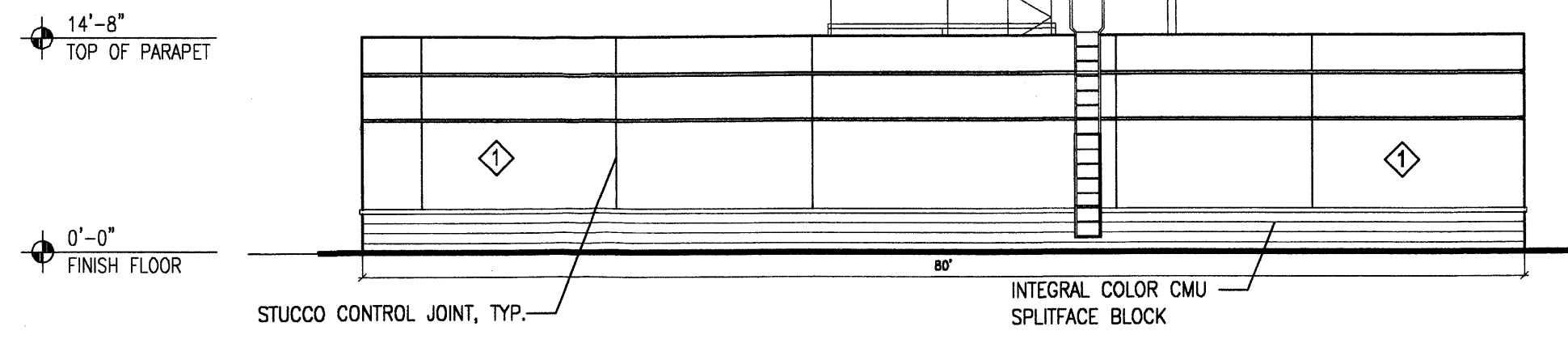
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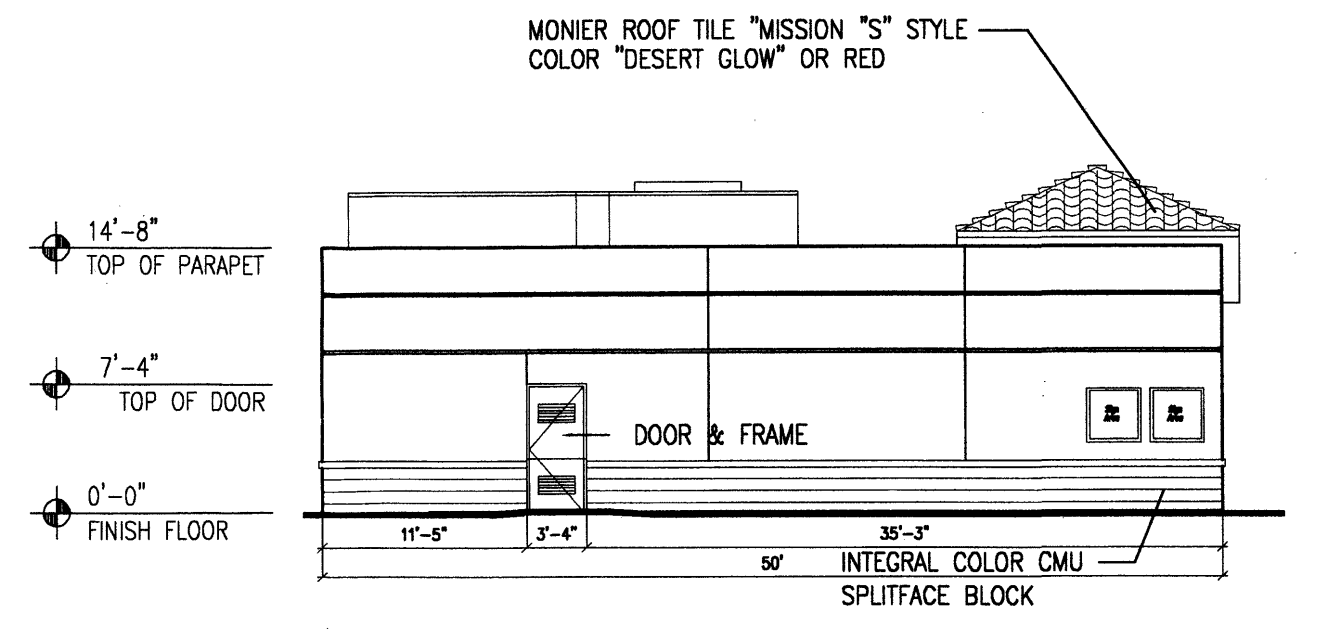
2 East Elevation
Scale: 3/32"=1'



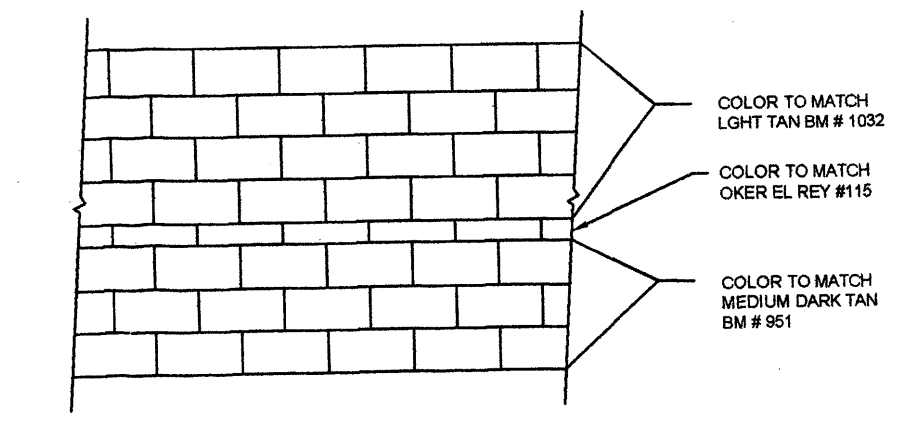
1 WALL SECTION
NOT TO SCALE



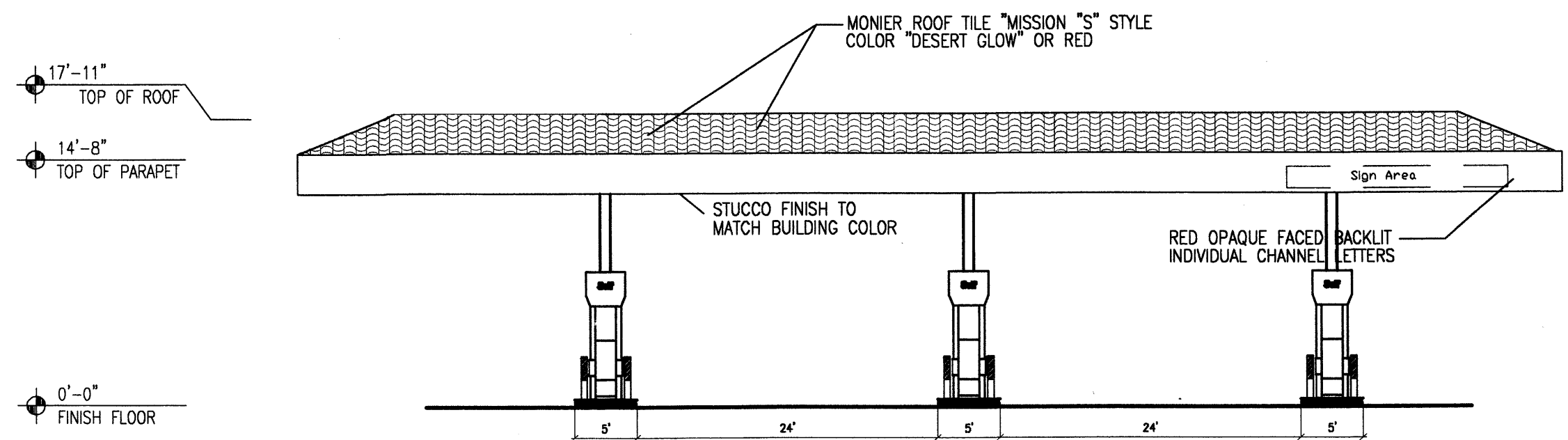
3 North Elevation
Scale: 3/32"=1'



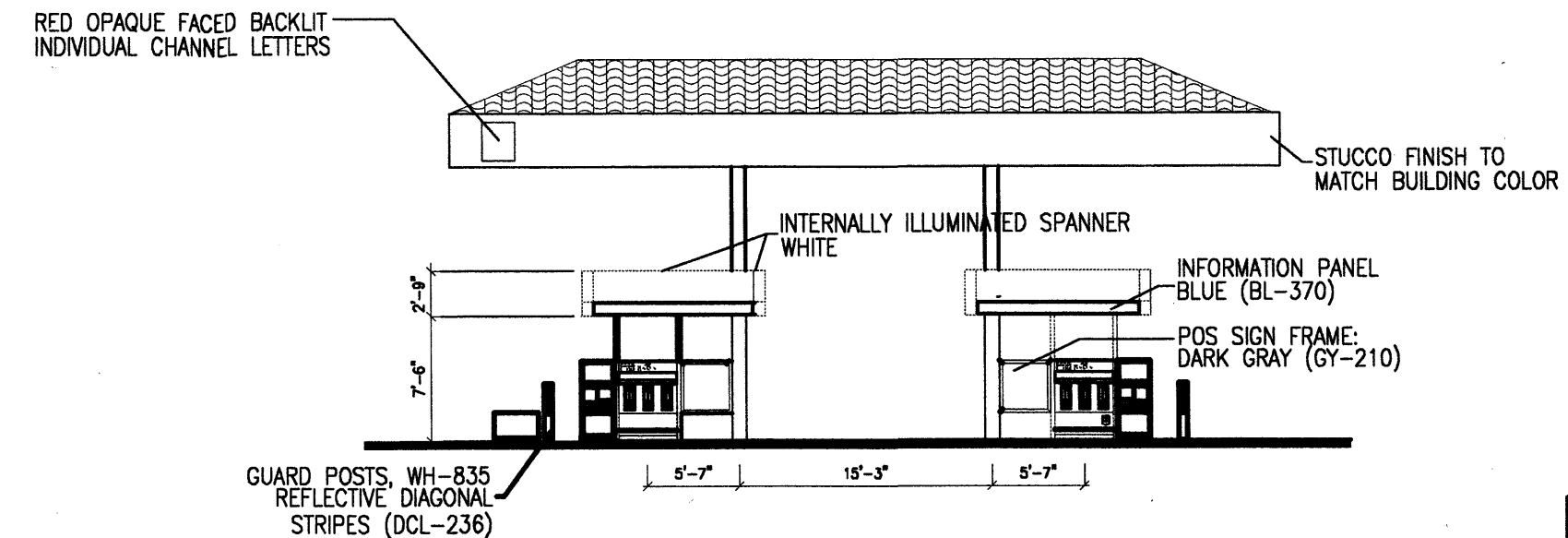
4 West Elevation
Scale: 3/32"=1'



2 WALL ELEVATION
NOT TO SCALE



5 South Elevation
Scale: 3/32"=1'

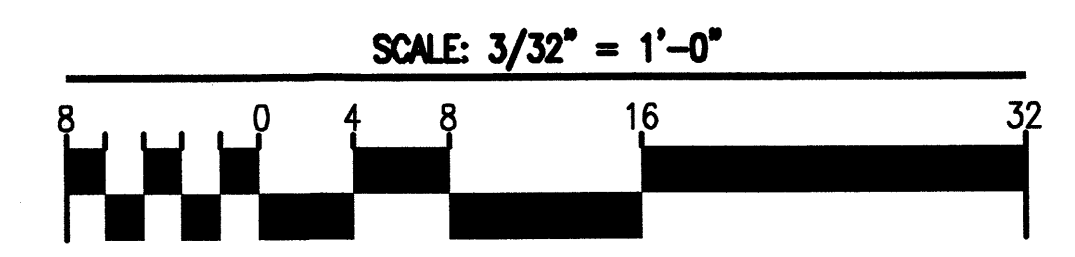


6 West Elevation
Scale: 3/32"=1'

COLOR CHART

CDLOR	COMMON NAME	MAIN COLOR
1	BM 1052	LIGHT TAN
2	BM 051	DARK TAN
3	"DESERT GLOW"	CONCRETE TILE ROOFING

NOTE: ALL UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING.



REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-1977

PROJECT TITLE
VENTANA SQ. LOT H1
SEC UNIVERSE BLVD. & PARADISE BLVD.
ALBUQUERQUE, NEW MEXICO

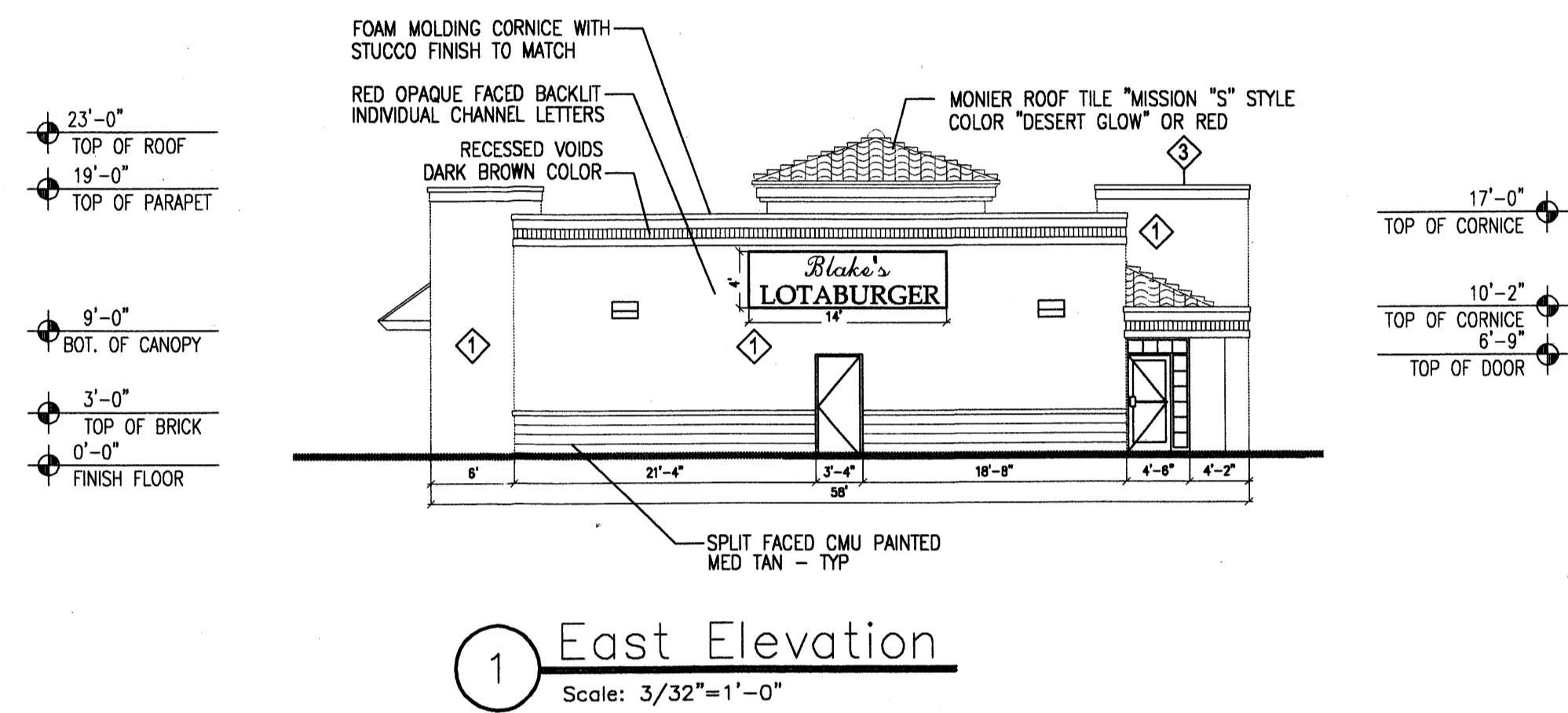
JOB NO.
DRAWN BY
MPS

PROJECT MANAGER
MIKE SAFRANY

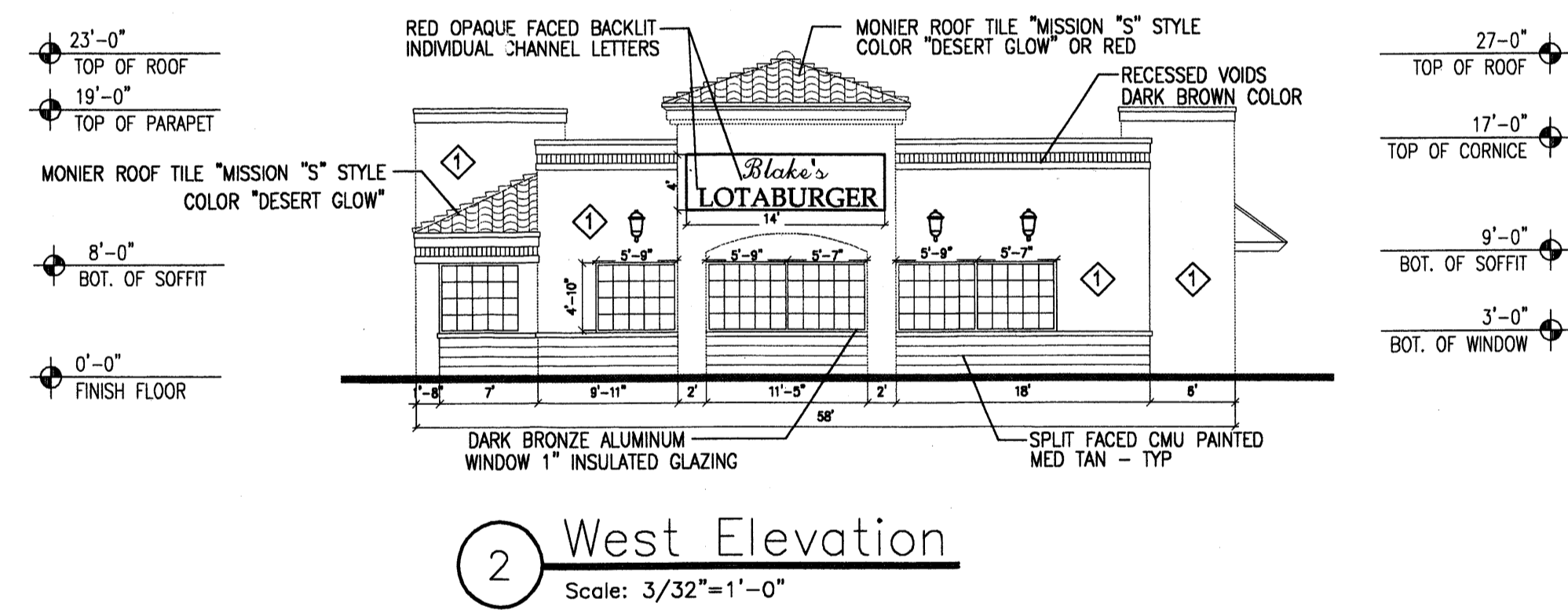
SHEET TITLE
ALT. C-STORE ELEVATIONS

DATE: 12-12-03
SCALE: AS NOTED

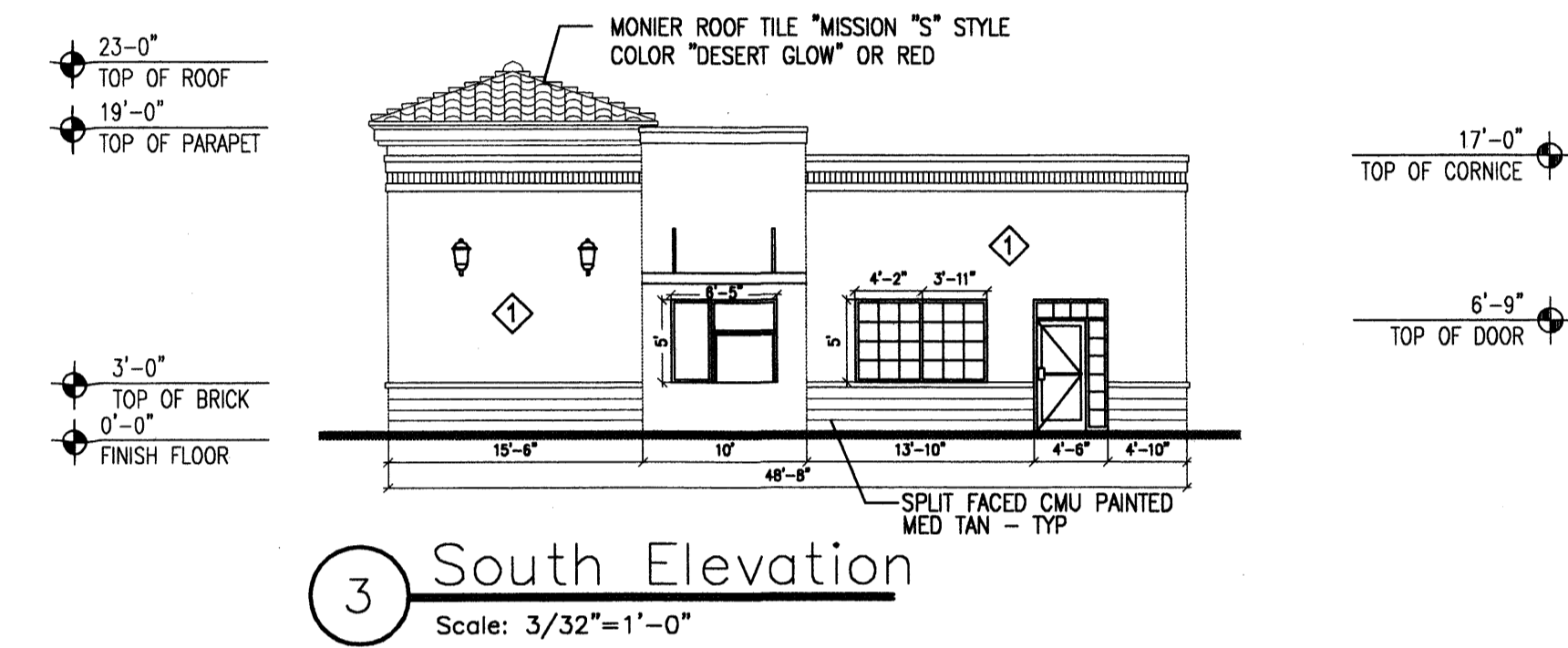
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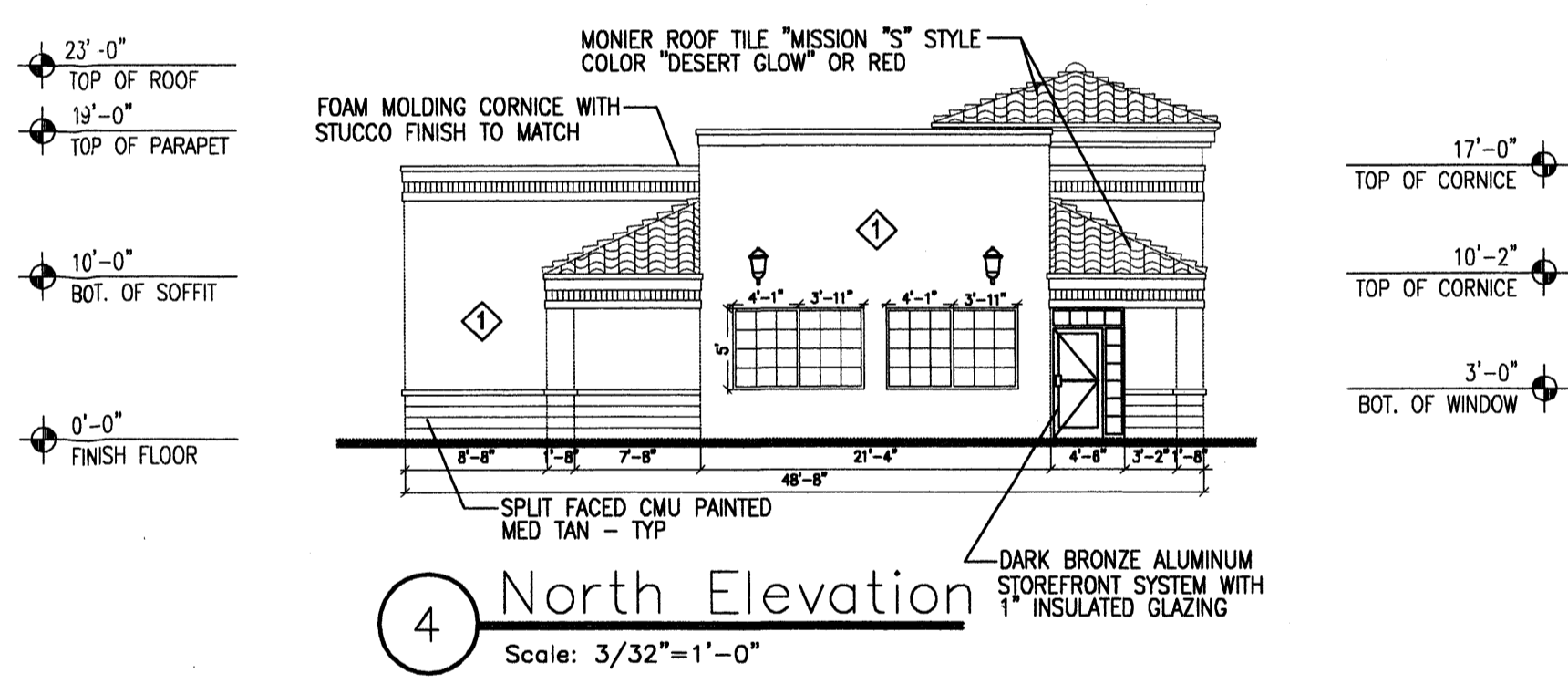
1 East Elevation
Scale: 3/32"=1'-0"



2 West Elevation
Scale: 3/32"=1'-0"



3 South Elevation
Scale: 3/32"=1'-0"

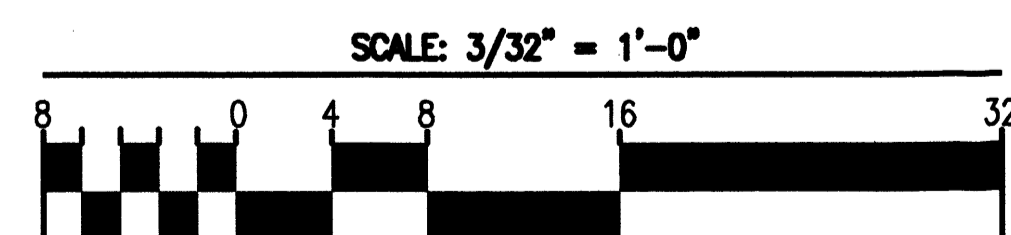


4 North Elevation
Scale: 3/32"=1'-0"

COLOR CHART

COLOR	COMMON NAME	MARK COLOR
1	Light Tan	MAIN COLOR
2	Dark Tan	ACCENT COLOR
3	Desert Glow	CONCRETE TILE ROOFING

NOTES: ALL UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING.



REV	DATE	BY	REVISION
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PROJECT TITLE
VENTANA SQ. LOT H2
SEC UNIVERSE BLVD. & PARADISE BLVD.
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
MIKE SAFRANY

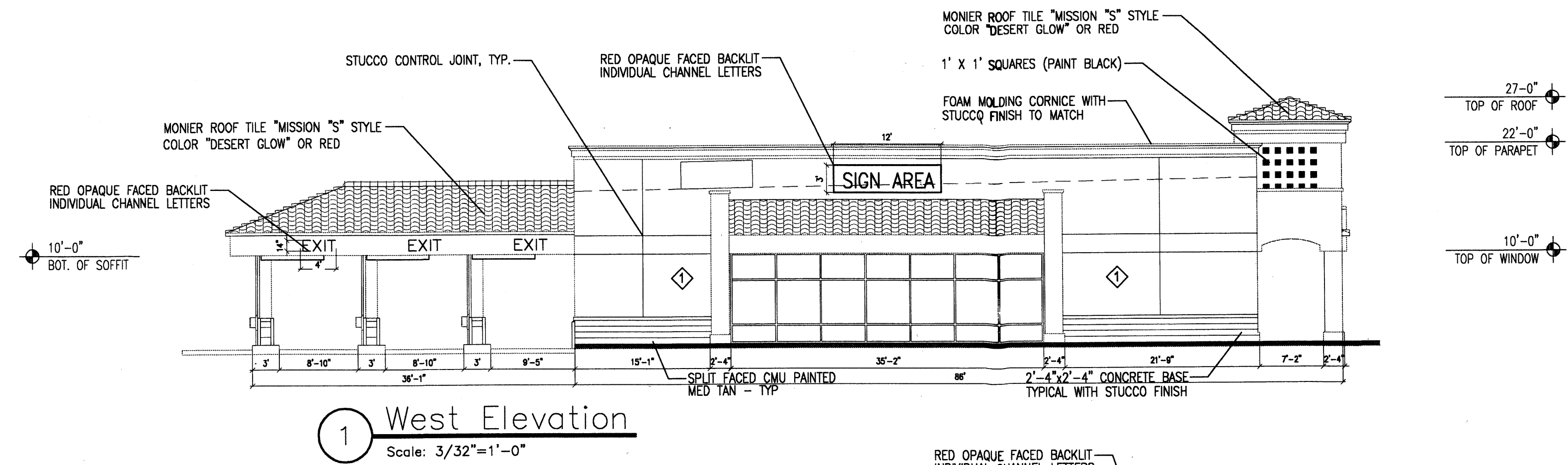
JOB NO.
MPS

DRAWN BY
MPS

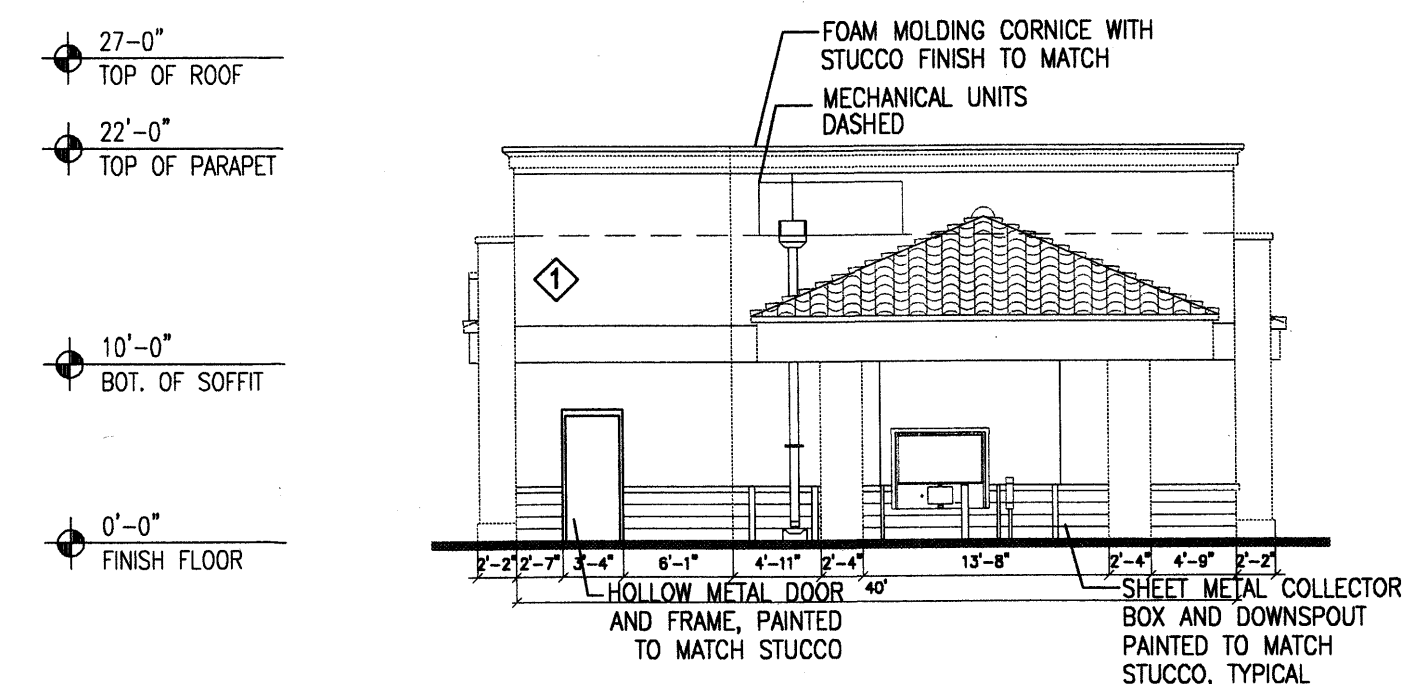
SHEET TITLE
ALT. FAST FOOD ELEV.

DATE: 12-12-03
SCALE: AS NOTED

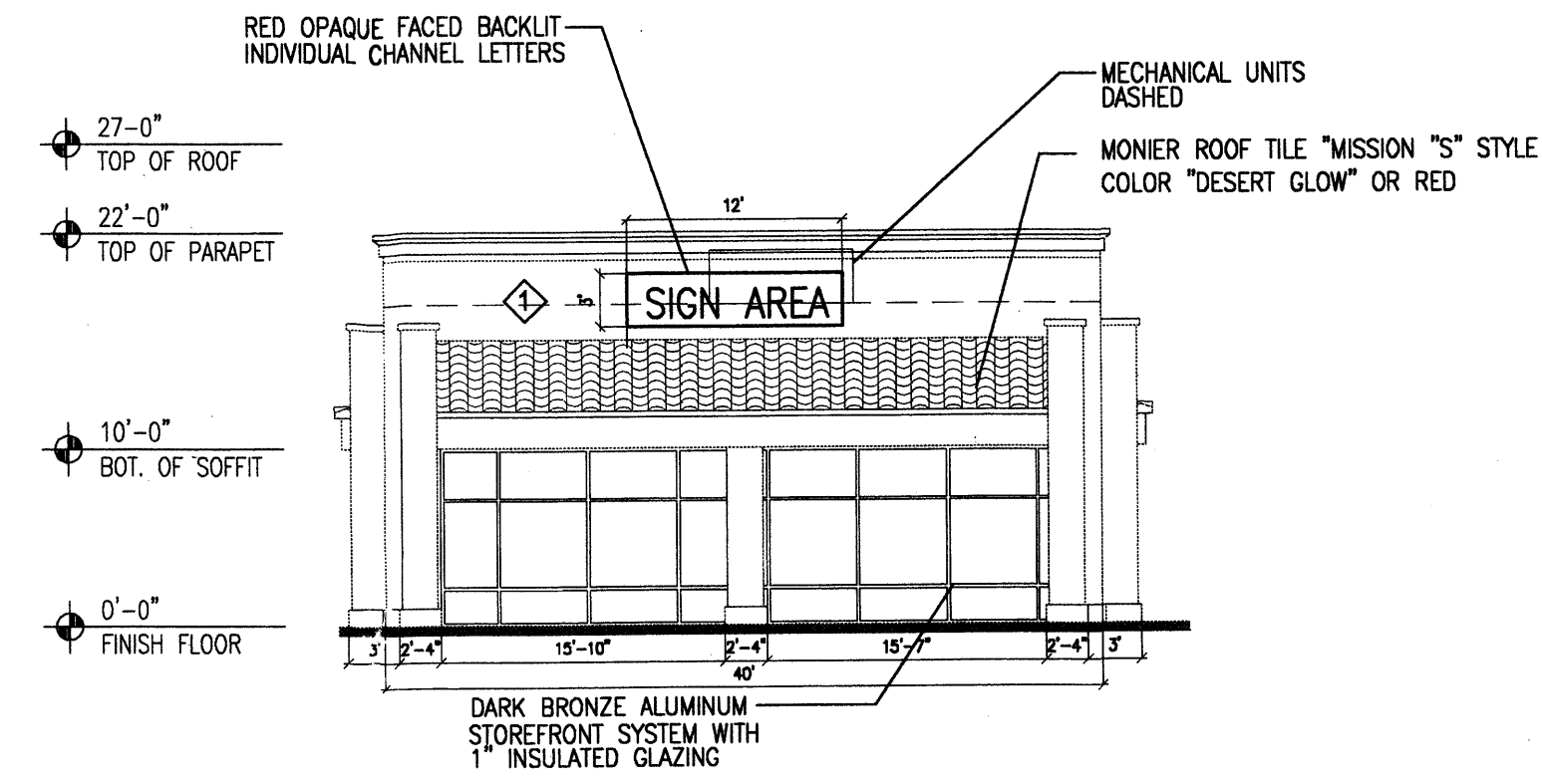
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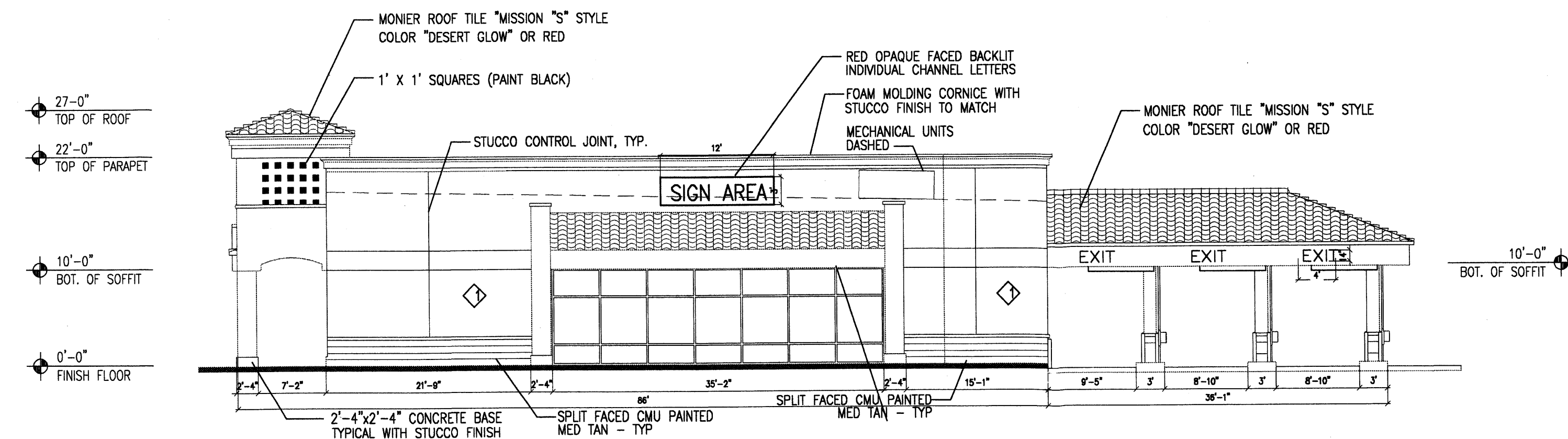
1 West Elevation
Scale: 3/32"=1'-0"



2 North Elevation
Scale: 3/32"=1'-0"



3 South Elevation
Scale: 3/32"=1'-0"

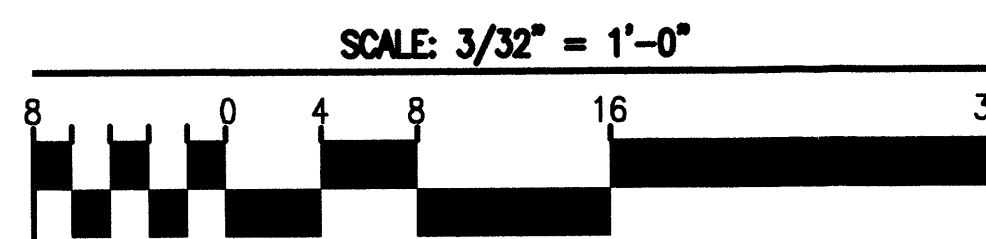


4 East Elevation
Scale: 3/32"=1'-0"

COLOR CHART

COLOR	COMMON NAME	MAIN COLOR
1	DESERT GLOW	CONCRETE TILE ROOFING
2	DESERT GLOW	CONCRETE TILE ROOFING
3	DESERT GLOW	CONCRETE TILE ROOFING

NOTE: ALL UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING.



REV	DATE	BY	REVISION
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PROJECT TITLE
VENTANA SQ. LOT H3
SEC UNIVERSE BLVD. & PARADISE BLVD.
ALBUQUERQUE, NEW MEXICO

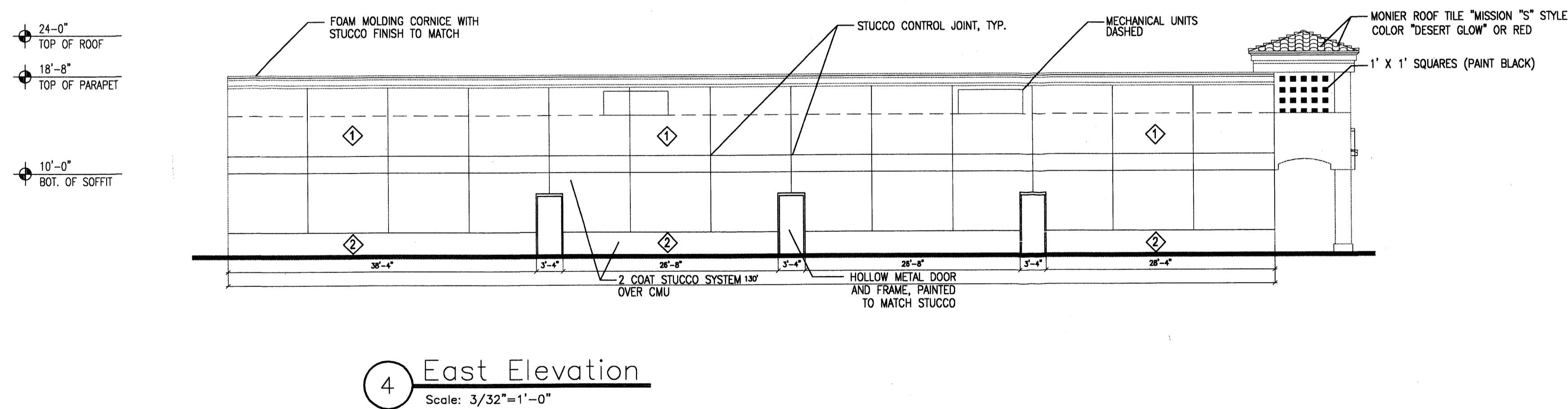
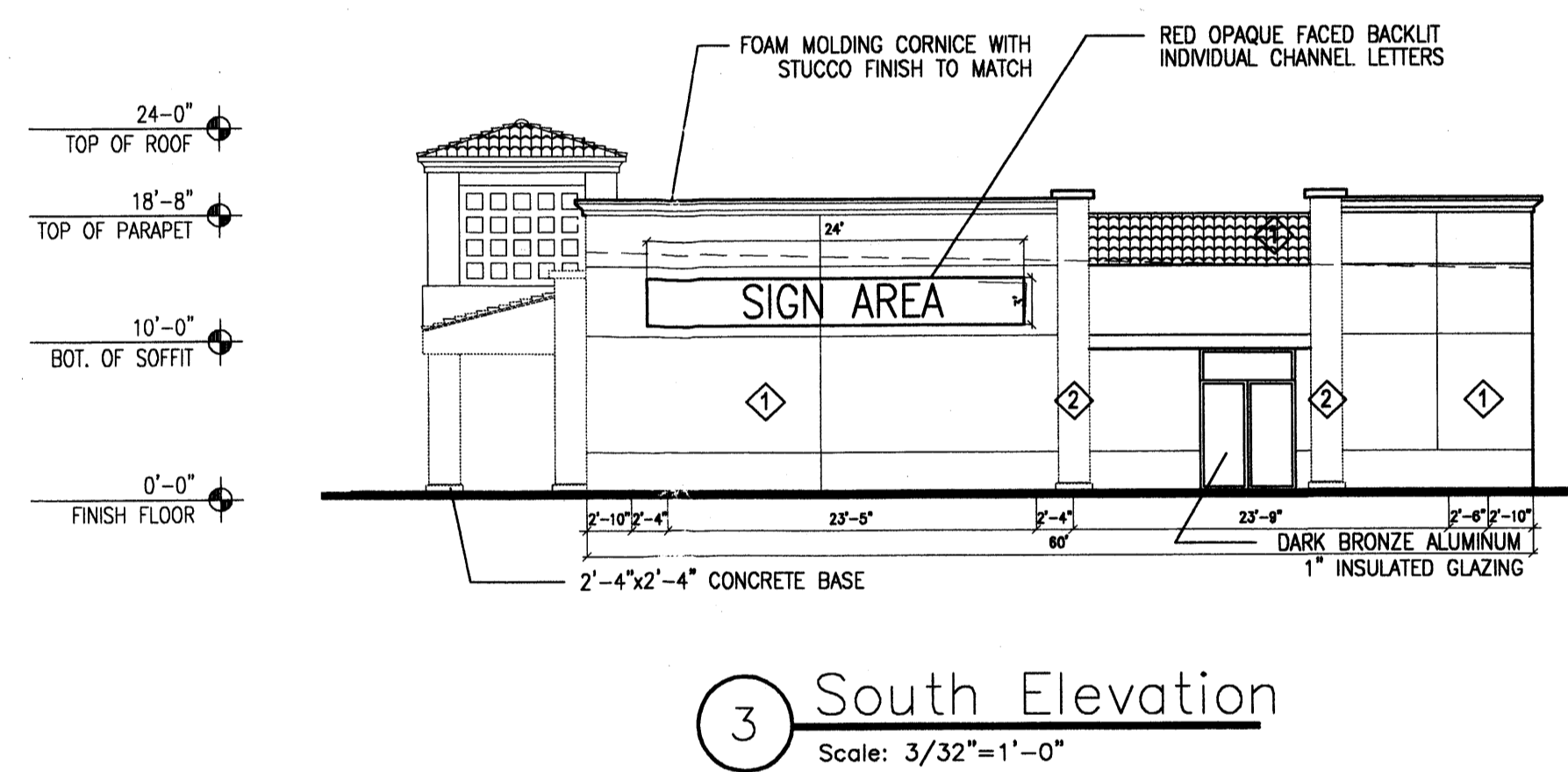
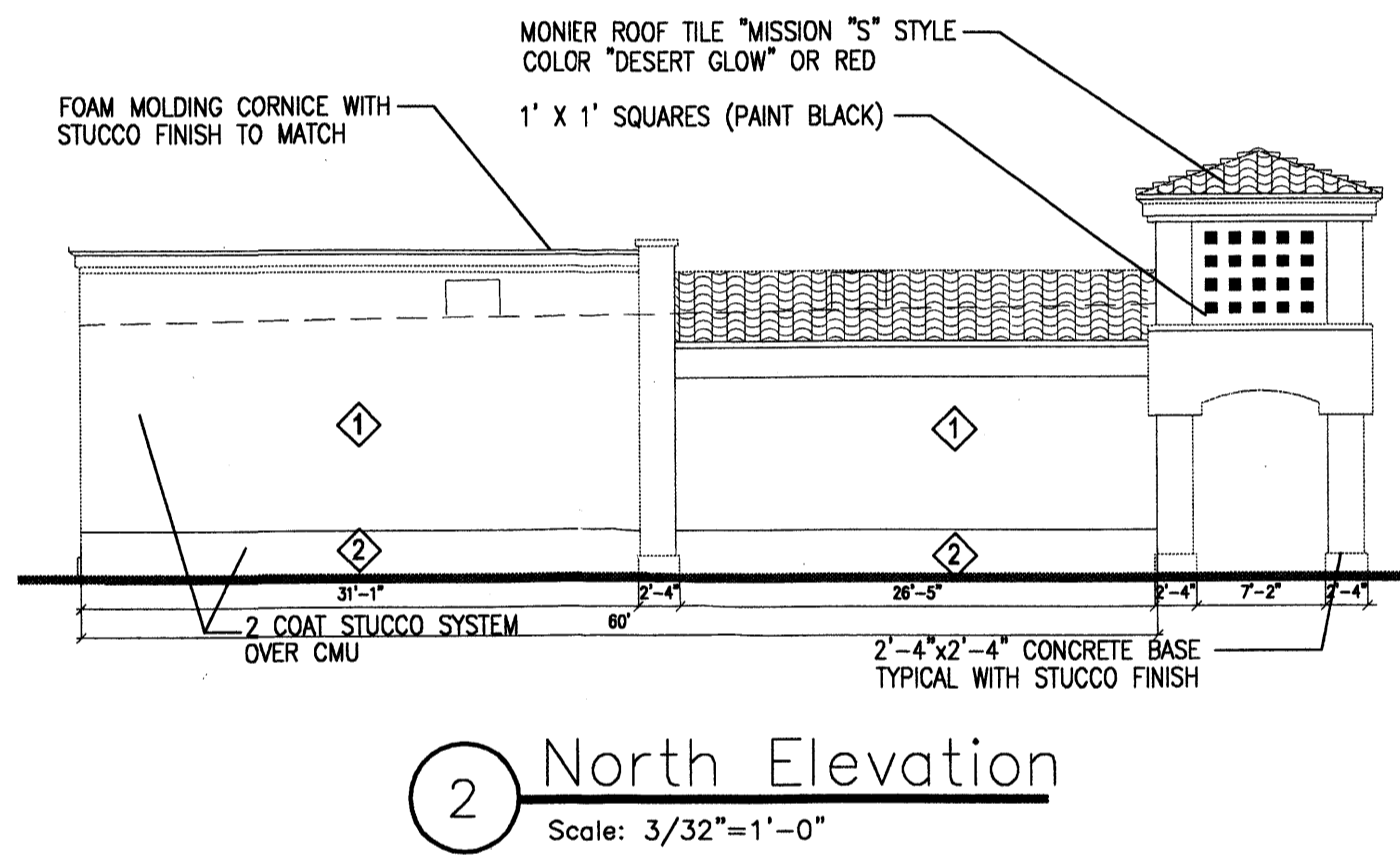
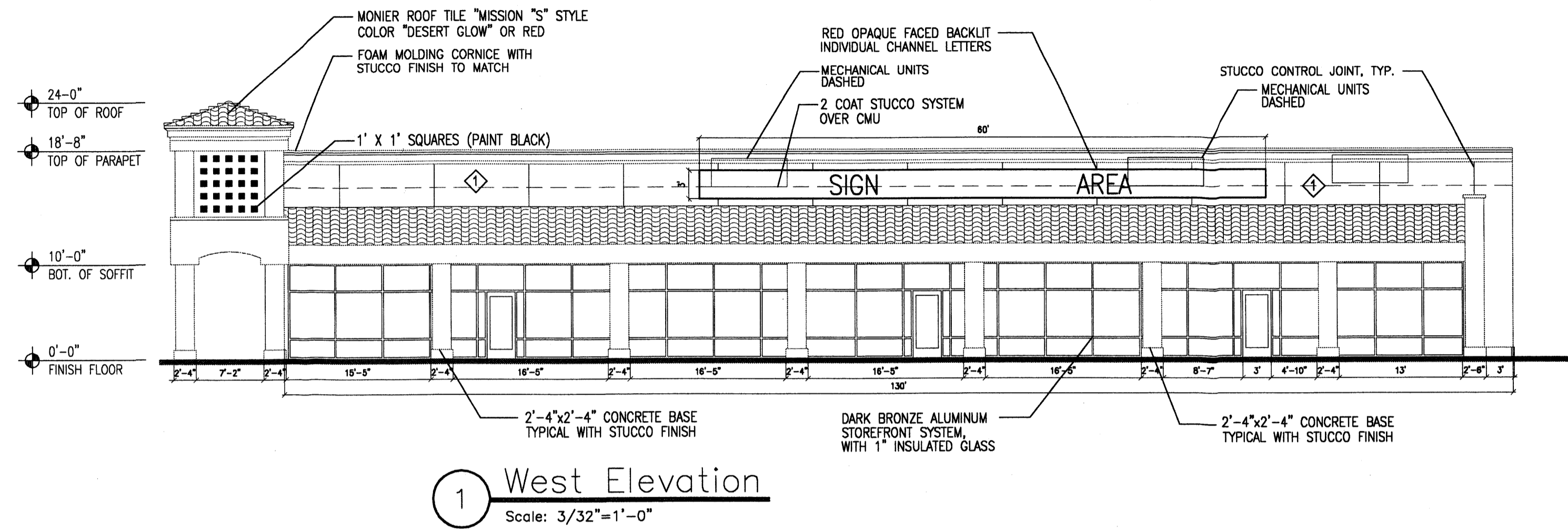
PROJECT MANAGER
MIKE SAFRANY

JOB NO.
MPS

DRAWN BY
MPS

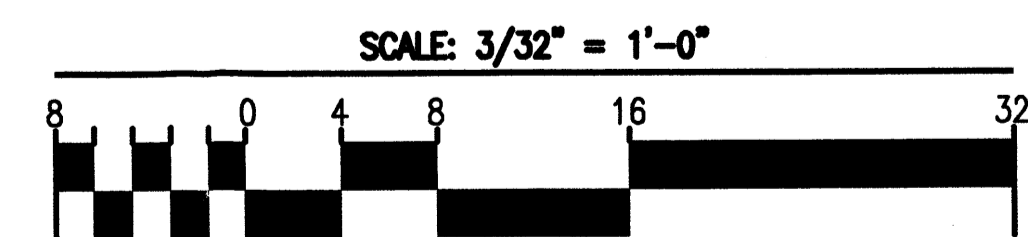
SHEET TITLE
ALT. BANK ELEVATIONS

DATE: 12-12-03
SCALE: AS NOTED
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COLOR CHART		
◇ COLOR	COMMON NAME	MAIN COLOR
1	EL. REY SAND 103	LIGHT TAN
2	EL. REY LAJAZ 120	MEDIUM TAN
3	DESERT GLOW	SECONDARY COLOR CORONET TILE ROOFING

NOTE: ALL UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING.



REV.	DATE	BY	REVISION
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2325 SAN PEDRO N.E. SUITE 2-B
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PROJECT TITLE
VENTANA SQ. LOT H4
SEC UNIVERSE BLVD. & PARADISE BLVD.
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
MIKE SAFRANY
JOB NO.
DRAWN BY
MPS
SHEET TITLE
ALT. SHOPS ELEVATIONS

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