

AREA DEDICATED TO THE CITY OF ALBUQUERQUE (FOR ADDITIONAL RIGHT-OF-WAY FOR SAGE ROAD) BY THIS PLAT 5299 SF (0.1217 AC) 1067.13'

15' PUBLIC DRAINAGE EASEMENT GRANTED BY THIS PLAT

15' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT

15' PUBLIC DRAINAGE EASEMENT GRANTED BY THIS PLAT

15' PUBLIC DRAINAGE EASEMENT GRANTED BY THIS PLAT

VICINITY MAP ZONE MAP: M-9-Z

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 34, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS 490 and 491, TOWN OF ATRISCO GRANT, UNIT 7 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944 in Volume D, Folio 118 and containing 9.9763 acres more or less.

PROJECT NO. 1000408  
APPLICATION NO. 02-0190

APPROVED AND ACCEPTED BY:

*Sharon Matson* 1/15/03  
Planning Department  
*Bradley D. Bigham* 1/15/03  
City Engineer  
*Paul D. Dant* 1-15-03  
Transportation Development  
*Roger J. Shan* 1-15-03  
Utility Development  
*Christina Brandoval* 1/15/03  
Parks and Recreation

LEGEND

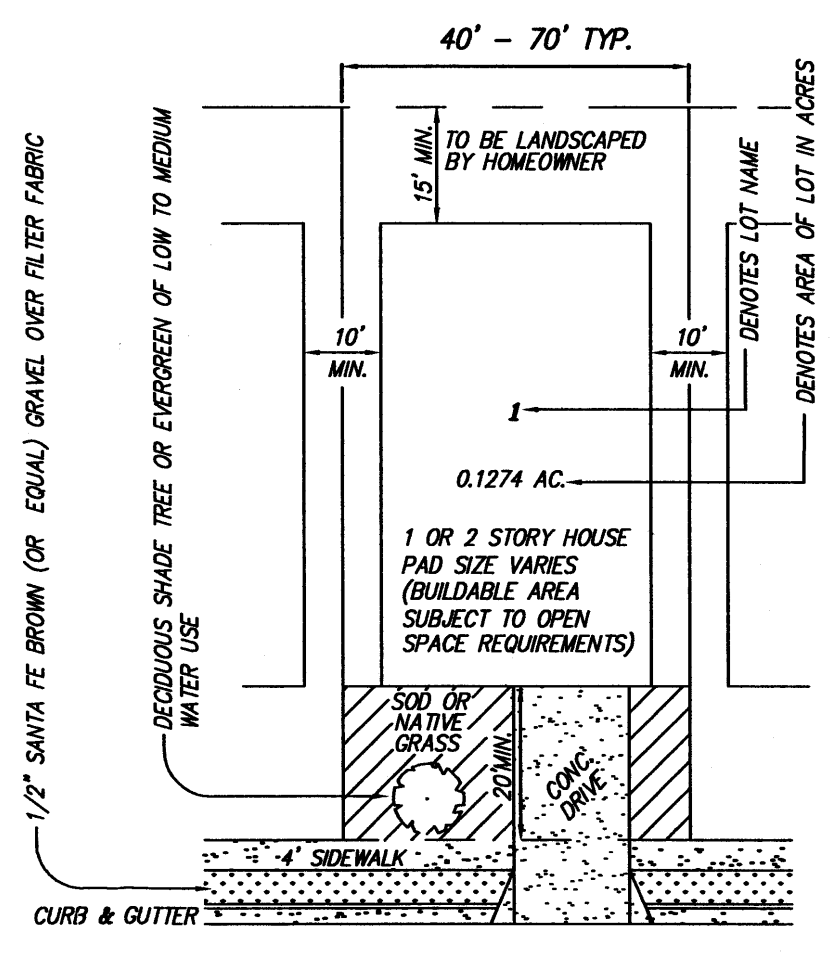
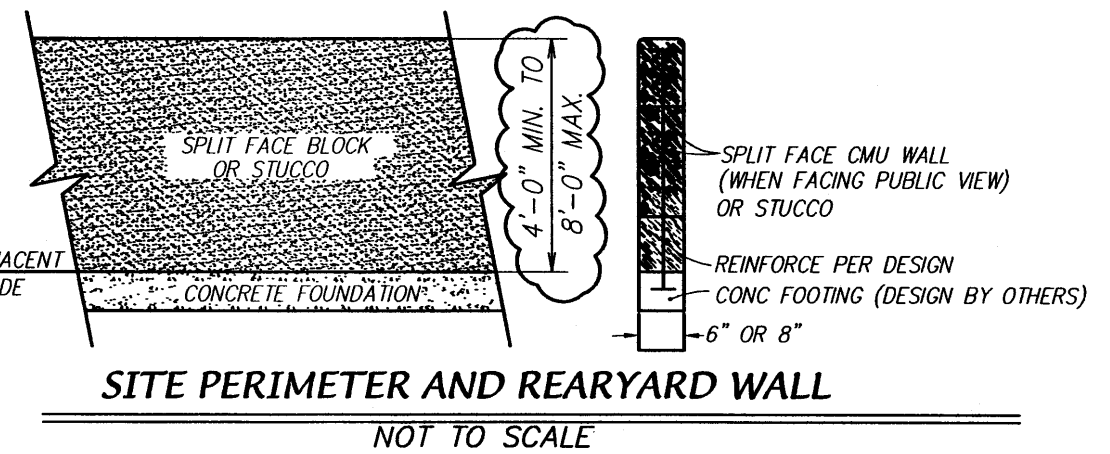
|  |                                |
|--|--------------------------------|
|  | EXISTING EDGE OF PAVEMENT      |
|  | EXISTING 8" WL                 |
|  | EXISTING 8" SAS                |
|  | EX 36" SD                      |
|  | NEW 30" SD                     |
|  | NEW 6" WL                      |
|  | NEW 8" SAS                     |
|  | NEW REAR YARD & PERIMETER WALL |
|  | NEW CURB AND GUTTER            |
|  | EXISTING CURB AND GUTTER       |
|  | EXISTING PROPERTY LINE         |
|  | NEW FIRE HYDRANT               |
|  | NEW 8" SANITARY SEWER          |
|  | NEW 6" WATERLINE               |
|  | NEW SANITARY SEWER SERVICE     |
|  | NEW WATERLINE TEE              |
|  | NEW DOUBLE WATER SERVICE       |
|  | NEW SINGLE WATER SERVICE       |
|  | PROPOSED MANHOLE               |
|  | NEW GATE VALVE                 |
|  | STREET LIGHT                   |

SUBDIVISION DATA

|                        |              |
|------------------------|--------------|
| GROSS ACREAGE          | 9.9763 AC    |
| ZONE ATLAS NO.         | M-9-Z        |
| NO. OF LOTS CREATED    | 88 LOTS      |
| NO. OF TRACTS CREATED  | 0            |
| AREA DEDICATED TO CITY | 3.3488 AC    |
| ZONING                 | R-D          |
| DATE OF SURVEY         | JANUARY 1999 |

GENERAL NOTES:

- DEVELOPMENT DENSITY:**  
Gross site area is 9.9763 acres. Site is zoned R-D with maximum density of 14 du/ac. Density limitation allows for a maximum of 139 units over entire site.
- MINIMUM BUILDING SETBACK:**  
There is a five foot (5') internal setback set back to property line. Front yard setback is 15' and backyard is 15'. Minimum driveway length is 20'. Minimum distance between buildings is 10'.
- BUILDING HEIGHT:**  
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**  
The developer will pay the park development fee in lieu of dedicating land for a park.
- OPEN SPACE:**  
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-B(A)(3).
- WATER AND SEWER:**  
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
- PARKING:**  
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "P1" designation.
- ACCESS:**  
Site ingress/egress is provided entirely by public streets.
- BUILDINGS:**  
Buildings will be traditional or southwest style with flat or pitched roofs and siding will be stucco with stone accents and wood trim. The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**  
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Landscaping.
- PERIMETER WALL:**  
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.



TYPICAL LOT LAYOUT & LANDSCAPE PLAN  
NOT TO SCALE

|                 |               |              |              |
|-----------------|---------------|--------------|--------------|
| Designed: GJK   | Drawn: RDQ    | Checked: DMG | Sheet 1 of 1 |
| Scale: 1" = 60' | Date: 2-25-02 | Job: 98095   |              |

PROJECT 1000408