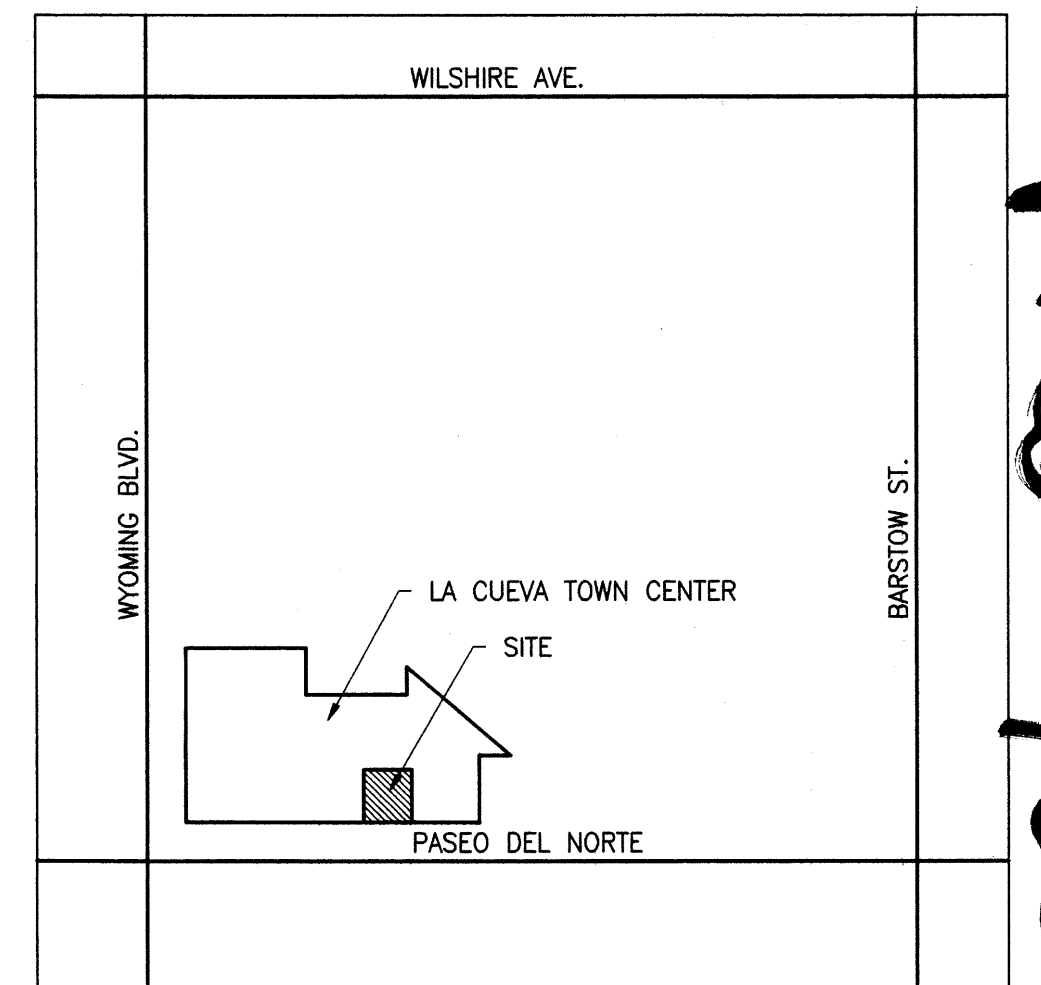


**(A) PATTERNED CONCRETE WALK**  
SCALE: 1/4" = 1'-0"

**SITE PLAN**  
SCALE: 1" = 20'

SITE: 34,151± SF (.78 AC)  
BUILDING: 4300 SF  
RESTAURANT SEATING: 116 (inside) 16 (patio)  
PARKING REQUIRED: 132/4 = 33, including 2 accessible  
PARKING PROVIDED: 43 SPACES, including 2 accessible  
BIKE PARKING PROVIDED: 43/25 = 2 spaces  
BIKE PARKING REQUIRED: 5 spaces  
LEGAL DESCRIPTION: LOT 6, IN BLOCK 20, OF TRACT 2,  
UNIT 3, OF NORTH ALBUQUERQUE ACRES, WITHIN THE  
ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NM  
ZONING: C-2

SITE LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS, IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



**VICINITY MAP** C-19-Z  
N.T.S.

00450-00000-00750

This plan is consistent with the specific Development Plan approved by the Environmental Planning Commission on: May 18, 2000  
EPC CASE # Z-00128 00000 00450  
DRB CASE # 1000413

*Jan 30* 6/12/00  
Planning Director  
Approved as to the requirements Date

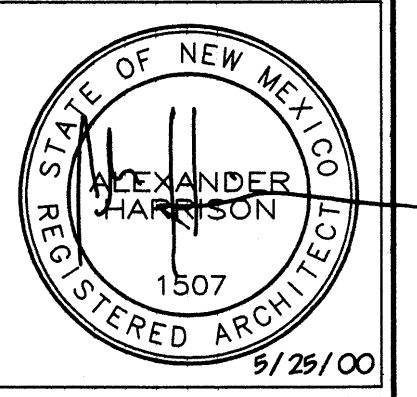
*Rudl Dahl* 6-07-00  
Traffic Engineer Date

*Just Davis* 6/7/00  
Parks and Recreation Date

*Ann Calogon* 6-7-00  
City Engineer Date

*Ronald Sheen* 6-7-00  
Water Resources, Utilities Division Date

**ALEXANDER HARRISON ARCHITECT**  
8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322

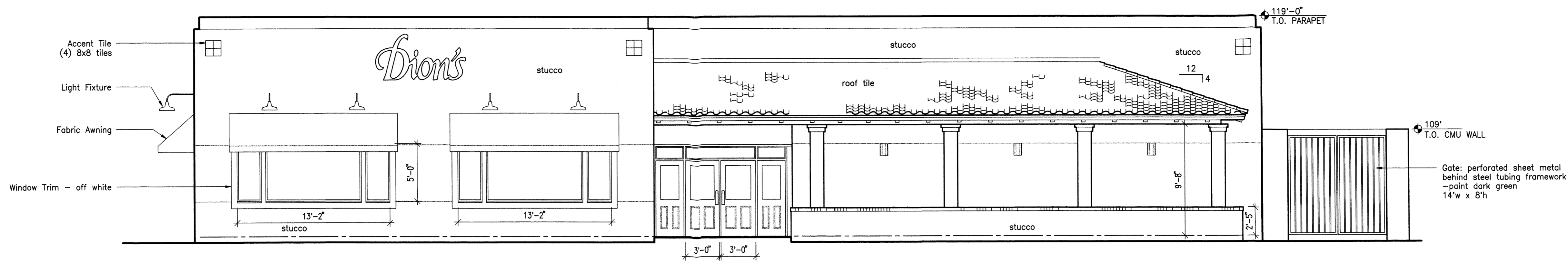


proj: 9906 drwn: AH chkd: AH  
file: 1PROJECT\DIONSLC\DRB-SITE  
date: 25 FEB 2000  
revisions: 5 APR 2000  
25 MAY 2000 - EPC conditions

**Dion's Restaurant #9**  
La Cueva Town Center, Albuquerque, NM

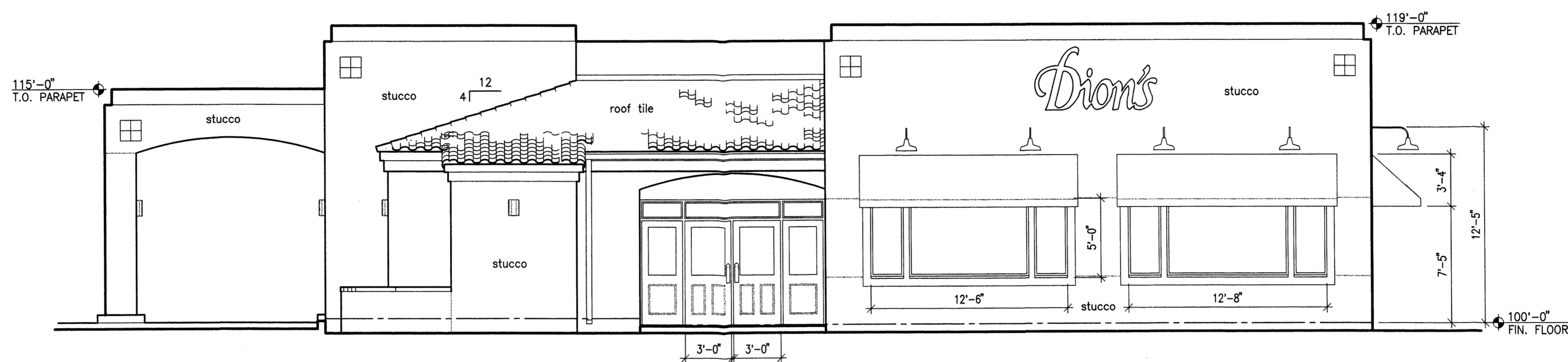
SITE PLAN sheet number  
DRB 1

PROJ 1000413



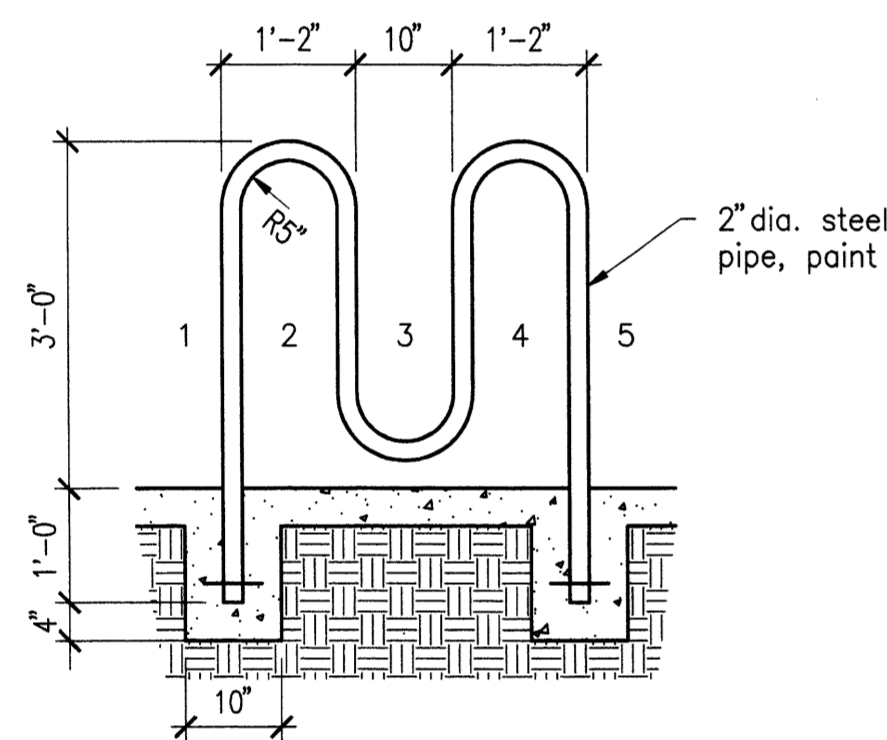
**WEST ELEVATION**

SCALE: 3/16" = 1'-0"



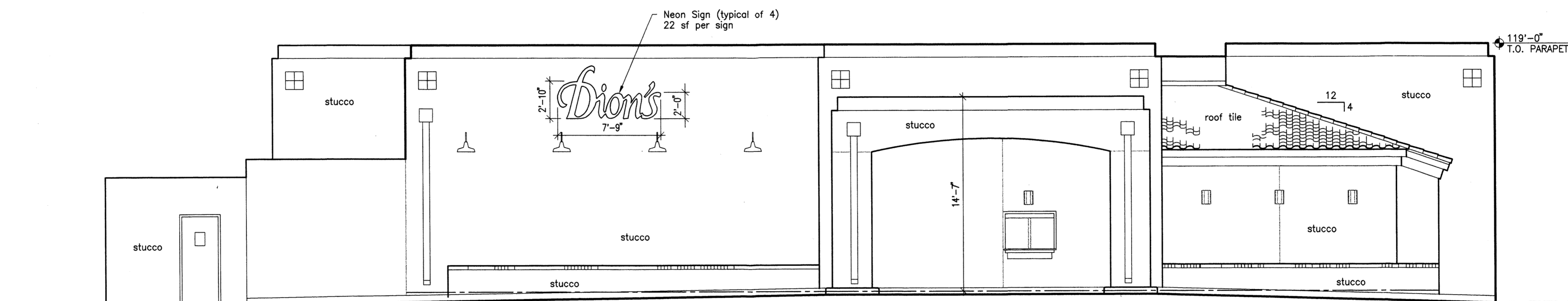
**NORTH ELEVATION**

SCALE: 3/16" = 1'-0"



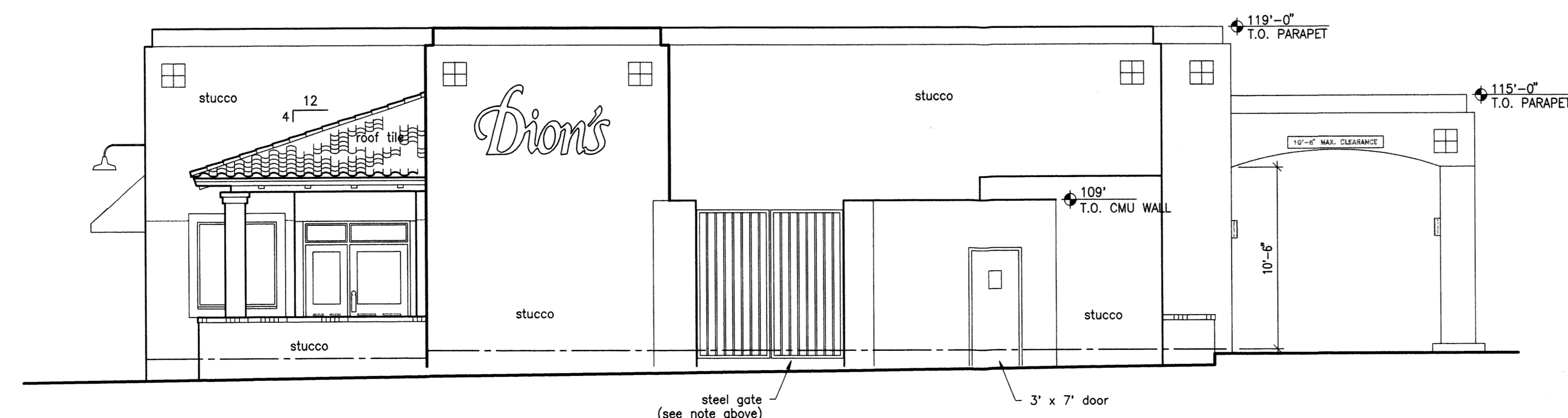
**A BIKE RACK (5 bicycles)**

SCALE: 1/2" = 1'-0"



**EAST ELEVATION**

SCALE: 3/16" = 1'-0"



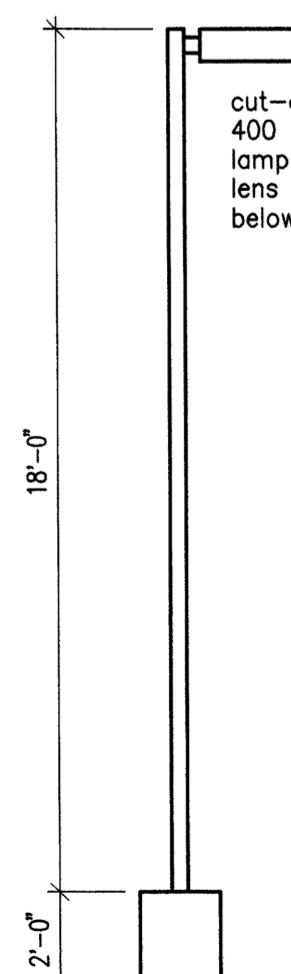
**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

**FINISHES & COLORS**

- All stucco is Casa #827 (light tan) by El Rey Stucco
- All roof tile is Rio Grande Blend #1132, Santa Fe Mission Series by Lifetile
- All accent tiles are dark green
- All fabric awnings are dark green with white leaf pattern graphic (no text)
- Accent brick is "Bonfire" (terra cotta) by Summit Brick
- Signs are red neon in white, open channel letters
- Wood trim around windows is painted white
- Light fixtures are white and terra-cotta
- Doors are natural oak
- Metal gates are painted dark green

cut-off type fixture  
400 w MH lamp  
lamp mounted horizontally  
lens does not project  
below light shield



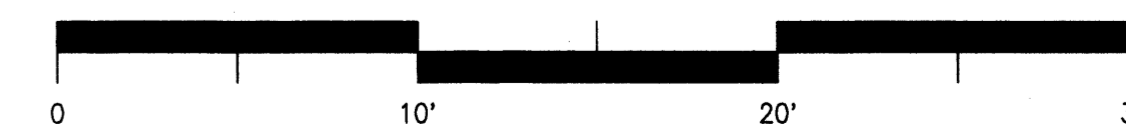
**LIGHT POLE ELEVATION**

SCALE: 1/4" = 1'-0"

**LIGHT BOLLARD**

SCALE: 1/4" = 1'-0"

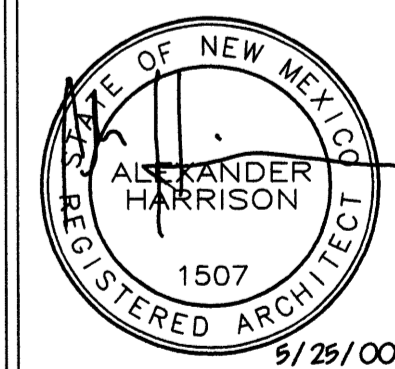
THE HEIGHT OF ROOF MOUNTED EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SHALL NOT BE VISIBLE FROM ADJACENT PROPERTIES & RIGHTS OF WAY.



**ALEXANDER HARRISON ARCHITECT**

8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322

ALL RIGHTS RESERVED, COPYRIGHT © 2000 BY ALEXANDER HARRISON



proj: 9906 drwn: AH chkd: AH  
file: 1PROJECT\DIONSLC\EPC-2

date: 25 FEB 2000  
revisions: 25 MAY 2000 - add light bollard detail

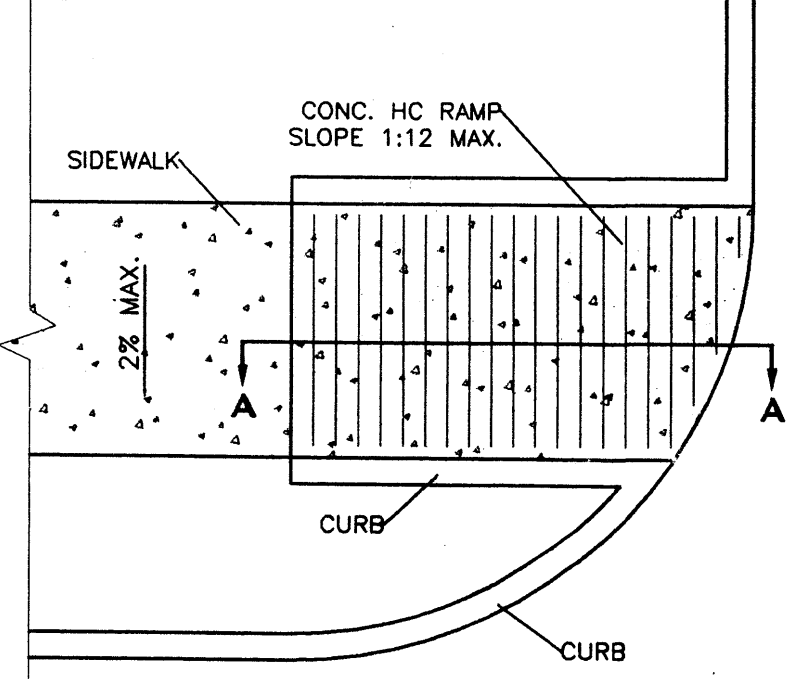
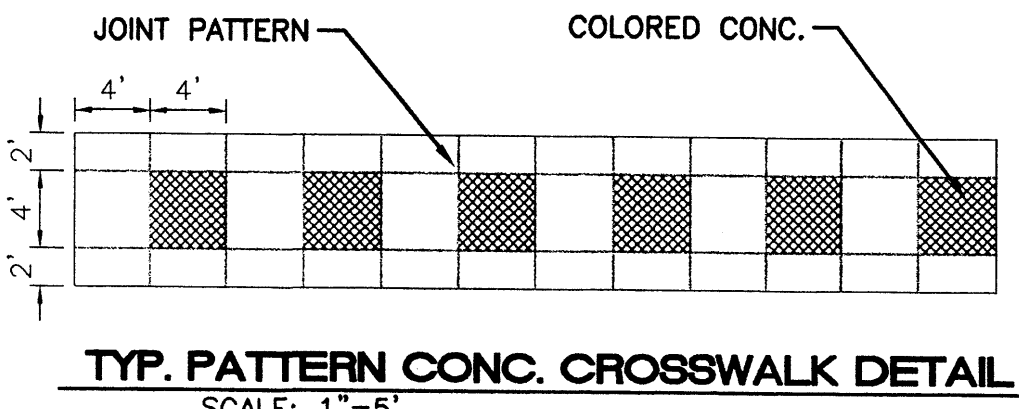
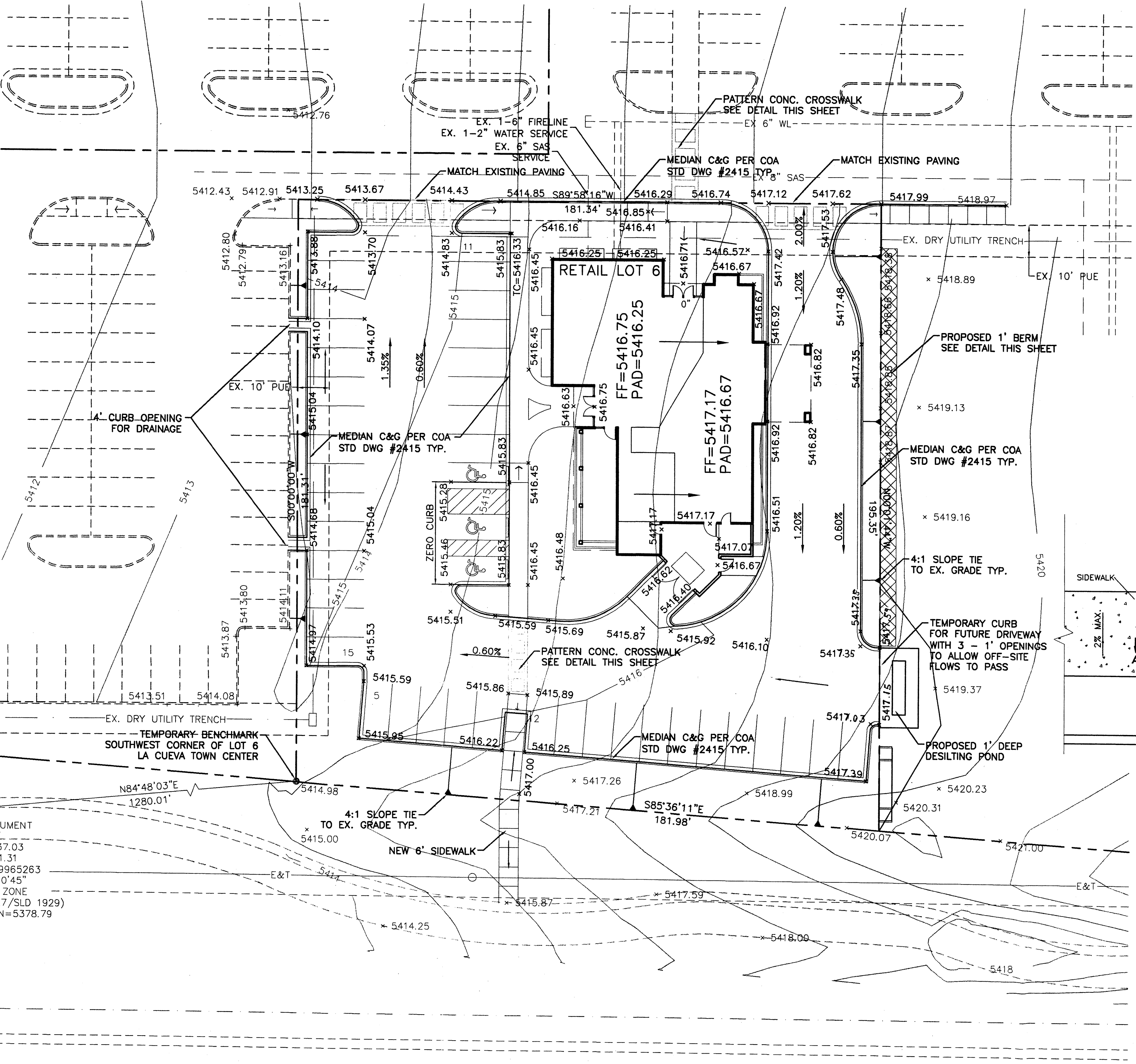
**Dion's Restaurant #9**  
La Cueva Town Center, Albuquerque, NM

EXTERIOR ELEVATIONS sheet number

**DRB 2**

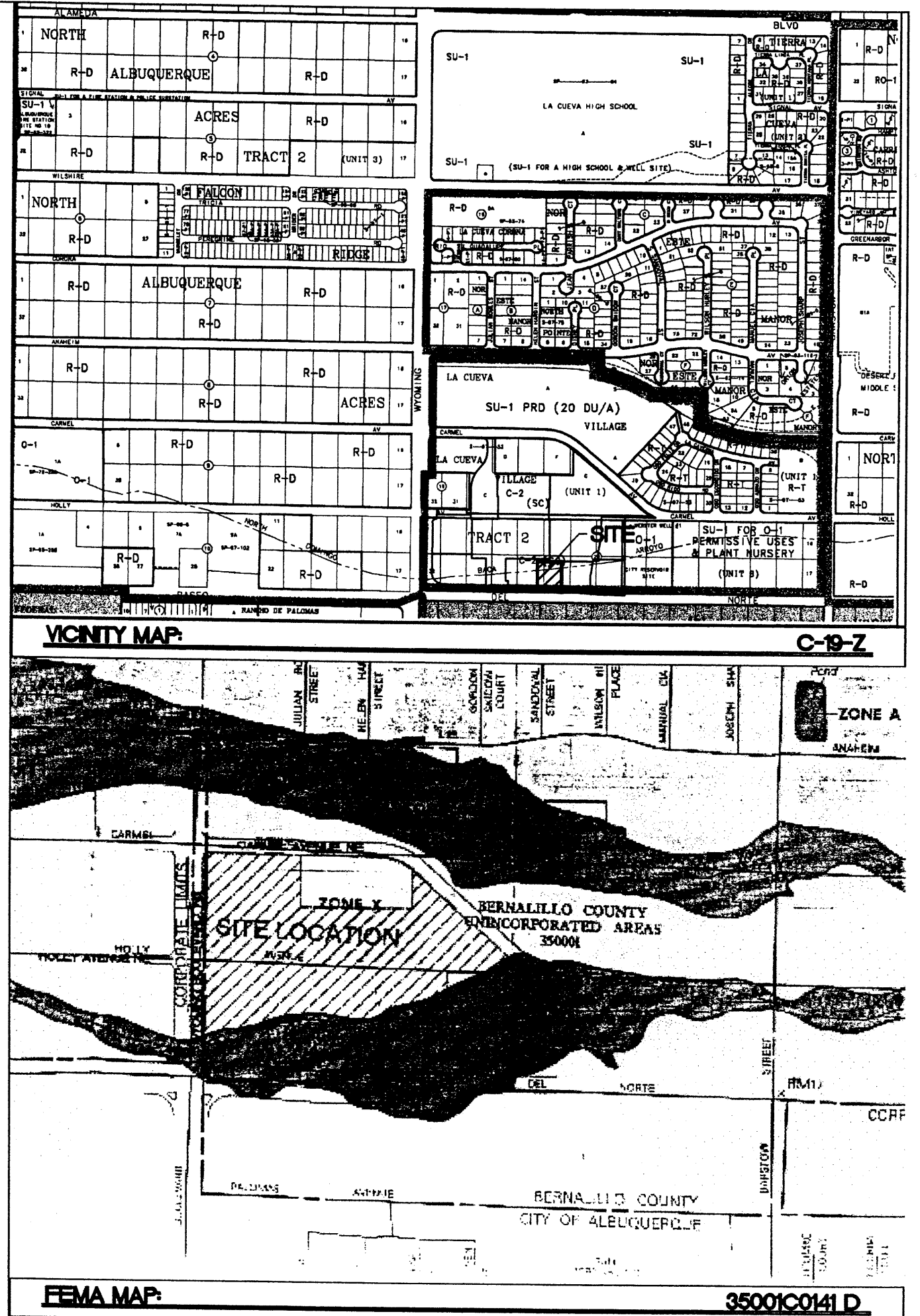
**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.
7. CONTRACTOR TO REFER TO THE SOILS REPORT FOR ANY PAD PREPARATION NECESSARY.
8. EXISTING TOPO IS OBTAINED FROM THE PROPOSED GRADES OF THE LA CUEVA TOWN CENTER GRADING PLAN. ACTUAL FIELD TOPO MAY DIFFER FROM WHAT IS SHOWN, CONTRACTOR TO VERIFY FIELD GRADES PRIOR TO CONSTRUCTION.



**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/2" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



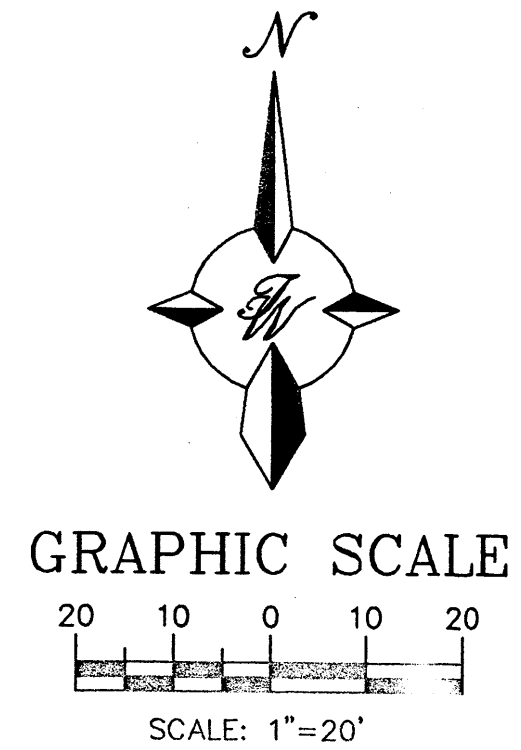
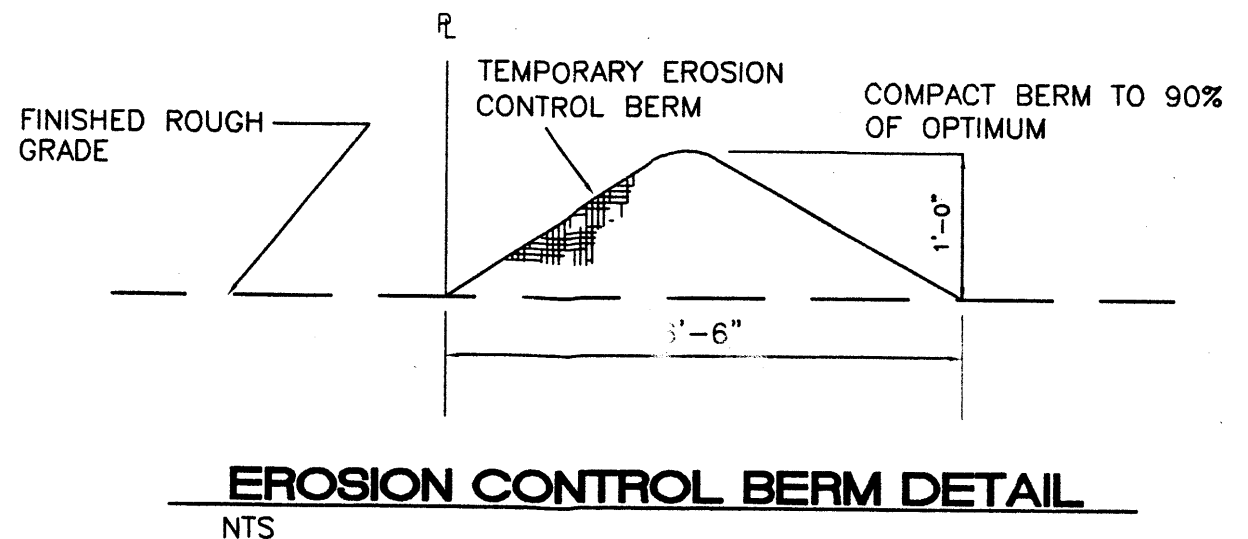
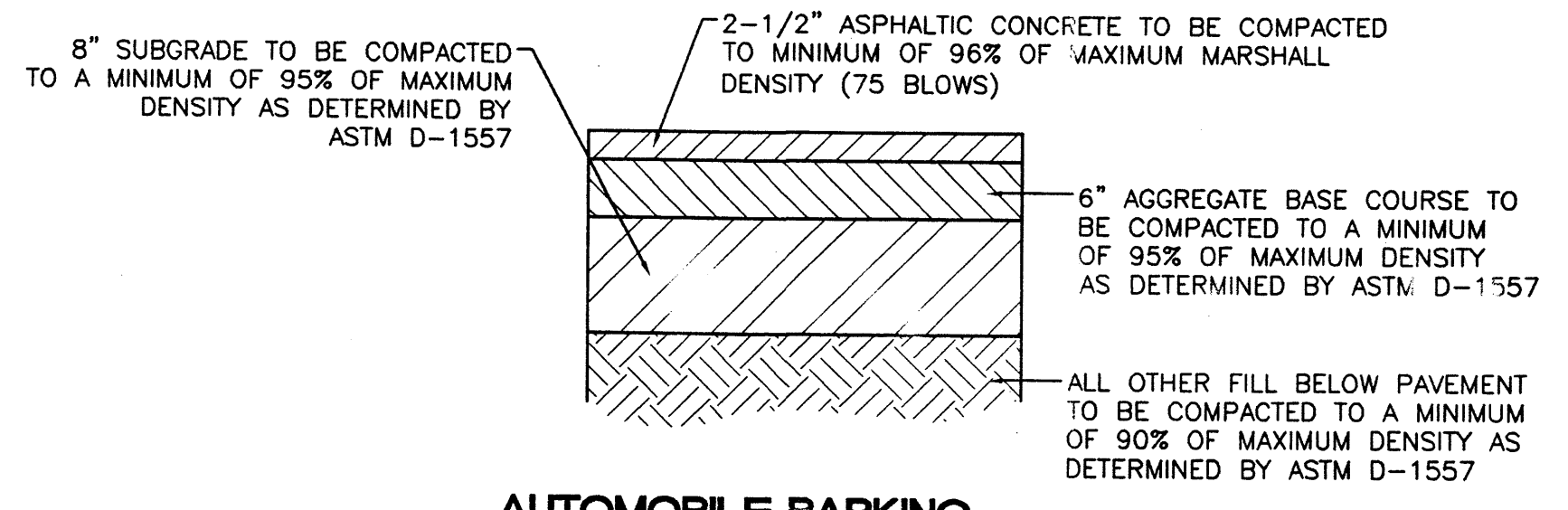
**LEGAL DESCRIPTION:**  
LOT 6A LA CUEVA TOWN CENTER, NORTH ALBUQUERQUE ACRES

- NOTES:**
1. ALL SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
  2. TEMPORARY BENCHMARK, SOUTHWEST CORNER OF LOT 6. SEE PLAN

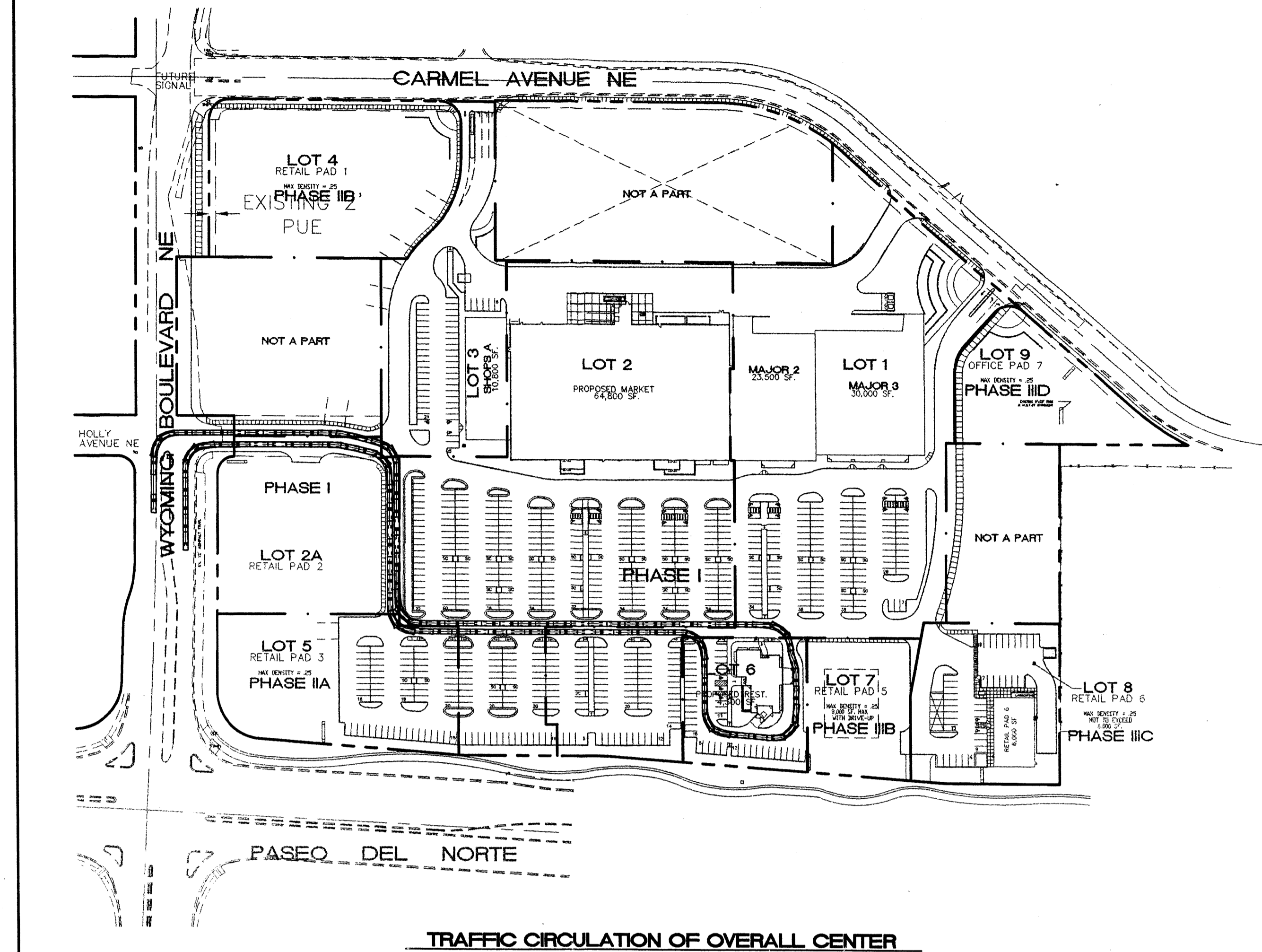
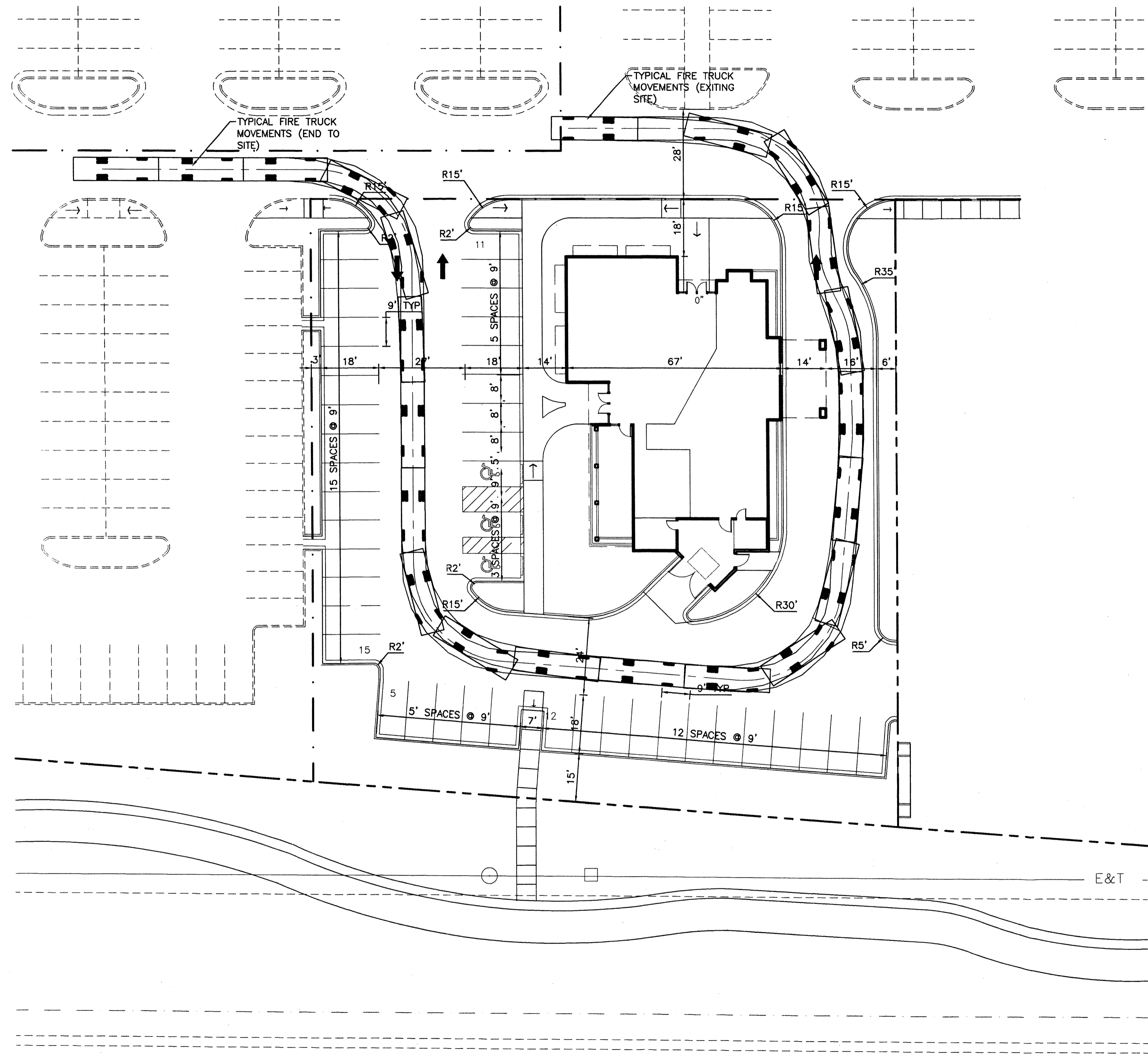
**LEGEND**

- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 18" WL --- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK

**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

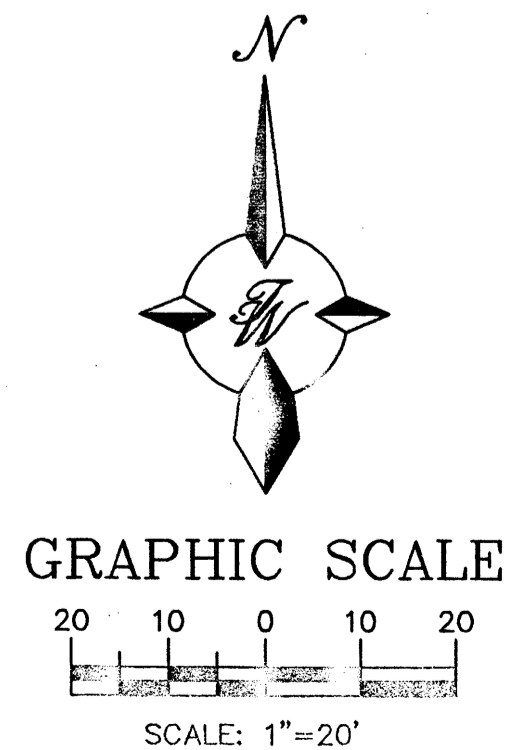



	<b>DION'S LA CUEVA TOWN CENTER</b> <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY: BDG DATE: 3-10-00 2004GR.DWG
	TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # <b>DRB 3</b> JOB # 200004

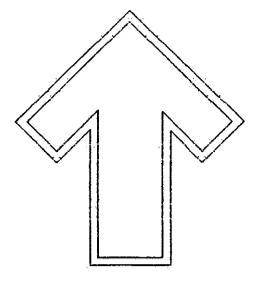


**LEGEND**

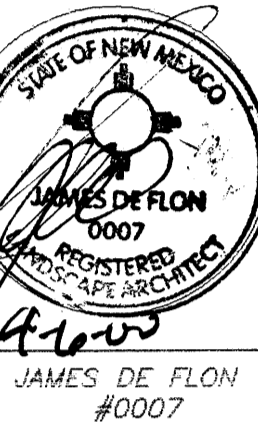
- EX. 8" S&S --- EXISTING SANITARY SEWER LINE
- EX. 16" W. --- EXISTING WATER LINE
- ==== EXISTING CURB & GUTTER
- BOUNDARY LINE
- - - - EASEMENT
- ===== PROPOSED RETAINING WALL
- ||||| PROPOSED SIDEWALK



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>DION'S</b> <b>LA CUEVA TOWN CENTER</b> <b>TRAFFIC CIRCULATION PLAN</b>	DRAWN BY BDG DATE 2-3-00 2004TR.DWG
	<b>TERRA WEST, LLC</b> 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # <b>DRB 4</b> JOB # 200004



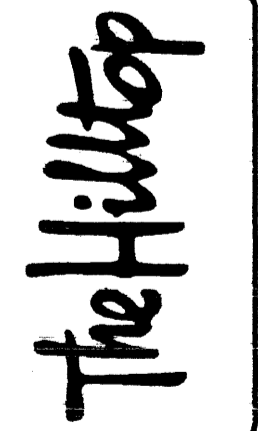
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

DION'S NAME LANDSCAPE PLAN

THE HILLTOP expressly reserves the common law right of copyright in this plan. These plans are not to be reproduced, copied, altered, or otherwise used in any way without the express written permission and consent of THE HILLTOP.



DRAWN BY: CYK  
REVISION #: 1  
DATE: 4/5/00

SHEET #

DRB 5 L1 OF L1

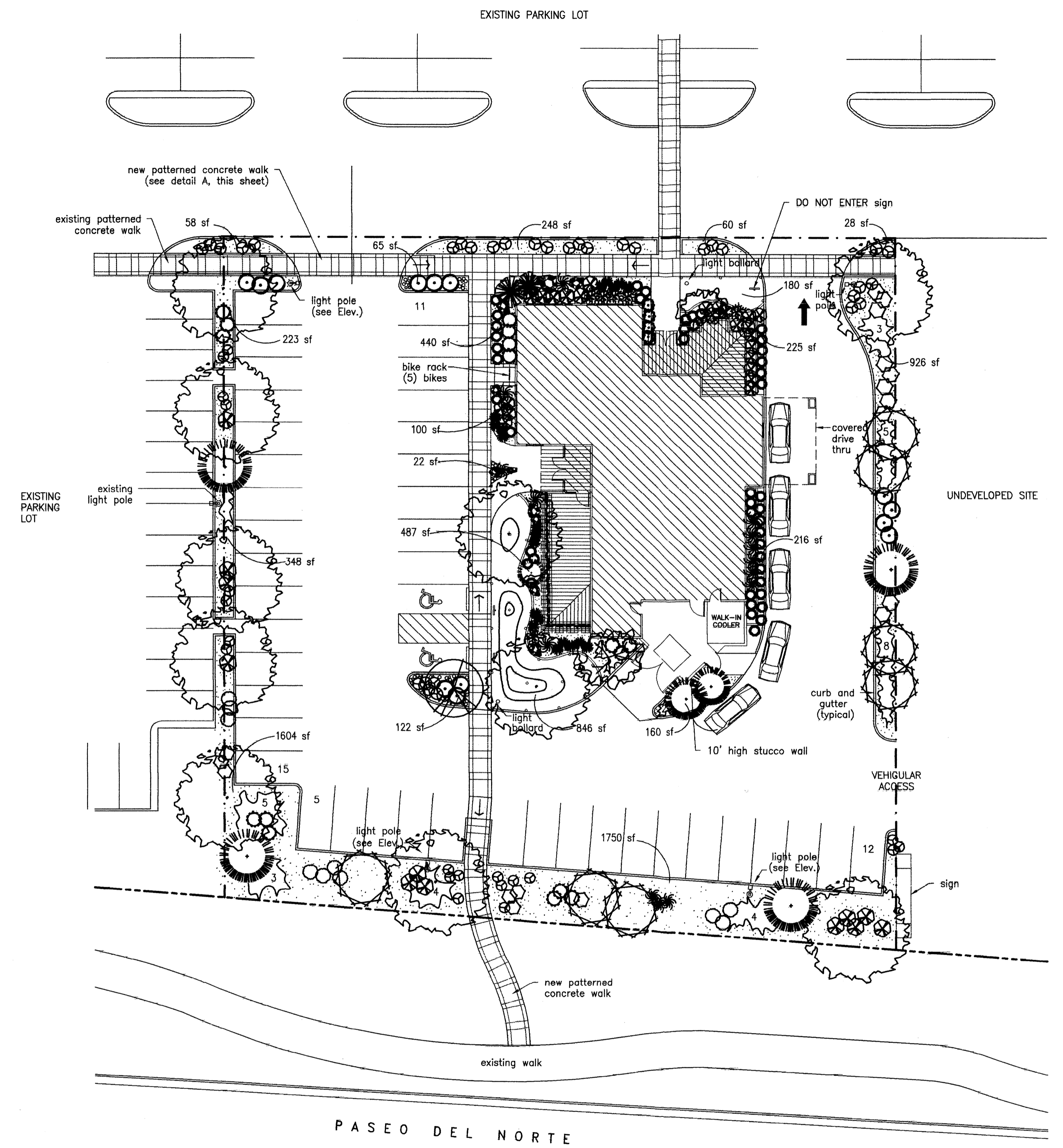
### PLANT LEGEND

	ASH (H) 10 Fraxinus pennsylvanica 2 1/2 - 3" Cal		AUSTRIAN PINE(H) 6 Pinus nigra 6-8"
	RED BUD (M) 1 Cercis occidentalis 2" Cal		ASPEN MULTI 1 Populus aluminata 2- 4" Cal
	RUSSIAN OLIVE MULTI 1 Elaeagnus angustifolia 2 1/2- 3" Cal		DESERT WILLOW (L) 7 Chilopsis linearis 15 GAL
	PINON PINE (H) 1 Pinus edulis 6-8"		PALM YUCCA (L) 2
	HICKS YEW 4 Taxus hicksii 5 gal		NANDINA 6 Nandina domestica 5 gal
	SILVERBERRY 16 Elaeagnus pungens 5 gal		MAIDEN GRASS (L) 14 Miscanthus sinensis 5 gal
	PROSTRATE ROSEMARY 45 Rosmarinus officinalis 5 gal		RUSSIAN SAGE 17 Pereskia atriplicifolia 5 gal
	INDIAN HAWTHORN (M) 36 Raphiolepis indica 5 gal		APACHE PLUME (L) 10 Falugia paradoxa 5 gal
	BLUE FESCUE 20 Festuca glauca 1 gal		REGAL MIST 13 Muhlenbergii 5 gal
	SHOWY JASMINE 20 Jasminum sp. 1 gal		WILDFLOWER 52 1 gal
	SF BROWN GRAVEL W/ FILTER FABRIC		TAM JUNIPER (M) 39 Juniperus sabinia 1 gal
	SOD		OVERSIZED GRAVEL & BOULDERS 5
			COMMERCIAL GRADE STEEL EDGING

### LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	34,058 square feet
TOTAL BUILDINGS AREA	5,142 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	28,916 square feet
LANDSCAPE REQUIREMENT	.15 square feet
TOTAL LANDSCAPE REQUIREMENT	4,337 square feet
TOTAL LANDSCAPE PROVIDED	8,064 square feet
TOTAL BED PROVIDED	7,038 square feet
TOTAL SOD PROVIDED	1,026 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

LANDSCAPE AREAS SHALL BE 75% COVERED WITH LIVE VEGETATIVE MATERIAL AT MATURITY EXCLUDING TREE CANOPIES. HIGH WATER TURF SHALL BE LIMITED TO 20% OF THE LANDSCAPED AREA.



#### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

#### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

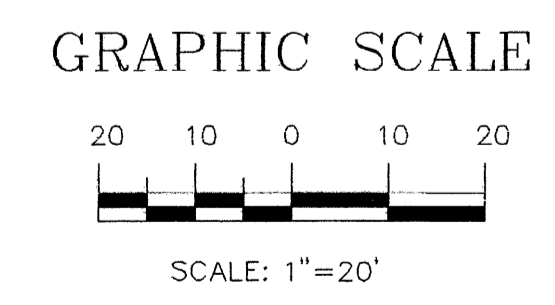
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

#### STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Required #	Provided #



NORTH

**SITE PLAN**  
SCALE: 1" = 20'

SITE: 34,151± SF (.78 AC)  
BUILDING: 4,500 SF  
PARKING: 43 SPACES  
INDOOR SEATING: 116  
PATIO SEATING: 16

THE HILLTOP LANDSCAPE ARCHITECTURE, 1111 UNIVERSITY AVENUE, SUITE 100, ALBUQUERQUE, NM 87102