

**SITE DATA**

Total Site Area: 550 acres  
 Zoning: SU-2 for Residential Resort  
 Existing Land Use: Vacant  
 Proposed Land Uses: Golf Course and Residential Development  
 (maximum of 1,168 dwelling units) as defined below


**LAND USE DATA**

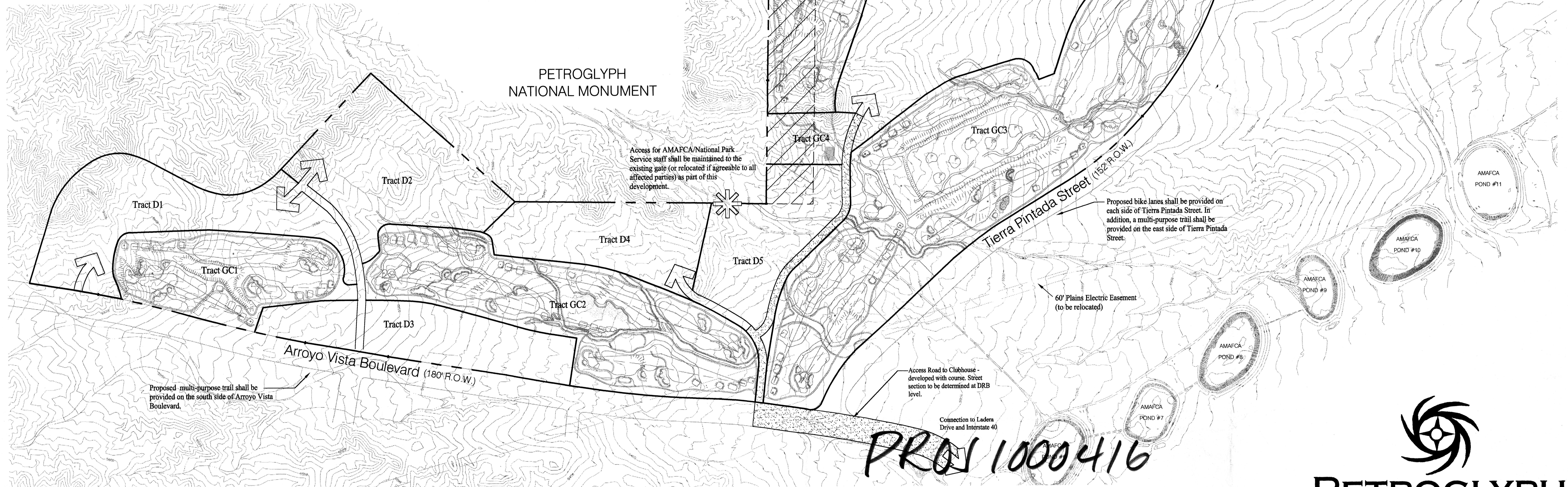
Tract GC1 Golf Course  
 Zoning: SU-2/RR Site Area: 22.5 ac.  
 Tract GC2 Golf Course  
 Zoning: SU-2/RR Site Area: 43.4 ac.  
 Tract GC3 Golf Course  
 Zoning: SU-2/RR Site Area: 92.8 ac.  
 Tract GC4 Golf Course Clubhouse  
 Zoning: SU-2/RR Site Area: 5.1 ac.  
 F.A.R.: .30  
 Max. Allowable Building SF: 73,180 SF  
 Tract GC5 Golf Course  
 Zoning: SU-2/RR Site Area: 21.5 ac.  
 Tract GC6 Golf Course  
 Zoning: SU-2/RR Site Area: 116.6 ac.

Tract D1 Single Family Residential  
 Zoning: SU-2/RR Site Area: 26.7 ac.  
 Density: 4-6 du/ac  
 Max. Allowable Dwelling Units: 160  
 Tract D2 Single Family Residential  
 Zoning: SU-2/RR Site Area: 26.5 ac.  
 Density: 2-3 du/ac  
 Max. Allowable Dwelling Units: 80  
 Option to be Gated Subdivision  
 Tract D3 Single Family Residential  
 Zoning: SU-2/RR Site Area: 19.7 ac.  
 Density: 6-8 du/ac  
 Max. Allowable Dwelling Units: 157  
 Tract D4 Single Family Residential  
 Zoning: SU-2/RR Site Area: 18.0 ac.  
 Density: 2-3 du/ac  
 Max. Allowable Dwelling Units: 54  
 Tract D5 Single Family Residential  
 Zoning: SU-2/RR Site Area: 21.0 ac.  
 Density: 6-8 du/ac  
 Max. Allowable Dwelling Units: 168

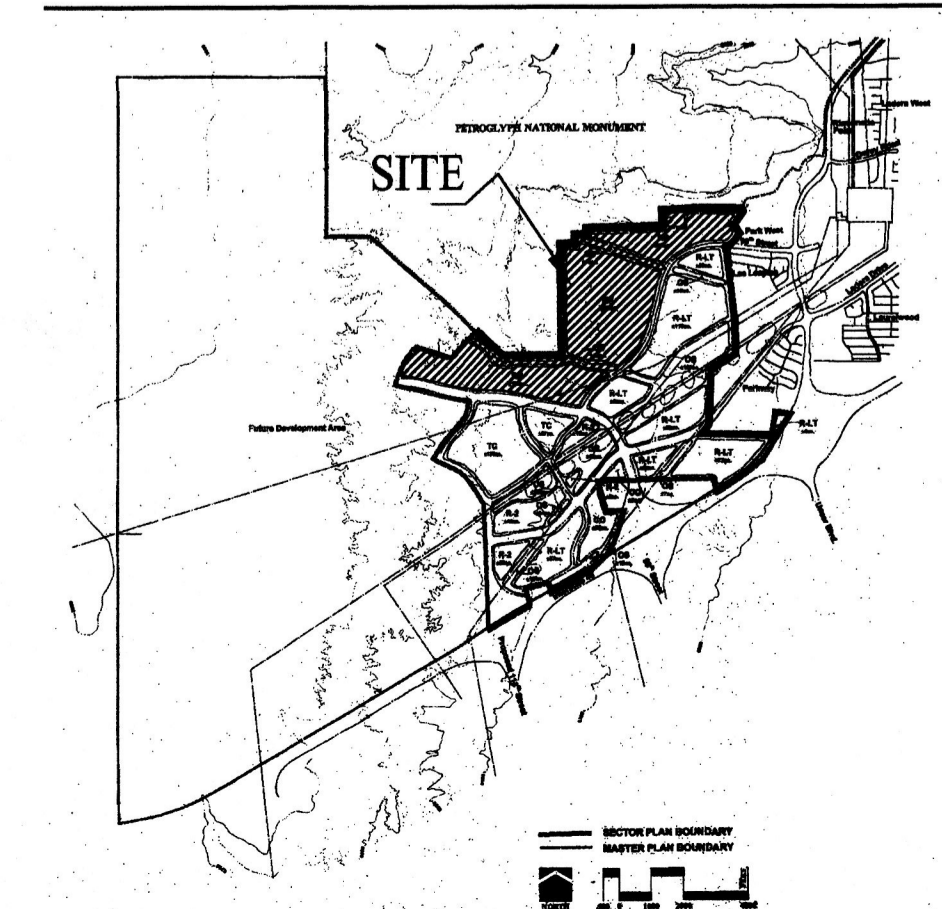
Tract D6 Single Family Residential  
 Zoning: SU-2/RR Site Area: 58.4 ac.  
 Density: 4-6 du/ac  
 Max. Allowable Dwelling Units: 299  
 Tract D7 Single Family Residential  
 Zoning: SU-2/RR Site Area: 23.9 ac.  
 Density: 1-2 du/ac  
 Max. Allowable Dwelling Units: 47  
 Option to be Gated Subdivision  
 Tract D8 Single Family Residential  
 Zoning: SU-2/RR Site Area: 18.4 ac.  
 Density: 1-2 du/ac  
 Max. Allowable Dwelling Units: 36  
 Option to be Gated Subdivision  
 Tract D9 Single Family Residential  
 Zoning: SU-2/RR Site Area: 32.1 ac.  
 Density: 4-6 du/ac  
 Max. Allowable Dwelling Units: 167

Note: See Site Plan for Building Permit for the golf course (#00128 00000 00457) for more detailed layout of the golf facilities. Irrigated turf areas for the 27-hole course shall be limited to 135 acres per the Water Conservation Landscaping and Water Waste Ordinance.

 350 foot Impact Area as defined in the Northwest Mesa Escarpment Plan



**Vicinity Map**



**GENERAL NOTES:**

1. Site Plans for Building Purposes for single family residential tracts shall be delegated to the Development Review Board.
2. Infrastructure lists shall be required as part of a plat approval and/or the Site Plan for Building Purposes for each tract prior to DRB approval.
3. Tracts D2, D11 and D12 may be developed as gated subdivisions. If gated, all streets shall be private, and access and emergency service provisions shall be addressed prior to DRB approval.
4. Development within this property is subject to the Westland Sector Development Plan.
5. Minor amendments to the golf course routing and layout may occur. These amendments shall be reviewed and approved by the Planning Director.

6. The existing power lines crossing the southern portion of the property may be relocated as provided for in the Westland Master Plan. If the power lines are relocated, the golf course layout will be adjusted accordingly.
7. Internal streets are shown for graphic purposes only. Final layout and R.O.W. requirements shall be determined during preparation and approval of the Site Plan for Building Purposes for each tract.
8. With the exception of the existing AMAFCA/NPS maintenance access, there shall be no pedestrian or vehicular access through this site to access the Petroglyph National Monument.
9. Park dedication requirements within this development shall be per City ordinance and consistent with the Westland Master Plan.

**UTILITY NOTES**

1. Water service is proposed to be provided to the Petroglyph Golf Course and surrounding subdivisions via connections to the planned water transmission line extensions in Tierra Pintada Street, Arroyo Vista Boulevard and other planned roadway R.O.W.'s. A new City reservoir is proposed on a City easement, located in Bernalillo County, just west of the existing

City limits and south of the golf course. The new transmission line will extend from the existing College Reservoir to a new reservoir. Construction of these facilities is planned to start in July 2000, and be completed by Spring of 2001.

Public waterlines will be extended into the development in a phased manner to match golf course and subdivision schedules, and under the guidance of the Development Review Board and City staff. Two water pressure zones within this area will require that distribution systems be carefully designed and separated on-site.





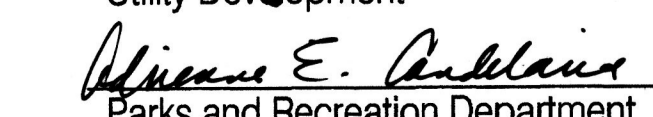
Sanitary sewer service will be provided via planned line extensions, within easements of public R.O.W., from existing City lines located east of the development.

**PHASING PLAN**

Phase 1 will consist of development of the 27-hole golf course, clubhouse and maintenance facility. Access to the clubhouse will be via extension of Arroyo Vista Boulevard (old 98th Street) from Interstate 40, past Tierra Pintada Street to the access road through the future subdivisions. Development of the residential subdivisions will progress logically based on the feasible provision of water and sanitary sewer service.

Project #1000416  
 EPC Case #00128-00000-00456  
 DRB Case #01450-00000-00209

**APPROVALS**

	3/30/01
Planning Director	Date
	3-26-01
Transportation Development	Date
	3/23/01
City Engineer/AMAFCA	Date
	2/21/01
Utility Development	Date
	3/23/01
Parks and Recreation Department	Date

Prepared for: Westland Development Company  
 Mesa Golf, Inc.

Prepared by: Arthur Schaupter Golf Course Architect  
 Consensus Planning, Inc.  
 Bohannon-Huston, Inc.



# DESIGN GUIDELINES

## INTRODUCTION

The Petroglyph Golf Resort development is governed by the *Westland North Sector Development Plan* and the *Westland North Master Plan*. The Sector Development Plan established the zoning for this parcel as SU-2 for Residential Resort. The *Westland North Master Plan* (WMP), adopted in May of 1998, provides a set of Design Guidelines. The Master Plan guidelines provide a flexible framework for community design with specific objectives that encourage innovative and creative solutions. The desired character of design features common to the community such as grading, landscape, signage, lighting, walls, and architecture are expressed in these guidelines. The Westland Design Review Committee (WDRC) will evaluate how well each site development plan submitted for approval meets these objectives.

The guidelines shown here are slightly more detailed and site specific for the Petroglyph Golf Club area. These guidelines establish the criteria for designing and creating a harmonious neighborhood which will have its own unique "sense of place" while preserving views, and respecting the natural terrain and special site features. The criteria here are provided in order to preserve the goals for the entire neighborhood. The goal is to make Petroglyph Golf Club a desirable place to live, a neighborhood which balances the needs of the homeowner with a concern for the entire neighborhood.

## GENERAL

### EXISTING PLANS AND POLICIES

All development shall be in accordance with existing plans and policies including the City of Albuquerque *Water Conservation Landscaping and Water Waste Ordinance*, the *Northwest Mesa Escarpment Plan*, and other relevant adopted plans.

### DESIGN GOALS

Paramount to all design considerations within Petroglyph Golf Resort are the following goals:

- 1) Development adjacent to the golf course, Petroglyph National Monument, and the Atrisco Terrace Open Space shall have walls and fences which are restricted to provide a cohesive sense of community, provide for security and delineation of property while maintaining a sense of openness and allow views.
- 2) While individual expression and lifestyles are welcome, all development should contribute to a greater whole and shall be maintained in order to preserve order and a high standard of excellence for residents and patrons of Petroglyph Golf Resort.
- 3) Landscaping materials are restricted to blend with the native landscape of the mesa, use less water, and minimize negative impacts upon the area from other lots within Petroglyph Golf Resort.
- 4) The Petroglyph Golf Resort encourages the conscientious consideration of water as a precious natural resource.
- 5) Views of the Sandia Mountains, the city lights, the Rio Grande and surrounding bosque; Petroglyph National Monument, and Mesa Prieta and the New Mexico night sky are important features of Petroglyph Golf Resort and shall be maintained when possible.

## SITE & LANDSCAPE DESIGN

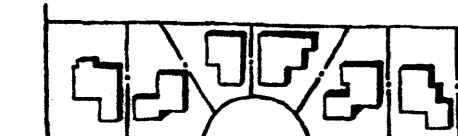
### VIEWS

The Petroglyph Golf Resort offers spectacular views of the Sandias, the Rio Grande Bosque, and Petroglyph National Monument. Significant visual features, identified in the Westland Master Plan, should be retained and enhanced through the methods described below:

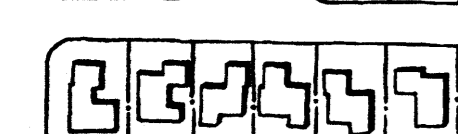
- 1) The visual impact of built forms on the natural landscape should be minimized. Though not required, buildings with flat roofs are encouraged because they will help preserve views in addition to being more southwestern in style. Rooftop mechanical equipment shall be screened from streetview.
- 2) On-site utilities, including electrical, telephone, and communication wires and equipment shall be installed and maintained underground. Transformers, utility pads, cable TV, and telephone boxes shall be located out of view from public rights-of-way or visually screened with vegetation, fences, or walls.
- 3) Consider the potential impact of future homes and improvements on neighboring and nearby lots upon the views and privacy of adjacent homes.
- 4) At estate lots, evaluate the daytime versus nighttime views and arrange dwellings to correspond to these differences.

### RESIDENTIAL SITE PLANS

Site plans for residential subdivisions should provide variety and visual interest in the streetscape. Pedestrian connections between neighborhoods should be planned for efficient pedestrian movement.

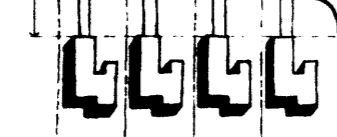
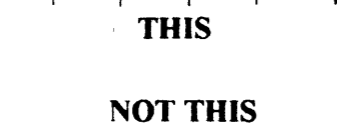


- 1) On long, straight roads, knuckles or cul-de-sacs are encouraged to provide variety and visual interest in the landscape.



- 2) Uniform front yard setbacks in residential areas should be avoided. Varied setbacks add visual interest and avoid creating a tunnel effect. No more than three (3) structures in a row should have the same front yard setback. This guideline does not apply to cluster development.

- 3) Pedestrian openings at the end of cul-de-sacs or openings in perimeter walls are simple techniques that can be used to achieve connection between subdivisions or commercial areas.



Setbacks

### BUILDING ENVELOPES

Lots within the area(s) designated for 1-2 du/acre shall be configured to capitalize on the best features of the land. The Lots are large so that each home can be located in a manner to capitalize on the scenic beauty and spectacular views. In an effort to protect the exceptional views, it is anticipated that each lot will have an area within which building can occur called the "Building Envelope". This boundary delineates the maximum area in which any proposed building and man-made improvements can occur and shall be established on the plat. Plans should give consideration to the possibility of future expansion so that such expansion, if desired, can be accommodated within the Building Envelope.

### GRADING & DRAINAGE

See Pages 86-87, *Westland Master Plan*.

### TRANSIT

See Page 87, *Westland Master Plan*.

### LANDSCAPE

The objective of these guidelines is to develop a built environment that is sensitive to the community's need for water conservation, and minimizes negative impact on views, but at the same time will result in an attractively landscaped subdivision in harmony with Petroglyph National Monument and views of the City and Sandias to the east. City ordinances regarding landscape materials, pollen, and water conservation shall be in effect for all lots.

- 1) There shall be a landscaping buffer area between both the golf course and proposed subdivisions and the Petroglyph National Monument to minimize visual impacts by Monument user-groups.

See Pages 88-98, *Westland Master Plan for Landscape Plan Palette*.

### STREETSCAPES

Streetscape design is another key factor in determining neighborhood quality and livability. Providing streetscape amenities such as landscaping and street trees, benches, bus shelters, bike racks, and trash receptacles will help create an attractive community for residents and visitors. Maintenance of the streetscape and assorted amenities shall be the responsibility of a homeowner's association to be established.

### Residential Streetscapes

A consistent landscape theme in residential areas will reinforce community identity. Providing large canopied street trees in residential areas will soften the streetscape and provide the feeling of an established neighborhood as the trees reach maturity.

- 1) One (1) street tree per lot, or at a minimum spacing of 50' o.c., is required in all residential subdivisions (see Plant Palette for Street Trees in Residential Areas). Two (2) street trees shall be required for corner lots, one on each street frontage.
- 2) Street trees shall be planted within twelve (12) feet of the curb.

### PARKING, GARAGES & OUTBUILDINGS

Parking shall be provided to allow each residence adequate parking so as to minimize any adverse impact on the neighborhood.

- 1) Each residence shall include an enclosed garage, either attached or detached from the home structure with parking space for at least two automobiles. Garage doors shall be a maximum, in the aggregate, width of two cars. Total width of all garage doors shall in no event exceed 34 feet. The Garage doors shall be a maximum height of no greater than 9 feet.

- 2) A minimum of two (2) additional parking spaces shall be provided on the Lot to accommodate guest parking. On-street parking shall not be considered in satisfying this requirement.

- 3) No exterior storage of recreational vehicles, motor homes, campers, trailers, boats or other recreational equipment shall be permitted on any lot.

- 4) Any out building shall be constructed of the same style and exterior material and color as that of the residence.

### DRIVEWAYS & WALKWAYS

Driveways shall be designed to minimize the visual impact of the paved area.

- 1) Driveway widths and surface area should be minimized.
- 2) Exposed aggregate concrete (utilizing integral coloring), concrete, and colored concrete are acceptable driveway paving materials. Decomposed granite, crusher fines, crushed granite, base course, asphalt paving and similar materials will not be allowed.
- 3) Exposed coloring of the concrete should reflect the warm rich desert hues, be low in reflectivity, and compatible with the surrounding natural environment.

### OTHER SITE FEATURES

#### Antennae

- 1) Freestanding cellular antenna and cell towers shall be discouraged. Antennas shall be integrated with buildings, light poles, existing utility structures and other public facilities.
- 2) Cellular towers are prohibited within Petroglyph Golf Resort.

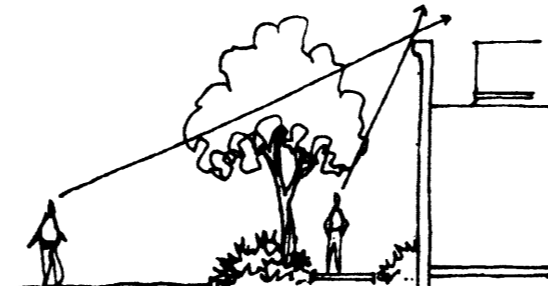
#### Mechanical Equipment and Service Yards

- 1) Mechanical equipment, including but not limited to cooling and heating systems, ventilation, antenna and other reception devices, shall be screened from street view through the use of parapets or other architectural elements of the same nature as the building's basic design, material, and color.
- 2) Mechanical equipment shall not be visible from anywhere within the Petroglyph National Monument. All mechanical units for residential and golf facilities shall be either ground mounted and screened with screen walls so that the top of wall is a minimum 1 foot higher than top of equipment or architecturally screened with tiling on the buildings.
- 3) Mechanical equipment may be installed on the rear side of pitched roofs with the requirement that it is not visible from the roadway. The highest point of the equipment shall be equal to or below the roof ridge height.
- 4) All roof penetrations shall be painted to match the roof color or the general building stucco color or material color.
- 5) Mechanical equipment mounted on the ground shall be screened from the street view with landscaping or fencing materials.
- 6) All garbage and trash containers, clotheslines, mechanical equipment, and other outdoor maintenance and service facilities must be screened by walls or landscaping from other Lots, Common Area, streets, or public spaces.
- 7) Storage sheds, if provided, shall match the color, design and materials of the residence.

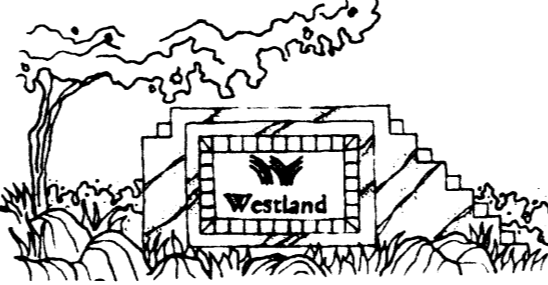
#### Residential Signage

Entryway signage shall be developed for each residential area to foster a unique sense of neighborhood identity.

- 1) Monument-type signs are the preferred alternative for entryways. Landscape materials should be provided at the base of monuments.
- 2) Monument signs and entry features shall utilize materials and colors that match and/or complement the perimeter wall design (see WALLS).
- 3) No business signs shall be permitted at residences.
- 4) No temporary signs shall be allowed unless pre-approved by the Committee.
- 5) Only one real estate sign shall be permitted. No offsite signs shall be permitted.



Mechanical Screening



Monument Sign

### Pedestrian/Bicycle Circulation

- 1) Adequate pedestrian connections within the site should be provided to minimize vehicular/pedestrian conflicts and ensure clear and efficient pedestrian pathways.

## ARCHITECTURE

### ARCHITECTURAL STYLES

The goal of the architectural guidelines is not to limit design creativity, but to provide the framework for high quality design. While architectural style is not restricted, certain common elements should be complementary to and enhance the community image. Generic franchise design shall be discouraged. Building design shall be contextual to land forms, adjacent buildings and the overall design guidelines.

### Building Materials and Colors

- 1) The use of similar roof materials and colors aids continuity. Compatibility in roof design with adjacent buildings is encouraged.
- 2) Exterior building materials shall be predominantly contextual in nature. Stucco, natural stone, split face CMU, and other appropriate materials of earth tone colors should be required for 65% of the building surfaces. Wood, stone, or brick may be used to accent architectural features. Glass will not be considered a finishing material for the purpose of these design guidelines.
- 3) Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.
- 4) Siding materials shall extend down to finished grade.
- 5) Any exposed metal such as flues, fans, flashing, trim and the like shall be painted or otherwise treated so that glare and light reflection shall be minimized.
- 6) Exterior colors shall predominantly be in warm desert earth tones including tan, light brown, or similar colors that mimic earth tones. Other colors may be used to accent architectural features such as entryways, window trim, fascias, and other traditional southwestern architectural features. Metallic and high intensity colors will not be permitted.
- 7) Metal may be used as a roofing material for commercial and residential structures. Metal roof shall be corrugated or standing seam and non-reflective. Roof colors shall be in shades of tan, light brown, or similar colors that mimic earth tones.
- 8) Flat roofs shall be built-up roofing (non reflective); shall be light tan; or single ply membrane; low sloped only, non reflective, light tan or comparable color aggregate.
- 9) Matte finish, variegated Clay or Concrete tile, mission barrel or S shapes are permitted in red and tan colors.
- 10) These roofing materials will not be allowed: asphalt shingles, wood shingles and shake shingles; baked, enamel, high gloss finish Clay or Concrete tiles.
- 11) No plastic backlit fascia or vinyl building panels, awnings or canopies are permitted. Awnings, canopies, roofs, loading docks, drive thrus, etc. shall be architecturally integrated.
- 12) No generic franchise elevations are allowed.

### Residential

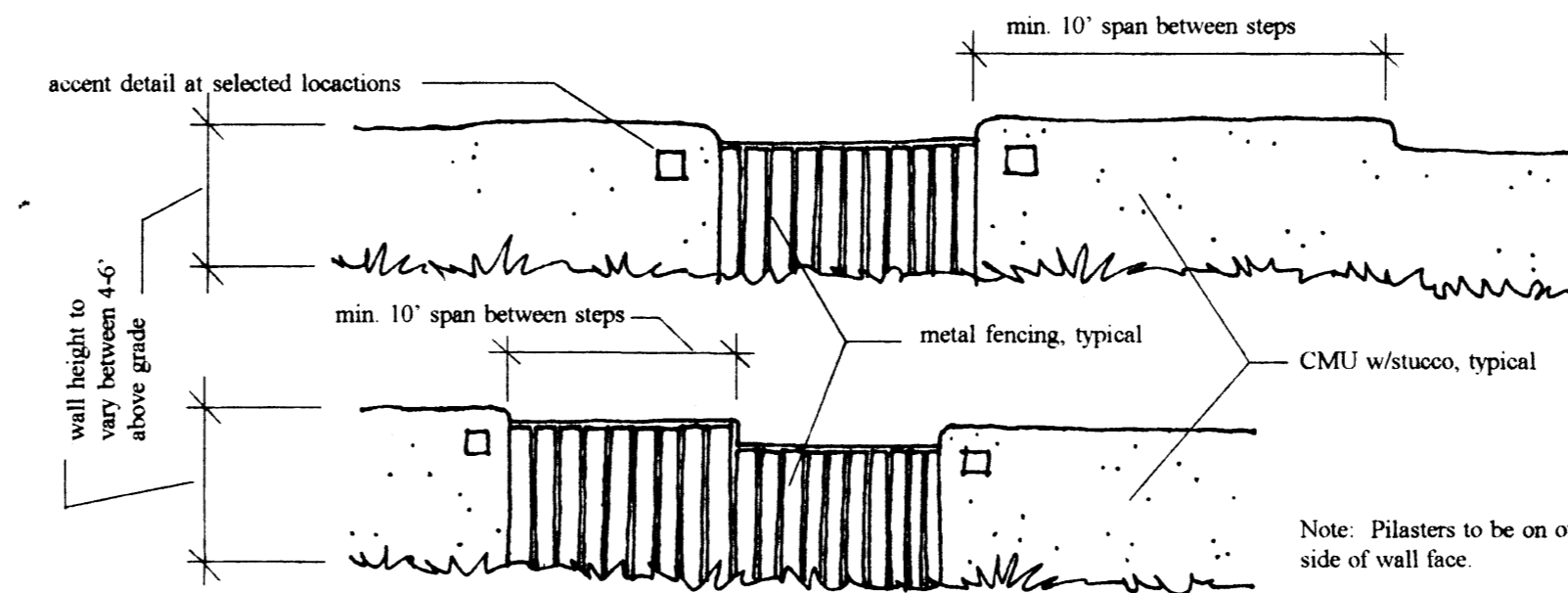
The prospective home buyer should be offered a choice in architectural styles. The use of a single style within neighborhoods is discouraged. Individual dwelling units should be distinguishable from each other.

- 1) Residential structures shall not exceed two (2) stories and are limited to a maximum height of twenty-six (26) feet. The height shall be measured from the established grade three (3) feet from the structure to the highest point of the parapet on a flat roof, the high-test point on a pitched roof or to the average height between the plane and the ridge of a gable, hip, or gambrel roof. The established grade shall be the average of the existing grades at the midpoint of each building facade.

### WALLS

A consistent approach to wall design will provide an element of visual continuity in the Westland Community. Walls which abut arterial streets or the golf course, both in and outside of the development area, shall be of standard designs described and shown in these design guidelines. All other walls within a residential or commercial site shall be considered an integral part of the site/building design.

- 1) The style, materials, and color of the wall should be complementary to the architecture of the building it is attached to.
- 2) Masonry and stucco are the recommended primary building materials for walls in residential areas within public view from the roadway. Brick, wood, or ornamental iron may be used as an accent feature. Other fencing materials, such as vinyl-coated chain link, welded wire, unfinished concrete, wood, and colored block may be used as long as they are not visible from the public roadway. No uncoated chain link, razor wire or plastic vinyl fencing is permitted.
- 3) Wherever possible, meandering walls should be provided to provide a more pleasing pedestrian experience. To soften the horizontal mass of a continuous wall, the wall may be set back from the adjacent sidewalk with the space left between the wall and sidewalk used for landscaping. If this method is used, the wall should be set back from the sidewalk at a distance equal to its height. For example, if a six (6) foot wall is to be constructed adjacent to a sidewalk it should be set back from that sidewalk six (6) feet.
- 4) All walls shall follow the approved City of Albuquerque Design Manual for Subdivision Access and Perimeter Walls.



WALL DESIGN CONCEPT

### Wall Definitions:

**Privacy Walls:** Walls located around the perimeter of residential development. These walls will be between 4'-6" above grade and stuccoed CMU between columns.

**View Walls between Golf Course and Residential Yards/View Walls between Golf Course and Streets:** Walls located between the golf course and residential development and between the golf course and all streets. These walls will be between 4'-6" above grade and a combination of stuccoed CMU with metal fence view panels.

### BUILDING CONFIGURATION

#### Massing

- 1) Offsets in massing are to be 1' minimum horizontally and vertically.
- 2) The maximum area of the second story of a house, including heated spaces and covered porches, shall be no more than 85% of the area of the first floor, including heated spaces, covered porches, and garage. In situations where the top of roof (or parapet wall) associated with a first-floor room exceeds 18' from finished floor, then such area shall be considered as a second-story for determining the foregoing 85% ratio. At estate lots, the maximum area of the second story of a house (as defined above), shall be no more than 65% of the area of the first floor.
- 3) The second story portion of a two story house shall be set back from the first floor exterior walls a minimum of 5' to eliminate the appearance of two story walls.
- 4) In situations where a significant portion of the building is set into the hillside, a variance to the preceding two guidelines may be granted by the WDRC on a case by case basis.

#### Doors and Entryways

Doors and entrances should have simple, clean lines accentuating the building features.

- 1) Exterior doorways and entryways should provide shade, depth, and a strong shadow-line. They should provide a focal point at the entryway. Courtyards at or near the entry are encouraged.

#### Windows

Windows are a critical aspect to any residential facade.

- 1) "Popouts" or stucco surrounds are prohibited.
- 2) Unanodized aluminum window frames or Mullions are prohibited.
- 3) Vinyl, fabric, and metal awnings are prohibited.

#### Skylights

Skylights can be an important source of natural light and can be positive contributors of passive solar heat. They can, however, also be sources of undesirable glare, particularly at night, so electrical lights will not be permitted in skylights. Care must be taken in locating, positioning, and sizing of skylights.

#### LIGHTING

One of the attributes of the West Side most appreciated by residents is its "dark sky". The objective of the lighting guidelines therefore is to preserve the "dark sky" while providing lighting that enhances the safety, security, and visual aesthetics of the area.

Careful attention to lighting detail will contribute to the sense of a cohesive community image. Lighting design and features will differ according to the land use. In all cases, light fixtures and standards shall conform to state and local safety illumination standards including the "Night Sky Preservation Act" (HB 39, First Session, NM Legislature, 1999).

#### Site Lighting

Views can be adversely affected by excessive light from streetlights, and homes. In order to protect these valued views, the lighting standards focus on limiting the kind and quantity of light from these sources. Careful attention to selection of fixtures which are shielded or filtered to minimize ambient light are essential to preserving night views.

- 1) Site Lighting must be directed onto vegetation or prominent site features, such as boulders, and may not be directed upon buildings.
- 2) Up-lighting is prohibited, except as provided in this section.
- 3) Soft lighting of specimen plant materials is allowed and shall be achieved with hidden light sources. These include: surface mounted fixtures; lamps recessed in building soffits, overhangs and walls; lamps recessed in the ground; and lamps hidden by plant materials.
- 4) Exterior fixtures shall be located and oriented to focus light inward to minimize light encroachment onto neighboring residences.
- 5) Building mounted fixtures must be directed downward, away from adjacent Lots, and shall be no higher than the line of the first story eave or, where no eave exists, no higher than 12 feet above finished grade.
- 6) The following lighting types may not be used: metal halide, quartz, mercury vapor, laser light or similar high intensity light used for advertising or entertainment, searchlights, glass tubes filled with neon.
- 7) Lighting below any canopies shall be recessed, shielded, etc.
- 8) All lamp standards shall be fully shielded (e.g.: shoebox fixtures) to prevent fugitive light from glaring on adjacent properties or rights-of-way and wall mounted lights shall be shielded in the same fashion.

#### Street Lighting

- 1) Lighting should be located to enhance the safety of pedestrian and vehicular flows at key points along roadways. Light shall be concentrated at intersections and pedestrian crosswalks. The maximum height of street light fixtures shall be thirty (30) feet, unless otherwise required by the City and/or Engineer.
- 2) Excessive light spillage on adjacent properties shall not be allowed. All light fixtures should be recessed, shielded, hidden, and/or down-directed.
- 3) Cobra head fixtures should not be used for street lighting. Metal halide or low-pressure sodium lights are recommended. All fixtures shall be shielded.

#### Pedestrian Lighting - Clubhouse

- 1) Light fixtures shall be a maximum of sixteen feet (16') high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from site perimeter.

- 2) Lighting fixtures shall be recessed, shielded, hidden, and down-directed in accordance with the "Night Sky Preservation Act" (cited above).
- 3) Bollard material and design shall be compatible with the adjacent buildings. Bollards should be no greater than three (3') feet in height. Shatter-proof covering should be provided for bollards and other types of low-level lighting.
- 4) Lighting may be used to accent certain landscape features. This type of lighting should be of a low-level intensity and only illuminate the intended landscape feature.

### GOLF COURSE

The proposed golf course will be placed in the natural setting as much as possible. The turf areas of the course will be limited to tee areas, landing areas of fairway, green areas, and a driving range with indigenous vegetation between these areas.

The golf course shall meet all requirements of the Water Conservation Landscaping and Waste Water Ordinance. The Petroglyph Golf Club is the first golf course to be developed under this Ordinance. Inclusion of the following requirements from the Ordinance does not relieve the developer from meeting all requirements of the Ordinance.

- 1) Spray irrigation during the months of April through September must occur between 6:00 p.m. and 10:00 a.m. Spray irrigation during the months of December through March must occur between 10:00 a.m. and 2:00 p.m. The latter restriction does not apply if the course is under regular use.
- 2) The course will be allowed 37 inches of water per acre of landscape area per year. Usage over the allowed amount will be subject to an excess use surcharge as described in the Ordinance. The landscape area, or high water use turf area, shall not exceed an average of 45 acres per 9 holes. Driving ranges, putting facilities, etc. are to be included in the 45 acre limit.
- 3) The potential for harvesting stormwater runoff shall be incorporated into the golf course design where practical.
- 4) The course shall have a Landscape Irrigation Audit performed by a Certified Landscape Irrigation Auditor, certified by the Irrigation Association. Minimum efficiency requirements to meet the audit are 60% distribution uniformity for all fixed spray systems and 70% distribution uniformity for all rotary systems.
- 5) The irrigation system shall have the sprinkler heads tested for uniformity of performance using the Center for Irrigation Technology's (CIT) Sprinkler Profile and Coverage Evaluation (SPACE) program, or comparable assessment acceptable to the City.
- 6) The holding ponds for the irrigation system shall be designed to minimize the surface area to the extent possible to minimize evapotranspiration. The ponds shall be lined to eliminate or reduce water loss.
- 7) High water use turf varieties (fescue, bluegrass, ryegrass) shall be limited to those areas of recreational activity, and as limited by the Water Conservation Ordinance. All remaining landscape area within the course shall be planted with a revegetation seed mix consisting of native grasses, wildflowers, and shrubs. The seed mix shall be approved by the National Park Service and City's Open Space Division prior to planting.
- 8) Organic and/or inorganic materials shall be used on the turf areas to maximize water retention in the soil and improve the health of the turf.
- 9) Golf course water components/hazards will provide opportunities for wildlife habitat.
- 10) There shall be a natural area buffer between both the golf course and proposed subdivisions and the Petroglyph Monument to minimize visual impacts by Monument users.

### CLUBHOUSE/MAINTENANCE

A clubhouse of 15,000 square feet maximum will be provided and include but not limited to a restaurant, sales, maintenance, and cart storage facilities. A maintenance building of a maximum of 8000 square feet with an adjacent landscaped and appropriately fenced storage yard including storage bins for sand, gravel and aggregate, fuel tanks, and other related equipment will also be provided. Site Plan for Building Permit requests will be made for these facilities in another submittal.

### Storage/Refuse

- 1) No refuse storage/collection area will be allowed to be sited between any street or building front. Refuse collection areas shall be enclosed within a six (6) foot tall masonry enclosure which is large enough to contain all refuse generated between collections. The design of the enclosure shall be compatible with the architectural theme of the site.

### Parking Lot and Building Exterior Lighting

See page 79, WMP.

- 1) Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- 2) Special paving treatment (6' wide minimum) shall be provided where perimeter sidewalks cross vehicular entrances and at locations within the site where pedestrian pathways cross major drive aisles.
- 3) Convenient pedestrian connections between adjacent buildings from each building to the internal road system and to the adjacent street are required.

### Parking Lot Streetscape

See page 83, WMP.

## MISCELLANEOUS

### ENERGY & ENVIRONMENT

Responsible design with energy conservation included will help to achieve energy conservation goals and will contribute to the sustainability of the community. Good planning is essential in minimizing energy use and waste. The following are just a few factors that homeowners are encouraged to consider in planning every new residence:

- 1) Orient the home so that its patios, courtyards and windows take maximum advantage of the sun's heat in winter.
- 2) Protect all glass areas exposed in summer with deep recesses, overhangs or other devices to minimize heat gain.
- 3) Properly distribute areas of thermal mass and properly locate high resistance insulation to help stabilize the mean radiant temperature of the building interior.
- 4) Consider the advantages and disadvantages of prevailing breezes.
- 5) Shading through landscaping should be maximized for summertime cooling.

### Preserving Air and Visual Quality

Albuquerque is subject to thermal inversions which can contribute to a degradation of air quality. A primary goal at Petroglyph Golf Resort is to maintain the highest standards for air quality. For this reason, certain provisions shall apply to the construction of fireplaces or solid fuel burning devices within Petroglyph Golf Resort.

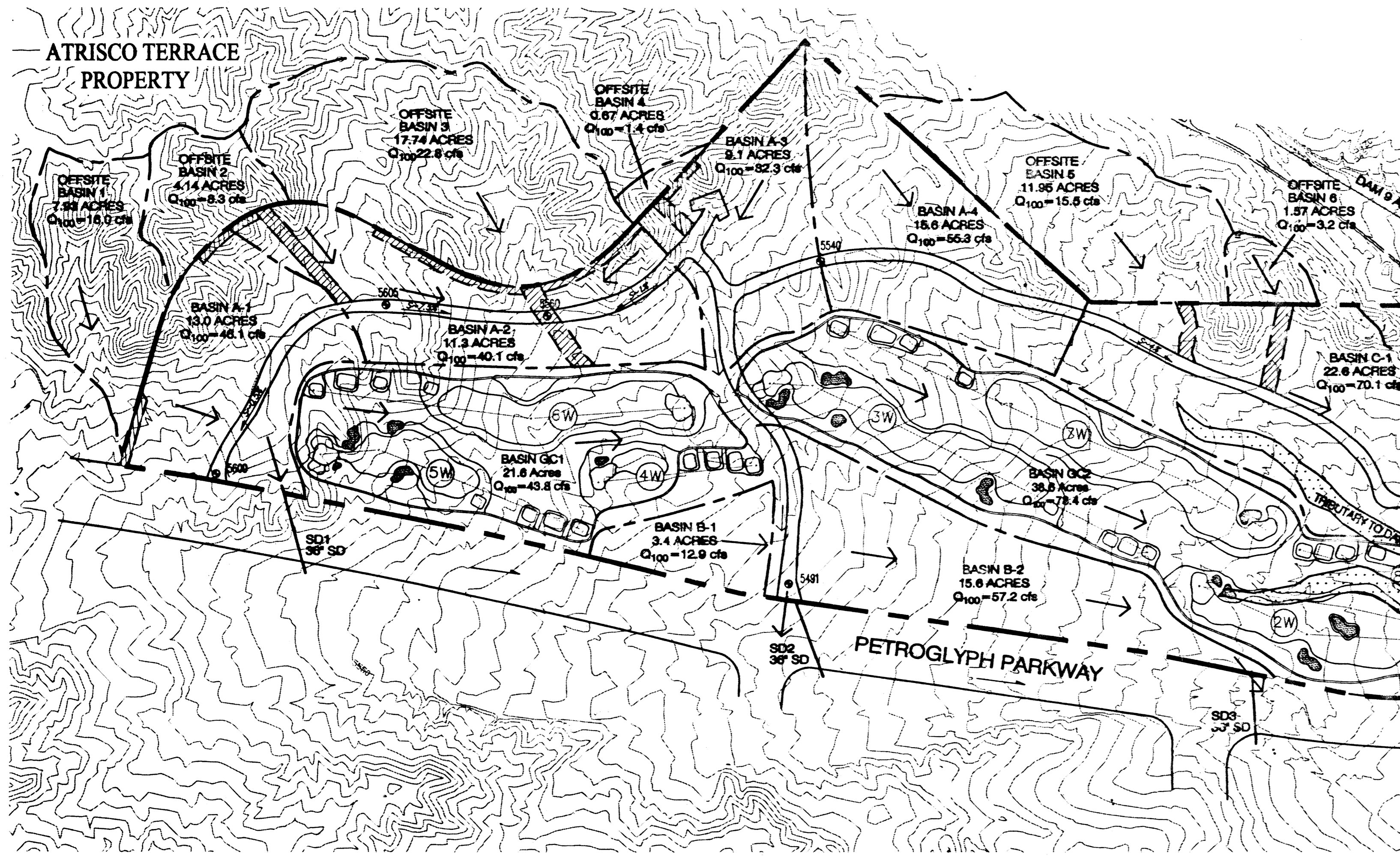
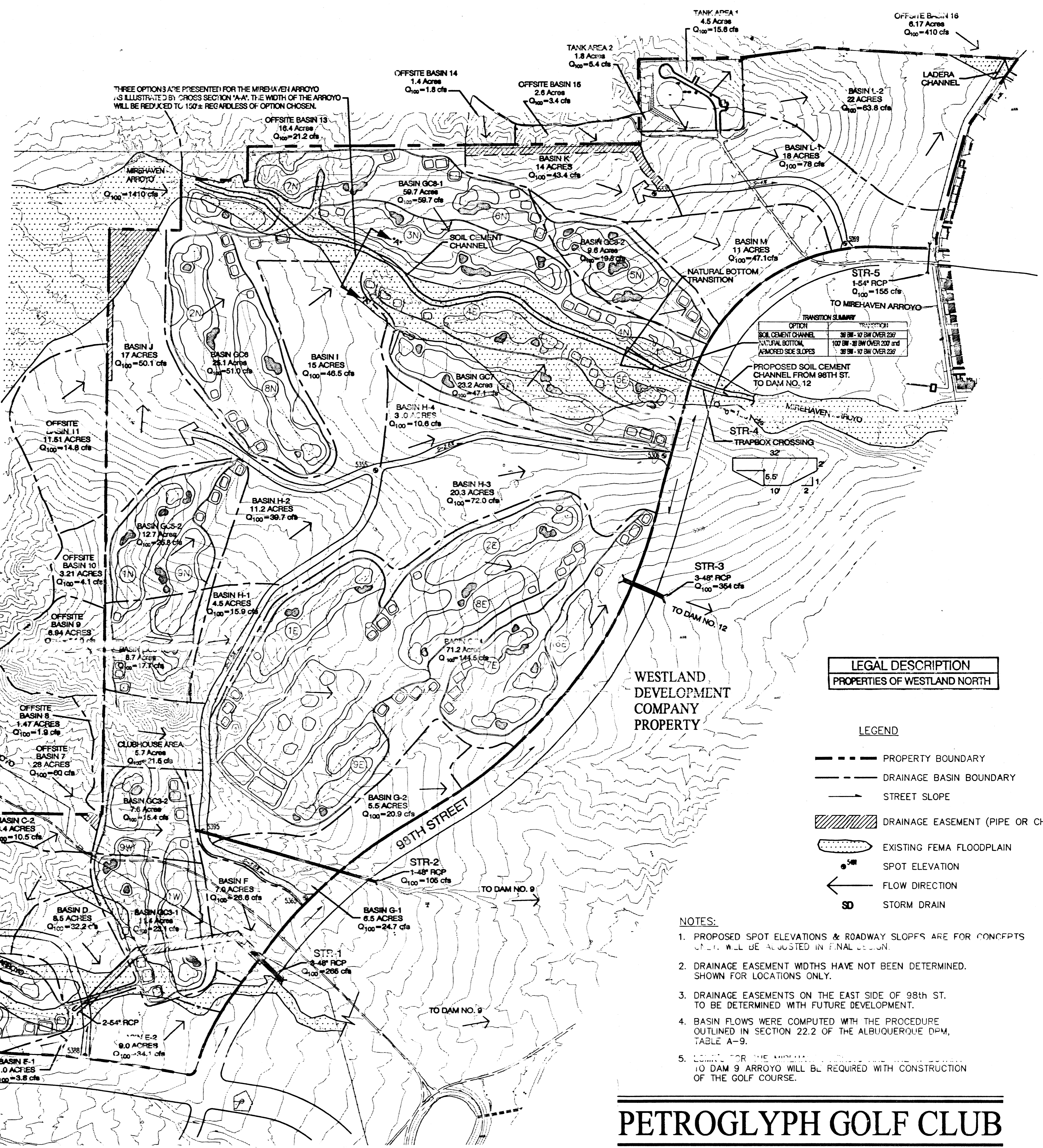
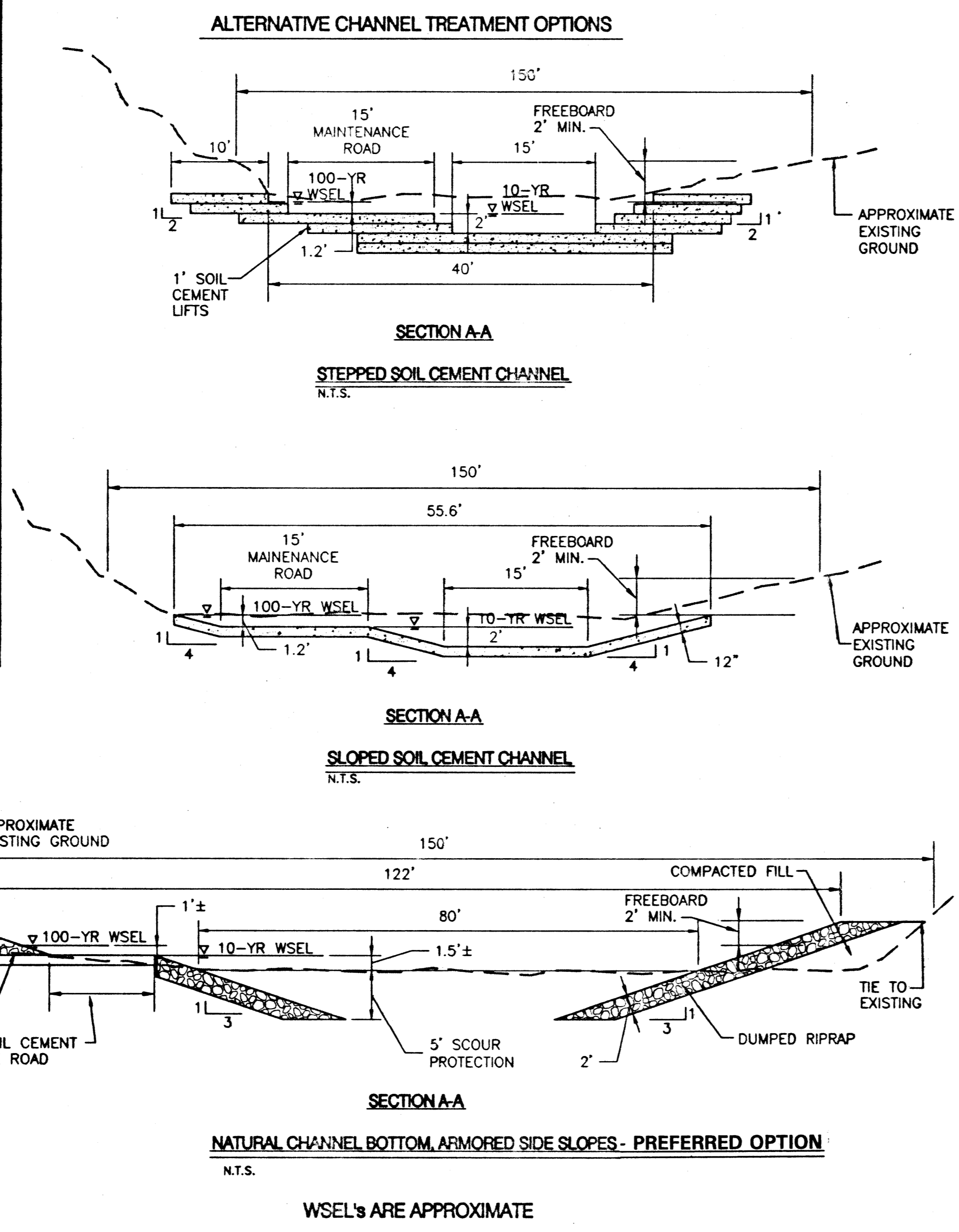
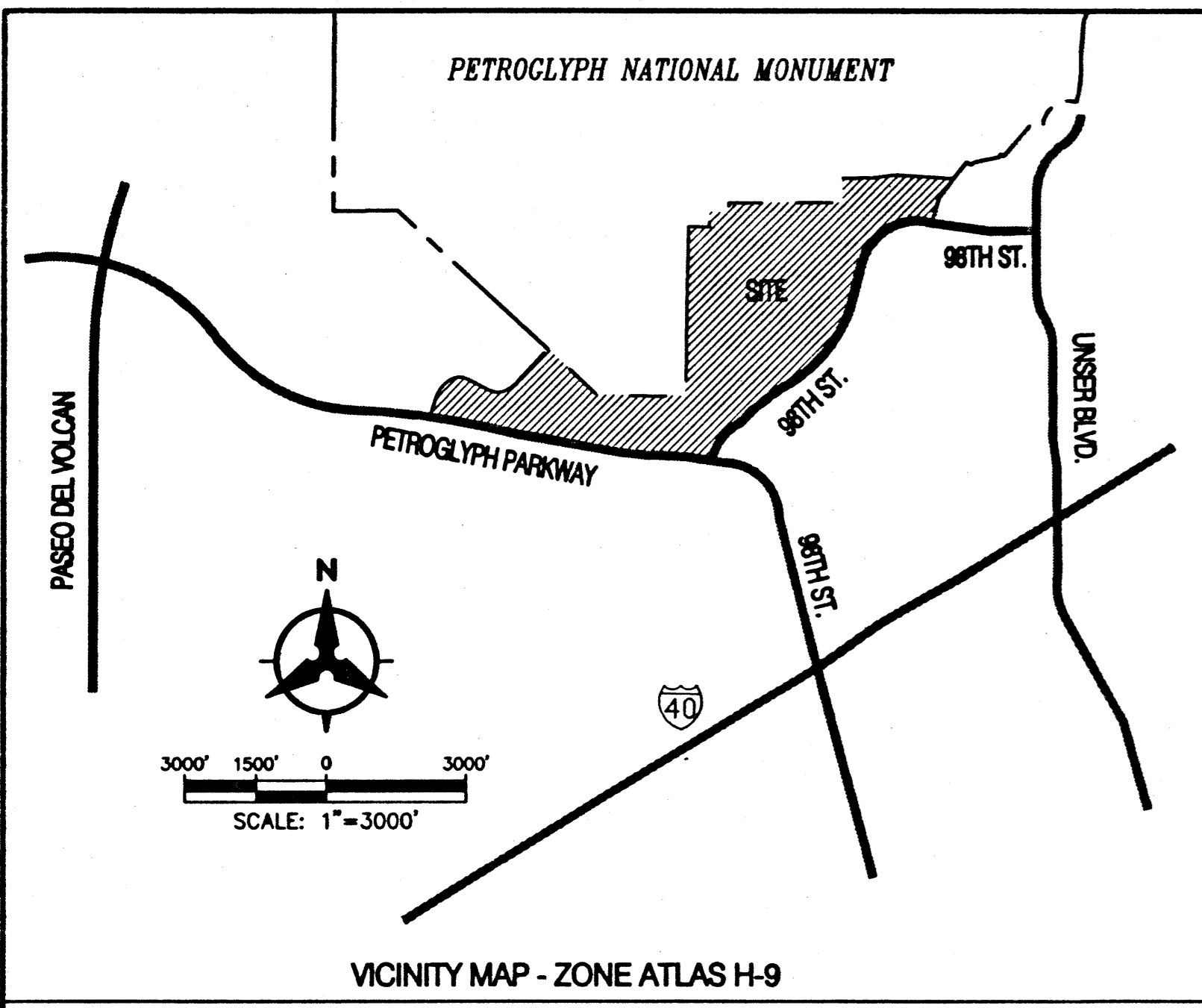
- 1) Homes in Petroglyph Golf Resort are limited to having EPA approved wood burning fireplaces, other EPA approved wood burning devices, or natural gas fireplaces.

# PETROGLYPH GOLF CLUB

## SITE PLAN FOR SUBDIVISION

Prepared for: Westland Development Company  
Mesa Golf, Inc.

Prepared by: Arthur Schaupter Golf Course Architects  
Consensus Planning, Inc.  
Bohannon-Huston, Inc.



LEGAL DESCRIPTION  
PROPERTIES OF WESTLAND NORTH

- LEGEND
- PROPERTY BOUNDARY
  - - - DRAINAGE BASIN BOUNDARY
  - - - STREET SLOPE
  - ▨ DRAINAGE EASEMENT (PIPE OR CHANNEL)
  - EXISTING FEMA FLOODPLAIN
  - SPOT ELEVATION
  - FLOW DIRECTION
  - SD STORM DRAIN

- NOTES:
1. PROPOSED SPOT ELEVATIONS & ROADWAY SLOPES ARE FOR CONCEPTS ONLY. WILL BE ADJUSTED IN FINAL DESIGN.
  2. DRAINAGE EASEMENT WIDTHS HAVE NOT BEEN DETERMINED. SHOWN FOR LOCATIONS ONLY.
  3. DRAINAGE EASEMENTS ON THE EAST SIDE OF 98TH ST. TO BE DETERMINED WITH FUTURE DEVELOPMENT.
  4. BASIN FLOWS WERE COMPUTED WITH THE PROCEDURE OUTLINED IN SECTION 22.2 OF THE ALBUQUERQUE DPM, TABLE A-9.
  5. CONSTRUCTION FOR THE MIREHAVEN ARROYO WILL BE REQUIRED WITH CONSTRUCTION OF THE GOLF COURSE.

# PETROGLYPH GOLF CLUB

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Bohannon-Huston, Inc.

Conceptual Drainage Plan

# CONCEPTUAL DRAINAGE PLAN

Bohannon-Huston  
Engineers, Planners, Photogrammetrists, Surveyors, Software Developers  
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS' STAMP  
ARTHUR SCHAUPETER  
CONSensus PLANNING, INC.  
BOHANNON-HUSTON, INC.  
5/17/00

