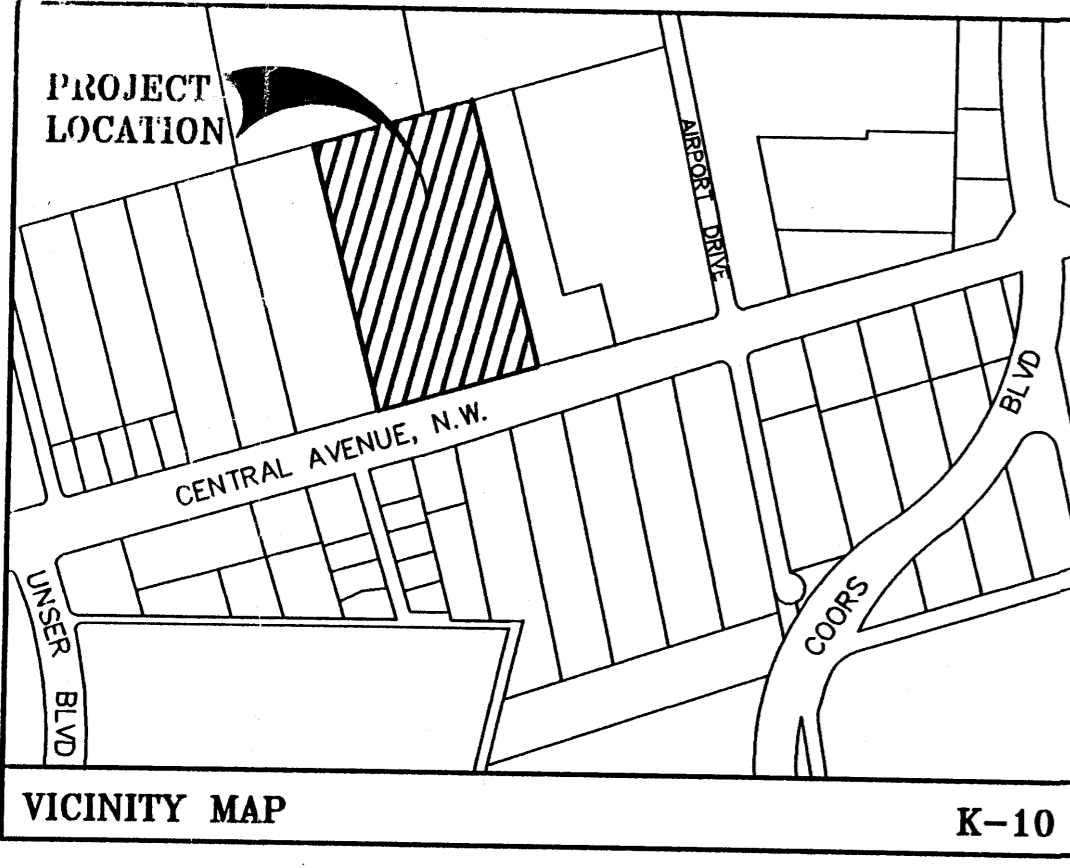


Original 1000418

GRADING AND DRAINAGE PLAN TRACTS A, B, & C LANDS OF VICTORY LOVE FELLOWSHIP CHURCH



- LEGEND:
- 51.0 EXISTING SPOT ELEVATION
 - 51.00 NEW SPOT ELEVATION
 - 51- - - - EXISTING CONTOUR
 - 51- - - - NEW CONTOUR
 - 51.0 ✓ VERIFIED ELEVATION
 - 51.0 AS BUILT ELEVATION
 - BASIN BOUNDARY
 - PROPERTY LINE
 - FL FLOW LINE
 - GND GROUND
 - INV INVERT
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TS TOP OF CONCRETE SLAB
 - TW TOP OF WALL
 - TBM TEMPORARY BENCH MARK

ADDRESS:
7201 CENTRAL AVENUE, N.W.

LEGAL DESCRIPTION:
TRACTS A, B & C,
LANDS OF VICTORY LOVE FELLOWSHIP CHURCH
AND JOSEPH BERUMAN, ALBUQUERQUE

BENCH MARK:
BENCHMARK IS AN A.C.S. STATION 1-K9 LOCATED
IN THE B200 BLOCK OF WEST CENTRAL AVENUE, AT THE
S.E. CORNER OF "JOE DIETMEIER STOCK TRAILERS,"
AN "X CUT ON NORTH BONNET BOLT OF FIRE HYDRANT
ELEVATION = 5108.194 FEET (M.S.L.D.)

PROJ 1000418

THE FOLLOWING ITEMS CONCERNING THE TRACTS A, B, AND C LANDS OF VICTORY LOVE FELLOWSHIP CHURCH & JOSEPH G BERUMAN GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED AT 7201 CENTRAL AVENUE NW. THE SITE IS DEVELOPED.

AS SHOWN BY PANEL 27 OF 50 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOR INSURANCE RATE MAP FOR THE CITY OF ALBUQUERQUE, NM, THIS SITE DOES FALL WITHIN A FLOOD HAZARD ZONE DESIGNATION "A2". ALL EXISTING FINISH FLOOR HEIGHTS ARE OVER 2 FT ABOVE THE FLOOD ELEVATION OF 5092 FT. THE NEW BUILDING FINISH FLOOR IS SET AT 5295.5, WHILE THE SITE DOES FALL WITHIN THE FLOOD HAZARD ZONE, THE PROPOSED IMPROVES DO NOT FALL WITHIN THE FLOOD HAZARD ZONE.

THE GRADING PLAN SHOWS:

1. THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
2. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
3. THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
4. THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE EXISTING SITE SLOPE FROM NORTH TO SOUTH AT AN APPROXIMATE SLOPE OF 1%. THE SITE IS DIVIDED INTO (3) DRAINAGE BASINS, BASINS FP AND MP ALONG THE EAST PROPERTY LINE DRAIN TO AN EXISTING POND ON THE SOUTH PROPERTY LINE IN BASIN FP. BASIN E (THE WEST HALF OF THE SITE) DRAINS TO AN EXISTING POND ALONG THE SOUTH PROPERTY LINE.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW OFFICE BUILDING TO BE CONSTRUCTED ON THE NORTHWEST CORNER OF THE EXISTING ASPHALT PARKING LOT IN BASIN E. THEREFORE, THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE VOLUME OR RATE OF DISCHARGE FROM THE SITE. THE PROPOSED IMPROVEMENTS WILL NOT EFFECT BASINS FP AND MP.

CALCULATIONS
PRECIPITATION ZONE = 1
TOTAL SITE AREA = 14.57 ACRES

BASIN E
AREA = 8.71 ACRES
EXISTING CONDITIONS
LAND TREATMENT B=15% D=85%
E = 0.67(0.15)+1.97(0.85) = 1.77 INCHES
V = 1.77 (8.71) / 12 = 1.287 ACRE FEET
Q = [2.03 (0.15)+4.37 (0.85)] (8.71) = 35.0 CFS

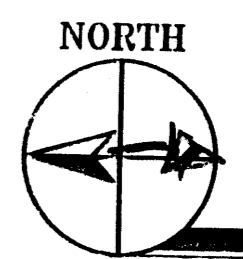
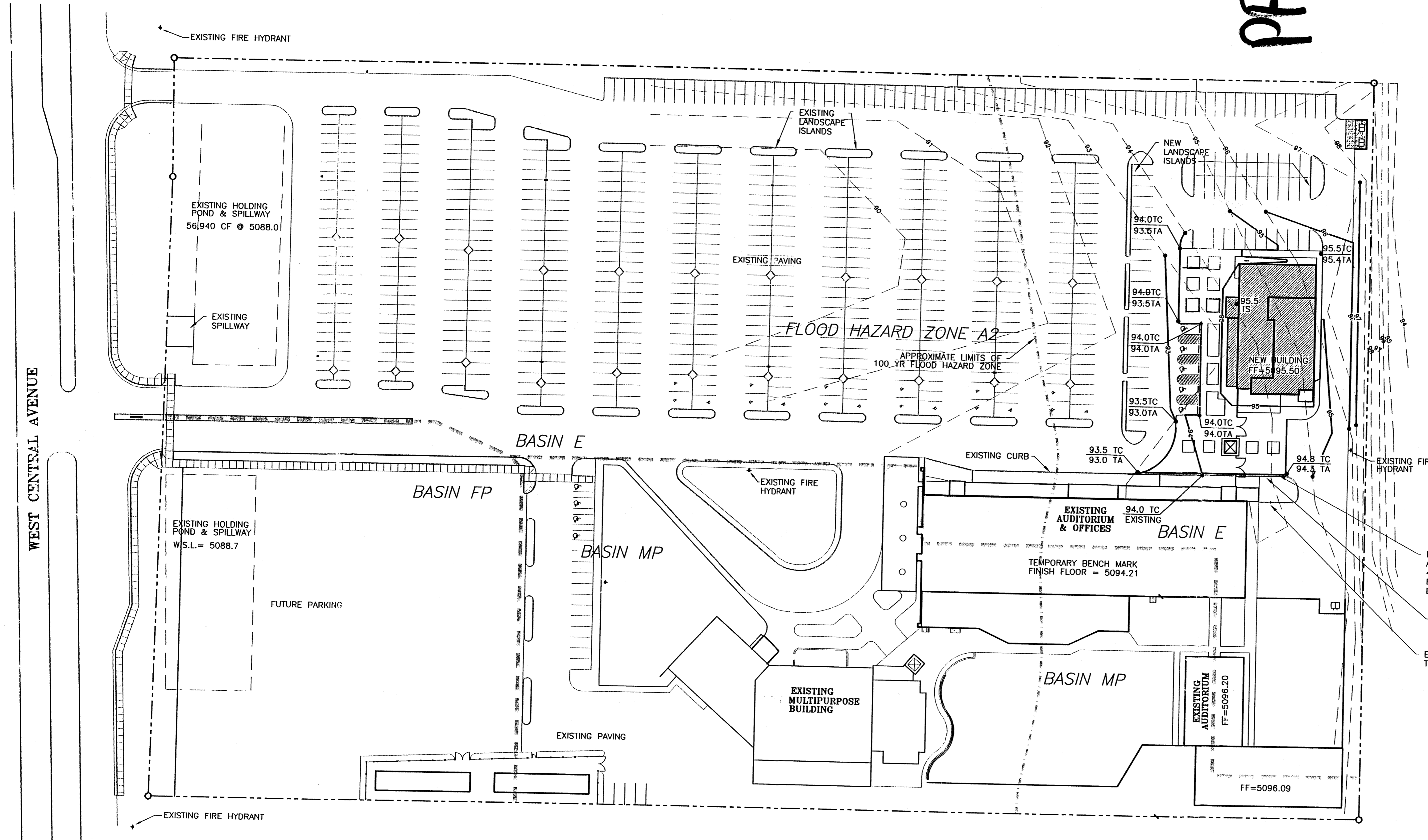
DEVELOPED CONDITIONS
LAND TREATMENT B=15% D=85%
E = 0.67(0.15)+1.97(0.85) = 1.77 INCHES
V = 1.77 (8.71) / 12 = 1.287 ACRE FEET
Q = [2.03 (0.15)+4.37 (0.85)] (8.71) = 35.0 CFS
INCREASE IN VOLUME OF RUNOFF = 0 ACRE FT
INCREASE IN RATE OF RUNOFF = 0 CFS

BASIN FP
AREA = 2.32 ACRES
EXISTING CONDITIONS
LAND TREATMENT B=18% D=82%
E = 0.67(0.18)+1.97(0.82) = 1.74 INCHES
V = 1.74 (2.32) / 12 = 0.336 ACRE FEET
Q = [2.03 (0.18)+4.37 (0.82)] (2.32) = 9.2 CFS

NO CHANGE

BASIN MP
AREA = 3.54 ACRES
EXISTING CONDITIONS
LAND TREATMENT B=32% D=68%
E = 0.67(0.32)+1.97(0.68) = 1.56 INCHES
V = 1.56 (3.54) / 12 = 0.460 ACRE FEET
Q = [2.03 (0.32)+4.37 (0.68)] (3.54) = 13.0 CFS

NO CHANGE



GRADING & DRAINAGE PLAN

MARCH 31, 2000 SCALE 1" = 50'-0"

CLAUDIO VIGIL ARCHITECTS

VICTORY LOVE FELLOWSHIP CHURCH
NEW OFFICE BUILDING
7201 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO

EXISTING AUDITORIUM FF=5096.20

EXISTING AUDITORIUM FF=5096.09

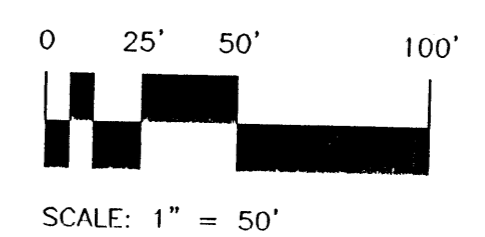
TEMPORARY BENCH MARK FINISH FLOOR = 5094.21

NEW BUILDING FF=5295.50

INSTALL TRENCH DRAIN ACO DRAIN III K-100S 4" WIDE 6" DEEP WITH PEDESTRIAN RATED SLOTTED DUCTILE IRON GRATE

NEW CURB CUT 1'-0" WIDE

EXISTING 3" DIA PIPE THRU CURB TO REMAIN

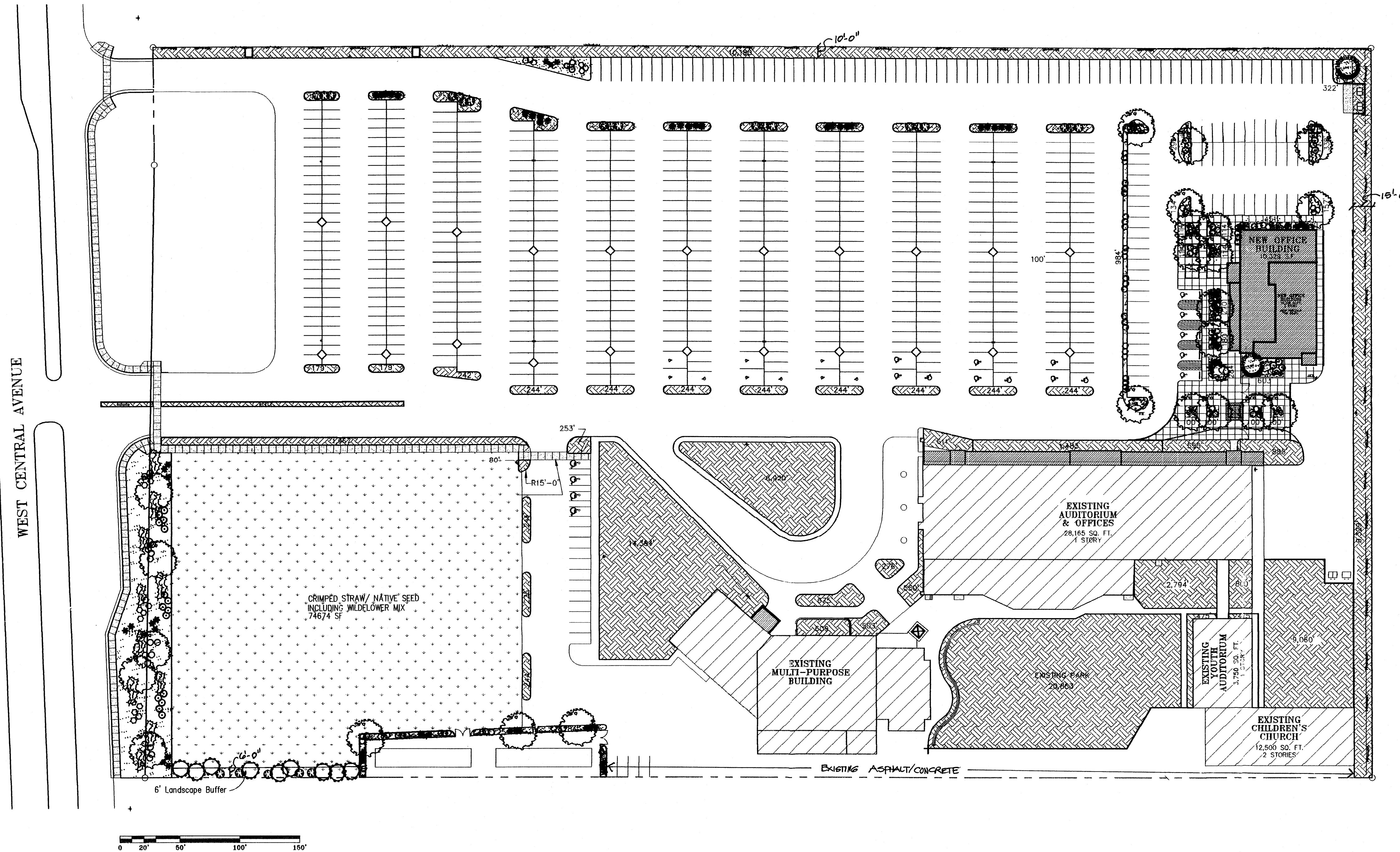


JOHN ARTHUR BLESEN
NEW MEXICO
13481
REGISTERED PROFESSIONAL ENGINEER
5/1/00

SHEET C-1

1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330

I:\Projects\2000\VictoryLove\1000418.dwg P1 Sep 22 11:40



PLANT LEGEND

- ASH (H) OR HONEY LOCUST(H) 24
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- LEYLAND CYPRESS (M) 2
Cupressocyparis leylandii
6"-8"
- DESERT WILLOW (L) 10
Chilopsis linearis
15 gal
- CHAMISA (L) 40
Chrysothamnus nauseosus
1 gal
- MAIDEN GRASS (L) 39
Miscanthus sinensis
5 gal
- TAM JUNIPER (M) 90
Juniperus sabinia
5 gal
- RUSSIAN SAGE (M) 24
Perovskia atriplicifolia
5 gal
- INDIAN HAWTHORN (M) 12
Raphiolepis indica
5 gal
- BLUE MIST (L) 27
Caryopteris x clandonensis
5 gal
- POTENTILLA (M) 46
Potentilla fruticosa
5 gal
- APACHE PLUME (L) 25
Fallugia paradoxa
1 gal
- AUTUMN SAGE (M) 63
Salvia greggii
1 gal
- WILDFLOWER 21
1 gal
- HONEYSUCKLE (M) 174
AGAINST CHAINLINK FENCE (8' ON CENTER)
Lonicera japonica
1 gal
- OVERSIZED GRAVEL & BOULDERS 5
- 3/4" GREY GRAVEL W/ FILTER FABRIC
- EXISTING LANDSCAPE
- COMMERCIAL GRADE STEEL EDGING
- CRIMPED STRAW/ NATIVE SEED INCLUDING WILDFLOWER MIX

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Crushed Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

The undeveloped area shall be seeded with a "native wildflower mix" or similar to promote erosion control and site appearance.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

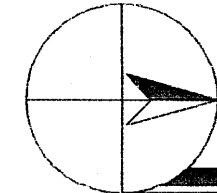
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	631,620	square feet
TOTAL LOT AREA		
TOTAL BUILDINGS AREA	72,832	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	558,788	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	83,818	square feet
TOTAL LANDSCAPE PROVIDED INCLUDING NEW LANDSCAPE	159,943	square feet
TOTAL BED PROVIDED	85,269	square feet
TOTAL NATIVE SEED PROVIDED	74,674	square feet

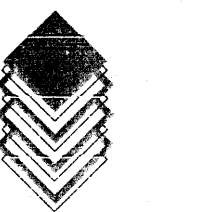
NORTH



LANDSCAPE PLAN

SEPTEMBER 18, 2000

SCALE: 1" = 50'-0"



CLAUDIO VIGIL ARCHITECTS

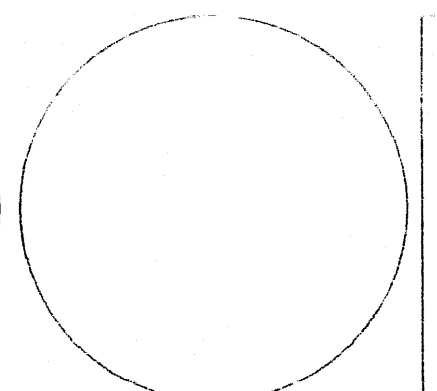
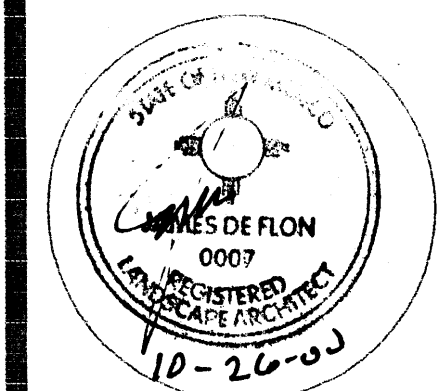
VICTORY LOVE FELLOWSHIP CHURCH

7201 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO

The Hilltop

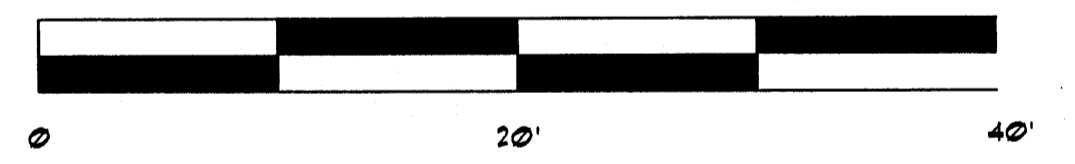
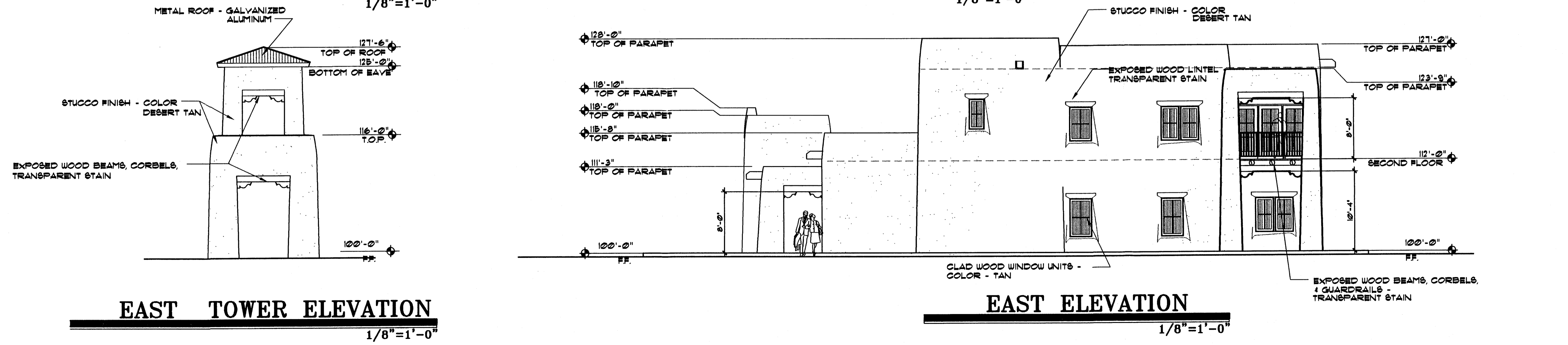
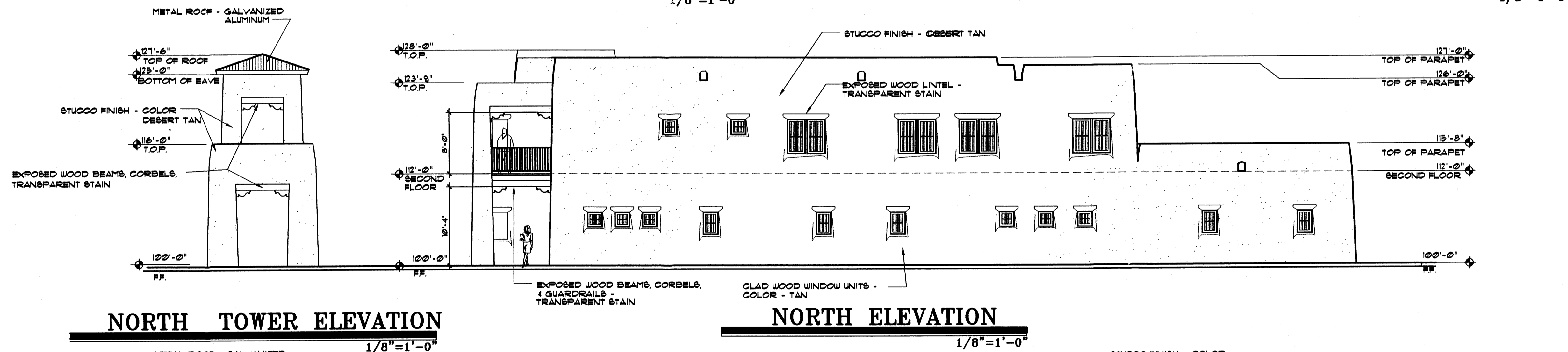
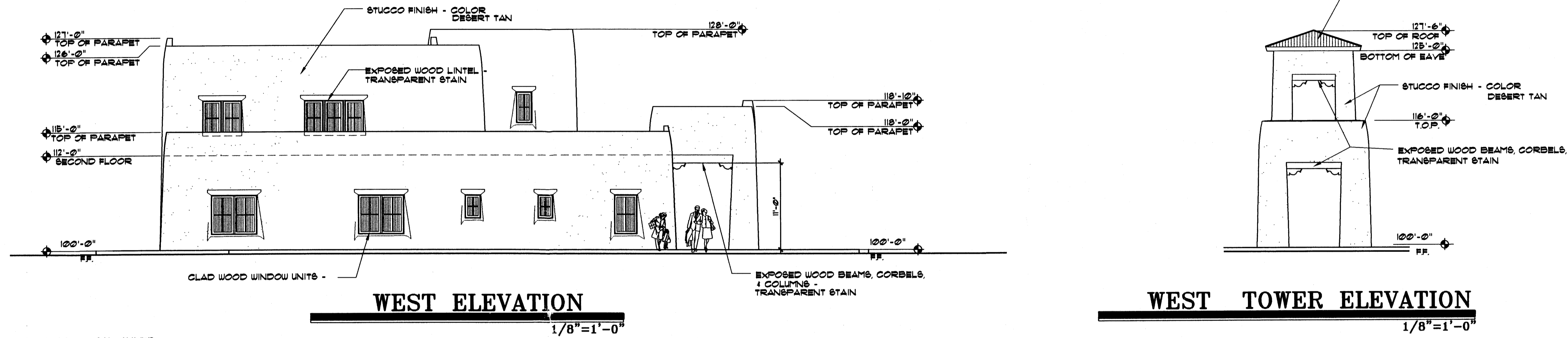
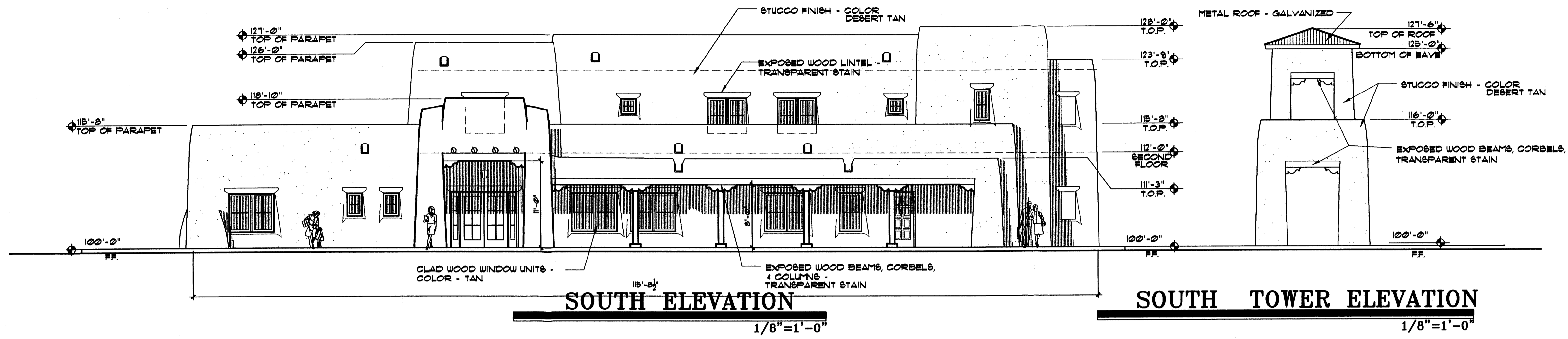
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
th@hilltoplandscaping.com

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.



SHEET

L-1



EXTERIOR ELEVATIONS
AUGUST 8, 2000 1/8"=1'-0"


CLAUDIO VIGIL ARCHITECTS
VICTORY LOVE FELLOWSHIP CHURCH
 NEW OFFICE BUILDING
 7201 CENTRAL AVENUE, N.W.
 ALBUQUERQUE, NEW MEXICO

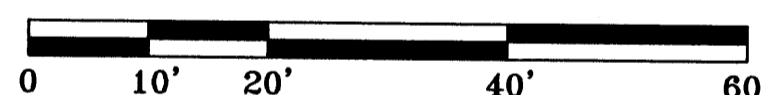
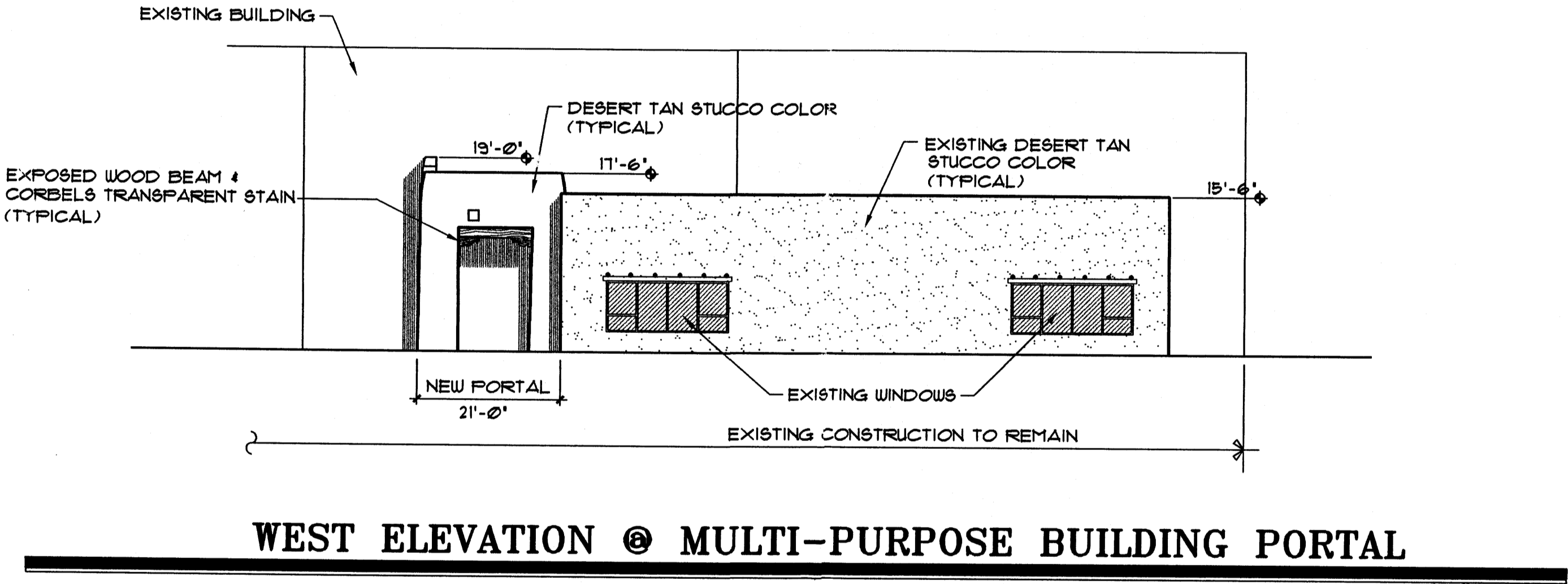
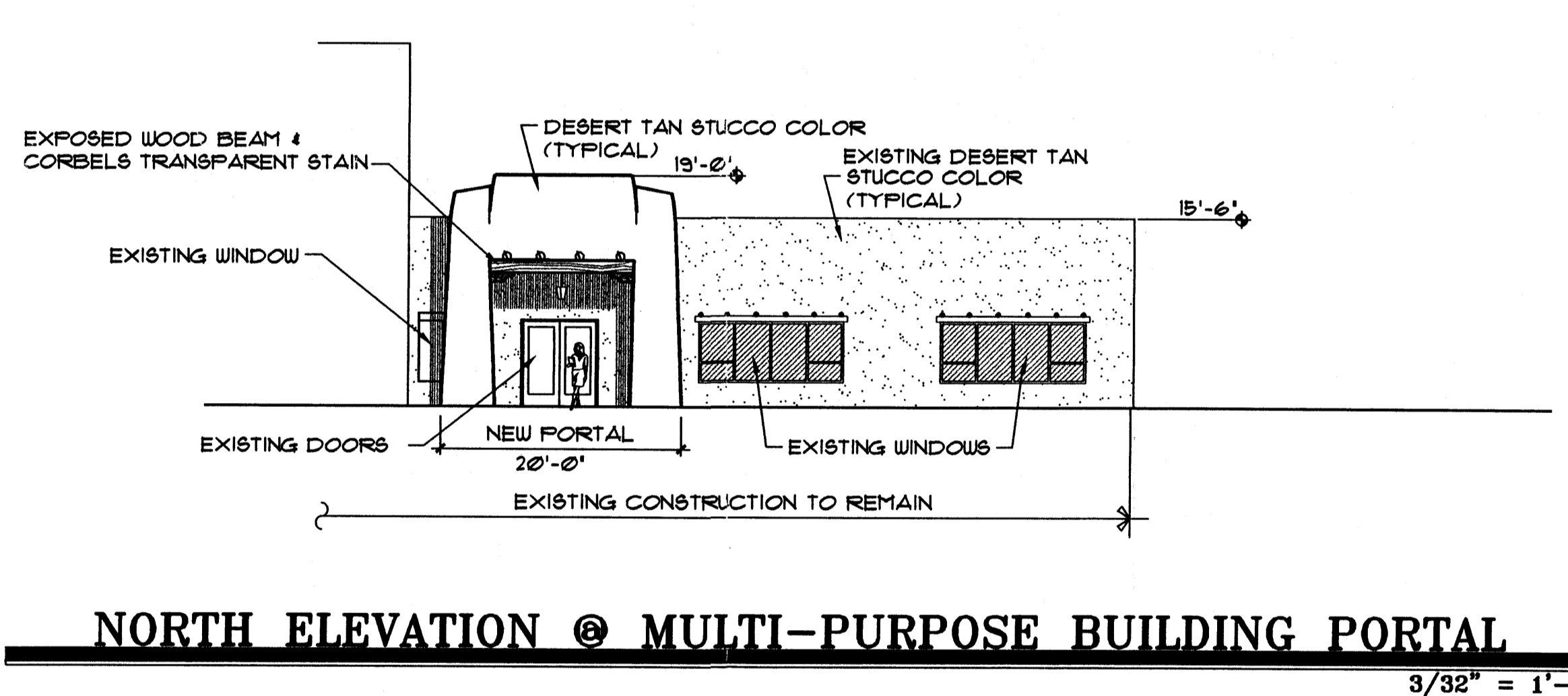
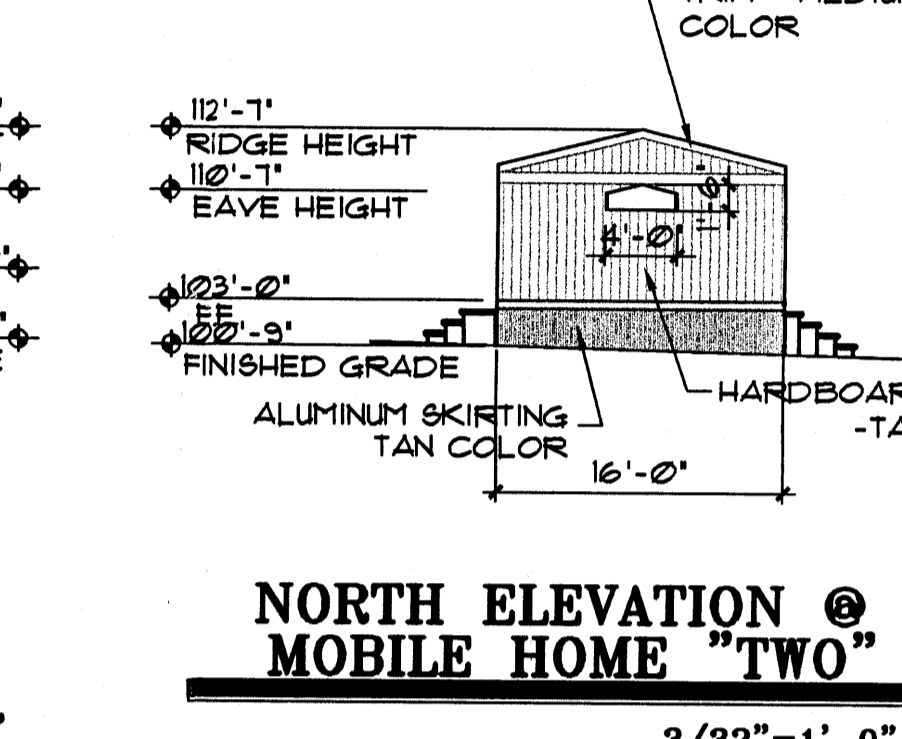
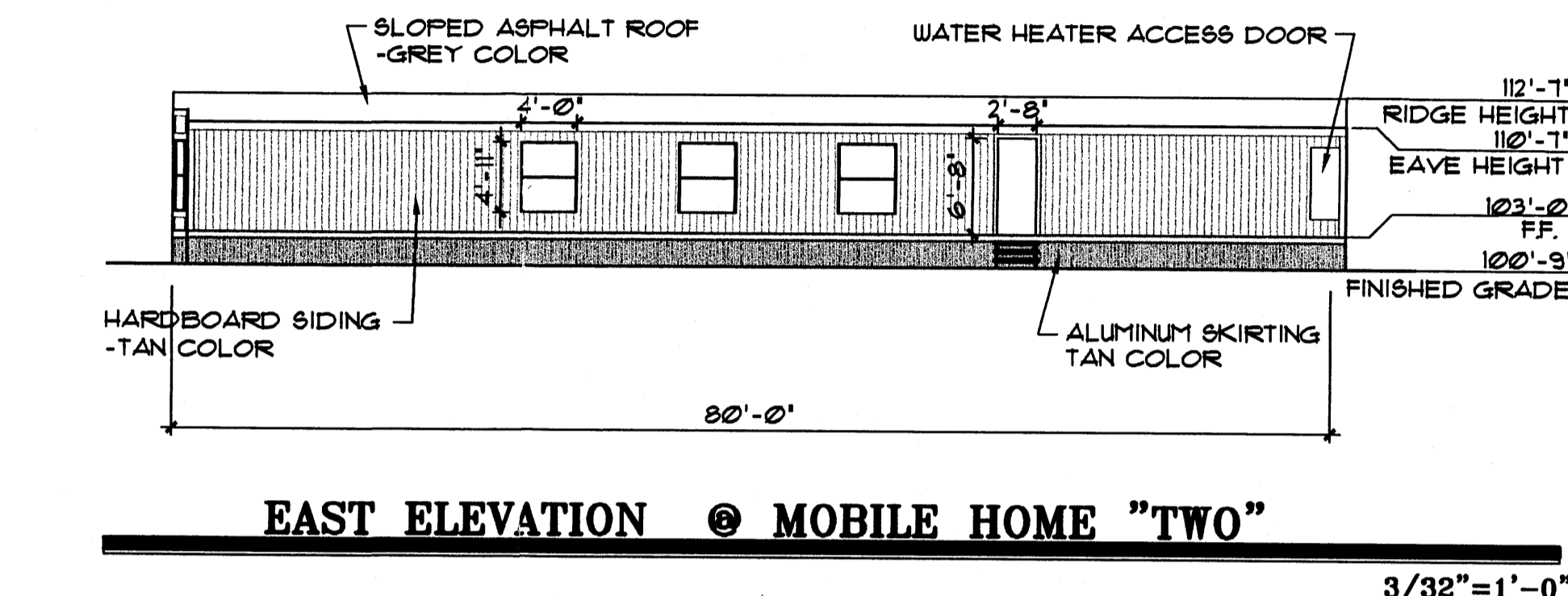
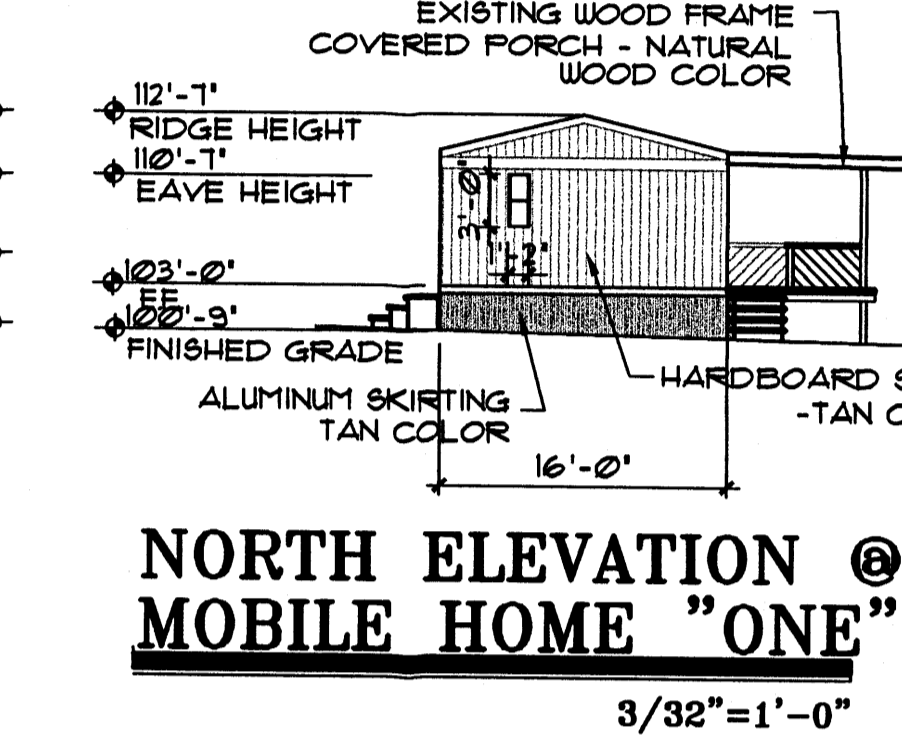
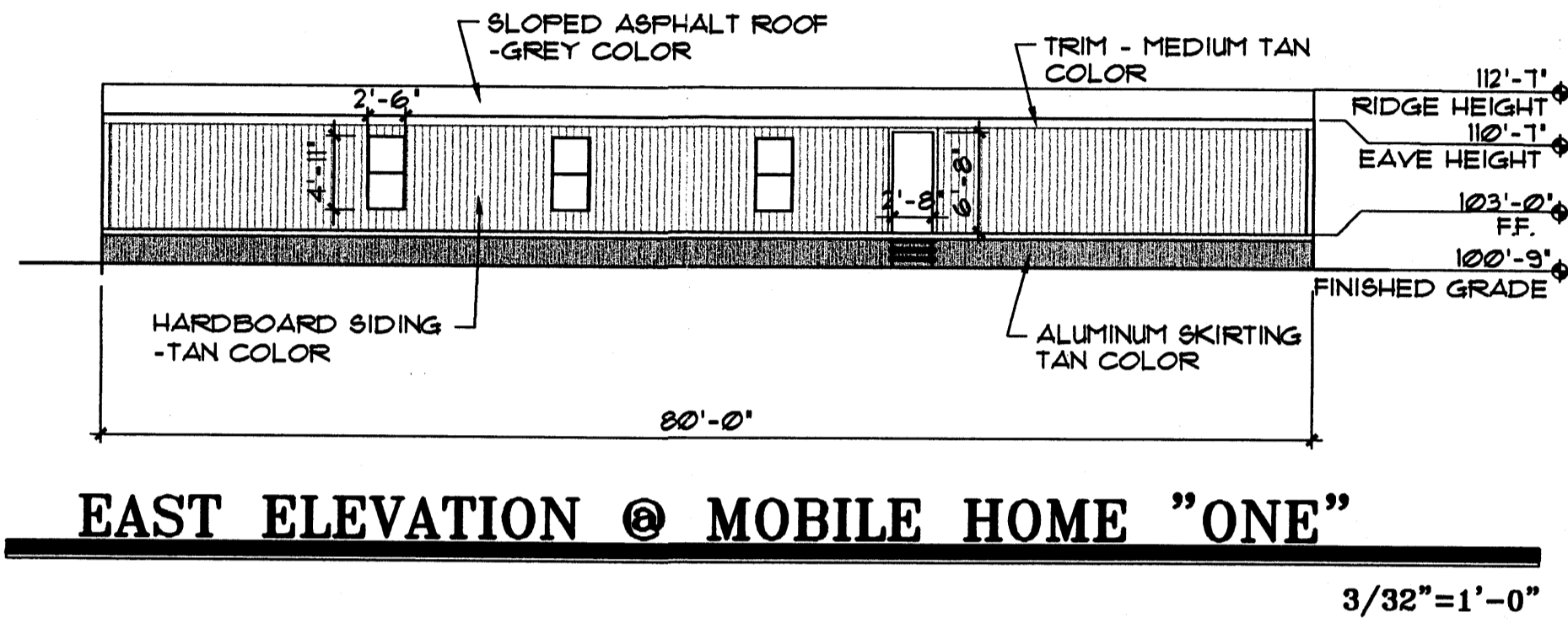
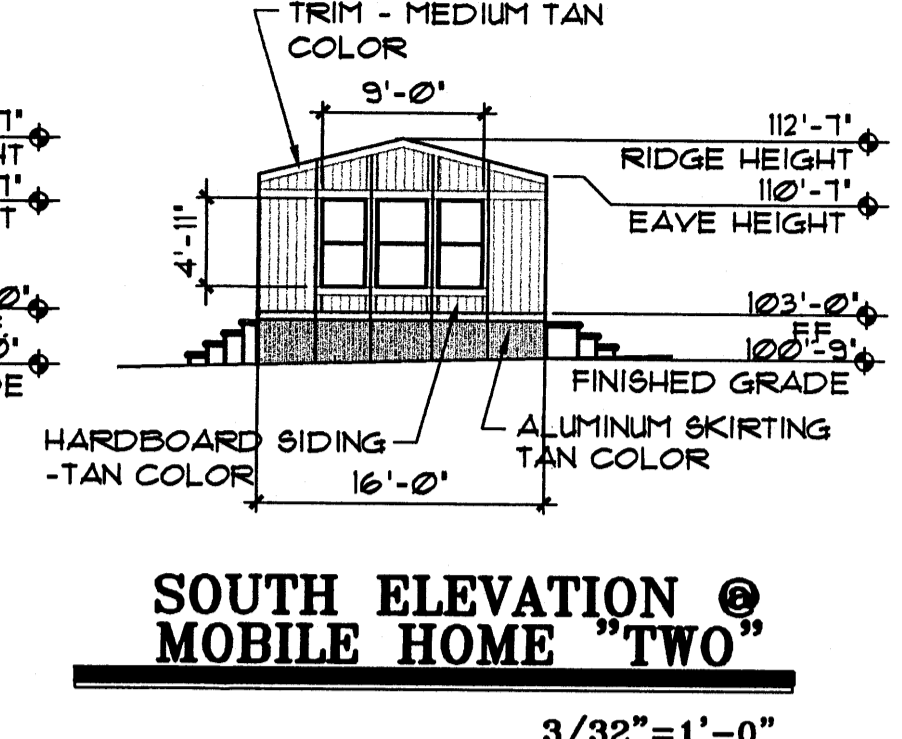
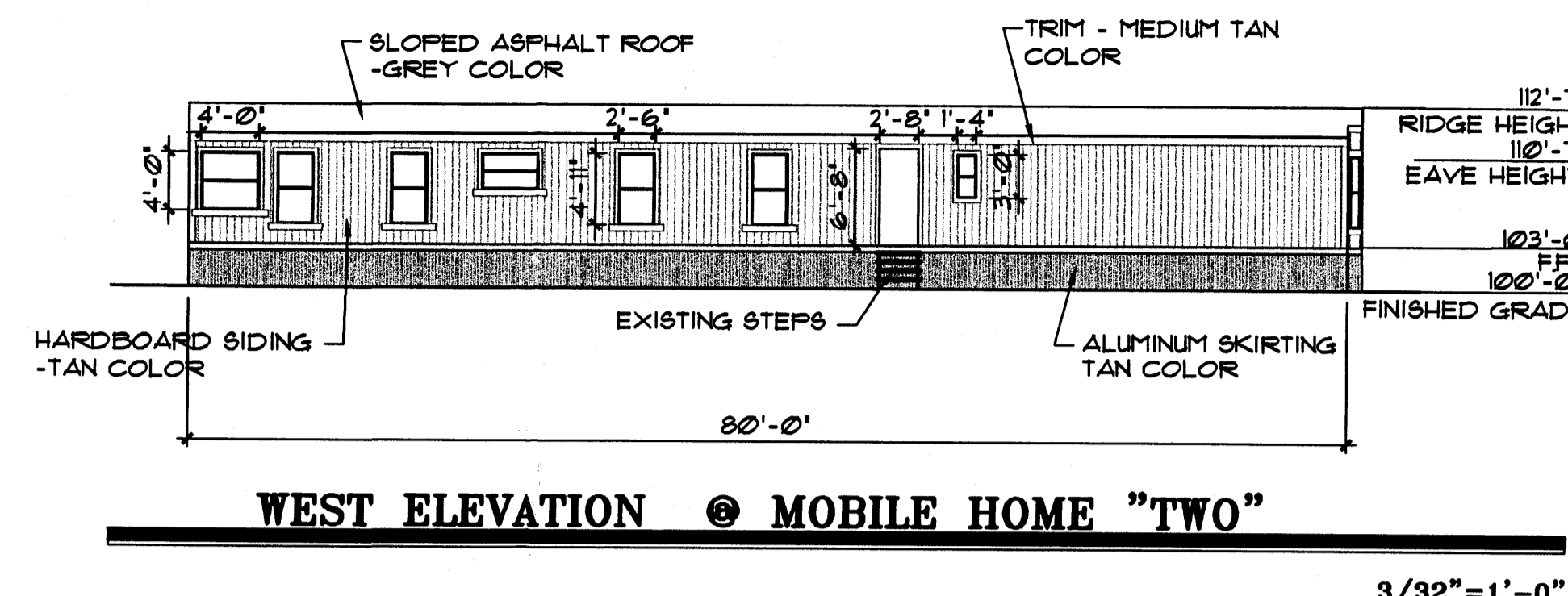
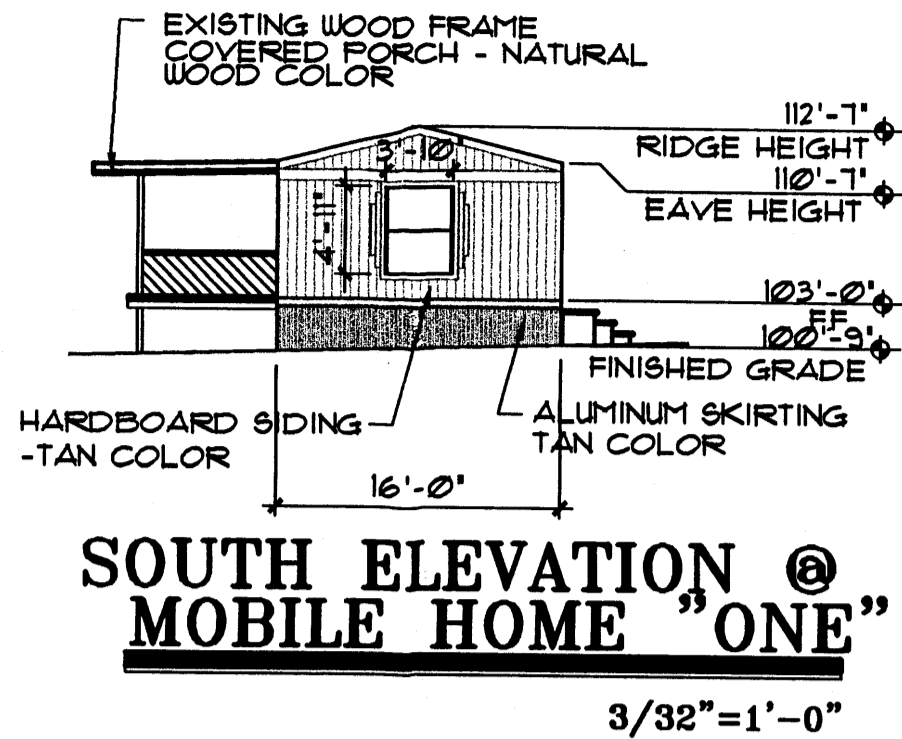
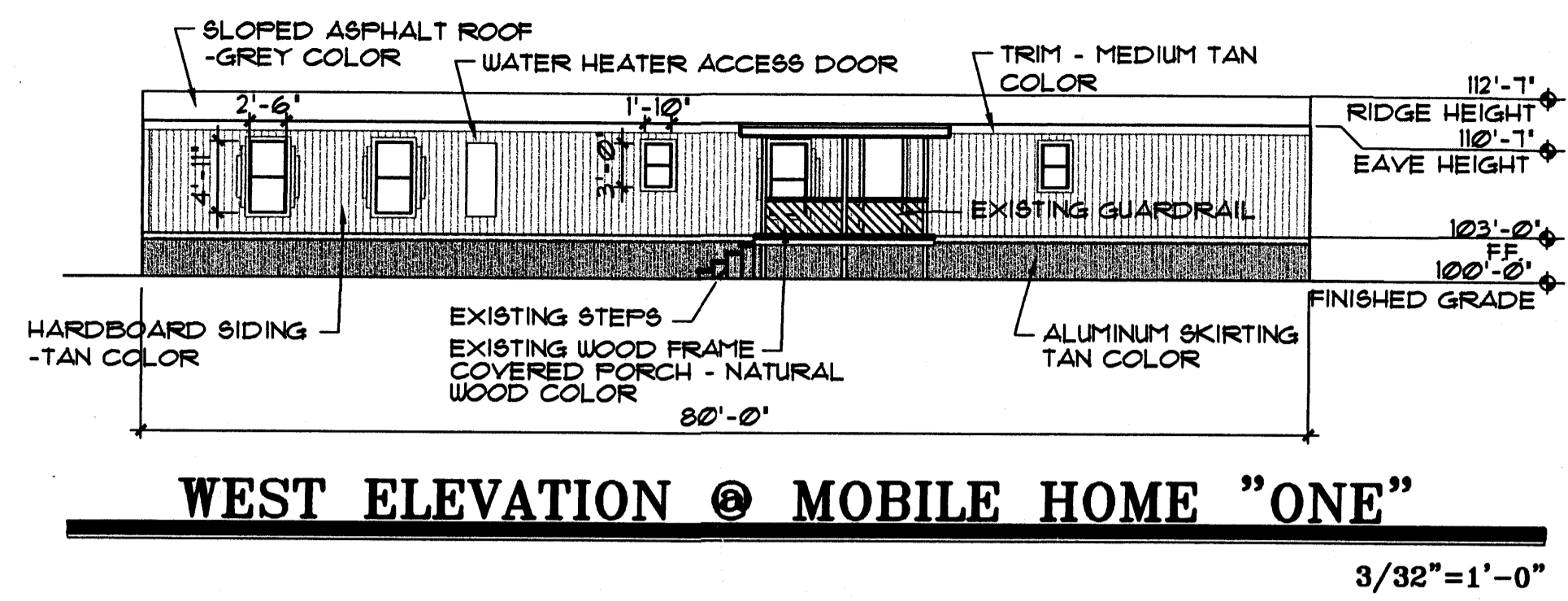

 CLAUDIO VIGIL
 ARCHITECT
 1236



SHEET
A-1

1305 Tijeras NW Albuquerque, NM 87102-2882
 Phone: 505/842-1113 Fax: 505/842-1330

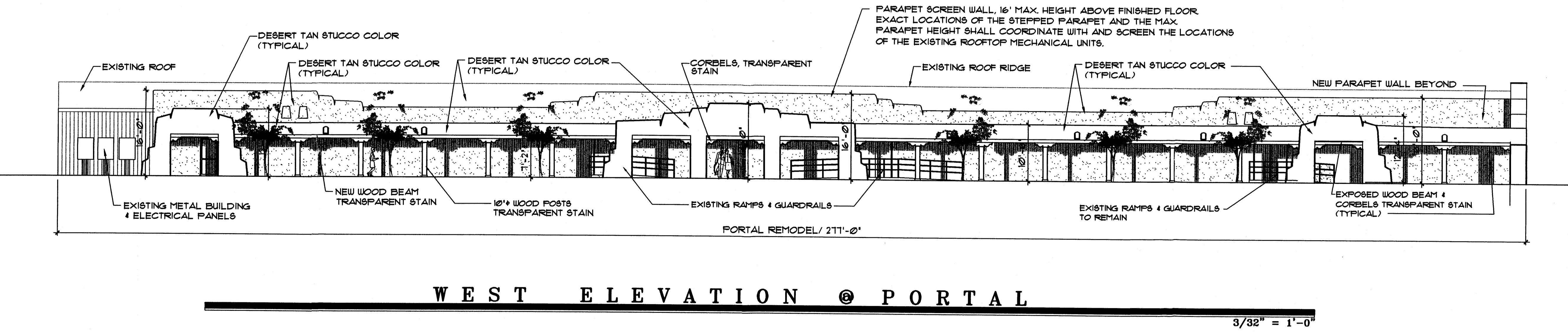
VL-A2-ELEV2.dwg 41100 34946



NORTH ELEVATION @ MULTI-PURPOSE BUILDING PORTAL
3/32" = 1'-0"

WEST ELEVATION @ MULTI-PURPOSE BUILDING PORTAL
3/32" = 1'-0"

REMODELED PORTAL EXTERIOR ELEVATIONS
AUGUST 8, 2000 AS NOTED



WEST ELEVATION @ PORTAL
3/32" = 1'-0"

CLAUDIO VIGIL ARCHITECTS
VICTORY LOVE FELLOWSHIP CHURCH
 NEW OFFICE BUILDING
 7201 CENTRAL AVENUE, N.W.
 ALBUQUERQUE, NEW MEXICO

CLAUDIO VIGIL ARCHITECTS
 1236
 9/22/00

SHEET
A-2

1305 Tijeras NW Albuquerque, NM 87102-2882
 Phone: 505/842-1113 Fax: 505/842-1330

V.L.-PORTAL.dwg 8200 102907