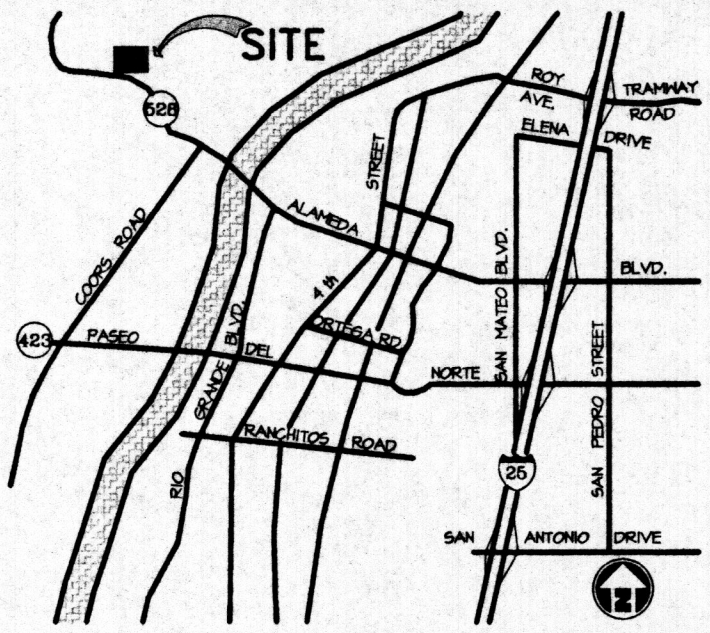


VICINITY MAP



SITE PLAN NOTES

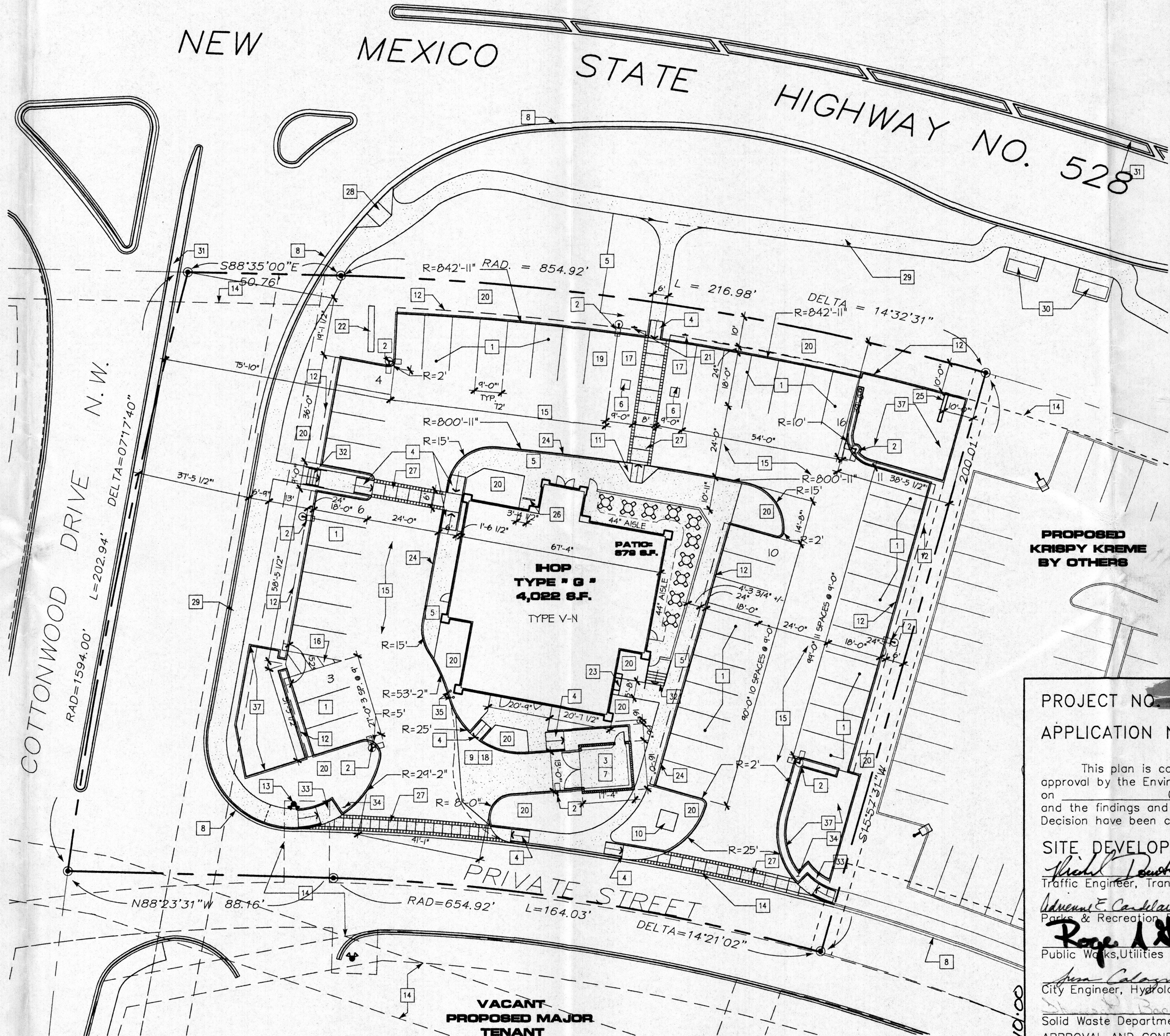
1. PARKING STALLS WITH 4" WIDE WHITE STRIPING.
2. SITE LIGHT TO MATCH SHOPPING CENTER. (WITH 400 WATT METAL HALIDES ON 17'-0" TALL POLE ON 3'-0" CONCRETE BASE)
3. CONCRETE PAD FOR TRASH ENCLOSURE. SEE SOILS REPORT.
4. NEW CONCRETE CURB RAMP.
5. NEW CONCRETE SIDEWALK.
6. PAINTED SYMBOL OF ACCESSIBILITY.
7. CMU TRASH ENCLOSURE. CONSTRUCTION TO COMPLY WITH CITY STANDARDS. PAINT COLOR P-2.
8. EXISTING CURB TO REMAIN.
9. LOADING ZONE.
10. PROPOSED ELECTRICAL TRANSFORMER LOCATION (VERIFY LOCATION).
11. NEW CURB RAMP.
12. LINE OF AUTOMOBILE OVERHANG.
13. NEW FIRE HYDRANT. (115 GPM MIN. FIRE FLOW)
14. UTILITY EASEMENTS.
15. AG PAVING. SEE SOILS REPORT.
16. STRIPED AREA.
17. ACCESSIBLE PARKING STALLS. TYPICAL OF (3).
18. REINFORCED CONCRETE PAD FOR LOADING ZONE. SEE SOILS REPORT.
19. STRIPED PARKING STALL TO ACCOMMODATE 8'-0" WIDE ACCESS AISLE.
20. LANDSCAPE AREA. SEE LANDSCAPE PLANS (L-1)
21. ACCESSIBLE PARKING SIGN. (TYPICAL OF 3)
22. EXISTING MONUMENT SIGN LOCATION.
23. ELECTRICAL SWITCH GEAR CABINET.
24. NEW CURB AND SIDEWALK.
25. NEW MONUMENT SIGN BY OTHERS. SEE DETAIL.
26. BICYCLE RACK. SEE DETAIL.
27. STAMPED PPC CONCRETE CROSSWALK.
28. EXISTING CURB RAMP.
29. EXISTING PUBLIC WALK.
30. EXISTING BUS STOPS.
31. EXISTING TRAFFIC MEDIAN.
32. NEW STAIR AND RAILS.
33. NEW CONCRETE CURVE CURB RAMP.
34. NEW DISABLED ACCESSIBLE SIGN.
35. NEW POLLARDS.
36. EXISTING FIRE HYDRANT.
37. DETENTION POND.

SUMMARY TABLE:

A NEW ONE-STORY PROJECT FREESTANDING BUILDING ALONG WITH SITE IMPROVEMENTS TO ACCOMMODATE AN IHOP RESTAURANT

BUILDING TYPE: TYPE V-N
 OCCUPANCY TYPE: A3/B
 PARKING PROVIDED: 50 ON-SITE.
 TOTAL SITE AREA = 53,161 S.F. (100%)
 TOTAL LANDSCAPE AREA = 10,288 S.F. (19.4%)
 TOTAL BUILDING AREA = 4,022 S.F. (7.6%)
 TOTAL HARDSCAPE AREA = 38,851 S.F. (73.0%)

PARKING SPACES REQUIRED: 1 SPACE FOR EVERY 4 SEATS.
 PARKING REQUIRED = 130 SEATS INSIDE AND 40 SEATS IN PATIO = 170 SEATS / 4 = 42.5 SPACES + 20% = 51 SPACES.
 PARKING PROVIDED = 50 ON-SITE. 46.5 10%



SITE SPECIFIC NOTES

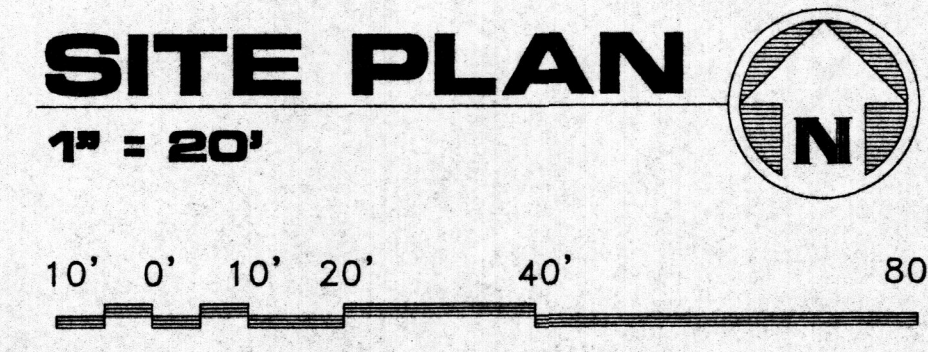
1. LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT FUGITIVE LIGHT.
2. LIGHT LENSES SHALL NOT PROJECT BELOW THE LIGHT SHIELD; LIGHT ELEMENTS SHALL BE HORIZONTALLY MOUNTED.
3. SITE LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS; IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

PROJECT NO. 1000421
 APPLICATION NO. 00430 00000 00946
 00123 00000 00465

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 05/18/2000 and the findings and conditions in the Official Notice; notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Frank Deuch</i> Traffic Engineer, Transportation Division	8-23-00 Date
<i>Adriana E. Carblasia</i> Parks & Recreation Department	8/23/00 Date
<i>Roger A. Deane</i> Public Works, Utilities Development Division	9-7-00 Date
<i>Ann Calogian</i> City Engineer, Hydrology Division / AMAFCA	8-23-00 Date
Solid Waste Department	8-23-00 Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	10/13/00 Date
<i>John S.</i> City Planner	10/13/00 Date



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 AN ARCHITECTURAL CORPORATION

Architect: **Schuss • Clark**
 Seal: _____
 Revisions: _____

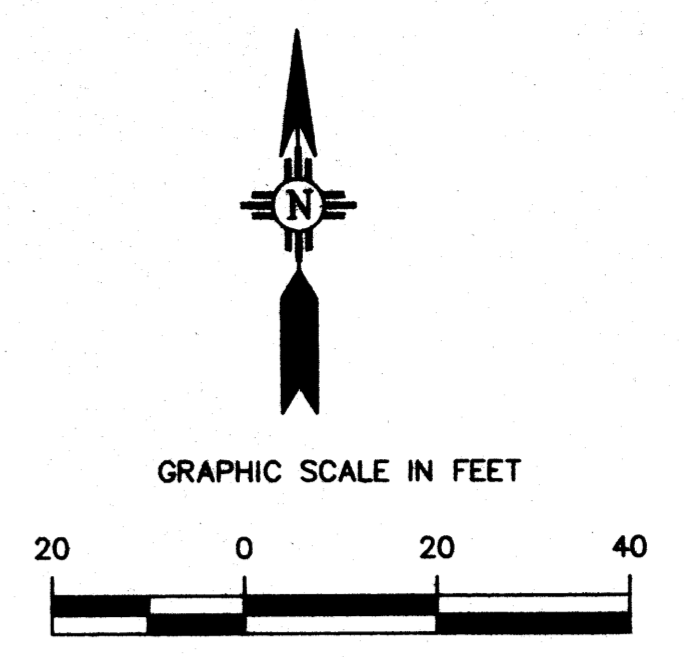
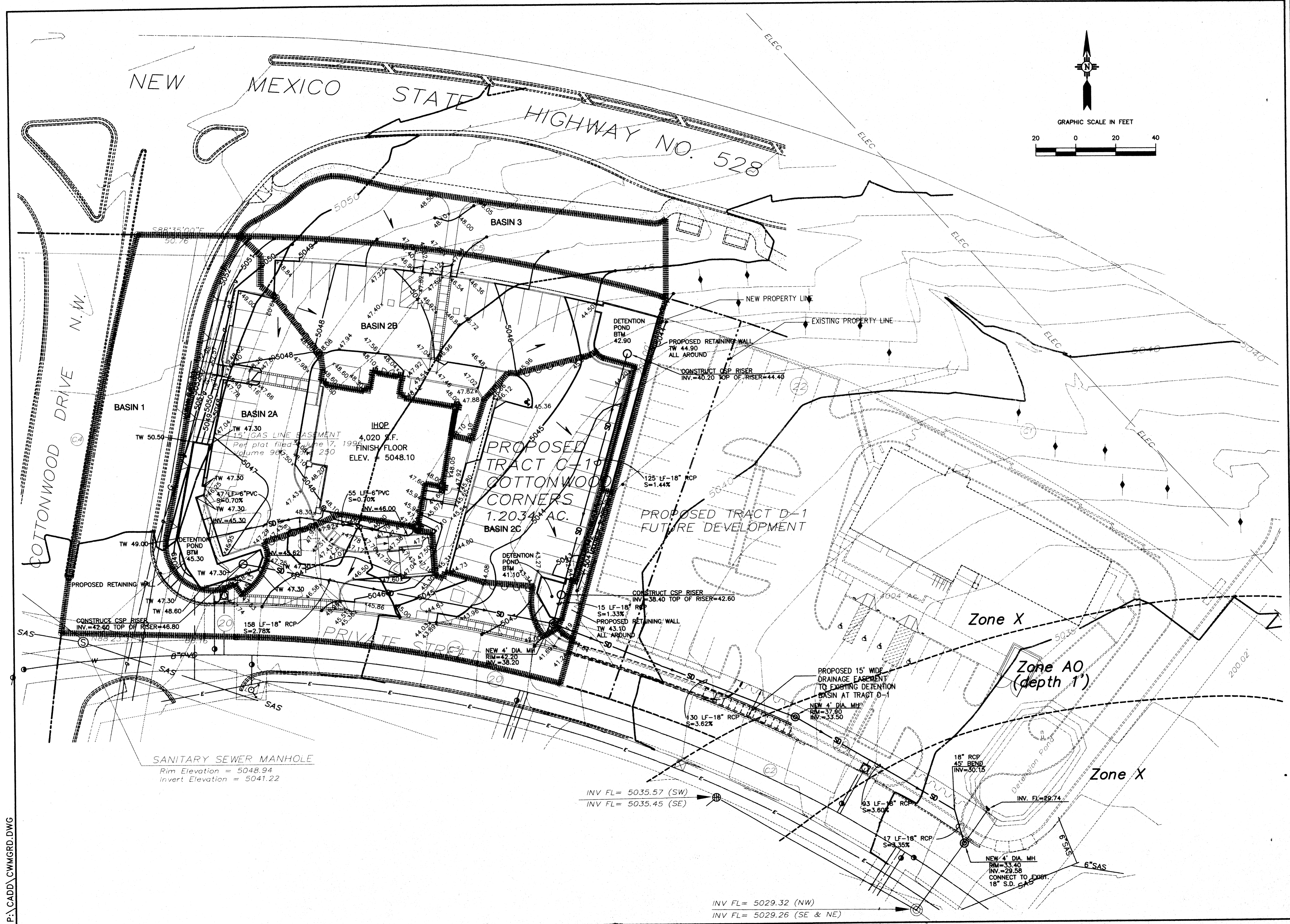
PROJECT NO. 1000421
 APPLICATION NO. 00430 00000 00946
 00123 00000 00465

COTTONWOOD CORNERS
 PAD 6, COTTONWOOD CORNER
 ALBUQUERQUE, NEW MEXICO

SITE PLAN
 Scale: AS NOTED
 Drawn By: MJC
 Checked By: MJC
 Store Number: 9817
 Project Number: 99-240.101
 SD-1

DATE: AUG. 09, 2000. TIME: 3:38 PM

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P:\CADD\CWMGRD.DWG

5971 Jefferson Boulevard, NE, Suite 101
Albuquerque, NM 87109
(505)345-3999, FAX (505)345-8393

Revisions	

COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNERS
ALBUQUERQUE, NEW MEXICO

CONCEPTUAL GRADING & DRAINAGE PLAN

Date	.7-10-00
Scale	AS NOTED
Drawn By	RDJ
Checked By	LSJ
Store Number	
Project Number	99-240.101

G-1

SITE DESCRIPTION

International House of Pancakes (IHOP) is proposing to build a restaurant on proposed Tract C-1 of Cottonwood Corners. Tracts C-1 and D-1 will be created by replatting Tracts C and D of Cottonwood Corners. The replat is pending approval by the City of Albuquerque Development Review Board (DRB 00440-00000-00778). This property is zoned SU-1 for IP Uses per Zone Atlas page A-14-Z.

The proposed 1.2034-acre site is currently undeveloped and surrounded by existing street and utility improvements constructed with the infrastructure for Cottonwood Corners. Cottonwood Corners is a retail development with a mix of rough-graded lots and fully developed lots. Tracts C-1 and D-1 are rough-graded lots currently being processed for development.

DRAINAGE ANALYSIS METHODOLOGY

The Hydrology and Hydraulic Report for Cottonwood Corners Shopping Center (A14-D7) was prepared by EKN Engineering. This Conceptual Grading and Drainage Plan is prepared in accordance with the approved Hydrology and Hydraulic Report for Cottonwood Corners Shopping Center and the City of Albuquerque Development Process Manual, Volume 2, Chapter 22.

COTTONWOOD CORNERS DRAINAGE PLAN

The Hydrology and Hydraulic Report for Cottonwood Corners Shopping Center was prepared in October 1996 by Ebbie Nakhjavani of EKN Engineering. That report designated Basin 106A for the undeveloped, non-paved portion of Tracts C and D of Cottonwood Corners. The planned hydrologic conditions for Basin 106A listed in that report are tabulated below.

BASIN	BASIN AREA (acre)	LAND TREATMENT TYPE				100-YR, 24-HR STORM		
		%A	%B	%C	%D	Q (cfs)	E (in)	V (ac-ft)
106A	2.163	0	10	0	90	8.81	2.25	0.408

Runoff from Basin 106A is captured by the temporary detention pond on Tract D, which controls the discharge to a private storm drain system for Cottonwood Corners. The Hydrology and Hydraulic Report for Cottonwood Corners Shopping Center provides a total allowable release rate of 2.04 cfs from the temporary detention pond to the Cottonwood Corners storm drain system. The proportion of the undeveloped, non-paved portion of Tracts C to Basin 106A is 43%, resulting in an allowable discharge of 0.88 cfs. This Cottonwood Corners storm drain system crosses NM 528 and ultimately discharges to the Cabezon Channel.

EXISTING DRAINAGE CONDITIONS

Proposed Tracts C-1 and D-1 include a portion of the existing private streets surrounding these lots, including Cottonwood Drive. Proposed Tract C-1 consists of two drainage sub-basins herein designated as Basins 1 and 2. Basin 1 consists of the private streets and drains east, where it is detained in the private street and discharges to the Cottonwood Corners storm drain system. Basin 2 is the rough-graded portion that drains east to the temporary detention pond on Proposed Tract D-1. The slope across this basin is typically 5%, with an exception of 15% along Cottonwood Drive. The temporary pond on Proposed Tract D-1 discharges to the Cottonwood Corners storm drain system. The offsite drainage basin, herein designated as Basin 3, is that portion of the NM 528 right-of-way between the sidewalk and the right-of-way line.

Based on the Hydrology and Hydraulic Report for Cottonwood Corners Shopping Center, the calculated hydrologic conditions for proposed Tract C-1 are tabulated below.

BASIN	BASIN AREA (acre)	LAND TREATMENT TYPE				100-YR, 24-HR STORM		
		%A	%B	%C	%D	Q (cfs)	E (in)	V (ac-ft)
ONSITE BASINS								
1	0.268	0	0	0	100	1.16	2.43	0.054
2	---	---	---	---	---	0.88	---	---
OFFSITE BASINS								
3	0.133	0	100	0	0	0.28	0.67	0.007

As shown on panel 109 of the Flood Insurance Rate Map (map no. 35001C0109 D), this site is designated as Zone X (areas determined to be outside the 500-year floodplain).

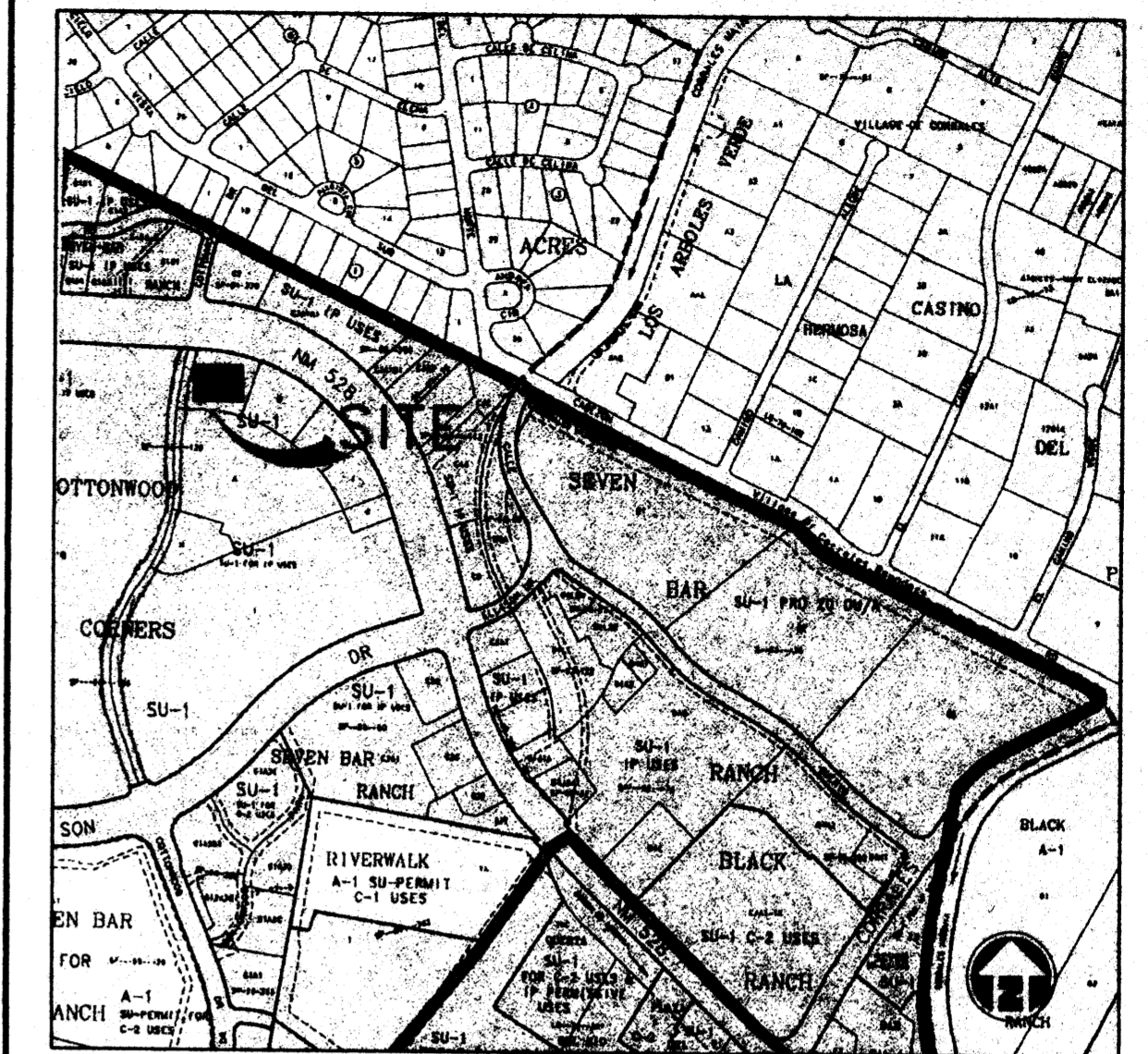
PROPOSED DRAINAGE CONDITIONS

Based on the site layout shown on this plan, the hydrologic conditions for this proposed development are tabulated below. This site will continue to accept runoff from Basin 3. The runoff from Basin 2 will be collected in three proposed detention ponds onsite. The water depth for the ponds will not exceed 18 inches. The minimum freeboard for the ponds will be six inches.

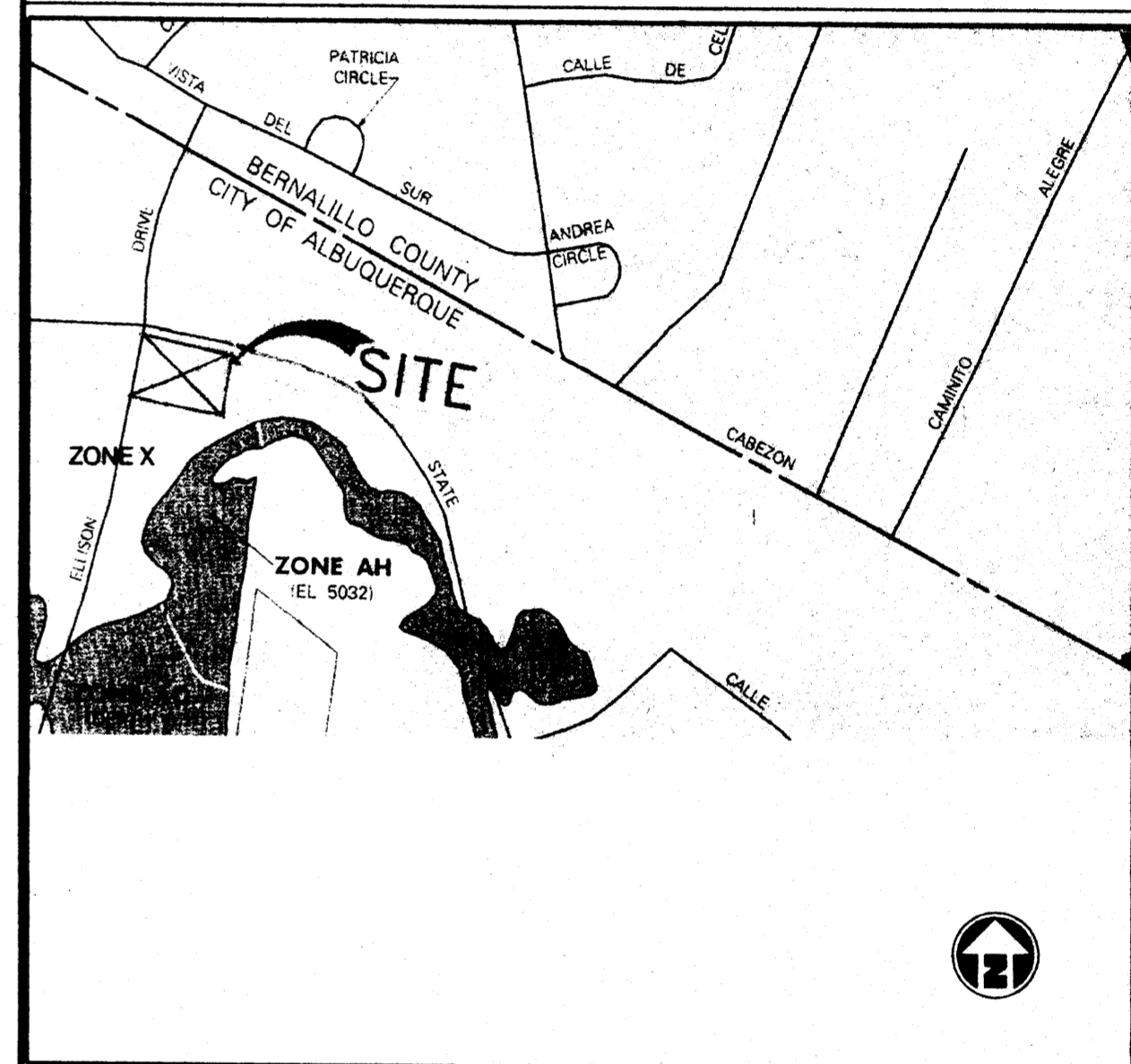
A private storm drain will be constructed in a private 15-foot drainage easement from the ponding system on Tract C-1 to the outfall pipe of the temporary detention pond on Tract D-1. The cumulative discharge to the existing storm drain system will not exceed 0.88 cfs. The detention ponds will drain completely within 24 hours or less.

BASIN	BASIN AREA (acre)	LAND TREATMENT TYPE				100-YR, 24-HR STORM		
		%A	%B	%C	%D	Q (cfs)	E (in)	V (ac-ft)
ONSITE BASINS								
1	0.418	0	7	0	93	1.75	2.31	0.080
2A	0.308	0	28	0	72	1.13	1.93	0.049
2B	0.262	0	29	0	71	0.97	1.91	0.042
2C	0.210	0	10	0	90	0.87	2.25	0.039
OFFSITE BASINS								
3	0.133	0	97	0	3	0.29	0.72	0.008

VICINITY MAP - ZONE ATLAS A-14-Z



FEMA MAP - MAP NO. 35001C0109 D



GRADING PLAN NOTES & LEGEND

CURRENT LEGAL DESCRIPTION

TRACT C OF COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERALILLO COUNTY, NEW MEXICO

PROPOSED LEGAL DESCRIPTION

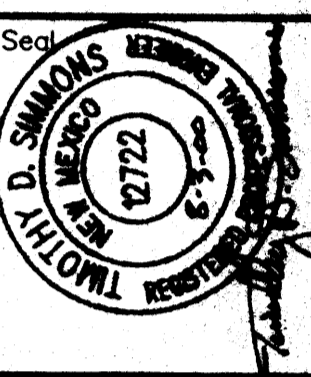
TRACT C-1 OF COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERALILLO COUNTY, NEW MEXICO

LEGEND

- ===== EXISTING CURB & GUTTER
- ===== FUTURE DEVELOPEMENT
- 5005----- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- 5005----- PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- ===== PROPOSED BASIN BOUNDARY
- PROPOSED CURB & GUTTER
- x 20.62 PROPOSED SPOT ELEVATION
- SD--- PROPOSED STORM DRAIN
- ⊙ PROPOSED MANHOLE
- ⊙ PROPOSED ROOF DRAIN
- ⊙ PROPOSED CSP RISER
- DIRECTION OF FLOW
- ~~~~~ PROPOSED WATER BLOCK

5971 Jefferson Boulevard, NE, Suite 101
Albuquerque, NM 87108
(505)345-3999 FAX (505)345-8383

URS



Revisions



COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNERS
ALBUQUERQUE, NEW MEXICO
CONCEPTUAL GRADING & DRAINAGE PLAN

Date 7-10-00
Scale AS NOTED
Drawn By RDJ Checked By LSJ
Store Number 9817
Project Number 99-240.101

13 CENTER SIGN DETAIL
SCALE: 3/4" = 1'-0"

14 NOT USED
SCALE:

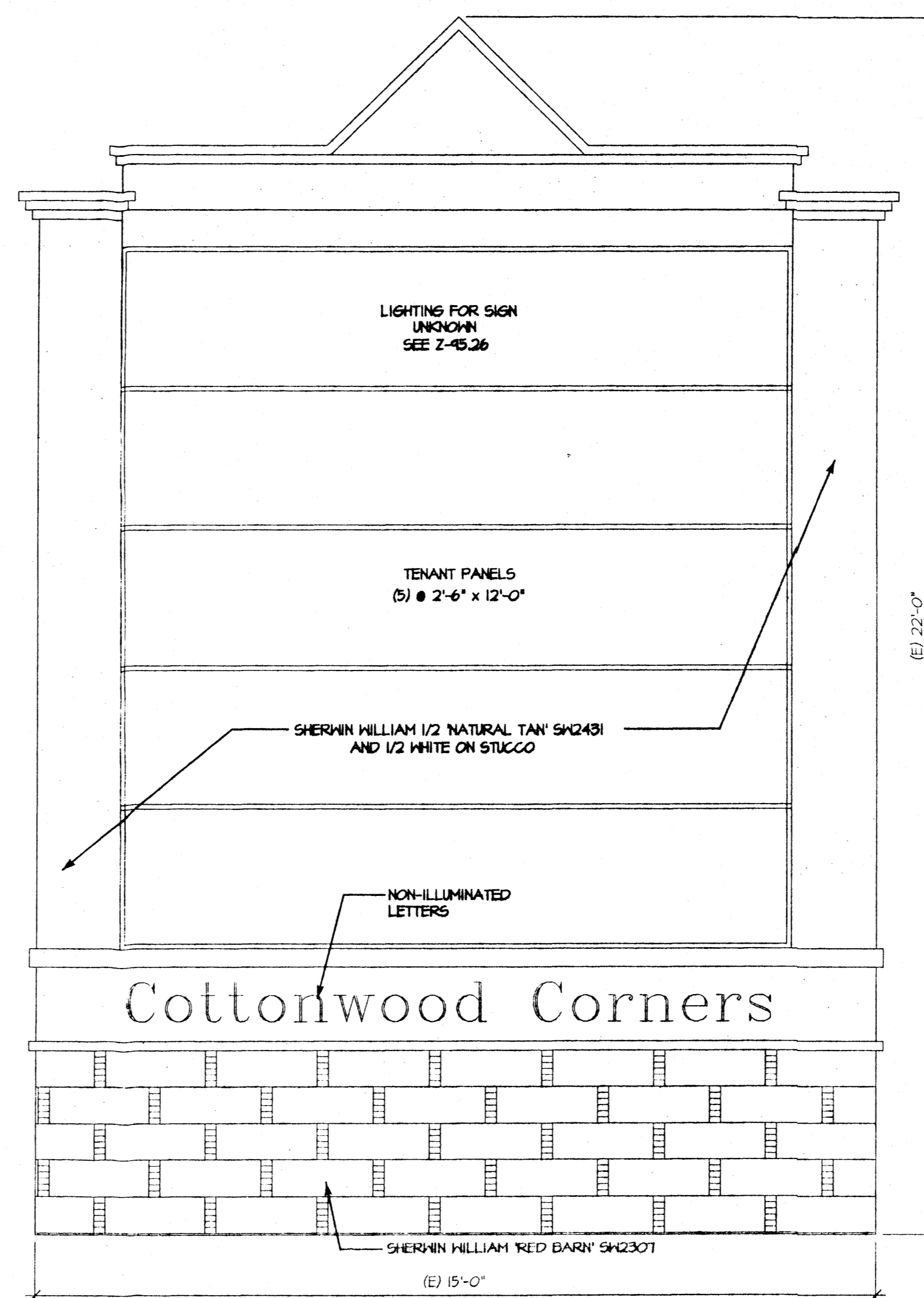
10 NOT USED
SCALE:

15 NOT USED
SCALE:

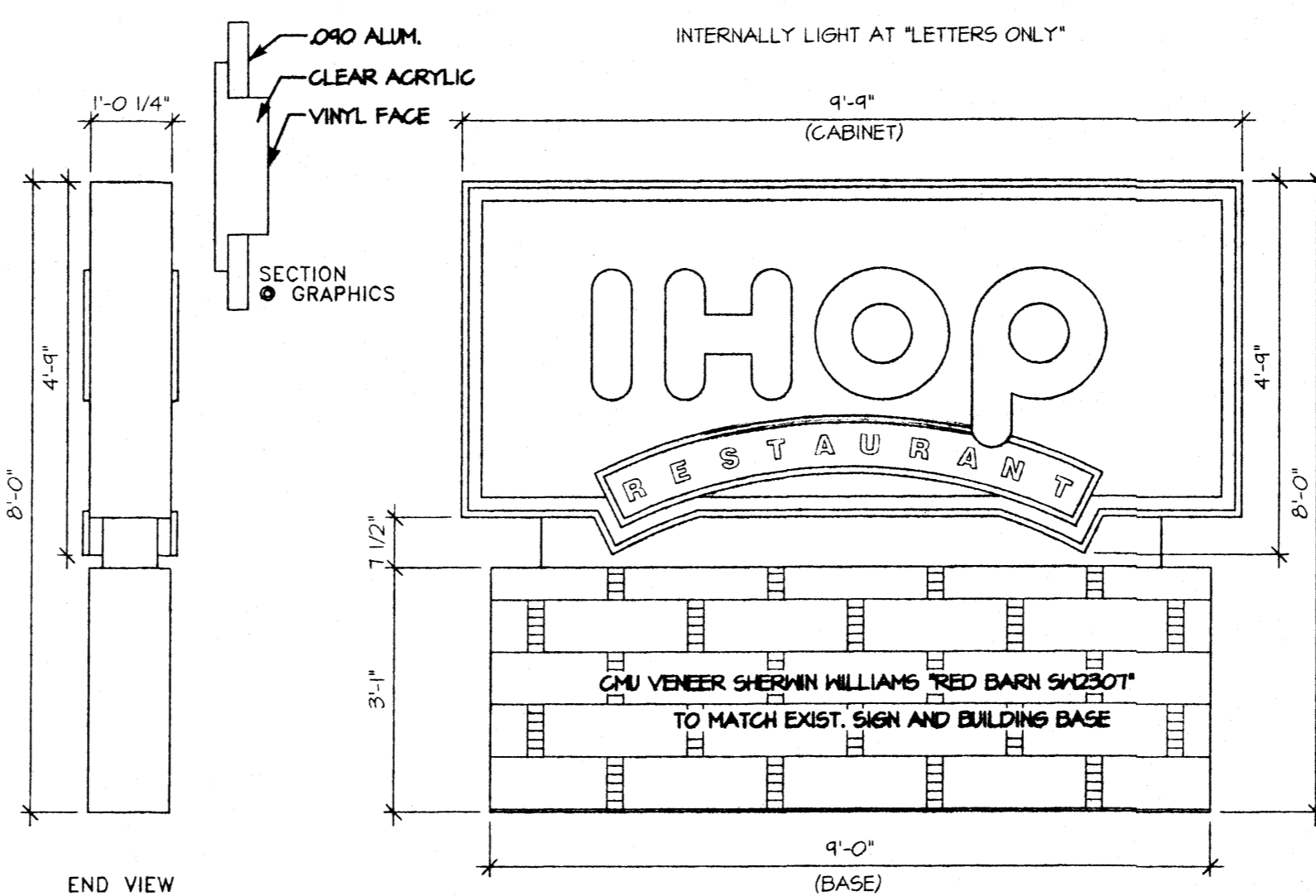
11 NOT USED
SCALE:

16 NOT USED
SCALE:

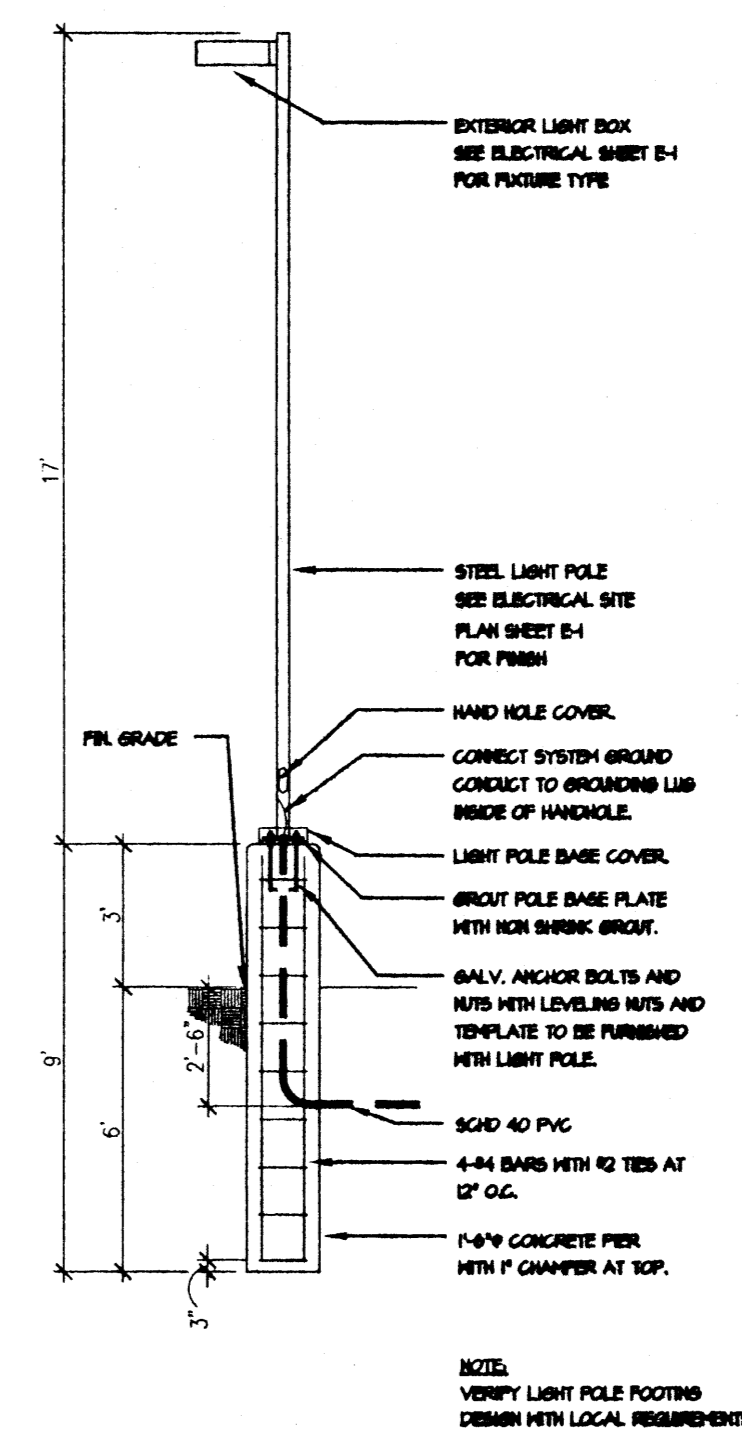
12 NOT USED
SCALE:



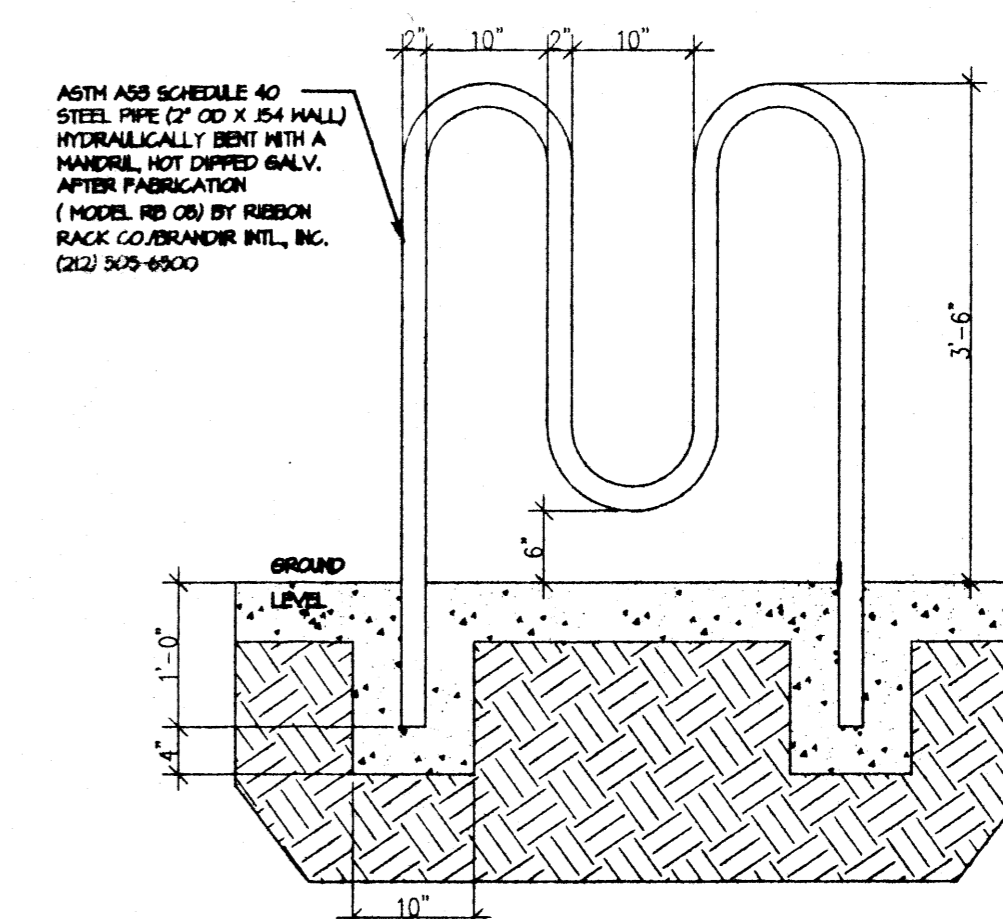
6 EXISTING MONUMENT SIGN
SCALE: 1/2" = 1'-0"



8 NEW IHOP MONUMENT SIGN
SCALE: 1/2" = 1'-0"



2 SITE LIGHTING DETAIL
SCALE: 1/4" = 1'-0"



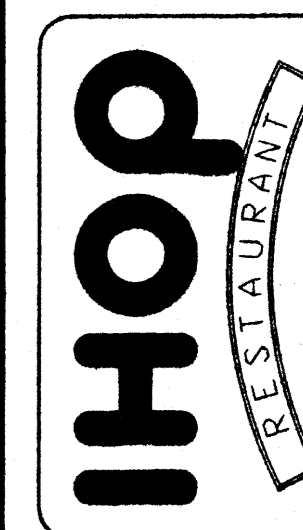
3 BIKE RACK
SCALE: 3/4" = 1'-0"

4 NOT USED
SCALE:

Architect:

Seal

Revisions



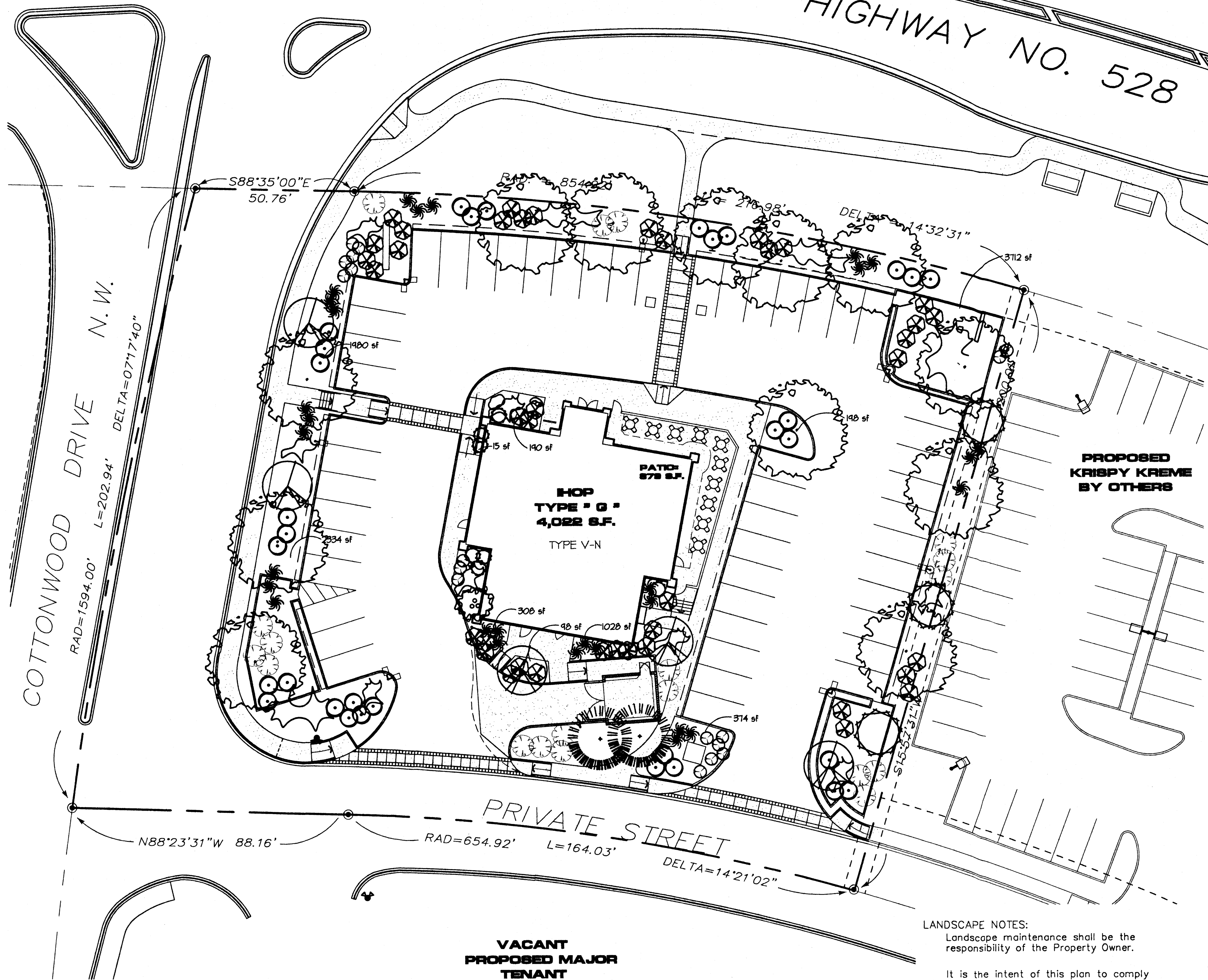
COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

SITE DETAILS

Date 7-07-00
Scale AS NOTED
Drawn By MJC Checked By MJC
Store Number 9617
Project Number 99-240.101

SD-1A

NEW MEXICO STATE HIGHWAY NO. 528



PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 15
Fraxinus pennsylvanica
Gleditsia triacanthos
2' Cal
- FLOWERING PEAR (H) 6
Pyrus calleryana
2' Cal
- DESERT HILLOM(H) 3
Chiocypis linearis
15 gal
- AUSTRIAN PINE(H) 2
Pinus nigra
6'-8'
- WASHINGTON HAWTHORN (H) 4
Crataegus phenopyrum
- INDIAN HAWTHORN (M) 34
Rachiolepis indica
5 gal
- RUSSIAN SAGE (M) 32
Perovskia atriplicifolia
5 gal
- MAIDEN GRASS (M) 33
Miscanthus sinensis
5 gal
- SILVERBERRY (M) 11
Elaeagnus pungens
5 gal
- CHAMISA (L) 16
Chrysothamnus nauseosus
1 gal
- TAM JUNIPER (M) 43
JUNIPERUS SABINA
5 gal
- WILDFLOWER 26
1 gal
- OVERSIZED GRAVEL
4 BOLDERS
- 3/4" GREY GRAVEL
W/ FILTER FABRIC
- SOD
- COMMERCIAL GRADE
STEEL EDGING

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street STATE HWY. 528
Required # 9 Provided # 9

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	53,161	square feet
TOTAL LOT AREA		
TOTAL BUILDINGS AREA	4,022	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	49,139	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	7,370	square feet
TOTAL LANDSCAPE PROVIDED	10,288	square feet
TOTAL BED PROVIDED	10,288	square feet
TOTAL SOD PROVIDED	0	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

HIGH WATER TURF SHALL BE LIMITED TO 20% OF THE LANDSCAPED AREA.

IRRIGATION NOTES:

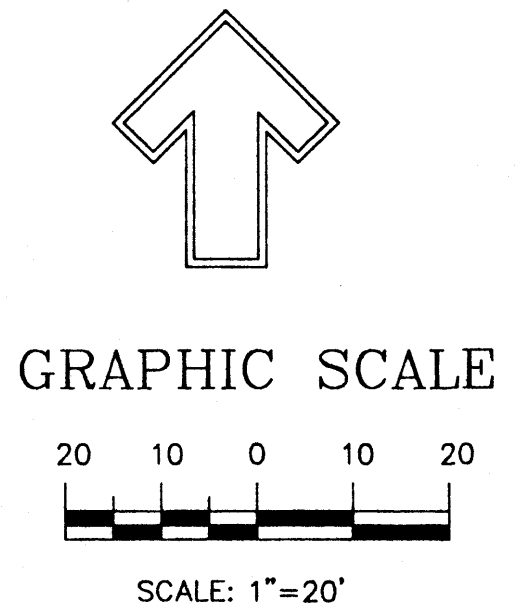
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



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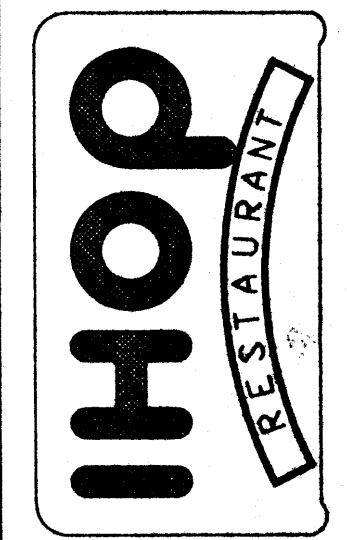
9474 Keerny Villa Road, Suite 215
San Diego, California 92126-4687
(866)878-2860 FAX (866)878-6346

Architect

Seal

Revisions

▲ ADDED NOTE
8-23-00 TDS



COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

LANDSCAPE SITE PLAN

The Hilltop

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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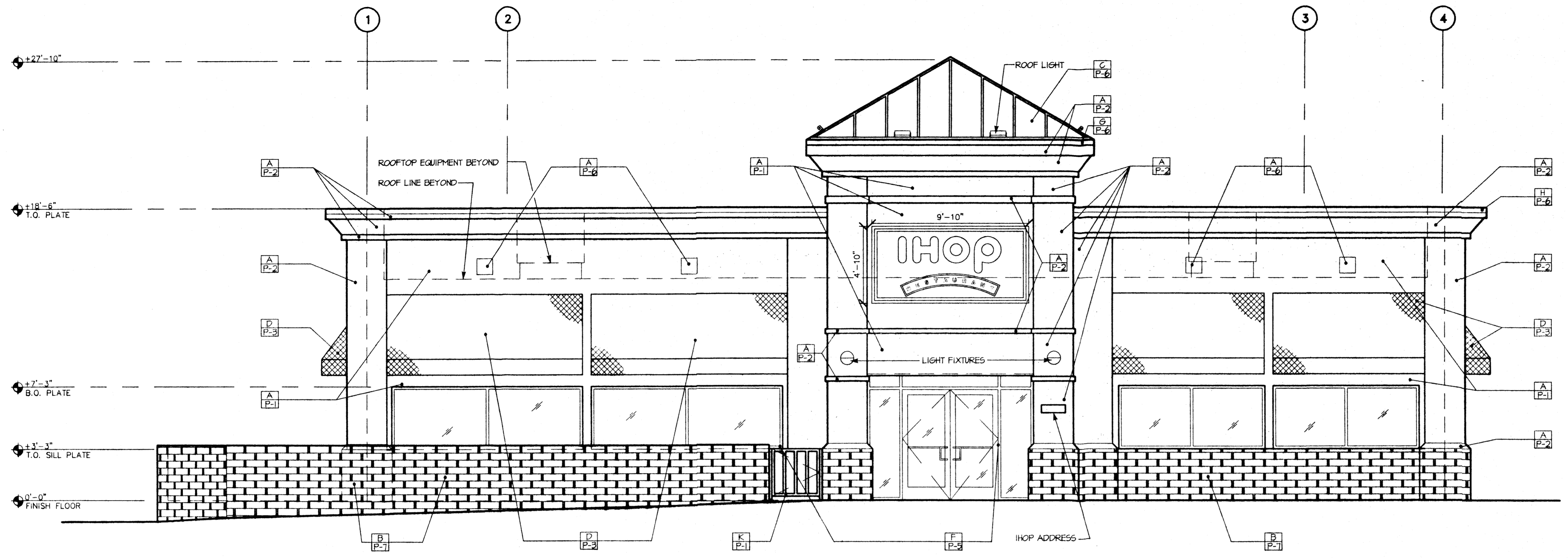
Date 7-21-00

Scale AS NOTED

Drawn By MJC Checked By MJC

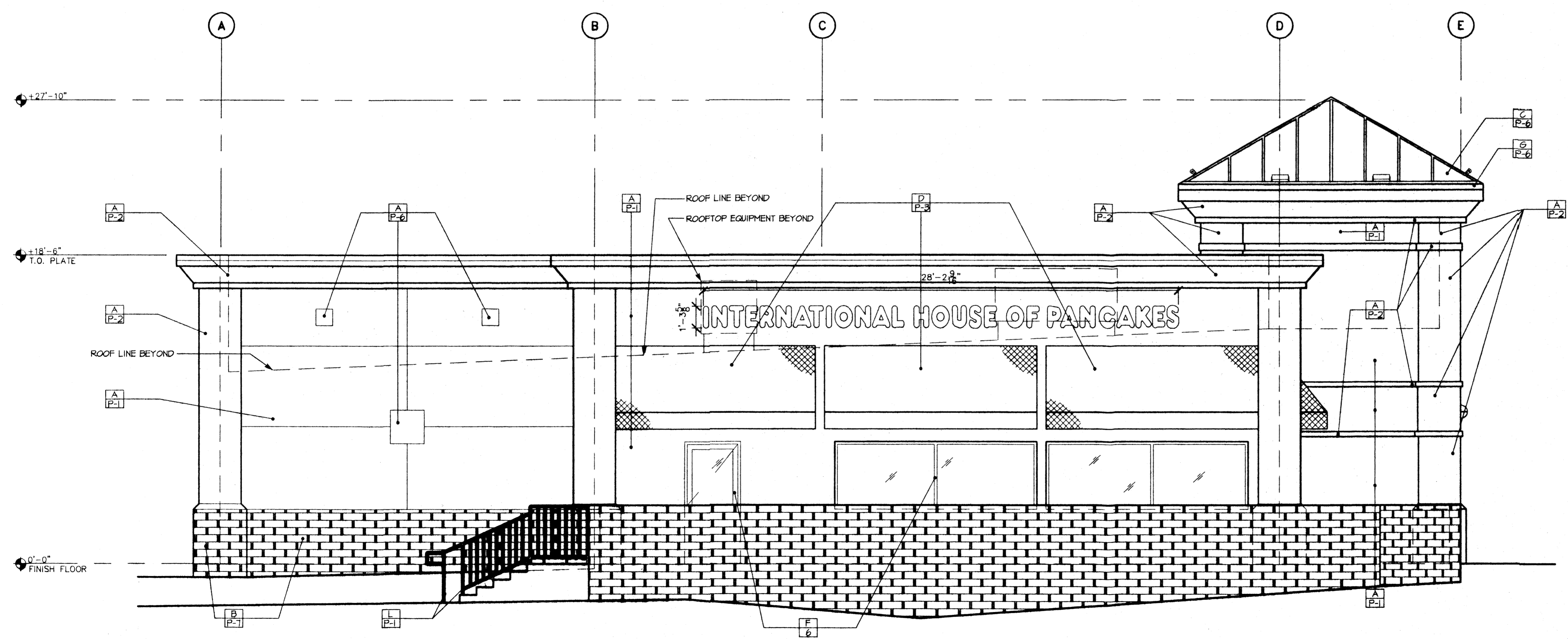
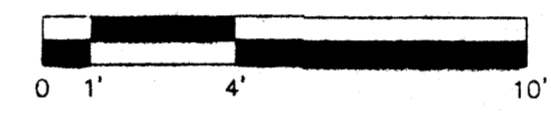
Store Number 9617

Project Number 99-240.101



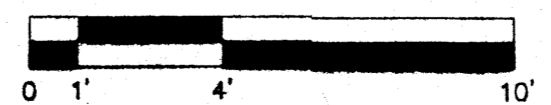
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



SIGNAGE CALCULATION

FRONT ELEVATION
 FRONT WALL AREA: 1329 SQUARE FEET
 SIGNAGE AREA: 9'-10" X 4'-10" = 48 SQ. FT.
 48 S.F. X 100% / 1329 S.F. = 3.6% WHICH IS LESS THAN 6% REQUIREMENTS

LEFT ELEVATION
 SIDE WALL AREA: 804 SQUARE FEET
 SIGNAGE AREA: 28'-2 1/2" X 15 1/2" = 38 SQ. FT.
 38 S.F. X 100% / 804 S.F. = 4.7% WHICH IS LESS THAN 6% REQUIREMENTS

MATERIALS LEGEND

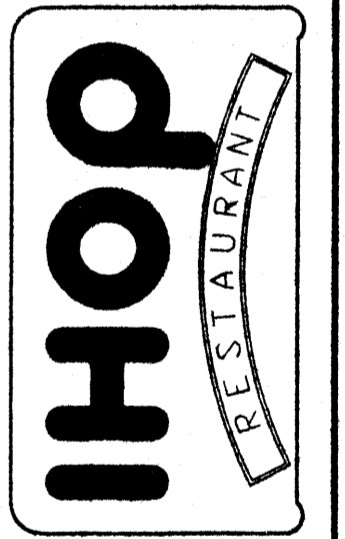
- A = STUCCO
- B = SPLITFACE CMU
- C = STANDING SEAM ROOF
- D = FABRIC AWNING
- E = HOLLOW METAL DOORS
- F = STOREFRONT SYSTEM
- G = METAL GUTTER
- H = METAL PARAPET CAP
- K = METAL PATIO GATE
- L = METAL RAIL

COLORS LEGEND

- P-1 = SHERWIN WILLIAMS: NATURAL TAN SW2431
- P-2 = 1/2 SHERWIN WILLIAMS: NATURAL TAN SW2431 AND 1/2 WHITE
- P-3 = "SUNBRELLA" #8601 ARTIC BLUE
- P-4 = NOT USED
- P-5 = WHITE ANODIZED
- P-6 = KYNAR 500 VALSPARE #436A674-IHOP BLUE
- P-7 = SHERWIN WILLIAMS: RED BARN SW 2307

Seal

Revisions



COTTONWOOD CORNERS
 PAD 6, COTTONWOOD CORNER
 ALBUQUERQUE, NEW MEXICO

EXTERIOR ELEVATIONS

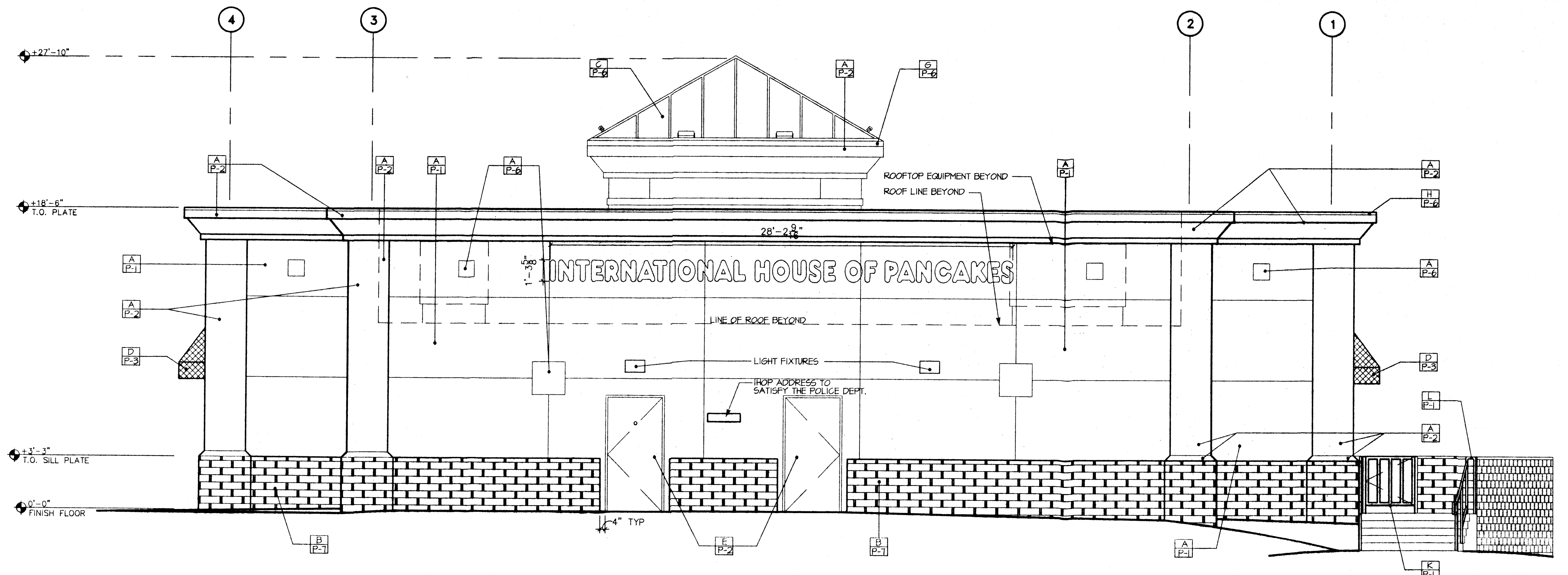
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Scale: AS NOTED

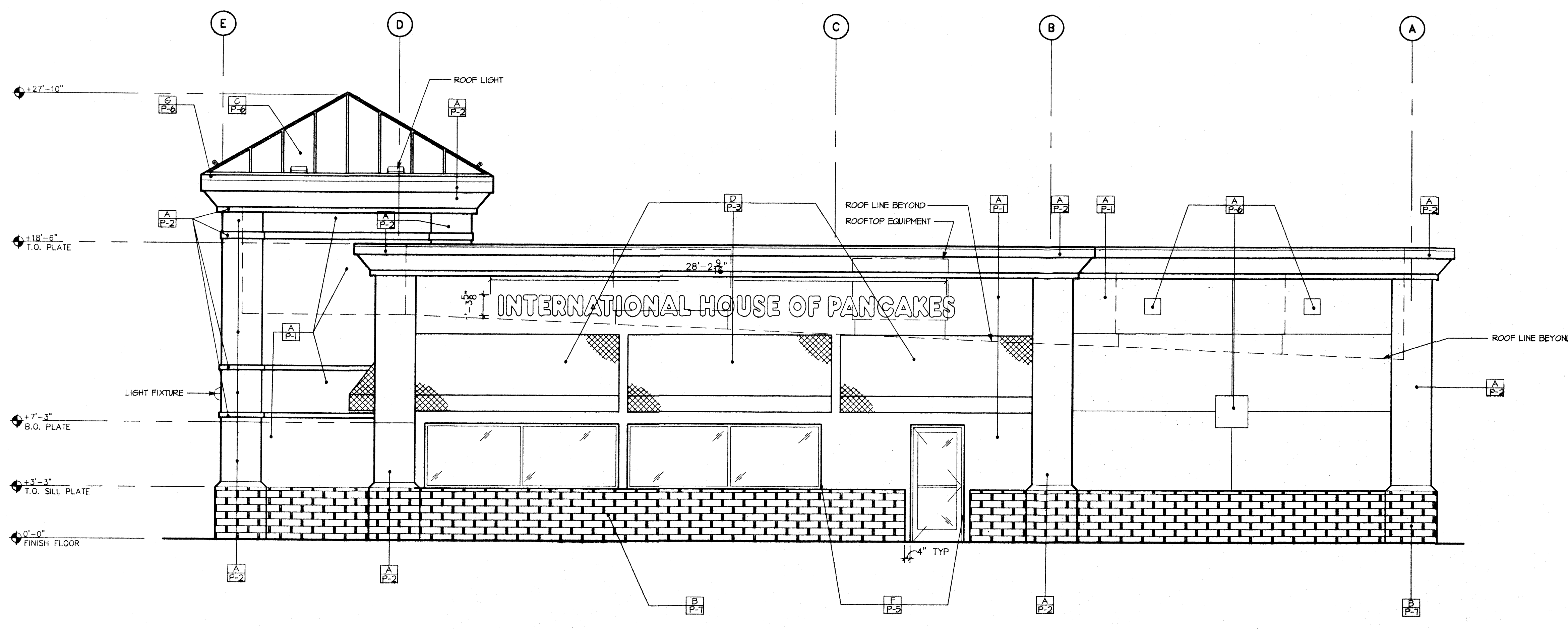
Drawn By: MJC | Checked By: MJC

Store Number: 9617

Project Number: 99-240.101



REAR ELEVATION
 SCALE: 1/4" = 1'-0"
 0 1' 4' 10'



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"
 0 1' 4' 10'

SIGNAGE CALCULATION

REAR ELEVATION
 FRONT WALL AREA: 975 SQUARE FEET
 SIGNAGE AREA: 28'-2 3/4" X 15 1/2" = 38 SQ. FT.
 38 S.F. X 100% / 975 S.F. = 3.8% WHICH IS LESS THAN 6% REQUIREMENTS

RIGHT ELEVATION
 SIDE WALL AREA: 804 SQUARE FEET
 SIGNAGE AREA: 28'-2 3/4" X 15 1/2" = 38 SQ. FT.
 38 S.F. X 100% / 804 S.F. = 4.7% WHICH IS LESS THAN 6% REQUIREMENTS

MATERIALS LEGEND

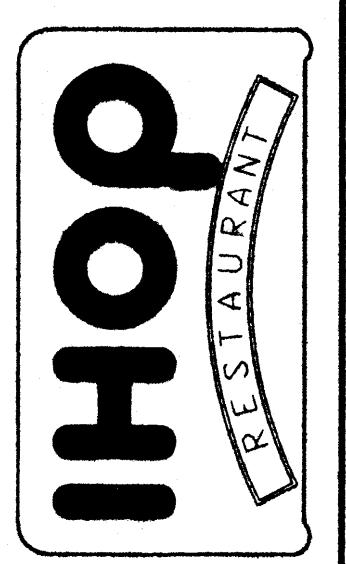
- A = STUCCO
- B = SPLITFACE CMU
- C = STANDING SEAM ROOF
- D = FABRIC AWNING
- E = HOLLOW METAL DOORS
- F = STOREFRONT SYSTEM
- G = METAL GUTTER
- H = METAL PARAPET CAP
- K = METAL PATIO GATE
- L = METAL RAIL

COLORS LEGEND

- P-1 = SHERWIN WILLIAMS: NATURAL TAN SW2431
- P-2 = 1/2 SHERWIN WILLIAMS: NATURAL TAN SW2431 AND 1/2 WHITE
- P-3 = "SUNBRELLA" #8601 ARTIC BLUE
- P-4 = NOT USED
- P-5 = WHITE ANODIZED
- P-6 = KYNAR 500 VALSPARE #436A674-IHOP BLUE
- P-7 = SHERWIN WILLIAMS: RED BARN SW 2307

Seal

Revisions



COTTONWOOD CORNERS
 PAD 6, COTTONWOOD CORNER
 ALBUQUERQUE, NEW MEXICO
 EXTERIOR ELEVATIONS

Date: 7-07-00

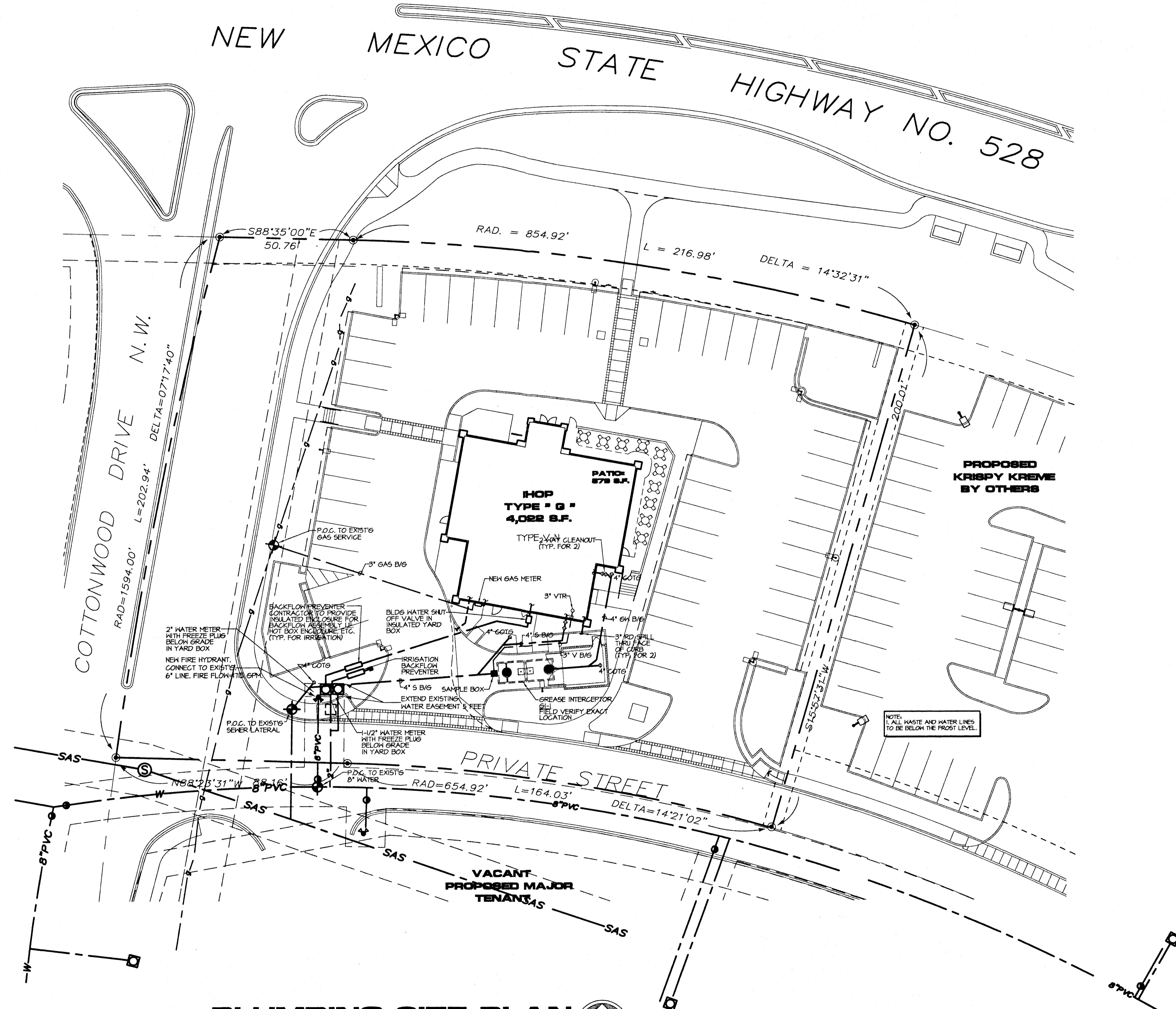
Scale: AS NOTED

Drawn By: MJC | Checked By: MJC

Store Number: 9617

Project Number: 99-240.101

02/08/2008 10:45 AM DATE: AUG 09, 2010 TIME: 3:13 PM



PLUMBING SITE PLAN
 1" = 20'

NEW MEXICO STATE HIGHWAY NO. 528

COTTONWOOD DRIVE N.W.
 RAD=1594.00' L=202.94' DELTA=0717'40"

PRIVATE STREET
 RAD=654.92' L=164.03' DELTA=14'21'02"

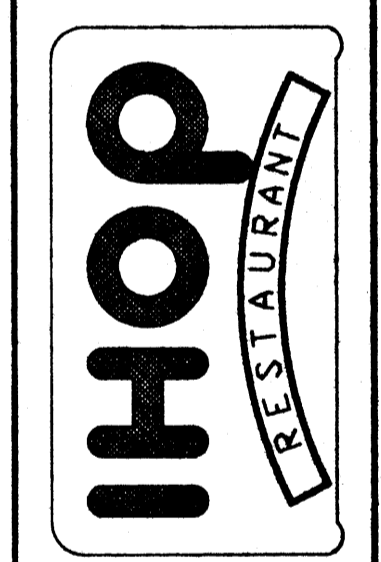
PROPOSED KRISPY KREME BY OTHERS

IHOP TYPE 'G' 4,022 S.F.
 PATIO: 678 S.F.

NOTE:
 1. ALL WASTE AND WATER LINES TO BE BELOW THE FROST LEVEL.

SCHUSS • CLARK
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 9474 Kearny Villa Road, Suite 215
 San Diego, California 92126-4597
 (619) 578-2860 FAX (619) 578-8348

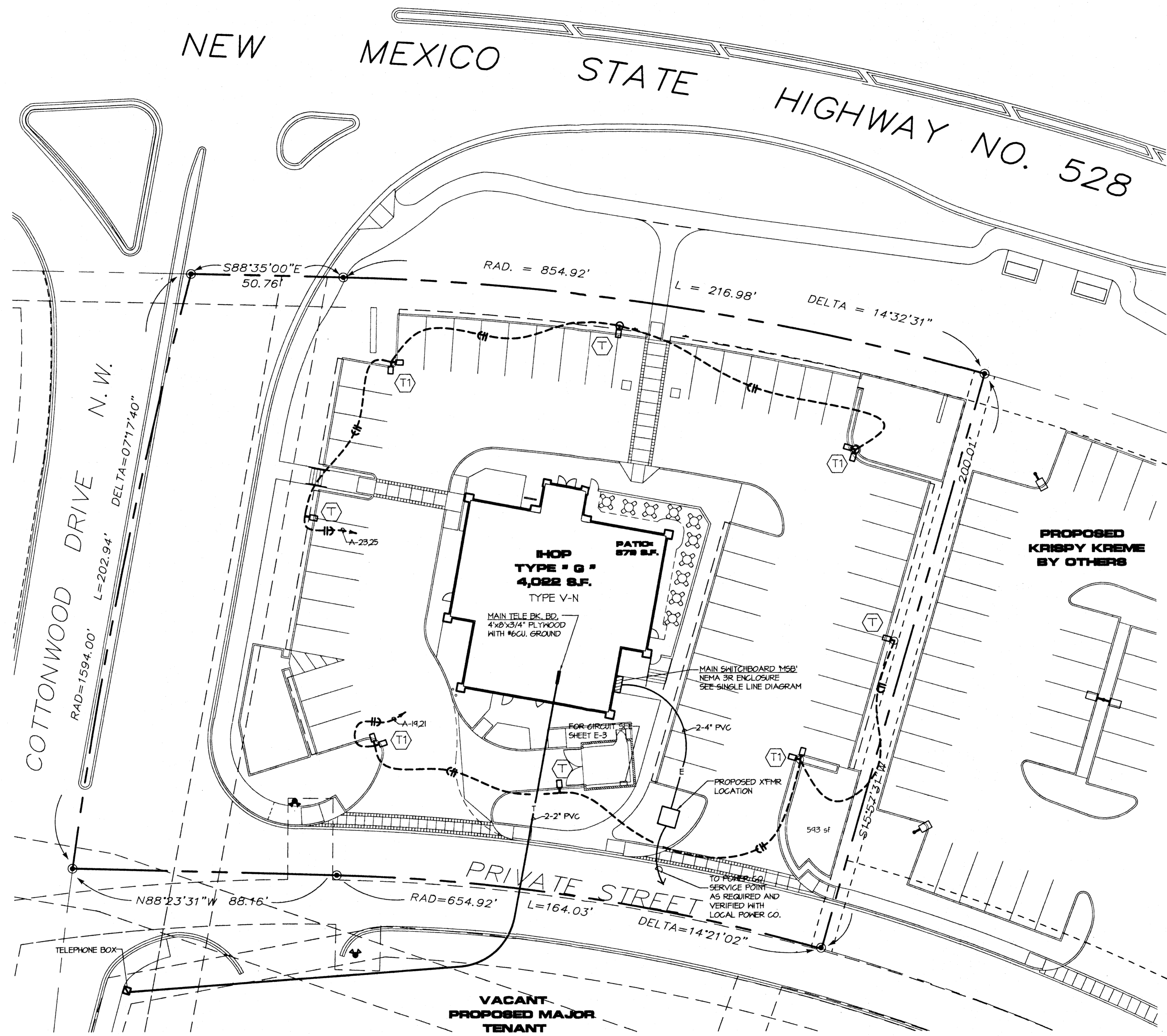
Architect: Seal: Revisions:



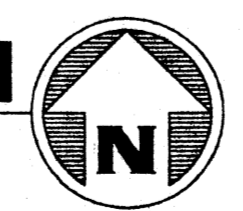
COTTONWOOD CORNERS
 PAD 6, COTTONWOOD CORNER
 ALBUQUERQUE, NEW MEXICO
 PLUMBING SITE PLAN

Date	7-21-08
Scale	AS NOTED
Drawn By	MAC
Checked By	MAC
Store Number	9817
Project Number	88-240.101

PS-1



ELECTRICAL SITE PLAN
 1" = 20'



LIGHTING FIXTURE SCHEDULE							
TAG	DESCRIPTION	ACCEPTABLE MANUFACTURER CATALOG NO.	NO. OF LAMP NOMINAL WATT	TYPE OF LAMP	VOLT	MOUNTING	NOTES
T	SOFT SQUARE CUT OFF LUMINAIRE, 17" SQUARE STRAIGHT STEEL POLE. (SINGLE HEAD)	LITHONIA # KAD400M-TB-SPD04	1 400W	400W METAL HALIDE	120V	17' SQ. STR. STEEL POLE	
T1	SOFT SQUARE CUT OFF LUMINAIRE, 17" SQUARE STRAIGHT STEEL POLE. (DOUBLE HEAD)	LITHONIA # KAD400M-TB-SPD04	1 400W	400W METAL HALIDE	120V	17' SQ. STR. STEEL POLE	

12/06/01 DREDDING DATE: AUG. 09, 2000 TIME: 3:19 PM

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Architect: _____
 Seal: _____
 Revisions: _____
IHOP RESTAURANT
 COTTONWOOD CORNERS
 PAD 6, COTTONWOOD CORNER
 ALBUQUERQUE, NEW MEXICO
 ELECTRICAL SITE PLAN
 Date: 7-21-00
 Scale: AS NOTED
 Drawn By: MJC Checked By: MJC
 Store Number: 9617
 Project Number: 99-240.101
 E-1