

VICINITY MAP



SITE PLAN NOTES

- 1 PARKING STALLS WITH 4" WIDE WHITE STRIPING.
- 2 NEW SITE LIGHT, 17' TALL POLE W/ MOON METAL HALIDE FIXTURE ON A 3'-0" CONCRETE BASE. SEE DETAIL.
- 3 BICYCLE RAKE FOR 3 BIKES. SEE DETAIL.
- 4 NEW CONCRETE CURB RAMP.
- 5 CONCRETE SIDEWALK.
- 6 PAINTED SYMBOL OF ACCESSIBILITY.
- 7 CHU TRASH ENCLOSURE.
- 8 EXISTING CURB WORK TO REMAIN.
- 9 LOADING ZONE.
- 10 PROPOSED ELECTRICAL TRANSFORMER LOCATION (VERIFY LOCATION).
- 11 CURB RAMP.
- 12 EXISTING SIDEWALK.
- 13 NEW LANDSCAPE AREAS.
- 14 MAIN SWITCHBOARD.
- 15 NEW AC PAVING.
- 16 DECORATIVE CONCRETE CROSSWALK.
- 17 ACCESSIBLE PARKING STALLS. TYPICAL OF (2).
- 18 REINFORCED CONCRETE PAD FOR LOADING ZONE. SEE SOILS REPORT.
- 19 STRIPED PARKING STALL TO ACCOMMODATE 8'-0" WIDE ACCESS AISLE.
- 20 NOT USED.
- 21 ACCESSIBLE PARKING SIGN.
- 22 MONUMENT SIGN BY OTHER.
- 23 NEW CURB & GUTTER.
- 24 CURB AND SIDEWALK.
- 25 FUTURE CURBWORK BY OTHERS.
- 26 DECORATIVE CONCRETE CROSSWALK BY OTHERS.
- 27 UTILITY EASEMENTS.
- 28 LINE OF AUTOMOBILE OVERHANGS.
- 29 5'-0" STRIPED CROSSWALK.
- 30 NEW PLANTER CURB.

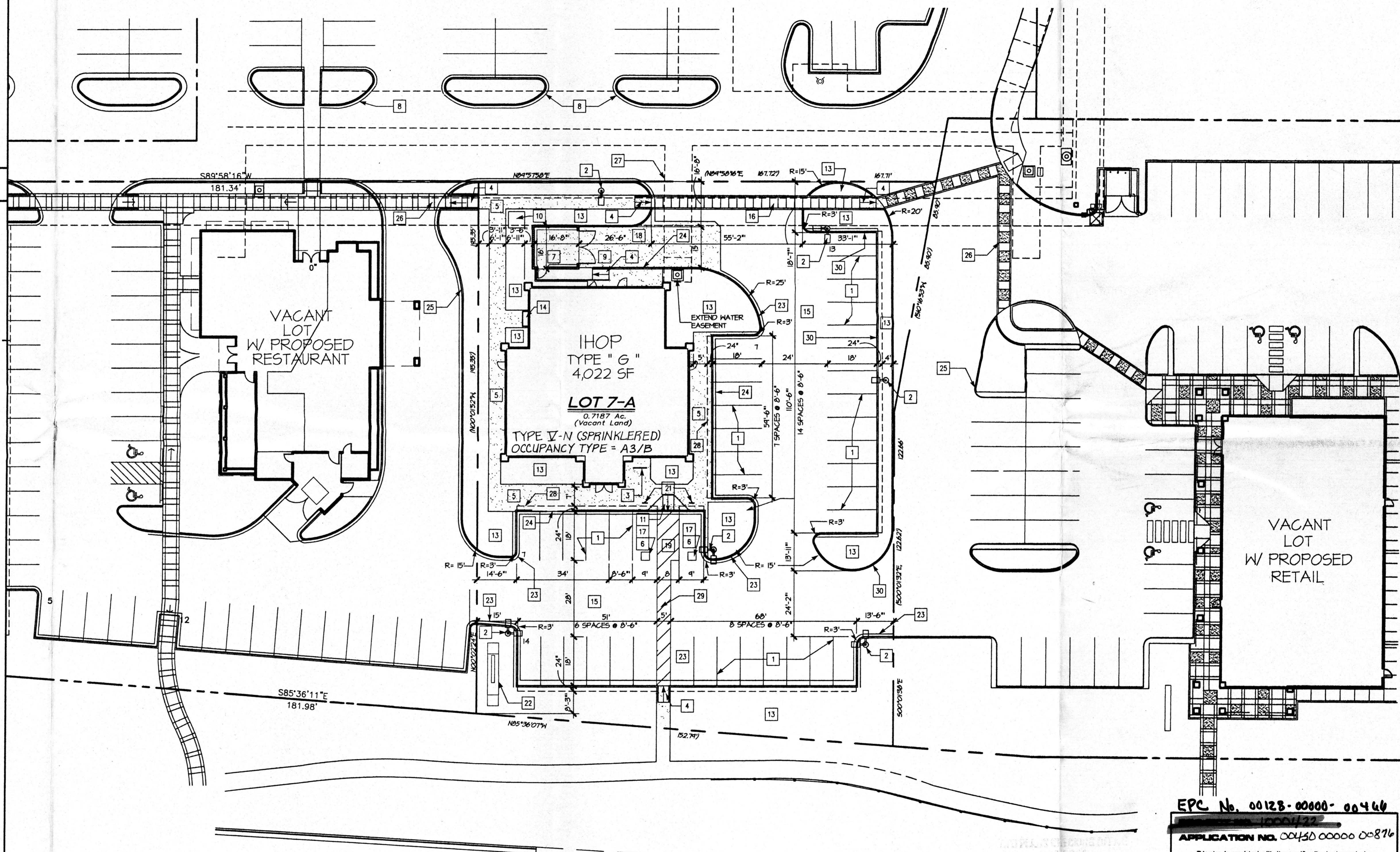
SUMMARY TABLE

TOTAL SITE AREA: 31,334 S.F. (100%)
 TOTAL LANDSCAPE AREA = 8,012 S.F. (25.8%)
 TOTAL BUILDING AREA = 4,022 S.F. (12.8%)
 TOTAL HARDSCAPE AREA = 19,240 S.F. (61.4%)
 PARKING SPACES REQUIRED: 1 SPACE PER 100 SQUARE FEET
 PARKING REQUIRED = 4022 S.F. / 100 = 40 SPACES.
 PARKING PROVIDED = 41 SPACES ON-SITE.

SITE SPECIFIC NOTES

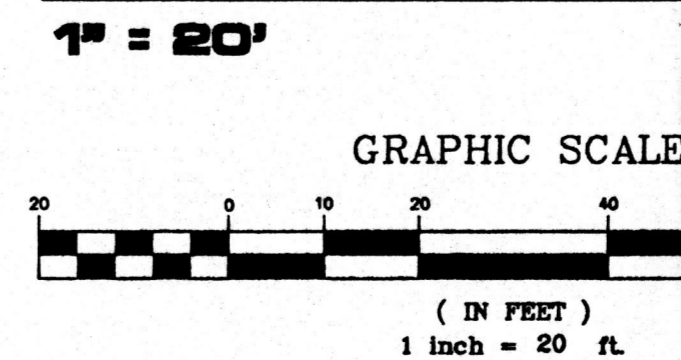
1. LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT FUGITIVE LIGHT.
2. LIGHT LENSES SHALL NOT PROJECT BELOW THE LIGHT SHIELD; LIGHT ELEMENTS SHALL BE HORIZONTALLY MOUNTED.
3. SITE LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS; IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

EXISTING SHOPPING CENTER



PASEO DEL NORTE

SITE PLAN



EPC No. 00128-00000-00466
 APPLICATION NO. 00450 00000 00876
 This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 02/21/2000 and the findings and conditions in the Official Notice of Decision. Decision has been complied with.

Site Engineer, Transportation Division	Date	7-19-00
Public Works Department	Date	7-19-00
City Engineer, Hydrology Division / NMAPCA	Date	7-19-00
City Planner	Date	7/25/00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

DATE: 7/25/00

FIRE MARSHAL

SCHLUSS • CLARK
 AN ARCHITECTURAL CORPORATION
 ARCHITECTURE • PLANNING

9474 Kearny Villa Road, Suite 216
 San Diego, California 92128-4897
 (619) 578-2960 FAX (619) 578-6848

Architect: _____
 Seal: _____

Revisions: _____

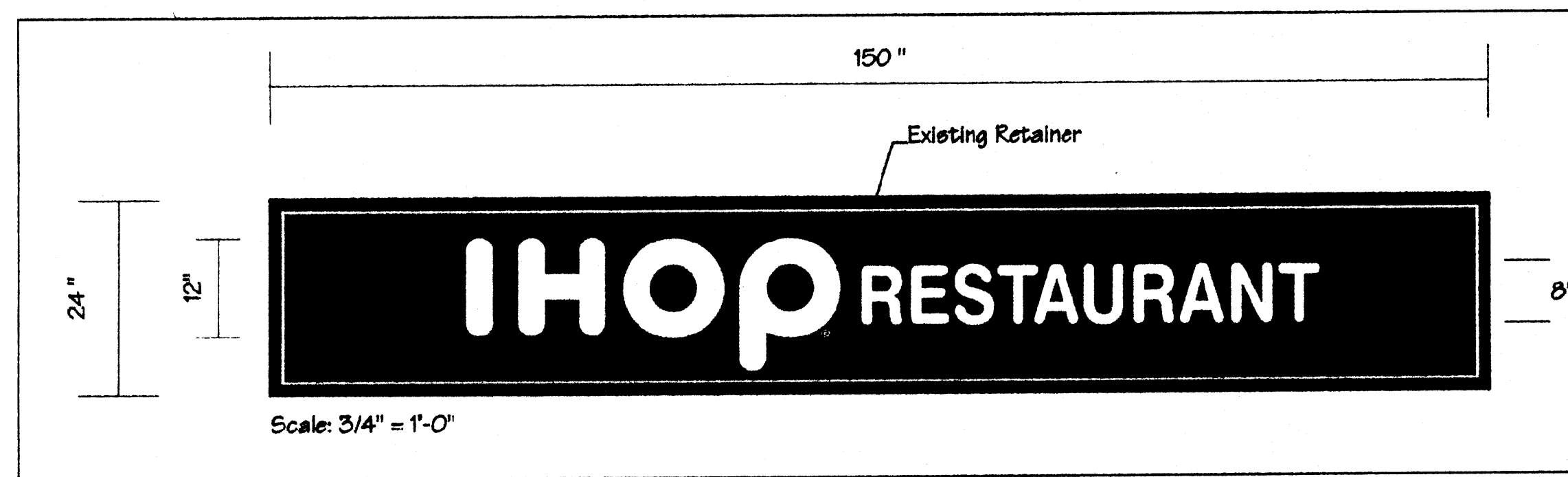
IHOP RESTAURANT

Lot #7 - La Cueva Town Center
 N.E. Paseo del Norte / Wyoming Blvd.
 ALBUQUERQUE, NEW MEXICO

SITE PLAN
 1000 0000
 4722

Date: 6-9-2000
 Scale: AS NOTED
 Drawn By: MJC
 Checked By: MJC
 Store Number: 9816
 Project Number: 98-236.100
 SD-1

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13 CENTER SIGN DETAIL
SCALE: 3/4" = 1'-0"

14 NOT USED
SCALE:

10 NOT USED
SCALE:

15 NOT USED
SCALE:

11 NOT USED
SCALE:

16 NOT USED
SCALE:

12 NOT USED
SCALE:

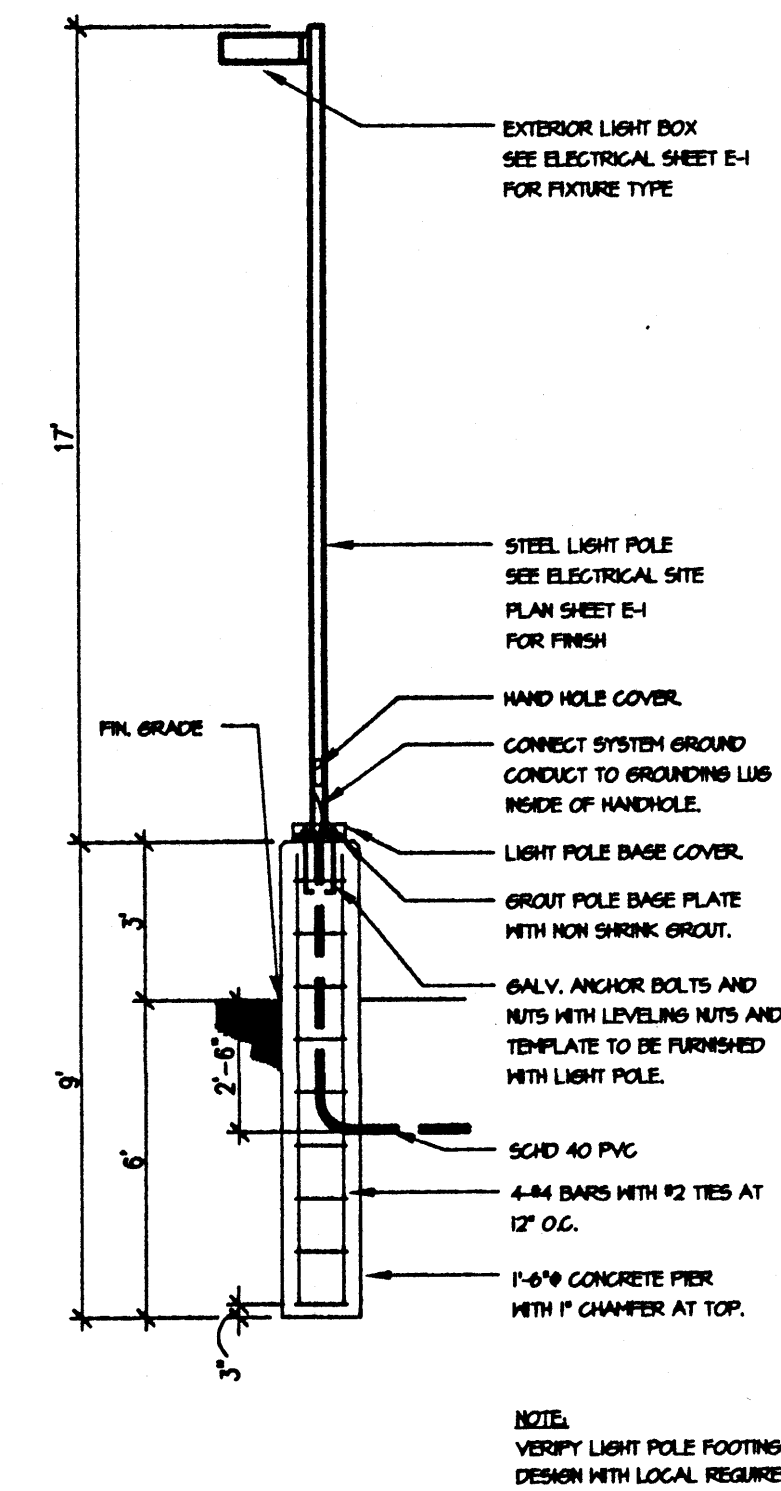


5 CENTER SIGN
SCALE: NOT TO SCALE
SEE DETAIL 13 SD-1A

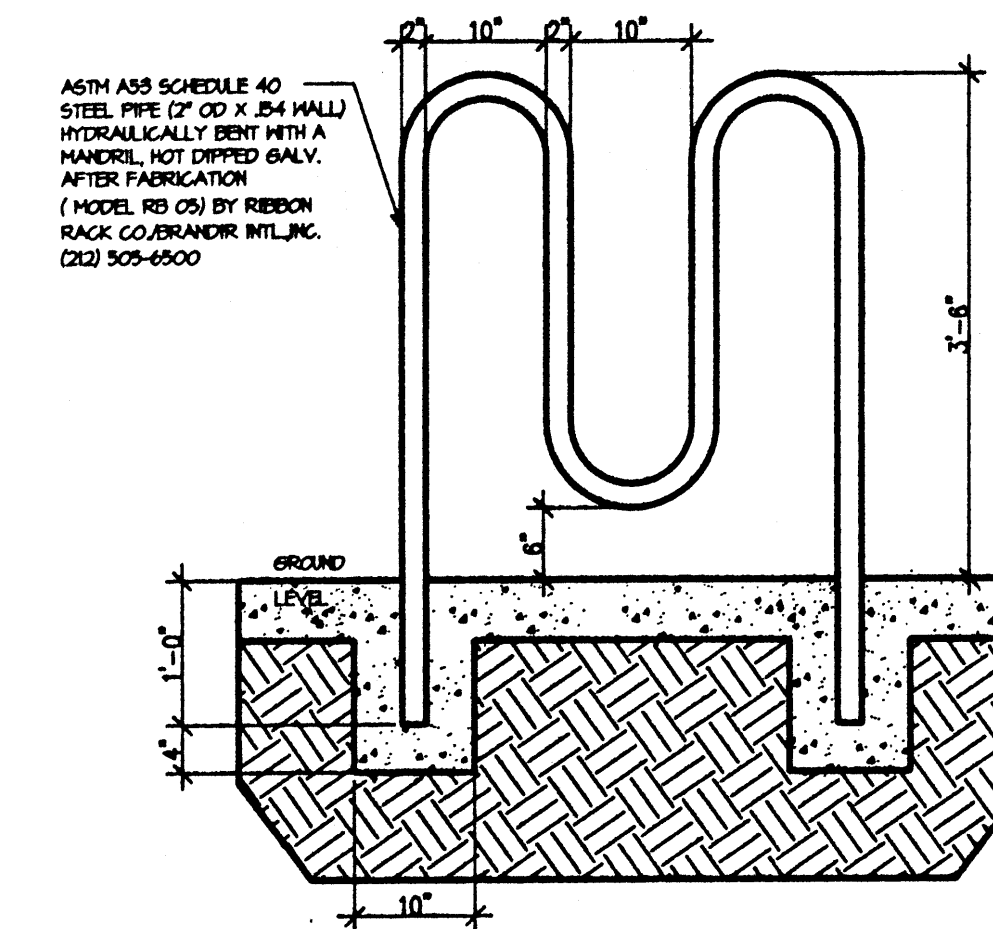
6 NOT USED
SCALE:

7 NOT USED
SCALE:

8 NOT USED
SCALE:



2 SITE LIGHTING DETAIL
SCALE: 1/4" = 1'-0"



3 BIKE RACK
SCALE: 3/4" = 1'-0"

4 NOT USED
SCALE:

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AN ARCHITECTURAL CORPORATION

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San Diego, California 92128-4567
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Architect

Seal

Revisions

IHOP
RESTAURANT

Lot # 7 La Cueva Town Center
N.E. Paseo del Norte/ Wyoming Blvd.
ALBUQUERQUE, NEW MEXICO

SITE DETAILS

Date

Scale

AS NOTED

Drawn By: MC
Checked By: MC

Store Number: 9016

Project Number: 99-238-100

SD-1A

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CONCEPTUAL GRADING AND DRAINAGE PLAN

INTRODUCTION

THIS SITE CONTAINS 0.7187 ACRES WITHIN LA CUEVA TOWN CENTER AT THE NORTHEAST CORNER OF WYOMING BLVD AND PASEO DEL NORTE. LA CUEVA TOWN CENTER IS A RETAIL DEVELOPMENT WITH A MIX OF ROUGH-GRADED LOTS AND FULLY DEVELOPED LOTS. THIS SITE (LOT 7-A) IS LOCATED BETWEEN LOTS 6-A AND 8 AT THE SOUTHEAST CORNER OF LA CUEVA TOWN CENTER. LOTS 6-A, 7-A AND 8 ARE ALL ROUGH-GRADED LOTS CURRENTLY PROCESSING PLANS FOR DEVELOPMENT. THE GRADES SHOWN ALONG THE PROPERTY LINES HAVE BEEN COORDINATED WITH DEVELOPMENT OF ADJACENT LOTS.

THIS PROPERTY IS ZONED C-2 - INCLUDING ALL PERMISSIVE AND CONDITIONAL USES. THE SITE PLAN FOR BUILDING PERMIT FOR THE LA CUEVA TOWN CENTER WAS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AUGUST 20, 1998 (EPC CASE # 298-98, DRB CASE # 98-402). THIS SITE IS WITHIN THE WINDOW G SECTOR DEVELOPMENT PLAN OF NORTH ALBUQUERQUE ACRES.

HYDROLOGY METHODOLOGY

THE HYDROLOGY IS CALCULATED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, "HYDROLOGY," PART A - PROCEDURE FOR 40 ACRE AND SMALLER BASINS. THIS SITE IS LOCATED WITHIN PRECIPITATION ZONE 3.

EXISTING DRAINAGE CONDITIONS

THIS SITE WAS ROUGH-GRADED WITH THE DEVELOPMENT OF LA CUEVA TOWN CENTER AND CONTAINS NO VEGETATION. THERE IS AN ASPHALT CURB AND SILT FENCE ALONG THE NORTH PROPERTY LINE BETWEEN THIS SITE AND LA CUEVA TOWN CENTER PARKING LOT. LOTS 6-A AND 8 ARE ADJACENT LOTS TO THE WEST AND EAST, RESPECTIVELY. THERE IS A SILT FENCE ALONG THE SOUTH PROPERTY LINE BETWEEN THIS SITE AND PASEO DEL NORTE RIGHT-OF-WAY. RUNOFF SHEET FLOWS EAST TO WEST FROM LOT 8, ACROSS LOT 7-A AND TO LOT 6-A. THE SLOPE ACROSS THIS SITE RANGES FROM 3% TO 4%.

BASIN	BASIN AREA AC	LAND TREATMENT	10-YR, 6-HR STORM				100-YR, 6-HR STORM			
			PEAK DISCHARGE		E	V	PEAK DISCHARGE		E	V
			CFS/AC	CFS	INCH	AC-FT	CFS/AC	CFS	INCH	AC-FT
7-A	0.718	100% B	1.19	0.8	0.36	0.021	2.60	1.8	0.92	0.055
8	1.14	100% B	1.19	1.3	0.36	0.034	2.60	2.9	0.92	0.087

LA CUEVA TOWN CENTER DRAINAGE PLAN

THE DRAINAGE REPORT FOR LA CUEVA TOWN CENTER WAS PREPARED IN APRIL 1999 BY RON BOHANNAN OF TIERRA WEST. THIS SITE IS PART OF BASIN "A" FOR LA CUEVA TOWN CENTER. BASED ON THE DRAINAGE REPORT FOR LA CUEVA TOWN CENTER, THE PLANNED HYDROLOGIC CONDITIONS ARE TABULATED BELOW. RUNOFF FROM BASIN "A" IS CAPTURED BY THE ONSITE STORM DRAIN SYSTEM, WHICH INCLUDES A DESILTATION POND AND OUTFALL TO THE WYOMING STORM DRAIN.

BASIN	BASIN AREA AC	LAND TREATMENT	10-YR, 6-HR STORM				100-YR, 6-HR STORM			
			PEAK DISCHARGE		E	V	PEAK DISCHARGE		E	V
			CFS/AC	CFS	INCH	AC-FT	CFS/AC	CFS	INCH	AC-FT
A	12.46	15% B 85% D	3.06	38.1	1.33	1.380	4.66	58.0	2.14	2.227
7-A	0.718	15% B 85% D	3.06	2.20	1.33	0.079	4.66	3.35	2.14	0.128

FLOOD ZONE

AS SHOWN ON PANEL 141 OF THE FLOOD INSURANCE RATE MAP (MAP NO. 35001C0141 D), THIS SITE LIES WITHIN FLOOD ZONE AO (1-FT DEPTH). THIS FLOOD ZONE IS ASSOCIATED WITH THE ARROYO THAT USED TO TRAVERSE THIS SITE. THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY (AMAFCA) RECEIVED APPROVAL ON A CONDITIONAL LETTER OF MAP REVISION (LOMR) SUBMITTED TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR LA CUEVA TOWN CENTER. AMAFCA WILL BE REQUESTING A LETTER OF MAP REVISION (LOMR), REMOVING THE FLOOD ZONE.

PROPOSED DRAINAGE CONDITIONS

BASED ON THE SITE LAYOUT SHOWN ON THIS PLAN, THE HYDROLOGIC CONDITIONS FOR THIS PROPOSED DEVELOPMENT ARE TABULATED BELOW. THIS SITE WILL CONTINUE TO ACCEPT RUNOFF FROM LOT 8 AND SURFACE DISCHARGE RUNOFF TO LOT 6-A AND LA CUEVA PARKING AREA. BOTH PEAK DISCHARGE AND VOLUMETRIC RUNOFF FOR THE 100-YR, 6-HR STORM ARE LOWER THAN ORIGINALLY PLANNED FOR LA CUEVA TOWN CENTER. THE DATA USED FOR LOT 8 IS BASED ON THE REVISED DRAINAGE REPORT LOT 8 RETAIL PAD AT LA CUEVA TOWN CENTER PREPARED BY TIERRA WEST IN MARCH 2000. ONLY PART OF LOT 8 WILL DRAIN DIRECTLY TO LOT 7-A.

BASIN	BASIN AREA AC	LAND TREATMENT	10-YR, 6-HR STORM				100-YR, 6-HR STORM			
			PEAK DISCHARGE		E	V	PEAK DISCHARGE		E	V
			CFS/AC	CFS	INCH	AC-FT	CFS/AC	CFS	INCH	AC-FT
7-A	0.718	21% B 79% D	2.92	2.1	1.26	0.075	4.50	3.2	2.05	0.122
8	0.45	31% B 69% D	2.71	1.2	1.15	0.043	4.27	1.9	1.91	0.071

CONCLUSION

THIS SITE IS A ROUGH-GRADED LOT WITHIN THE LA CUEVA TOWN CENTER. THIS SITE WILL BE DEVELOPED WITH LESS IMPERVIOUS AREA AND MORE LANDSCAPE AREA THAN ASSUMED IN THE LA CUEVA TOWN CENTER DRAINAGE REPORT. THEREFORE, THIS SITE WILL PRODUCE LESS RUNOFF THAN ORIGINALLY ASSUMED FOR THE DESIGN OF THE STORM DRAIN SYSTEM FOR LA CUEVA TOWN CENTER.

PUBLIC WATERLINE EASEMENT

PUBLIC UTILITY EASEMENT

LOT 6-A
FUTURE DEVELOPMENT
(NOT A PART)

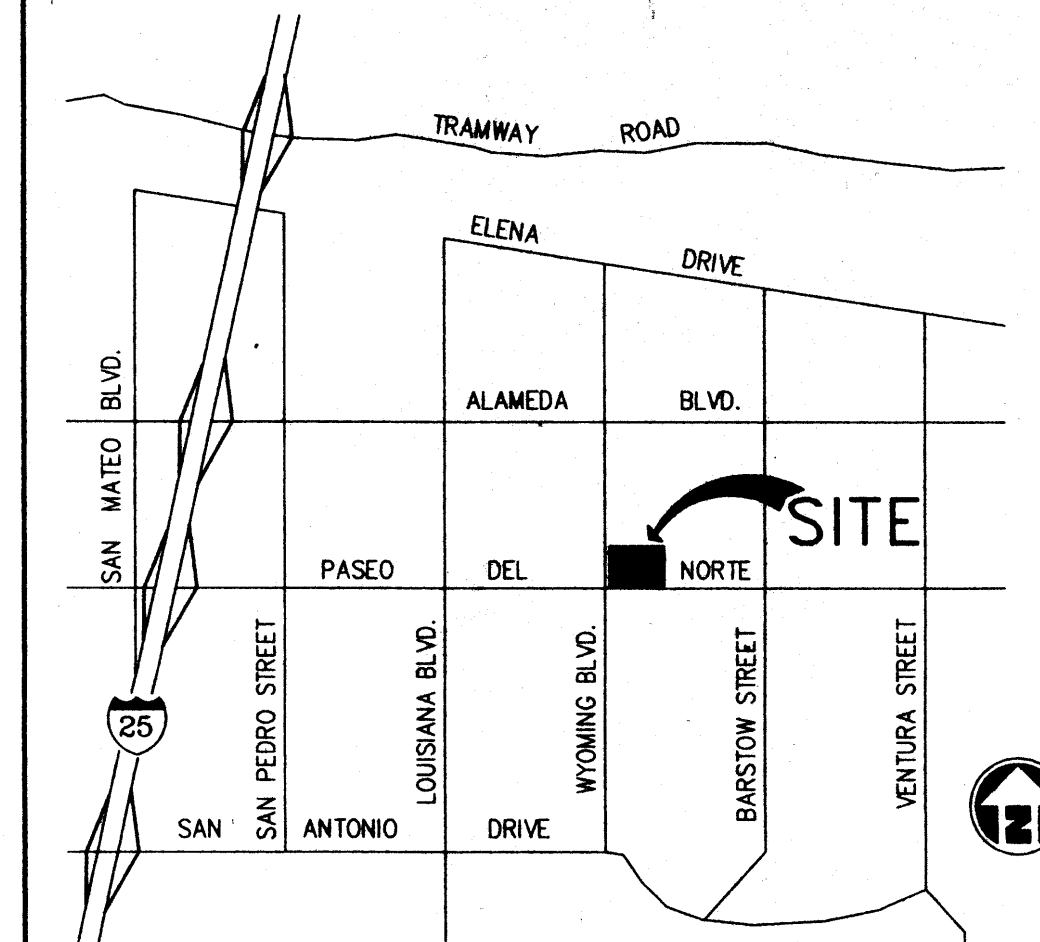
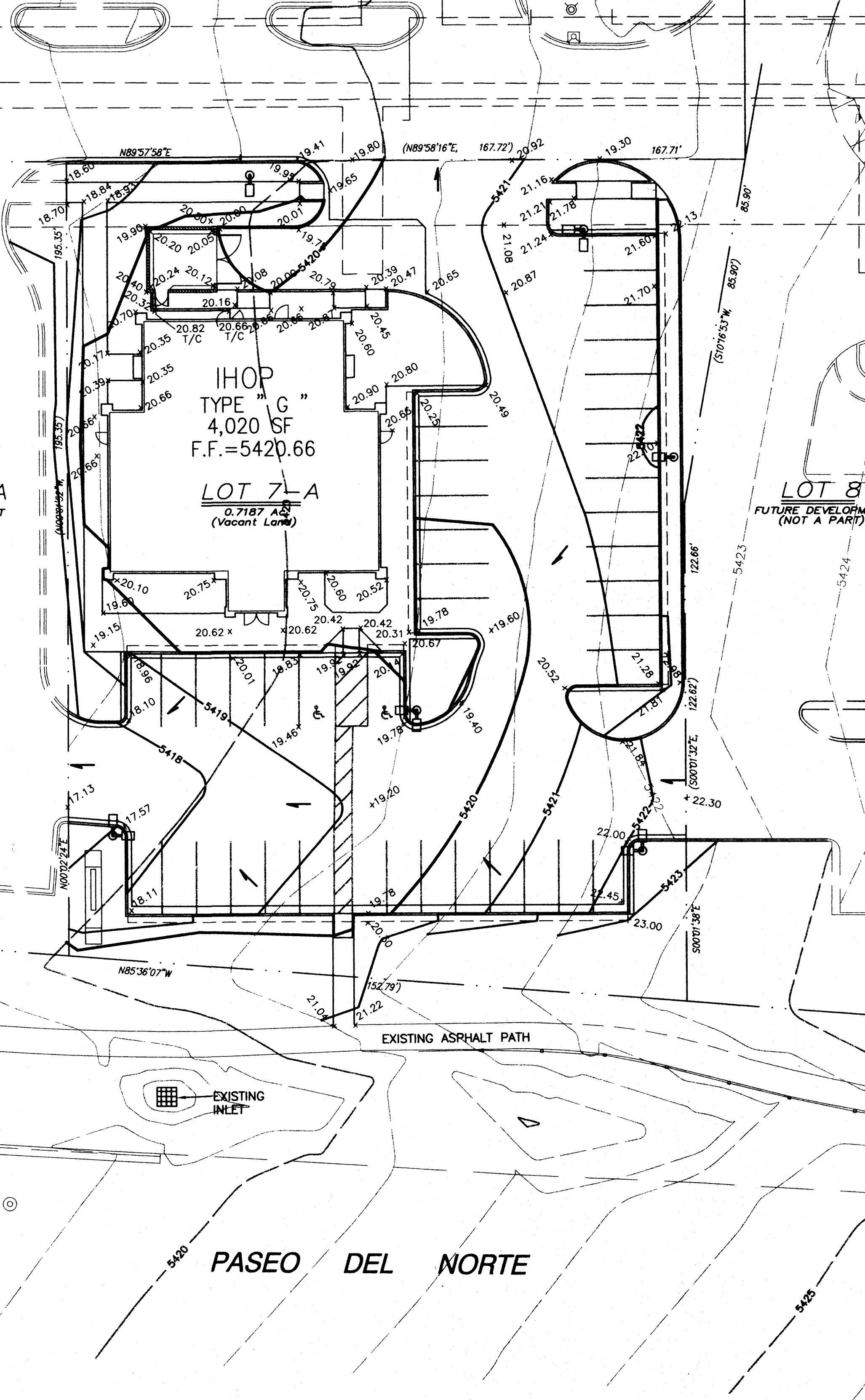
LOT 7-A
0.7187 AC
(vacant Lot)

LOT 8
FUTURE DEVELOPMENT
(NOT A PART)

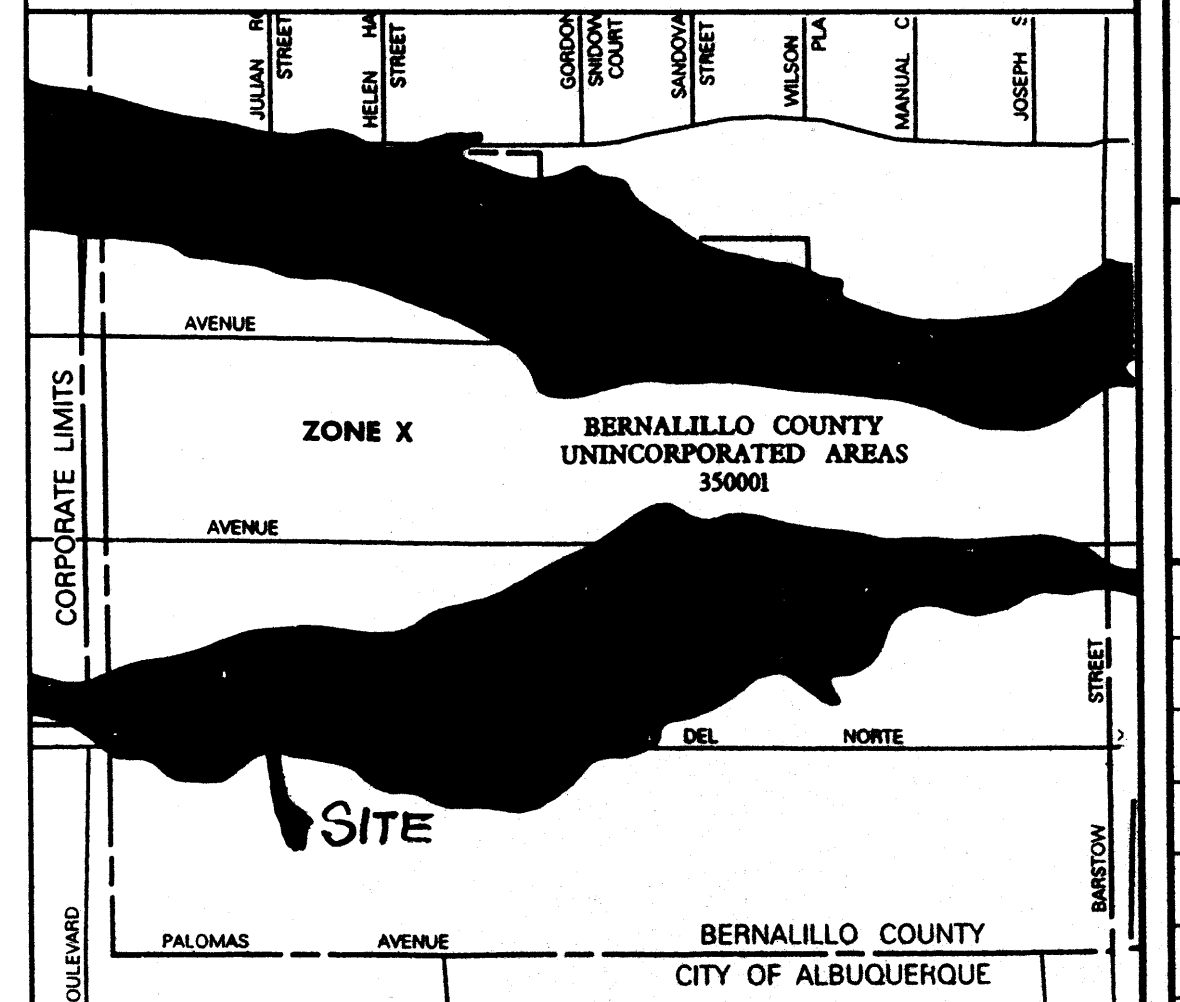
PASEO DEL NORTE

EXISTING ASPHALT PATH

EXISTING INLET



VICINITY MAP: ALBUQUERQUE ZONE ATLAS PAGE # C-19-Z



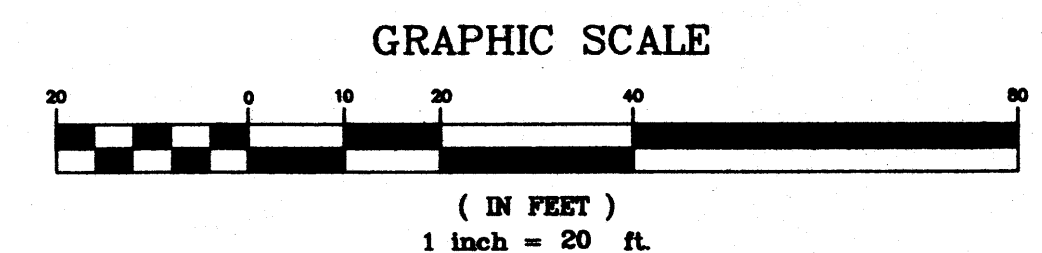
FEMA FIRM: MAP # 35001C0141 D

LEGAL DESCRIPTION:
LOT 7A LA CUEVA TOWN CENTER, NORTH ALBUQUERQUE ACRES

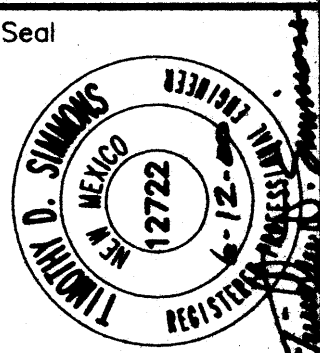
- LEGEND
- EXISTING CURB & GUTTER
 - 5005--- EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - 5005--- PROPOSED CONTOUR (MAJOR)
 - PROPOSED CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED CURB & GUTTER
 - x 20.62 PROPOSED SPOT ELEVATION

FINAL GRADING AND DRAINAGE PLAN

1"=20'



JRS



Revisions

IHOP
RESTAURANT

LA CUEVA TOWN CENTER
LOT 7A, LA CUEVA TOWN CENTER
ALBUQUERQUE, NEW MEXICO
CONCEPTUAL GRADING AND
DRAINAGE PLAN

Date: 6-12-00
Scale: AS NOTED
Drawn By: RDJ
Checked By: TDS
Store Number: 9616
Project Number: -

G-1

5971 Jefferson Boulevard, NE, Suite 101
Albuquerque, NM 87109
(505) 345-3999 FAX (505) 345-8393

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters
Shrubs to receive (2) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE REQUIREMENTS

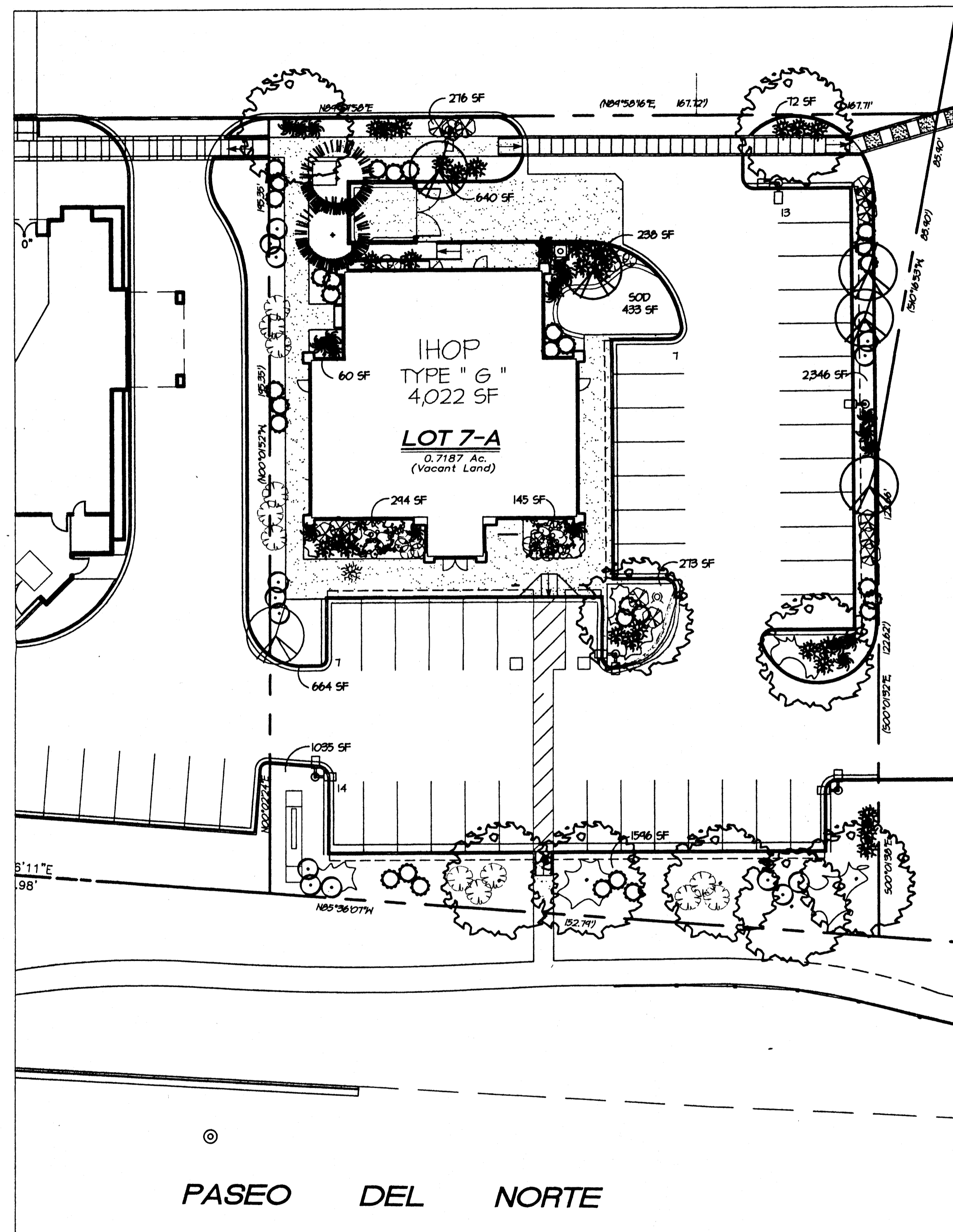
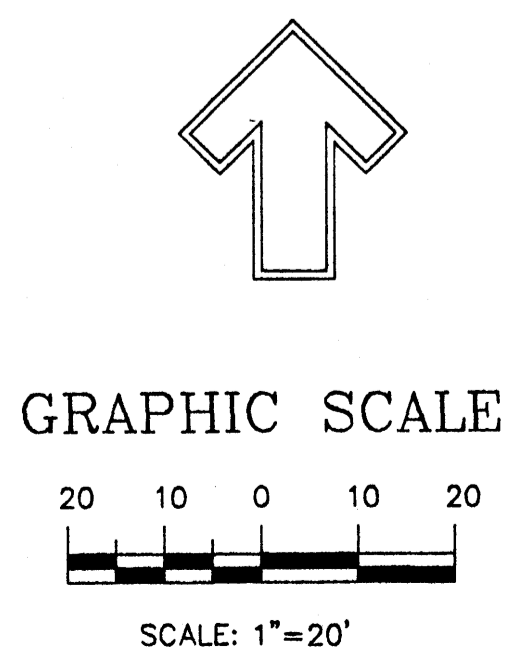
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Required #	Provided #

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

HIGH WATER TURF SHALL BE LIMITED TO 20% OF THE LANDSCAPED AREA.



PLANT LEGEND

- ASH (M) OR HONEY LOCUST (M) 10
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- FLOWERING PEAR (M) 5
Pyrus calleryana
2" Cal
- AUSTRIAN PINE (M) 2
Pinus nigra
6" Cal
- WASHINGTON HAWTHORN (M) 2
Crataegus phaenopynum
- INDIAN HAWTHORN (M) 15
Raphiolepis indica
5 gal
- RUSSIAN SAGE (M) 15
Perovskia atriplicifolia
5 gal
- SILVERBERRY (M) 30
Elaeagnus pungens
5 gal
- POTENTILLA (M) 24
Potentilla fruticosa
5 gal
- MAIDEN GRASS (M) 10
Miscanthus sinensis
5 gal
- CHAMISA (L) 12
Chrysothamnus nauseosus
1 gal
- WILDFLOWER 13
1 gal
- TAM JUNIPER (M) 16
JUNIPERUS SABINA
5 gal
- OVERSIZED GRAVEL
4 BOLDERS
- 3/4" SANTA FE BROWN
GRAVEL W/ FILTER FABRIC
- SOD
- COMMERCIAL GRADE
STEEL EDGING

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	31,334	square feet
TOTAL LOT AREA		
NET BUILDINGS AREA	4,022	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	27,312	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	4,700	square feet
TOTAL LANDSCAPE PROVIDED	8,072	square feet
TOTAL BED PROVIDED	5,587	square feet
TOTAL SOD PROVIDED	433	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

The Hilltop

LANDSCAPE ARCHITECTS + CONTRACTORS

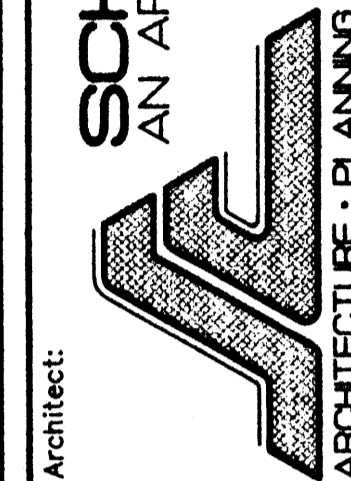
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
thilltoplandscaping.com

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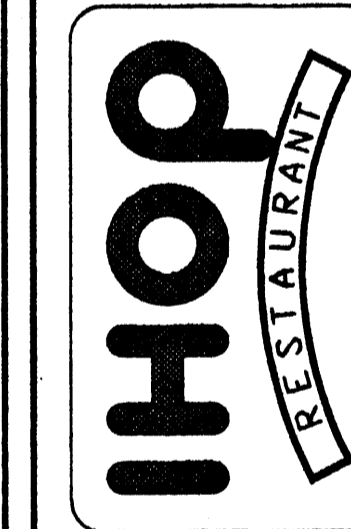


Architect:

Seal

Revisions

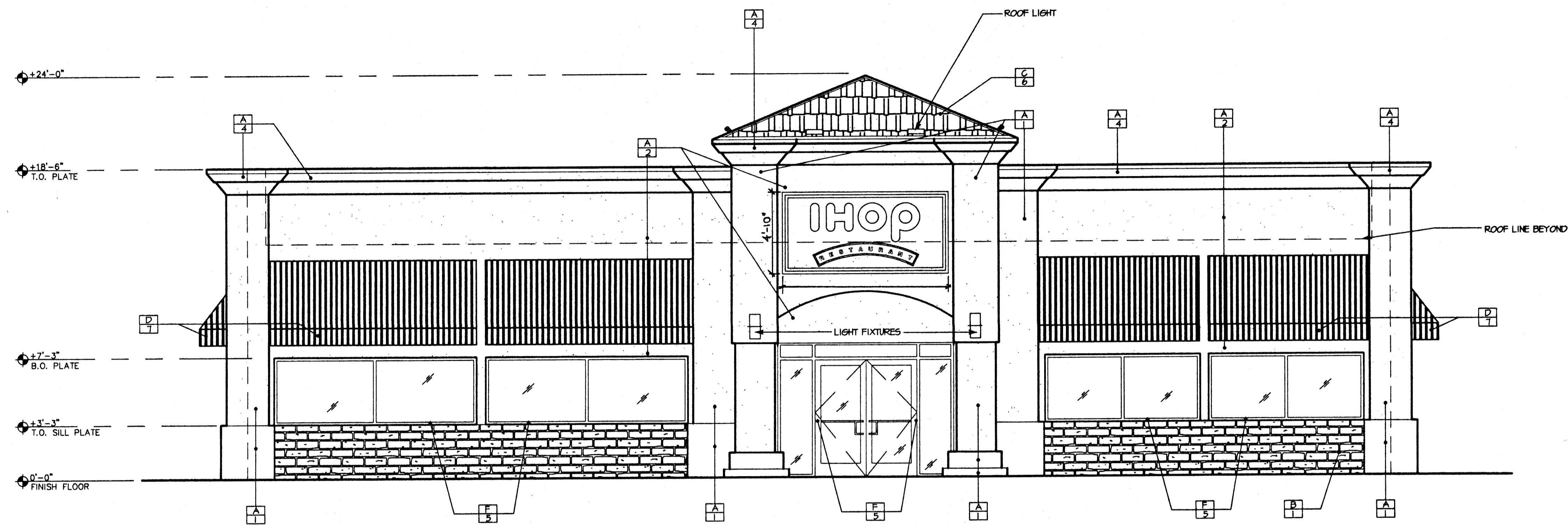
ADDED NOTE
8-16-00 785



Lot # 7 La Cueva Town Center
N.E. Paseo del Norte/ Wyoming Blvd.
ALBUQUERQUE, NEW MEXICO

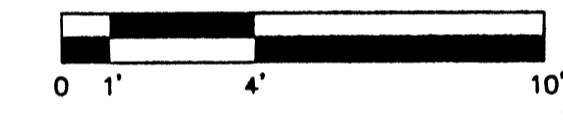
LANDSCAPE SITE PLAN

Date: 4-27-00
Scale: AS NOTED
Drawn By: JMC
Checked By: JMC
Store Number: 9818
Project Number: 98-239.100



FRONT ELEVATION

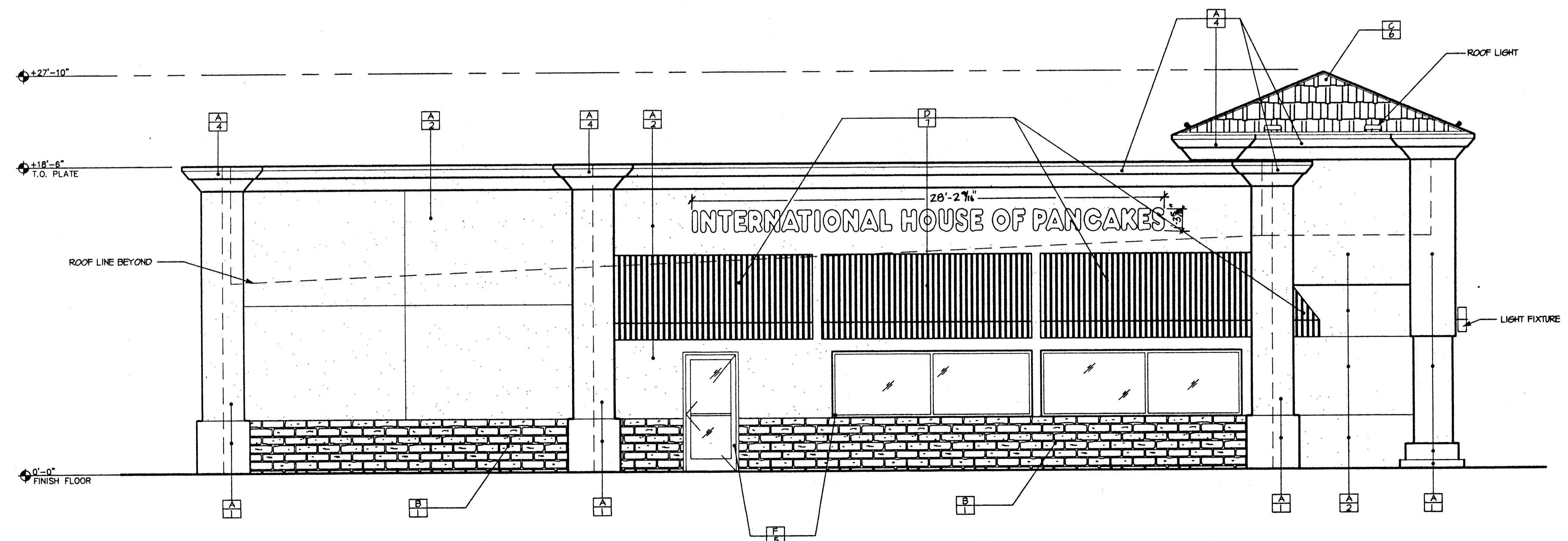
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MATERIALS LEGEND	
A	= STUCCO
B	= SPLITFACE CMU
C	= CONCRETE ROOF TILES
D	= FABRIC AWNING
E	= HOLLOW METAL DOORS
F	= STOREFRONT SYSTEM

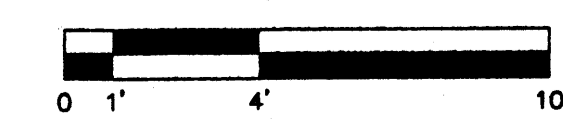
COLORS LEGEND	
1	= COLOR TO MATCH "EL REY" FROSTY TOFFEE 24C-2T
2	= COLOR TO MATCH "EL REY" CHOCOLATE SHAKE 24C-1P
3	= NOT USED
4	= COLOR TO MATCH "EL REY" BONE 30A-3P
5	= DARK BRONZE
6	= MONIER DESERT GLOW
7	= "SUNBRELLA" #4183 SPLASH-SPUN PACIFIC BLUE/NATURAL

SIGNAGE CALCULATION	
FRONT ELEVATION	
FRONT WALL AREA:	1324 SQUARE FEET
SIGNAGE AREA:	9'-10" X 4'-10" = 40 SQ. FT.
40 S.F. X 100% / 1324 S.F. = 3.0% WHICH IS LESS THAN 6% REQUIREMENTS	
LEFT ELEVATION	
SIDE WALL AREA:	804 SQUARE FEET
SIGNAGE AREA:	28'-2 1/4" X 15% = 30 SQ. FT.
30 S.F. X 100% / 804 S.F. = 4.7% WHICH IS LESS THAN 6% REQUIREMENTS	



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

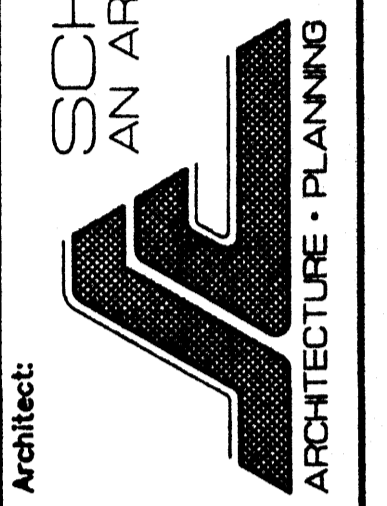


NOTES:

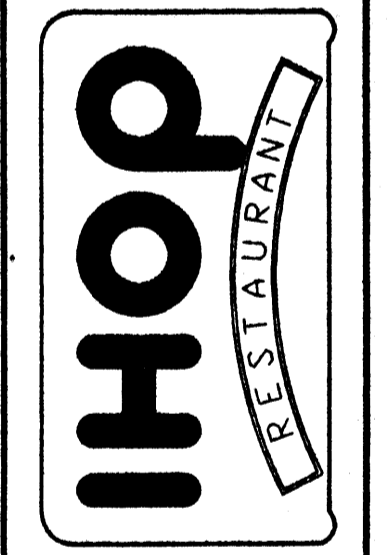
- THE HEIGHT OF ROOF-MOUNTED EQUIPMENT SHALL BE BELOW PARAPET HEIGHT.
- SIGN LETTERS SHALL BE CHANNELIZED OR NEON. BACKLIT PANEL OR BOX SIGNS SHALL NOT BE USED.

SCHUSS • CLARK
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San Diego, California 92126-4597
(619) 578-2660 FAX (619) 578-8348



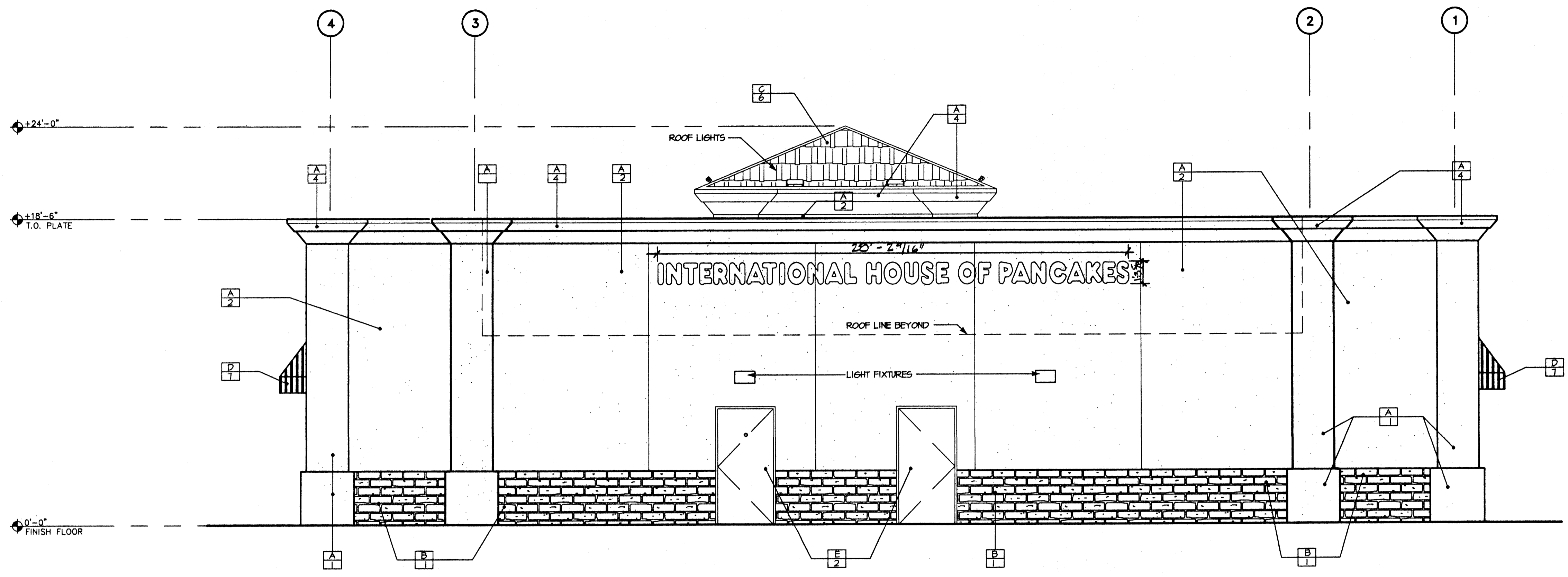
Revisions
△ - ADDED NOTES. 8-16-00 TJS
△ -
△ -
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Lot #7 - La Cueva Town Center
N.E. Paseo del Norte / Wyoming Blvd.
ALBUQUERQUE, NEW MEXICO

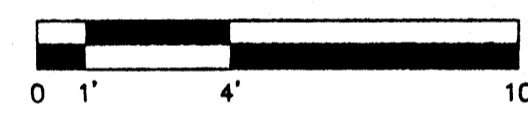
EXTERIOR ELEVATIONS

Date	6-9-2000
Scale	AS NOTED
Drawn By	MJC
Checked By	MJC
Store Number	9616
Project Number	99-239.100



REAR ELEVATION

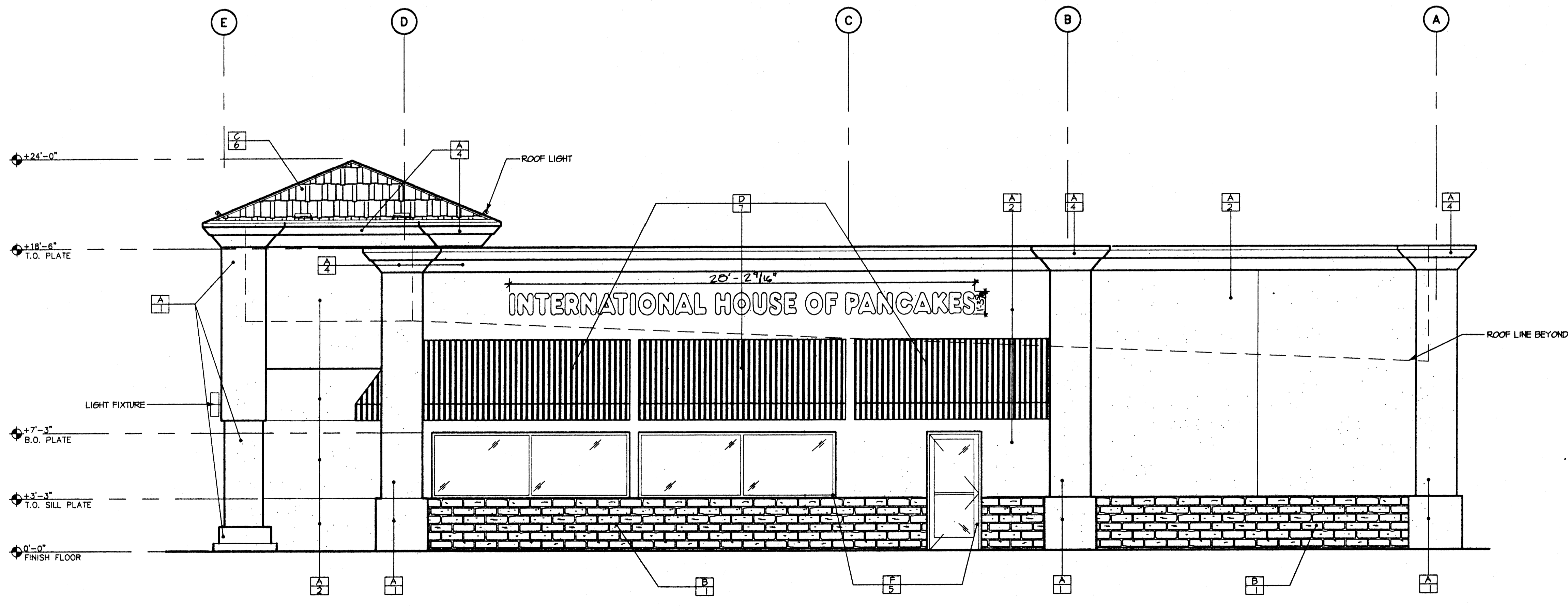
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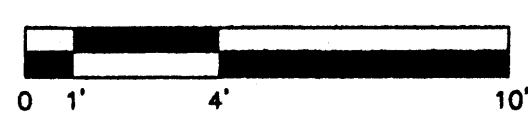
COLORS LEGEND	
1	= COLOR TO MATCH 'EL REY' FROSTY TOFFEE 24C-2T
2	= COLOR TO MATCH 'EL REY' CHOCOLATE SHAKE 24C-1P
3	= NOT USED
4	= COLOR TO MATCH 'EL REY' BONE 30A-3P
5	= DARK BRONZE
6	= MONIER DESERT GLOW
7	= 'SUNRELLA' #4103 SPLASH-SPUN PACIFIC BLUE/NATURAL

SIGNAGE CALCULATION	
REAR ELEVATION	
FRONT WALL AREA:	975 SQUARE FEET
SIGNAGE AREA:	28'-2 1/4" X 15 1/2" = 38 SQ. FT.
38 SF. X 100% / 975 SF. = 3.8% WHICH IS LESS THAN 6% REQUIREMENTS	
RIGHT ELEVATION	
SIDE WALL AREA:	804 SQUARE FEET
SIGNAGE AREA:	28'-2 1/4" X 15 1/2" = 38 SQ. FT.
38 SF. X 100% / 804 SF. = 4.7% WHICH IS LESS THAN 6% REQUIREMENTS	



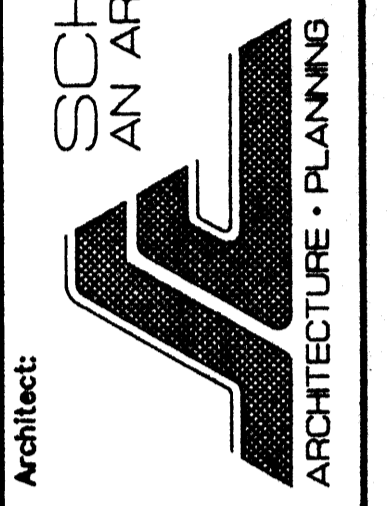
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SEE NOTES SH. A-11.

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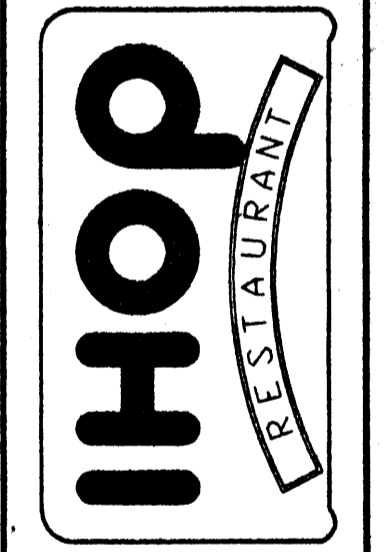


Architect

Seal

Revisions

- △ - ADDED NOTE: 8-16-00 TDS
- △ =
- △ =
- △ =
- △ =
- △ =

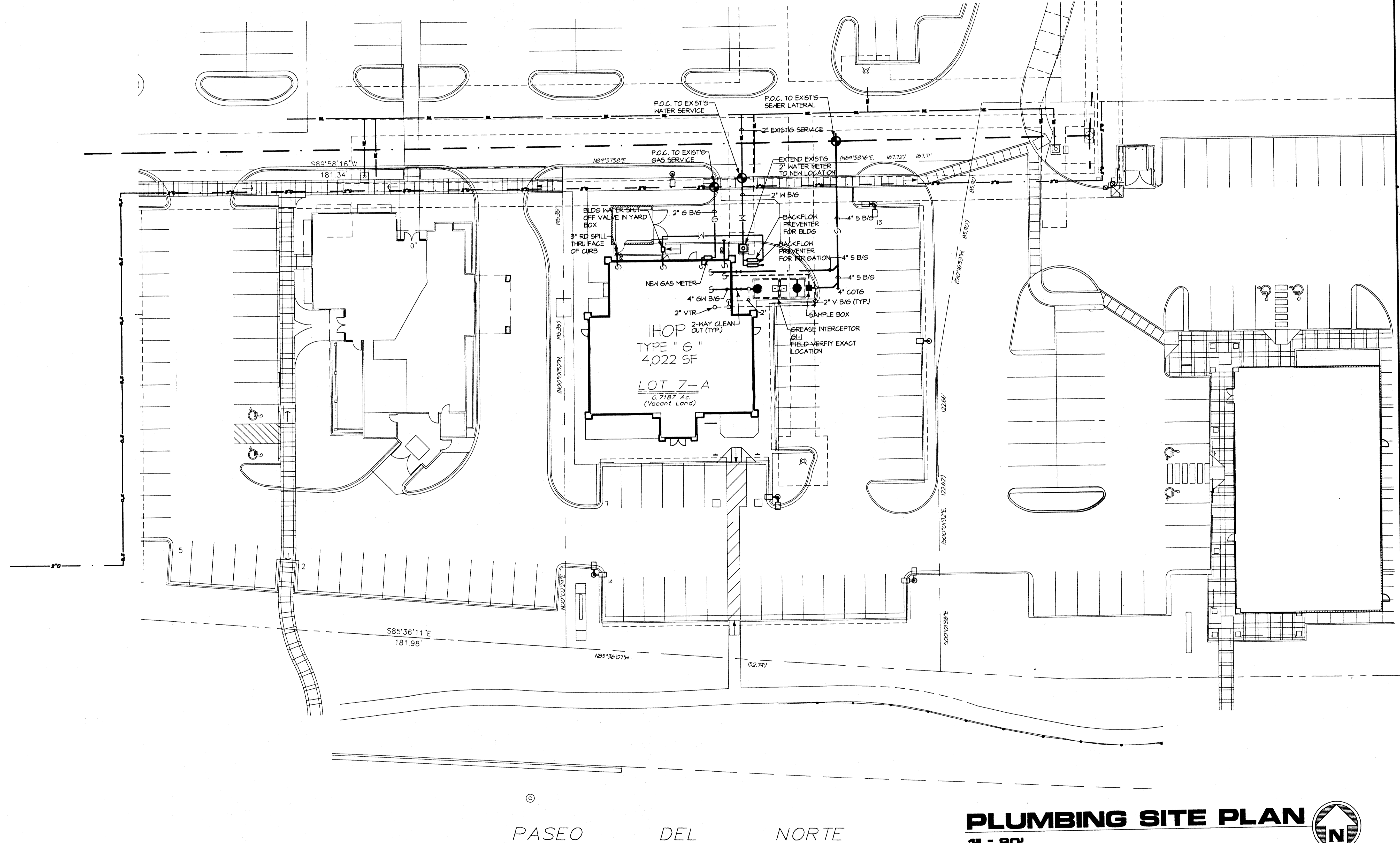


Lot #7 - La Cueva Town Center
N.E. Paseo del Norte / Wyoming Blvd.
ALBUQUERQUE, NEW MEXICO

EXTERIOR ELEVATIONS

Date	6-9-2000
Scale	AS NOTED
Drawn By	MJC
Checked By	MJC
Store Number	9616
Project Number	99-239.100

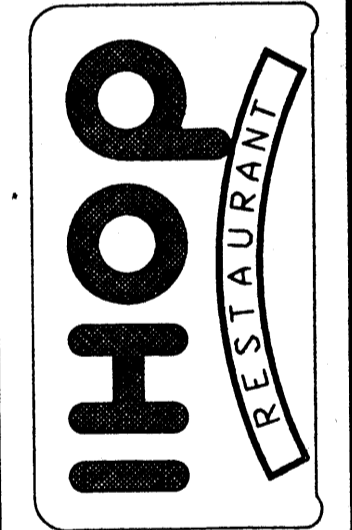
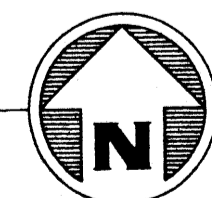
EXISTING SHOPPING CENTER



PASEO DEL NORTE

PLUMBING SITE PLAN

1" = 20'



Lot #7 - La Cueva Town Center
N.E. Paseo del Norte / Wyoming Blvd.
ALBUQUERQUE, NEW MEXICO

PLUMBING SITE PLAN

Date	2-25-2000
Scale	AS NOTED
Drawn By	STAFF
Checked By	STAFF
Store Number	9616
Project Number	99-230.100

PS-1

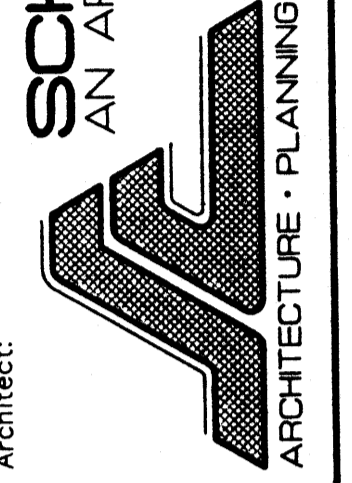
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Architect:

Seal

Revisions

- 1
- 2
- 3
- 4
- 5