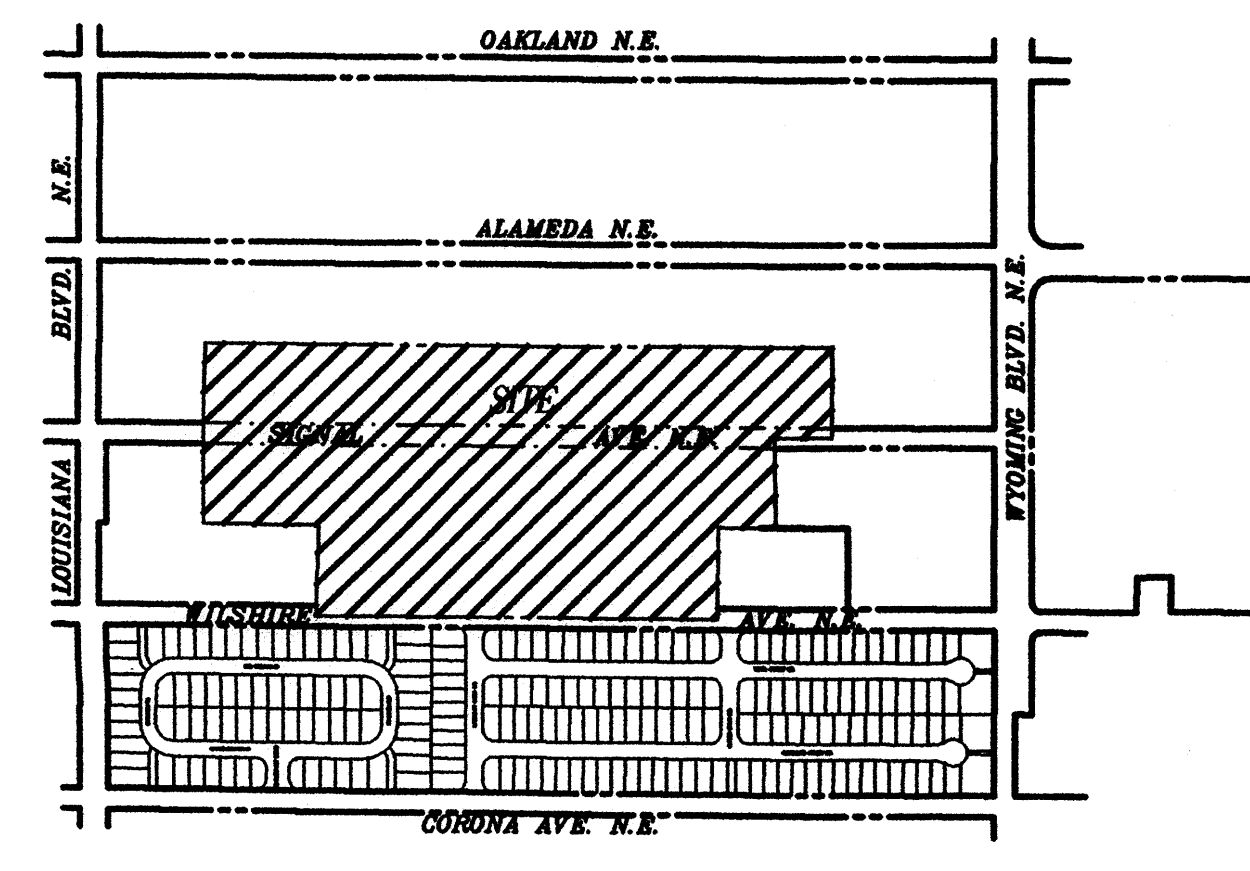


COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

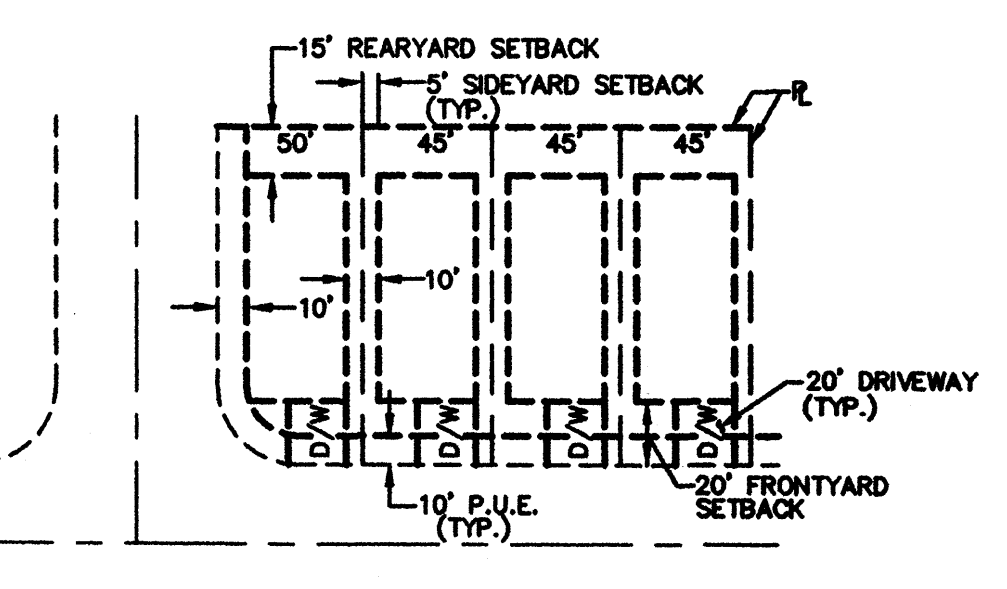
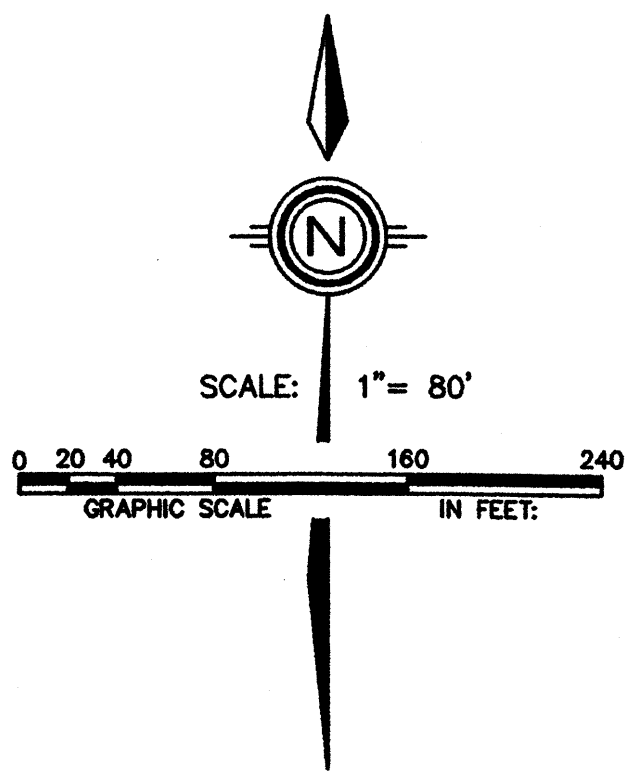
# EAGLE SPRINGS SUBDIVISION

## AMENDED SITE DEVELOPMENT PLAN

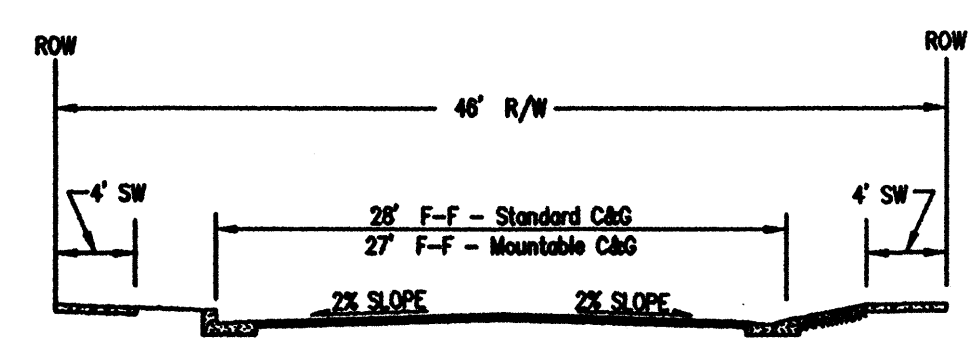
BEING A PORTION OF BLOCKS 4 & 5  
TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES  
SITUATE WITHIN  
THE ELENA GALLEGOS LAND GRANT  
"PROJECTED" SECTION 18, T11N, R4E, N.M.P.M.  
BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2001



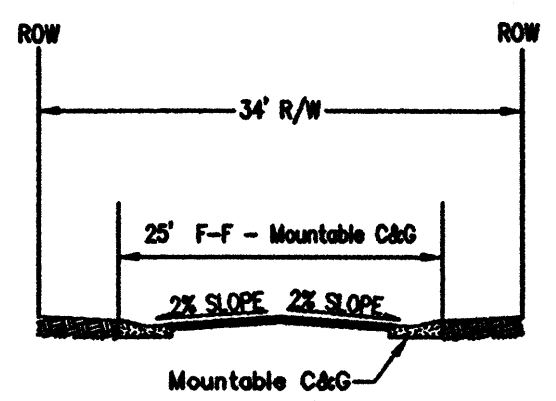
N.T.S. VICINITY MAP ZONE ATLAS L-8/M-8



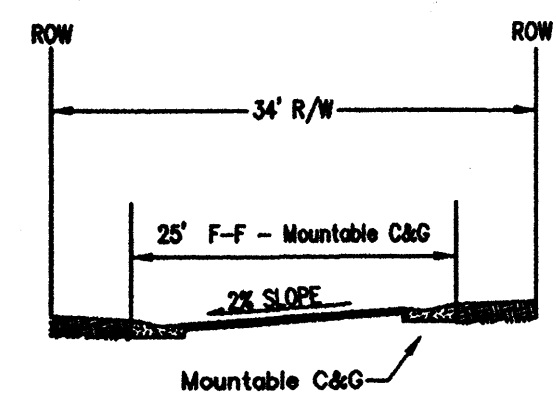
TYPICAL LOT DETAIL FOR SINGLE FAMILY DETACHED DWELLINGS  
N.T.S.  
NOTE:  
1. FRONT, SIDE AND REAR YARD SETBACKS ARE AS INDICATED ABOVE.  
2. BUILDING HEIGHTS SHALL NOT EXCEED 26 FT.



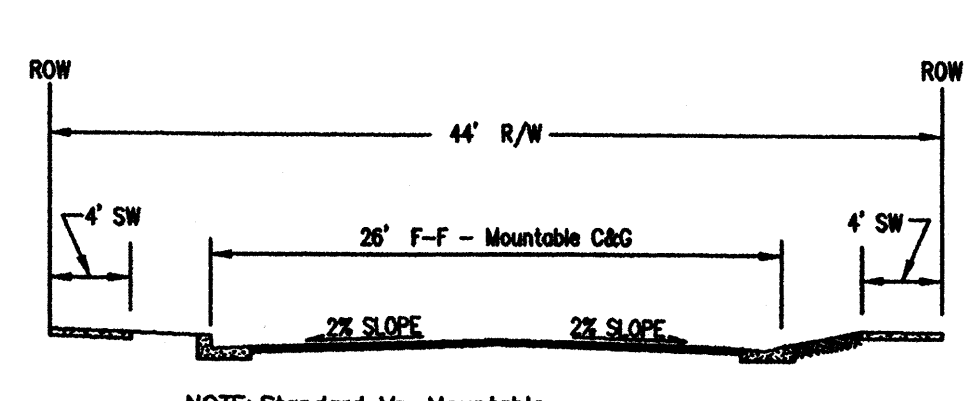
TYPICAL 46' STREET SECTION  
N.T.S.  
NOTE: Standard Vs. Mountable C&G location to be determined by Drainage Requirements



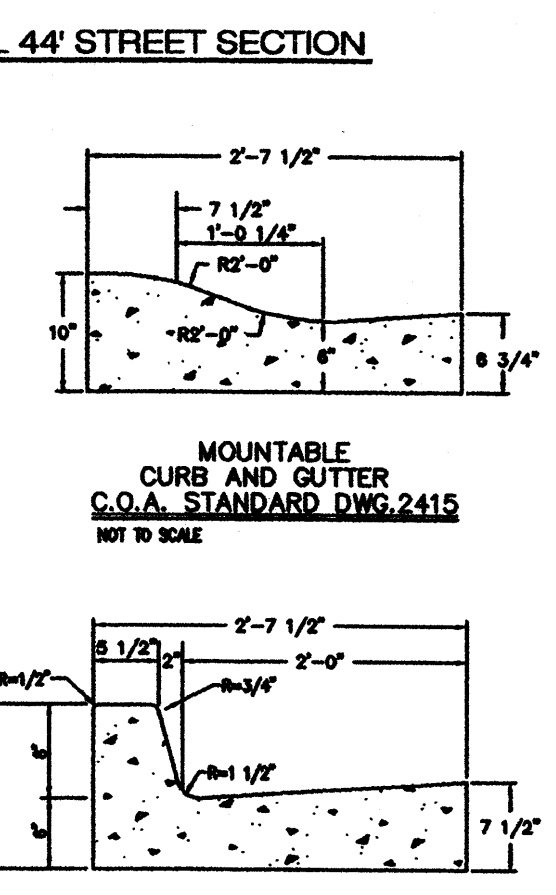
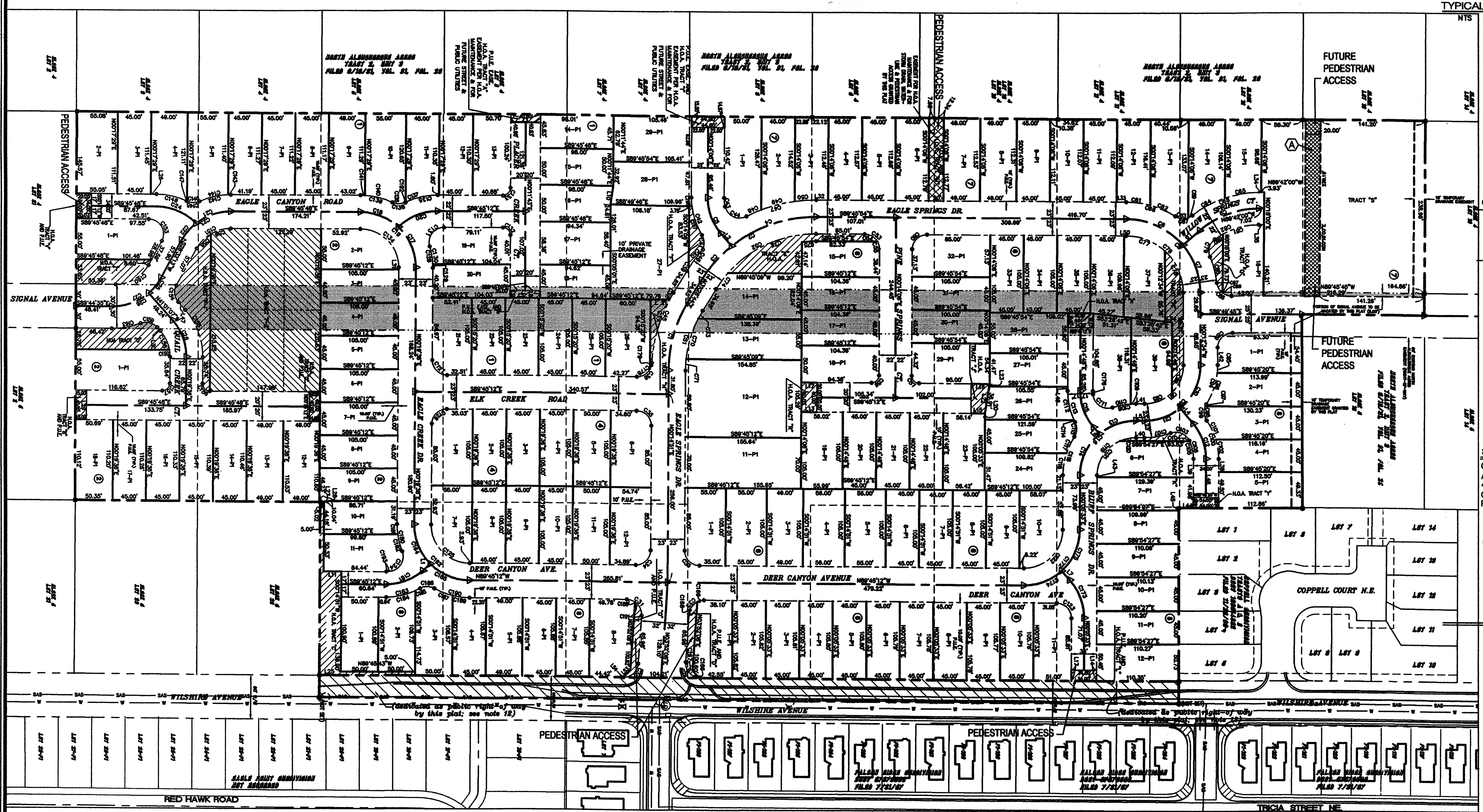
TYPICAL 34' STREET SECTION  
N.T.S.



TYPICAL 34' STREET SECTION  
N.T.S.



TYPICAL 44' STREET SECTION  
N.T.S.  
NOTE: Standard Vs. Mountable C&G location to be determined by Drainage Requirements



OPEN SPACE TABLE	
HOA TRACT A	0.0100 ACRES
HOA TRACT B	0.0138 ACRES
HOA TRACT C	0.1147 ACRES
HOA TRACT D	0.0128 ACRES
HOA TRACT E	0.1085 ACRES
HOA TRACT F	0.0221 ACRES
HOA TRACT G	0.0129 ACRES
HOA TRACT H	0.0738 ACRES
HOA TRACT I	0.0201 ACRES
HOA TRACT J	0.0137 ACRES
HOA TRACT K	0.0117 ACRES
HOA TRACT L	0.0518 ACRES
HOA TRACT M	0.0216 ACRES
HOA TRACT N	0.0218 ACRES
HOA TRACT O	0.1126 ACRES
HOA TRACT P-1	0.0214 ACRES
HOA TRACT P-2	0.0193 ACRES
HOA TRACT Q	0.0684 ACRES
HOA TRACT R	0.0855 ACRES
HOA TRACT S	0.0157 ACRES
HOA TRACT T	0.0992 ACRES
HOA TRACT U	0.0166 ACRES
HOA TRACT V	0.01 ACRES
<b>TOTAL OPEN SPACE</b>	<b>0.8752 ACRES</b>
(IN ADDITION TO AVERAGE 2.31 S.F. PROVIDED ON-LOT)	

SITE DATA	
CASE NUMBERS	1000428
ZONE ATLAS NO.	C-19-Z
MILES OF FULL WIDTH STREETS CREATED	1.1 MILES
NO. OF EXISTING PARCELS	0
NO. OF EXISTING LOTS	28
NO. OF LOTS CREATED	146
DENSITY	5.70 DU/AC
NO. OF H.O.A. TRACTS CREATED	25
SUBDIVISION ACREAGE	27.99

**APPROVALS:**  
AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE DEVELOPMENTAL REVIEW BOARD (DRB) ON 12/12/01 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

**SITE DEVELOPMENT PLAN**  
CASE NUMBER: 1000428-01580-1581

*Bradley J. Bingham* 12/5/01  
CITY ENGINEER - ALBUQUERQUE PLANNING DEPARTMENT DATE

*Richard J. Davis* 12/05/01  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*Adrienne E. Cordova* 12/05/01  
PARKS & RECREATION DATE

*Roger J. Khan* 12/05/01  
PUBLIC WORKS, UTILITY DEVELOPMENT DIVISION DATE

*James S. [Signature]* 12/05/01  
CITY ENGINEER - ENGINEERING DIVISION DATE

A.M.A.F.C.A. N/A DATE

**SURVEYOR/ENGINEER**  
COMMUNITY SCIENCES CORPORATION  
ATTN: LYLE LOSACK  
4481 CORRALES ROAD  
CORRALES, NEW MEXICO 87048  
PHONE: (505) 897-0000

**OWNER/DEVELOPER**  
D.R. HORTON INC.  
ATTN: J. MARK FERGUSON  
ALBUQUERQUE, NEW MEXICO 87111  
PHONE: (505) 797-4245

- KEYED NOTES**
- (A) PROPOSED PUBLIC 20' WATERLINE EASEMENT
  - (B) PROPOSED PUBLIC UTILITY EASEMENT

PROJ 1000428

# EAGLE SPRINGS SUBDIVISION

## AMENDED SITE DEVELOPMENT PLAN

### LOT LAYOUT/OPEN SPACE

### GENERAL SITE NOTES & INFORMATION

- 1) THE ZONING FOR THIS SUBDIVISION IS R-D. THE MINIMUM LOT REQUIREMENT IS 4,450 sq. ft.
- 2) THE MINIMUM LOT SIZE PROPOSED IS 4,725 sq. ft.
- 3) THE MAXIMUM LOT SIZE FOUND ON THIS SUBDIVISION IS AN EXISTING 16,382 sq. ft. LOT. THE MAXIMUM PROPOSED LOT IS 10,895 sq. ft.
- 4) THIS SUBDIVISION IS FOUND WITHIN THE LA CUEVA SECTOR DEVELOPMENT PLAN. THIS SITE PLAN IS NECESSARY TO COMPLY WITH COMMITTEE AMENDMENT No. 3: "Any uses more intense than what the R-1 zone would allow under the R-D zone will be subject to a Site Development Plan."
- 5) THE PROPOSED NUMBER OF LOTS IS 146.

- 6) THE REQUIRED SETBACKS ARE:
- FRONT - 20'
  - SIDE - 5'
  - REAR - 15 ft.

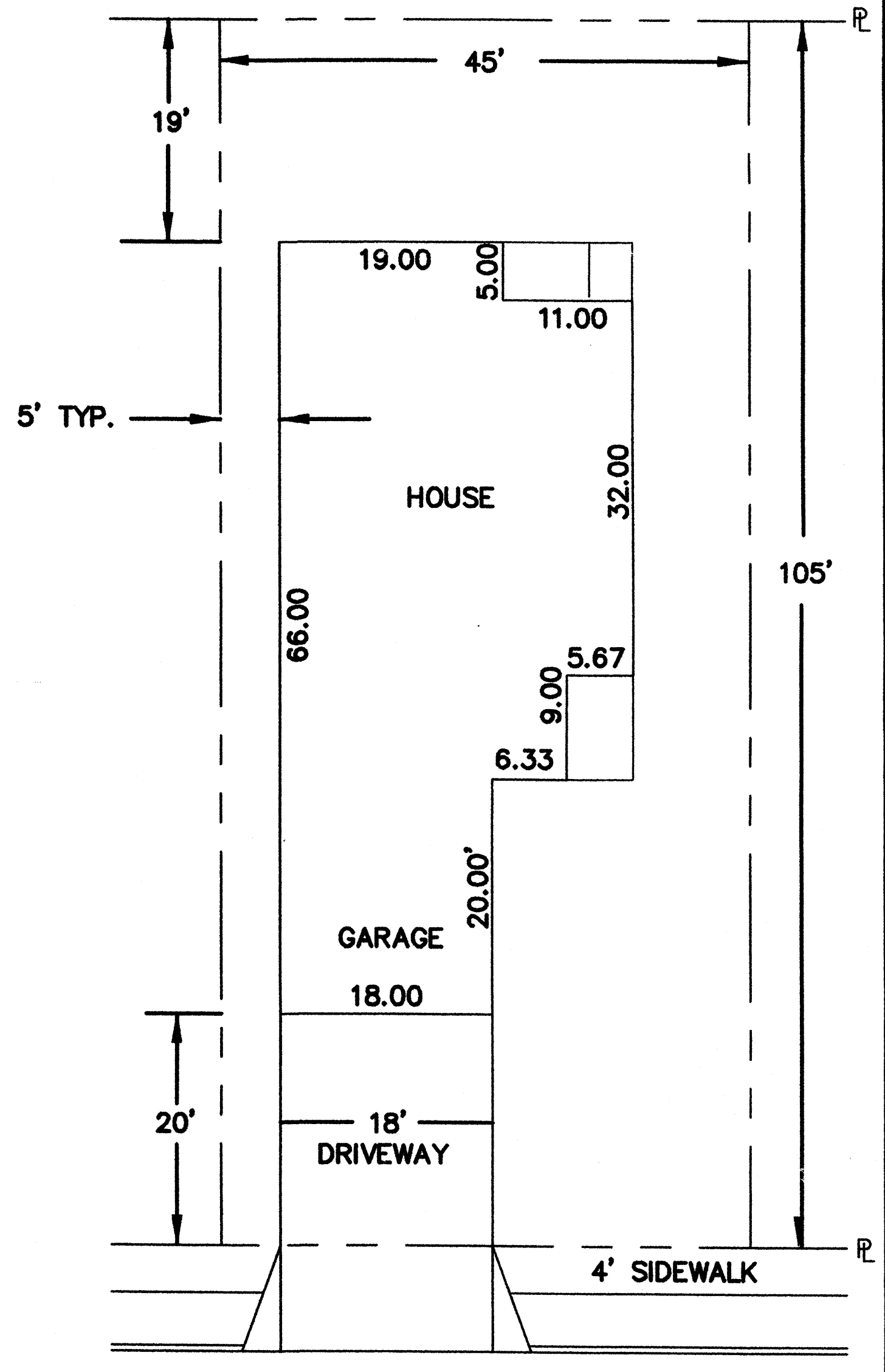
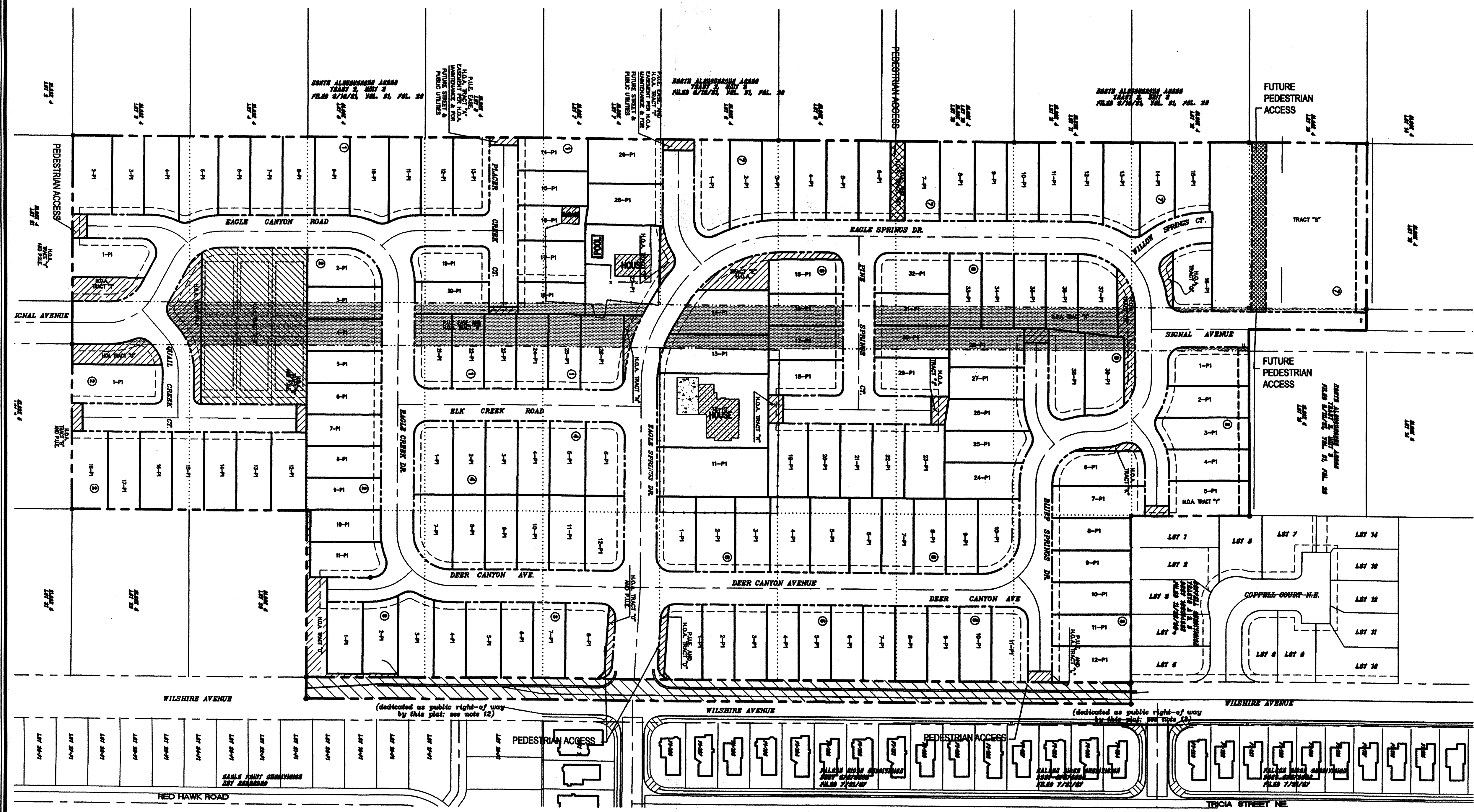
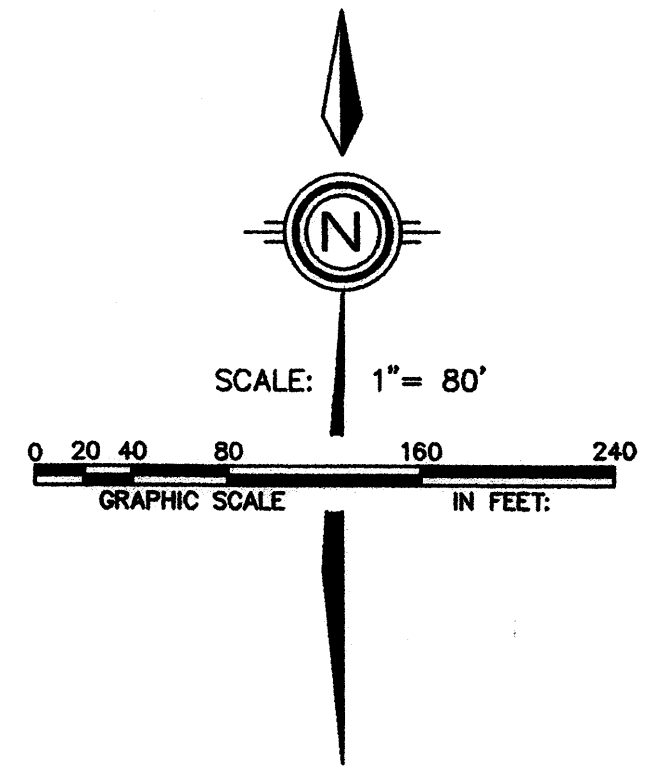
7) OPEN SPACE CALCULATIONS ARE PROVIDED ON THE TABLE SHOWN ON SHEET 1.

8) ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING.

9) A DIMENSIONED TYPICAL LOT PLAN IS PROVIDED ON THIS SHEET.

7) OPEN SPACE REQUIREMENT OF THE CITY OF ALBUQUERQUE ARE MET ON THE LOT WITH THE DWELLING AS SHOWN ON THE APPROVED SITE PLAN, EXCEPT FOR LOT 10-P1, BLOCK 2. LOT 10-P1, BLOCK 2, SHALL HAVE A MAXIMUM STRUCTURE FOOTPRINT AND DRIVEWAY COVERAGE OF 2,100 SQ. FT. OR PROVIDE PAYMENT TO THE CITY PARKS AND RECREATION DIVISION (CASH IN LIEU) FOR EXCESS COVERAGE. SITE PLAN CASE REFERENCE 01450-1581 (ASPS).

A DIMENSIONED TYPICAL LOT PLAN IS PROVIDED ON THIS SHEET.

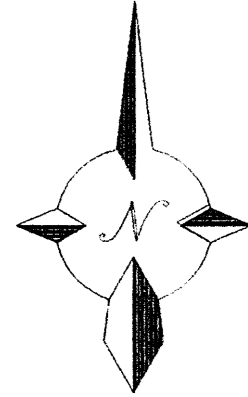


SCALE: 1"=10'  
**TYPICAL LOT PLAN**  
 HOUSE, GARAGE & DRIVEWAY SQUARE FOOTAGE: 1994  
 LOT SQUARE FOOTAGE: 4725

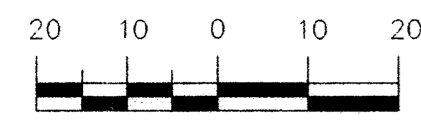
# The Hilltop

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 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 it@hilltoplandscaping.com

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GRAPHIC SCALE



SCALE: 1"=20'

## PLANT LEGEND AND PALETTE

	ASH (H) OR HONEY LOCUST (H) <i>Fraxinus pennsylvanica</i> <i>Gleditsia triacanthos</i> 2" Cal.		RUSSIAN SAGE (M) <i>Perovskia atriplicifolia</i> 5 gal.
	PINON PINE (M) <i>Pinus edulis</i> 6'-8'		AUTUMN SAGE (M) <i>Salvia greggii</i> 5 gal.
	AUSTRIAN PINE (M) <i>Pinus nigra</i> 6'-8'		NANDINA (M) <i>Nandina domestica</i> 5 gal.
	DESERT WILLOW (L) <i>Chilopsis linearis</i> 15 gal.		PHOTINIA (M) <i>Photinia fraseri</i> 5 gal.
	NEW MEXICO OLIVE (M) <i>Forsytia neomexicana</i> 15 gal.		APACHE PLUME (L) <i>Fetulla paradoxa</i> 5 gal.
	VITEX (M) <i>Vitex agnus-casta</i> 15 gal.		INDIAN HAWTHORN (M) <i>Raphiolepis indica</i> 5 gal.
	PALM YUCCA (L)		CHAMISA (L) <i>Chrysothamnus nauseosus</i> 1 gal.
	MUGHO PINE (M) <i>Pinus mugho</i> 7 gal.		WILDFLOWER 1 gal.
			TAM JUNIPER (M) <i>Juniperus sabina</i> 5 gal.
			OVERSIZED GRAVEL & BOULDERS
			3/4" GREY GRAVEL W/ FILTER FABRIC
			SOD
			COMMERCIAL GRADE STEEL EDGING
			POP-UP SPRINKLER HEAD

**IRRIGATION NOTES:** Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:** Landscape maintenance shall be the responsibility of the Property Owner. It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation. Plant beds shall achieve 75% live ground cover at maturity. 3/4" Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

LANDSCAPE NOTES - HOA TRACTS  
 TOTAL SITE AREA 27.0542 AC (1,178,481.00 sq. ft.)  
 H. O. A. TRACTS 0.9751 AC (42,124 sq. ft.)

THE H. O. A. TRACT LANDSCAPING SHOWN ON THIS SHEET IS A PROTOTYPE FOR ALL THOSE H. O. A. TRACTS DESIGNATED ON THE PLAN FOR PERMANENT MAINTENANCE BY THE ASSOCIATION. EACH H. O. A. TRACT INSTALLATION, INCLUDING IRRIGATION, WILL BE BY A REGISTERED LANDSCAPE ARCHITECT AND/OR CONTRACTOR WITH DISCRETION TO DESIGN EACH AREA IN ACCORDANCE WITH THIS PROTOTYPE, PLANT PALETTE AND UNIQUE AREA FEATURES.

THE TYPICAL LOT SIZE FOUND IN THIS SUBDIVISION IS 45' x 105' (4,725 sq. ft.). TO ACCOMMODATE THE REQUIREMENT OF 2,400 sq. ft. OF USABLE OPEN SPACE WOULD REQUIRE THAT THE MAXIMUM BUILDING PAD BE LESS THAN OR EQUAL TO 1,925 sq. ft., EXCLUDING DRIVEWAYS AND WALKWAYS. OF THE 43 HOME MODELS AVAILABLE FOR THE EAGLE SPRINGS SUBDIVISION, MORE THAN HALF WILL PROVIDE THE REQUIRED AMOUNT OF OPEN SPACE PER LOT.

LANDSCAPE OR OPEN SPACE AREA PER LOT 2,400 sq. ft.

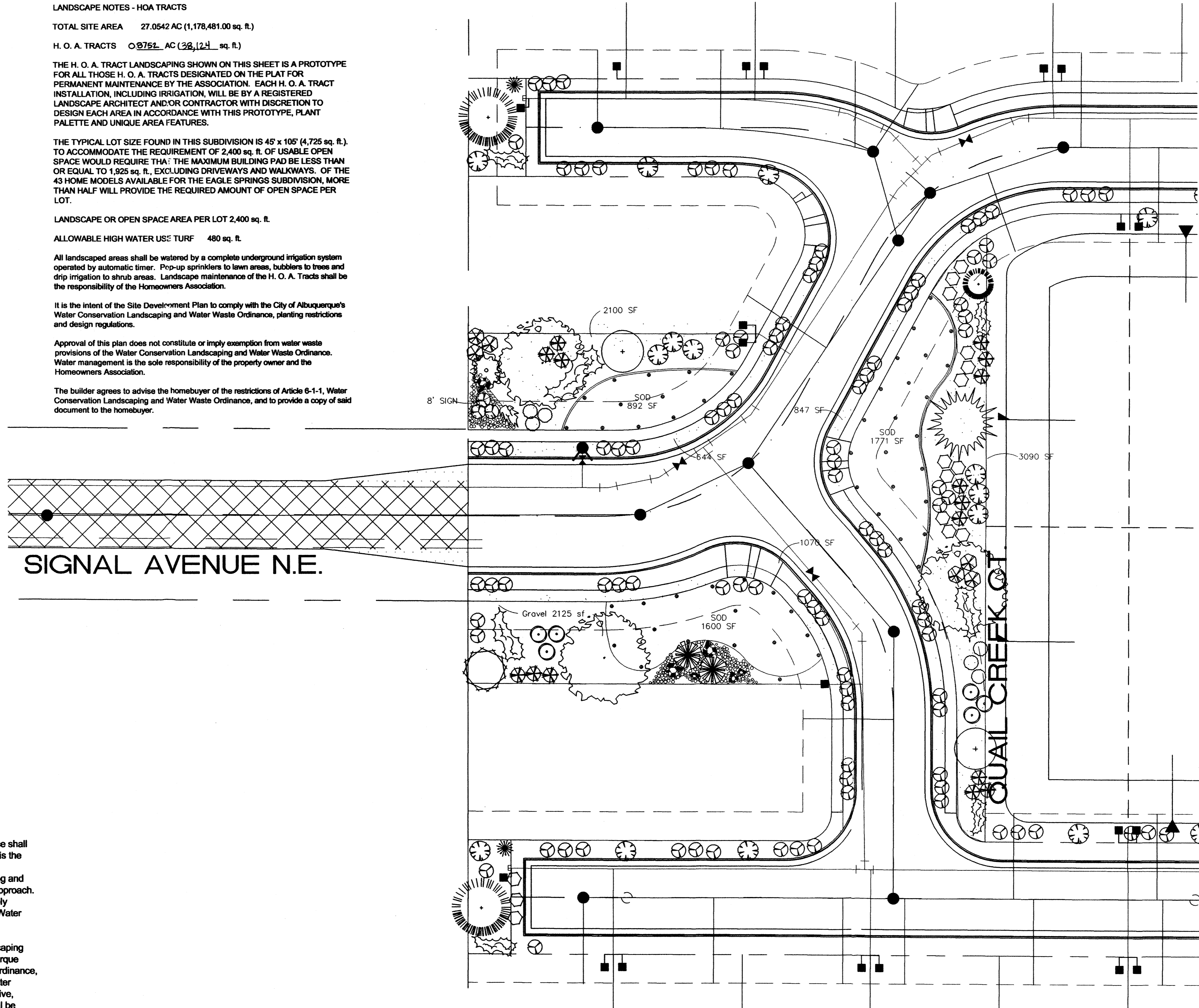
ALLOWABLE HIGH WATER USE TURF 480 sq. ft.

All landscaped areas shall be watered by a complete underground irrigation system operated by automatic timer. Pop-up sprinklers to lawn areas, bubblers to trees and drip irrigation to shrub areas. Landscape maintenance of the H. O. A. Tracts shall be the responsibility of the Homeowners Association.

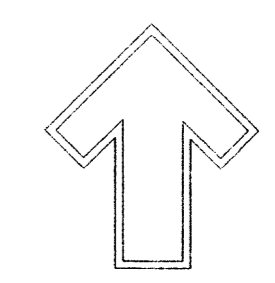
It is the intent of the Site Development Plan to comply with the City of Albuquerque's Water Conservation Landscaping and Water Waste Ordinance, planting restrictions and design regulations.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the property owner and the Homeowners Association.

The builder agrees to advise the homebuyer of the restrictions of Article 6-1-1, Water Conservation Landscaping and Water Waste Ordinance, and to provide a copy of said document to the homebuyer.



TYPICAL LANDSCAPE PLAN, FEATURE H.O.A. AREAS AND CULS-DE-SAC ENDS  
 EAGLE SPRINGS AMENDED SITE PLAN 10/26/01, COMMUNITY SCIENCES CORPORATION



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LANDSCAPE ARCHITECT'S SEAL

AUTHORIZED BY TELECON 10/25/01 C.SPIROCK - J. DEFLON

JAMES DE FLON #0007

EAGLE SPRINGS - DR HORTON  
 SITE DEVELOPMENT PLAN ELEMENT AMENDED LANDSCAPE PLAN

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The Hilltop  
 LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY JLF  
 REVISION # 1  
 DATE 07/19/00

SHEET # 3 OF 3