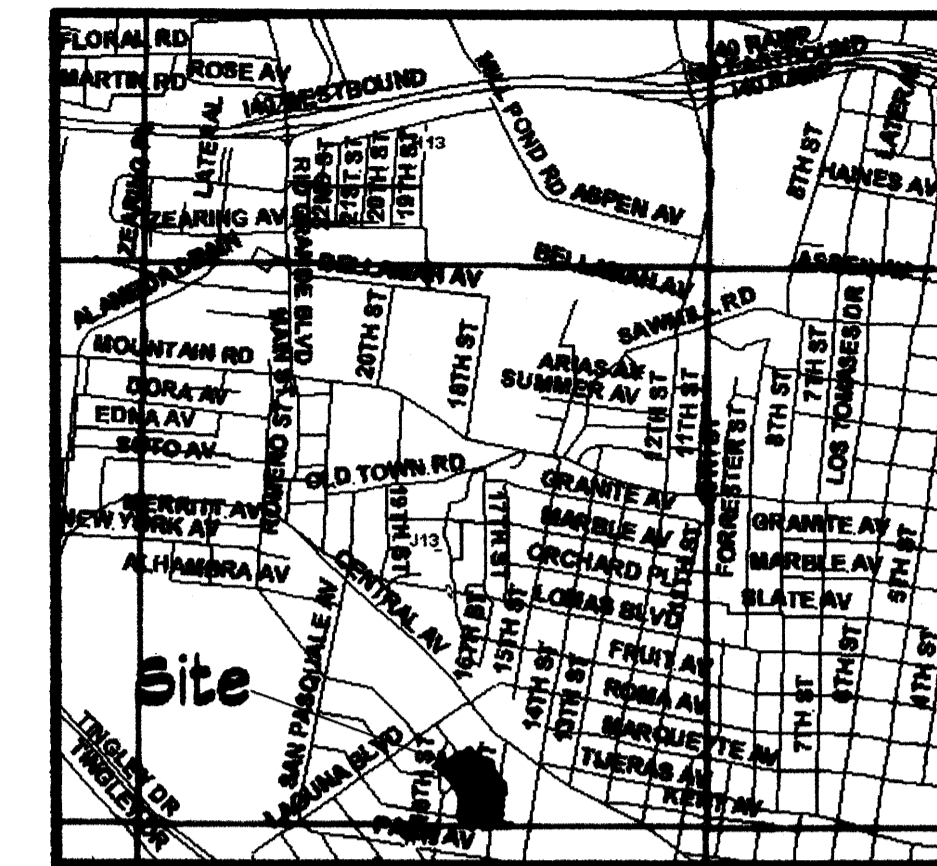


757 000 1000

**Vicinity Map
J-13-Z**



Summary of Request

RE-SUBMISSION AND AGREEMENT TO CONFORM TO THE CONDITIONS OF THE FOLLOWING PRIOR APPROVALS:
ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT (FILE #2-AA-94-107) APPROVED ON 6/10/94 TO THE APPROVED SITE DEVELOPMENT PLAN (CASE #2-46-65) APPROVED BY THE EPC ON 6/20/95.

CONDITIONS OF ORIGINAL EPC APPROVAL:
1. COMMENTS OF THE TRANSPORTATION DIVISION, TRANSIT DEPARTMENT AND THE ENVIRONMENTAL HEALTH DEPARTMENT MUST BE ADDRESSED, PARTICULARLY:
A. ELIMINATE VEHICULAR ACCESS FROM CENTRAL AVENUE, RELOCATING THE ACCESS TO DROP OFF PARKING FROM 18TH STREET.
B. REDUCE WALL/FENCE HEIGHT TO 3 FEET AND INSURE A SETBACK OF 2 FEET FROM ADJACENT PUBLIC SIDEWALKS.
C. EXPAND PEDESTRIAN ELEMENTS INCLUDING GATES AND INTERNAL PATHS.
D. PROVISION OF A TRANSIT STOP AND SHELTER.

2. THE LANDSCAPE BUFFER ON THE SOUTH PROPERTY LINE SHOULD BE ENHANCED TO MINIMIZE THE IMPACT OF THIS DEVELOPMENT ON ADJACENT RESIDENCES BY PROVIDING A 15 FOOT BUFFER AREA AT MINIMUM.
3. PEDESTRIAN ACCESS SHALL BE PROVIDED ON LASUNA BOULEVARD AND 18TH STREET AND THERE SHALL BE A SIDEWALK CONNECTING THE TWO PEDESTRIAN ACCESSES.
4. REPLANT THE PROPERTY FOR CONSISTENCY WITH THE SITE PLAN.

THE ONLY DEVIATION FROM THE ABOVE IS THAT THIS PLAN INDICATES THE USE OF 6 FOOT HIGH WALLS IN CONJUNCTION WITH 6 FOOT HIGH WROUGHT IRON FENCING AS SHOWN ON SHEET A003.

**DRS Project # 1000484
EPC Application # 08EPC 00498**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on May 15, 2008 and the findings and conditions in the Official Notification of decision are satisfied.

DRS SITE DEVELOPMENT PLAN APPROVAL:

<i>Richard D. Davis</i>	6-25-03
Traffic Engineer, Transportation Division	Date
<i>Rogea A. Hagan</i>	6-25-03
Utilities Department	Date
<i>Christina Sandoval</i>	6/25/03
Parks & Recreation Department	Date
<i>Bradley D. Righan</i>	6/25/03
City Engineer	Date
N/A	
Environmental Health (conditional)	Date
<i>Michael Holton</i>	6-25-03
Solid Waste Management	Date
<i>Sharon Matern</i>	6/25/03
DRS Chairperson, Planning Department	Date

AND PLANS CHECKING OFF:
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
R.C. [Signature] 6-30-03
SIGNATURE & DATE

REVISIONS
△
△
△
△

DRAWN BY: RAM
REVIEWED BY: RAM
DATE: 6/18/08
PROJECT NO.: 08088
DRAWING NAME:

Site Development Plan for Building Permit

Legal Description

Lot 1-A, Block One, Huning Castle Addition, City of Albuquerque, Bernalillo County, New Mexico. Plat Prepared by Southeast Surveying and recorded on June 8, 2000. Book 2000C, page 181, document #2000039742.

Site Data

Current Zoning: CUD Commercial/Low Density Apartments Zoning Ordinance, Huning Castle and Reynolds Addition Sector Development Plan
Minimum Setbacks - 5' from Central Avenue, 10' from Laguna Boulevard, 11' from a public sidewalk. Swimming pools and refuse bins shall be 50' from an R-1 zone.
Maximum Density - Maximum Floor area ratio is .61
Maximum Height - 26' high no closer than 80' from an existing R-1 zone, or between 26' to 46' high maximum if proposed blgds. fall within a 25 degree angle plane drawn from the boundary of an abutting R-1 zone.
Required landscape area = 18% of 114,494 S.F. or 17,230 S.F.

Proposed Use: Apartments
Proposed Use: Apartments
Lot Area: 114,494 S.F. or 2.64 acres.
Total covered building area = 12,262 S.F.
Building A Footprint = 14,802 S.F.
Building B Footprint = 7,964 S.F.
Setbacks - 10' from Central Ave., 15' from Laguna Blvd., 14' from 18th Street, refuse bins - no closer than 150' from adjacent R-1 zone, swimming pool - no closer than 120' from adjacent R-1 zone. Public sidewalks - no closer than 14' from proposed blgds.
Density - Floor area ratio = .60, 0.71 S.F. habitable/114,494 S.F. (61%) = 5,458
28.66 units per acre.
Height - Refer to section diagrams 1, 2 and 3 - this sheet and building elevation sheets
Paving/Driveway area = 87,785 S.F.
Landscape area = 84,176 S.F.

Dwelling Unit Areas

Building A		
Unit A - 1BR/1BA	0 units x 941 S.F.	0 S.F.
Unit B - 1BR/1BA	18 units x 618 S.F.	11,124 S.F.
Unit C - 2BR/2BA	14 units x 94 S.F.	1,314 S.F.
Unit D - 2BR/2BA	4 units x 97 S.F.	390 S.F.
Unit E - 2BR/2BA	2 units x 1,024 S.F.	2,048 S.F.
Unit F - 3BR/2BA	6 units x 1,178 S.F.	7,068 S.F.
Unit G - 3BR/2BA	3 units x 1,318 S.F.	3,957 S.F.
Unit H - 3BR/2BA	0 units x 1,828 S.F.	0 S.F.
Unit I - 2BR/2BA	1 unit x 1,074 S.F.	1,074 S.F.
Total Bldg. A	48 units	42,940 S.F.
Building B		
Unit A - 1BR/1BA	4 units x 541 S.F.	2,164 S.F.
Unit B - 1BR/1BA	4 units x 618 S.F.	2,472 S.F.
Unit C - 2BR/2BA	2 units x 94 S.F.	1,878 S.F.
Unit D - 2BR/2BA	4 units x 97 S.F.	3,880 S.F.
Unit E - 2BR/2BA	0 units x 1,024 S.F.	0 S.F.
Unit F - 3BR/2BA	0 units x 1,178 S.F.	0 S.F.
Unit G - 3BR/2BA	0 units x 1,318 S.F.	0 S.F.
Unit H - 3BR/2BA	1 unit x 1,828 S.F.	1,828 S.F.
Unit I - 2BR/2BA	0 units x 1,074 S.F.	0 S.F.
Total Bldg. B	19 units	12,260 S.F.
Total Both Bldgs.		54,680 S.F.

General Notes

- Site lighting shall consist of a combination of building mounted HPS fixtures, walkway area lights and post-mounted light fixtures in entry and parking areas. To the greatest extent possible, lighting shall be building mounted. Building entry and porch lighting shall be controlled by photo-cells and/or time clocks, as may be appropriate. Post lighting shall be 18' maximum height. All lighting shall be shielded from surrounding properties.
- All signage shall conform to the City of Albuquerque sign code. The project shall have illuminated project identification signage at the main entry on Central Ave. West, as shown. Maximum signage area shall be twenty four square feet, each face.
- All mechanical/electrical equipment shall be screened from view to the greatest extent practicable. Equipment shall be roof mounted and screened from view by building parapet. All yard mounted equipment shall be screened by fencing or stucco walls.
- Perimeter wall to be 6'-0" high. Materials to be a combination of painted split face concrete block columns and walls with wrought iron fence. Wall color to match buildings. Fence color to match bldg railings.
- Owner to specify which trees along the south property line are to remain.

Habitable Space

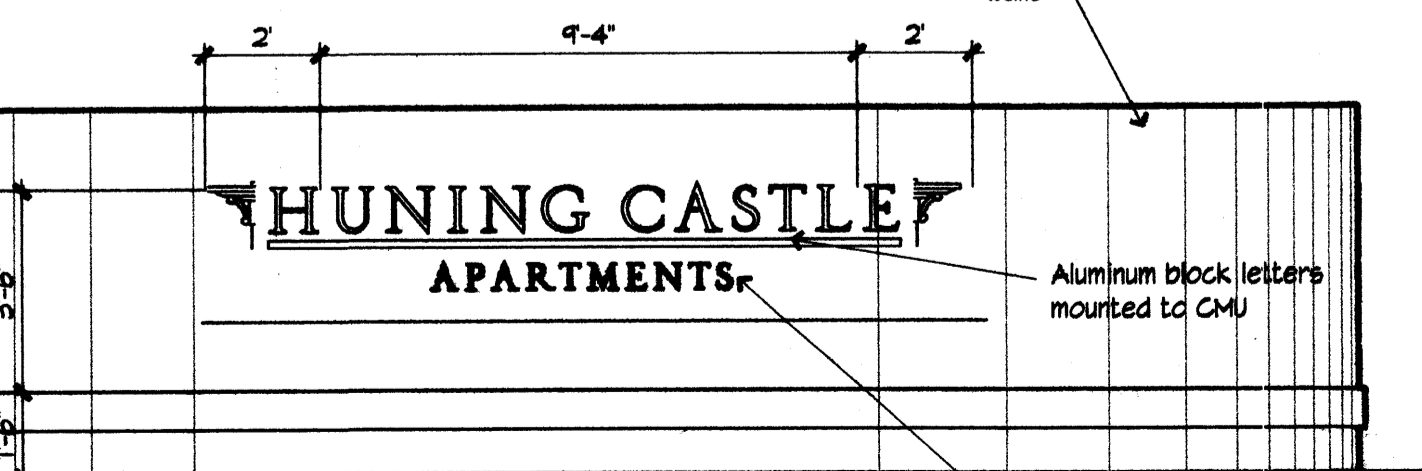
Building A	
Apartment units	42,940 S.F.
Corridors/stairs	5,894 S.F.
Leasing Office	1,966 S.F.
Exercise Room	1,074 S.F.
Total	51,274 S.F.
Building B	
Apartment Units	12,260 S.F.
Corridors/stairs	0 S.F.
Total	12,260 S.F.
Both Buildings	63,534 S.F.
Water Heater/Bo.	1,862 S.F.
Covered Balconies	4,081 S.F.
Garages	3,809 S.F.
Total Covered Area	73,286 S.F.

Apartment Data

Studio Units:	0
1 Bedroom/1 Bath units	26 (41%)
2 Bedroom/2 Bath units	27 (48%)
3 Bedroom/2 Bath units	10 (16%)
Total units	63
Net Rentable Area	54,680 S.F.
Average Unit Size	867 S.F.
Construction Type	V-1 Hour (Sprinkled)
Occupancy Group	R-1

Legend

- Existing Construction to Remain
- Property Lines
- Existing to be Removed
- Proposed Sidewalk
- Proposed Light Fixture
- Proposed Fire Hydrant



4 Monument Sign Elevation

32 SF sign area with ground uplighting. Colors to match building

Parking Data

1. TOTAL SPACES REQUIRED

26 - 1 Bathroom Units	94
27 - 2 Bathroom Units	74
Leasing Office - 2188/200	11
Exercise Room - 1164/300	4
Less 18% Bus Stop	14
Total Spaces Required	105

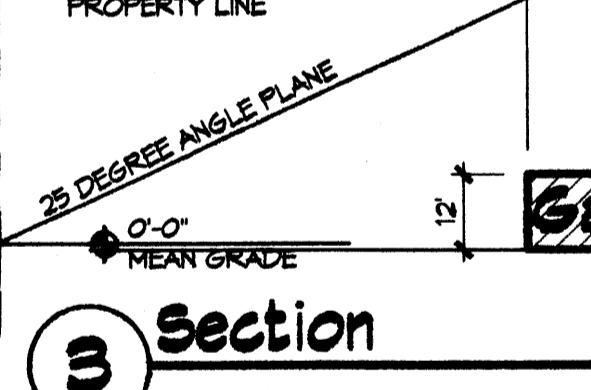
2. TOTAL SPACES PROVIDED

Standard Spaces	65
Visitor Spaces	16
Handicap Spaces	9
Garage Spaces	15
Tandem Spaces	18
Total Spaces Provided	119

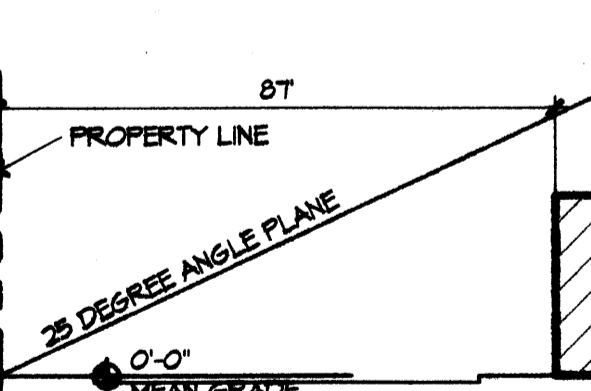
Keyed Notes

- New railroad tie retaining wall, ref. dtl. 4/A005
- Low voltage lighting within landscaping - this area, ref. dtl. 11/A008
- Wall mounted porch lights on garages - see Bt. Elev.
- CMU Patio wall and wrought iron fence, ref. dtl. 1, 2, 4 B/A008
- Entry gates shall be automatic and remain closed unless activated for entering

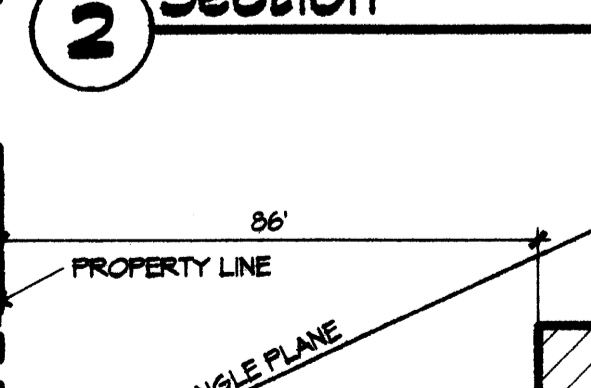
Existing R-1 Zone



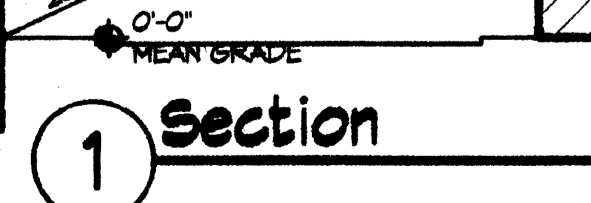
3 Section



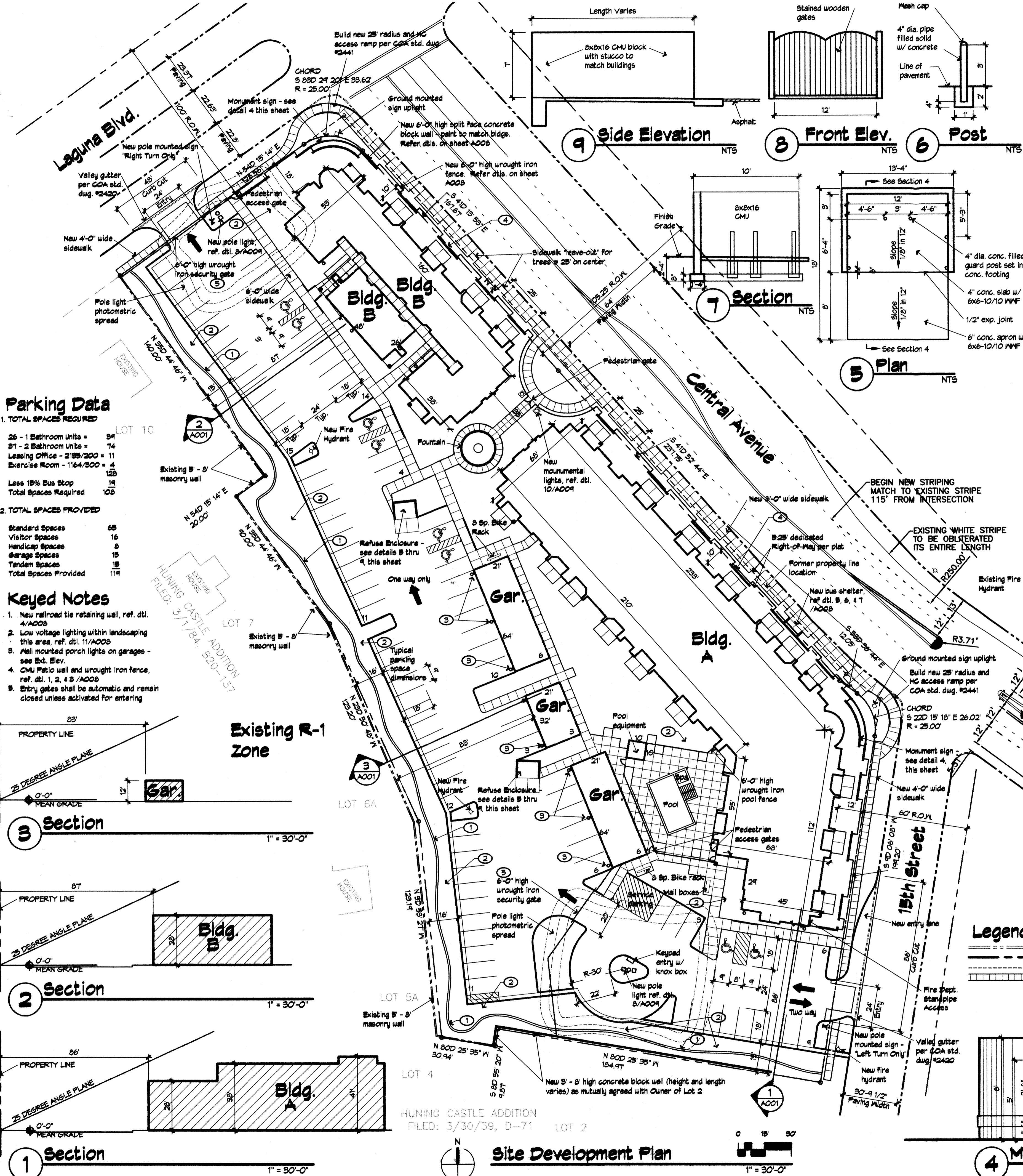
2 Section



1 Section



4 Monument Sign Elevation

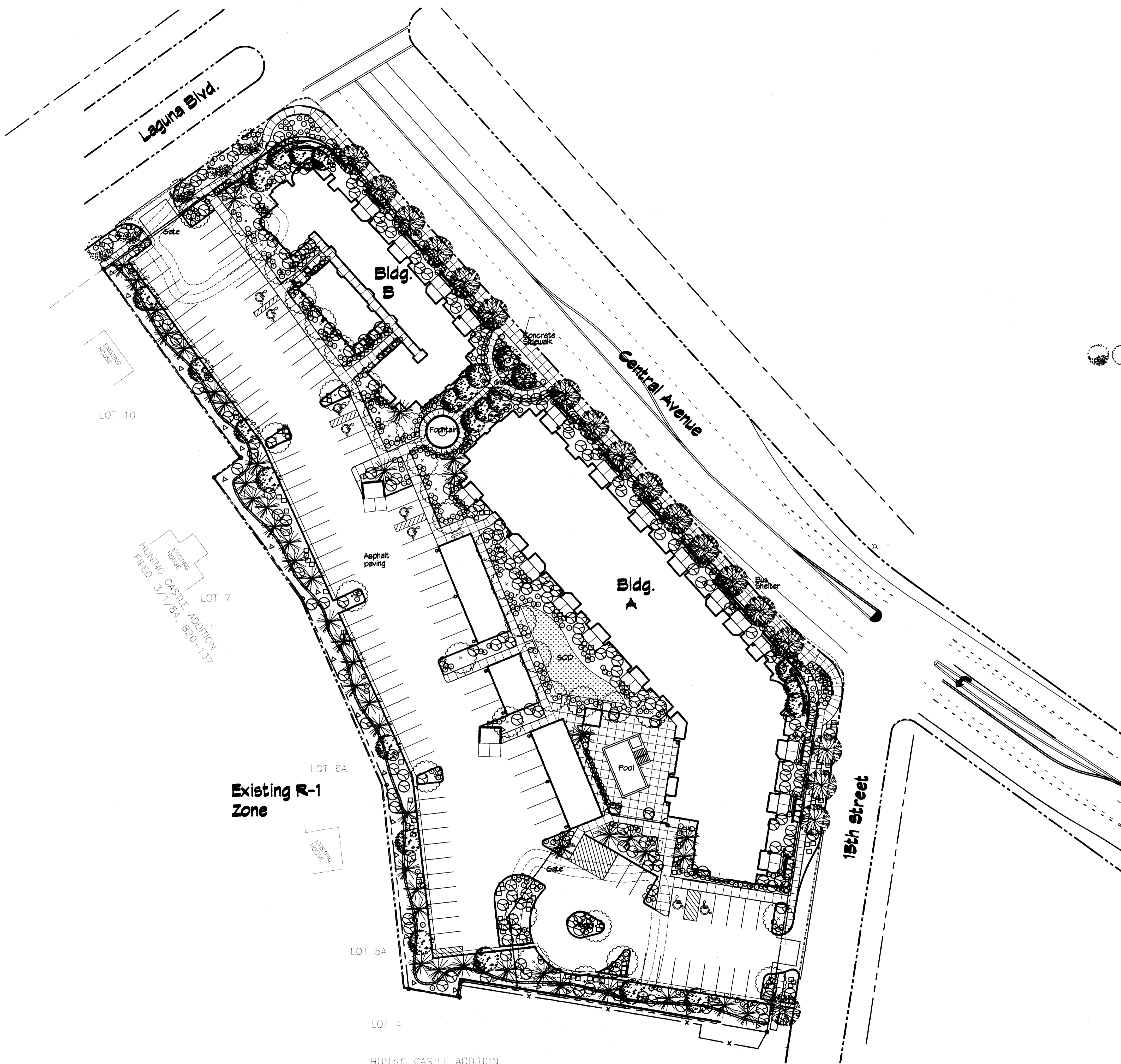


General Notes

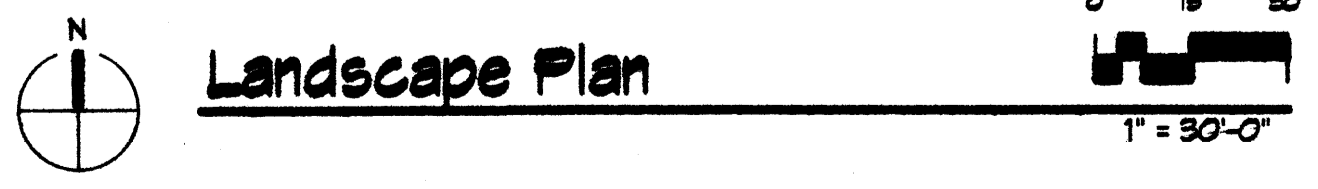
- A. PLANTING AND IRRIGATION SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- C. THERE ARE NO EXISTING TREES OR SHRUBS OF SIGNIFICANT SPECIES OR SIZE ON THE SITE. ALL PLANT MATERIAL ILLUSTRATED ON THE LANDSCAPE PLAN IS PROPOSED.
- E. MAINTENANCE OF PLANTING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- F. ALL PLANTING AREAS, EXCEPT FOR TURF AREAS, SHALL BE COVERED WITH GRAVEL MULCH UNLESS OTHERWISE NOTED ON THE PLANS. 3" MINUS SANTA ANA TAN GRAVEL TO BE USED IN STREET AND NEAR BUILDING. 1" ROUND SANTA ANA TAN GRAVEL TO BE USED IN PARKING AREA.
- G. THE IRRIGATION SYSTEM IS TO BE COMPRISED OF A COMBINATION OF DRIP, SPRAY AND WATER HARVESTING ZONES. DRIP EMITTERS WILL BE USED FOR ALL TREES, SHRUBS AND PERENNIALS. ALL TURF AREAS WILL BE IRRIGATED WITH SPRAY EMITTERS, APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES. MEDIANS AND OTHER PLANTING AREAS WILL BE DESIGNED TO RECEIVE SURFACE RUNOFF WHEREVER POSSIBLE.
- H. THE RUN TIMES FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 30 MINUTES FOR DRIP ZONES AND 15 MINUTES FOR SPRAY ZONES. RUN TIMES SHALL BE ADJUSTED ACCORDING TO SEASON. THE POINT OF CONNECTION FOR THE IRRIGATION SYSTEM SHALL BE COORDINATED WITH THE OVERALL WATER SERVICE TO THE PROPERTY.
- J. LANDSCAPE CALCULATIONS:
TOTAL SITE AREA: 2.64 ACRES = 114,999 SF
BUILDING AREA: 21,168 SF
NET SITE AREA = TOTAL AREA-BUILDING AREA= 87,833 SF
REQUIRED LANDSCAPE AREA= 15% OF SITE AREA (15 X 87,833 SF) = 13,175 SF
PROVIDED LANDSCAPE AREA: 34,176 SF (45%)
ALLOWABLE HIGH WATER USE LANDSCAPING= 20% OF REQUIRED LANDSCAPE AREA = 2 X 12,936 = 2,588 SF
PROVIDED HIGH WATER USE LANDSCAPING AREA: 1,246 SF

Plant Legend

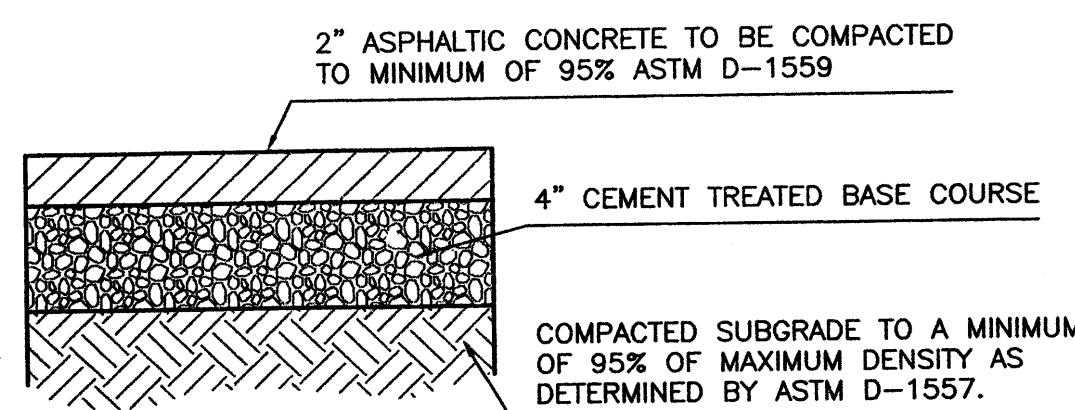
Symbol	Approx. Qty.	Common Name	Remarks/Size	Mature Size Height Width	Water Use
●	60	Shade Trees	2 - 2-1/2" Caliper	50' 40'	M
○		Autumn Purple Ash		70' 50'	H
○		Bloodgood London Plane Tree		35' 30'	M
○		Raywood Ash			
●	27	Accent/Flowering/Multi-trunk Trees	24" Box	20' 20'	M
○		Chaste Tree	24" Box	30' 30'	M
○		Chitalpa	24" Box	20' 25'	M
○		Desert Willow	1 1/2" Caliper	30' 30'	M
○		Eastern Redbud			
○		New Mexico Olive	15 Gal.	15' 15'	M
●	48	Evergreen Tree	6'-8' High	40' 18'	M
○		Afghan Pine		35' 25'	M
○		Austrian Pine		60' 35'	M
○		Leyland False Cypress			
○	240	Large Shrubs	1 Gallon	varies	varies L-M
○		(90%) Apache Plume, Blue Mist Spirea, Butterfly Bush, Chamisa, False Indigo, Silverberry, Spanish Broom, Sugar Bush, Three Leaf Sumac, Yellow Bird-of-Paradise			
○		(10%) Gamble Oak, Upright Rosemary	5 Gallon	varies	varies L-M
○	575	Short Shrubs/Perennials	1 Gallon	varies	varies L-M
○		(80%) Autumn Sage, Cotoneaster, Germander, Flax, Gaura, Hummingbird Mint, Lavender, Perky Sue, Sage, Verbena Yarrow			
○		(20%) Prostrate Three-leaf Sumac, Prostrate Juniper, Prostrate Rosemary,	5 Gallon	varies	varies L-M
□	157	Ground Cover/Grasses	1 Gallon	varies	varies L-M
□		Beargrass, Fescue, Fringed Sage, Maiden Grass, Muhlenbergia, Prairie Sage, Threadgrass			
△	94	Vines	1 Gallon	varies	varies L-M
△		Boston Ivy, English Ivy, Trumpet Vine, Nistaria			
■	1246 SF	Sod (Fescue Blend)			



HUNING CASTLE ADDITION
FILED: 3/30/39, D-71 LOT 2

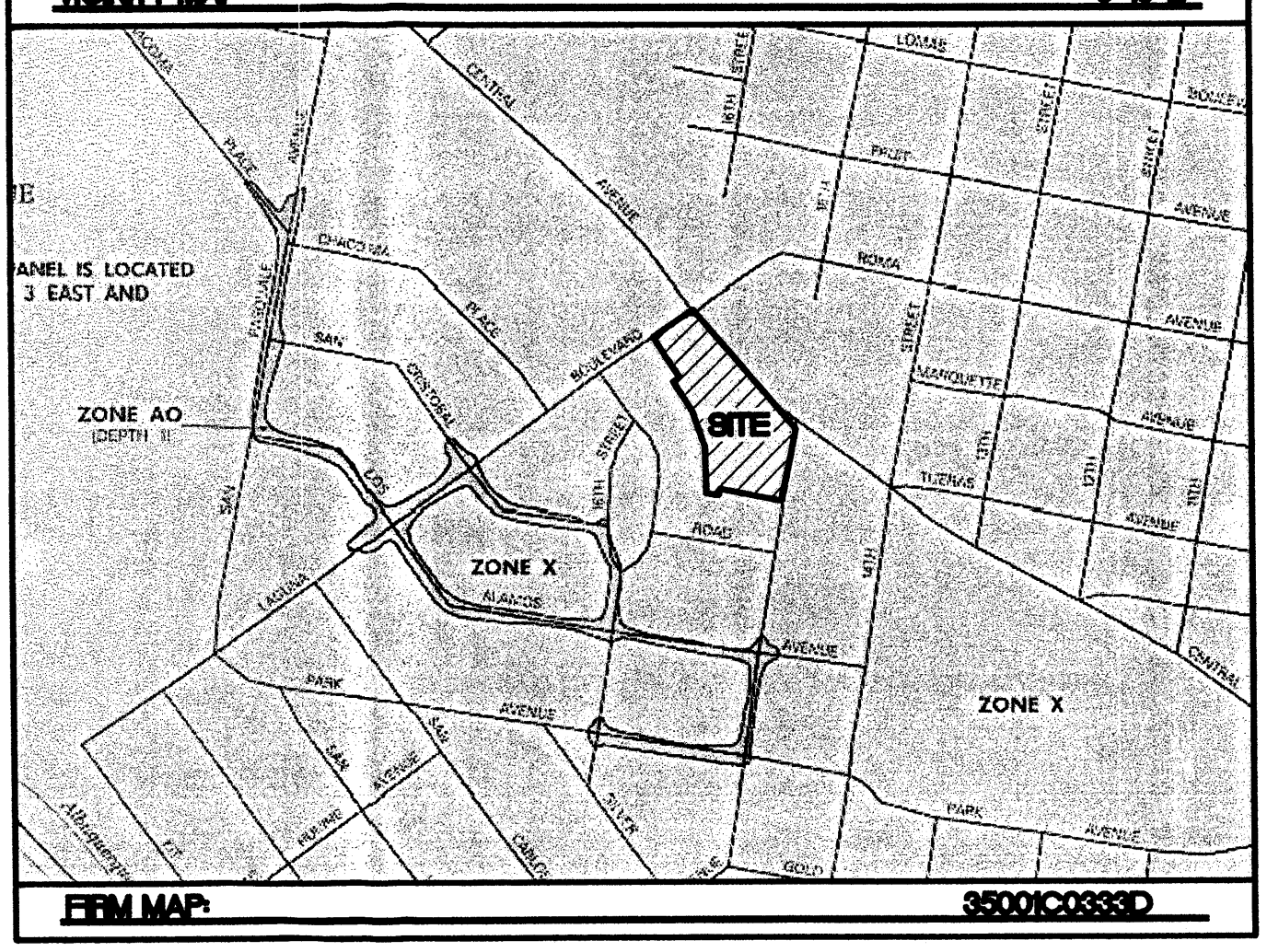
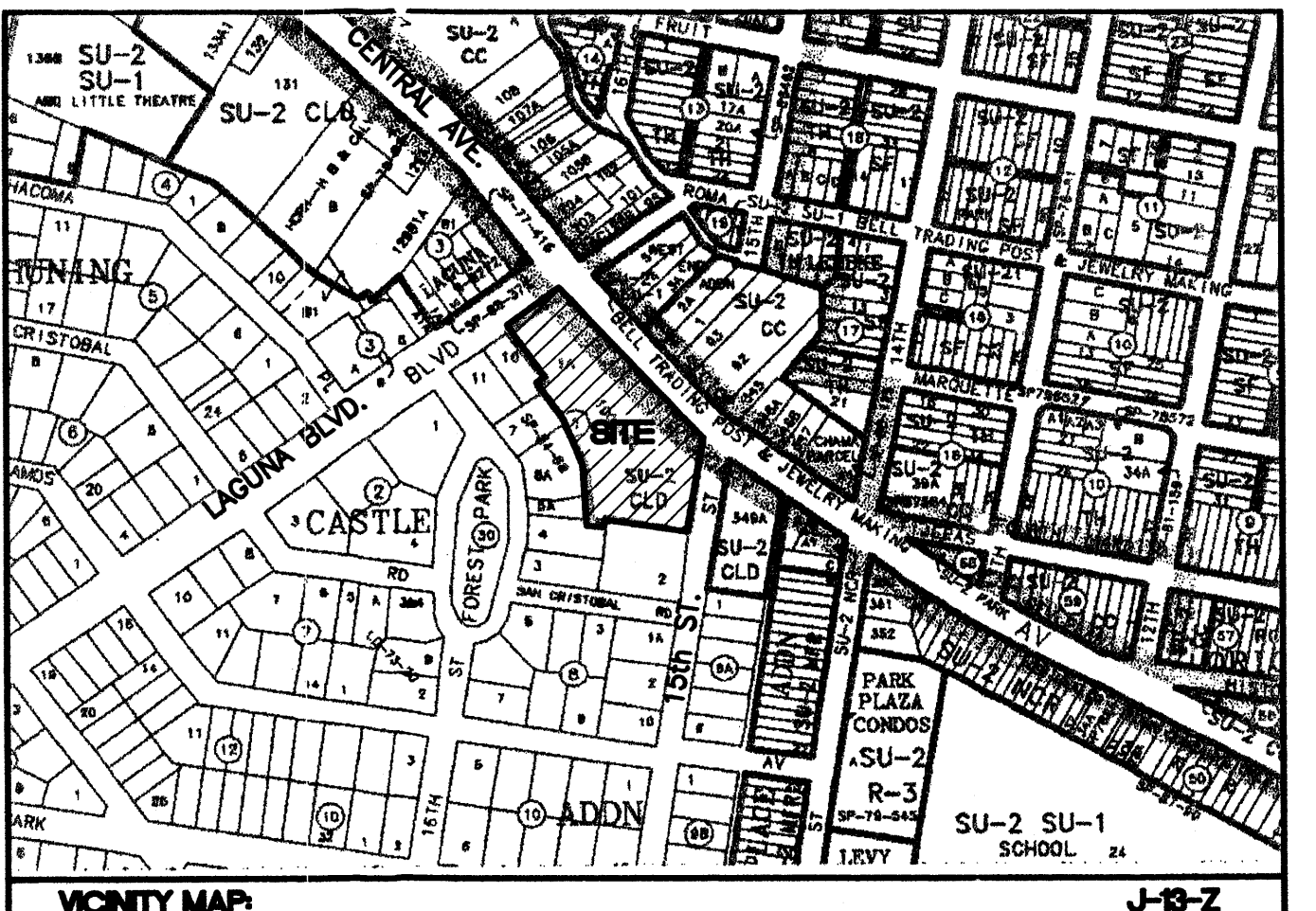
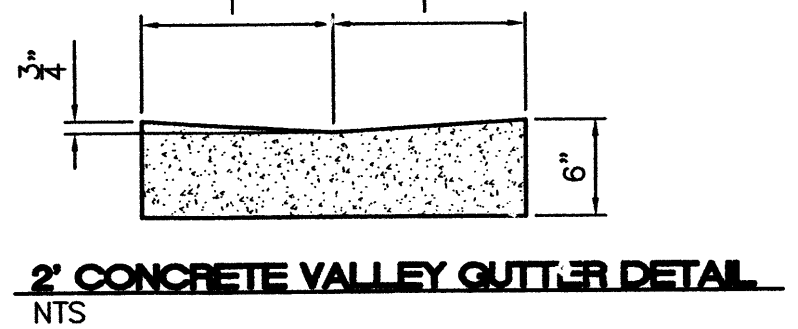
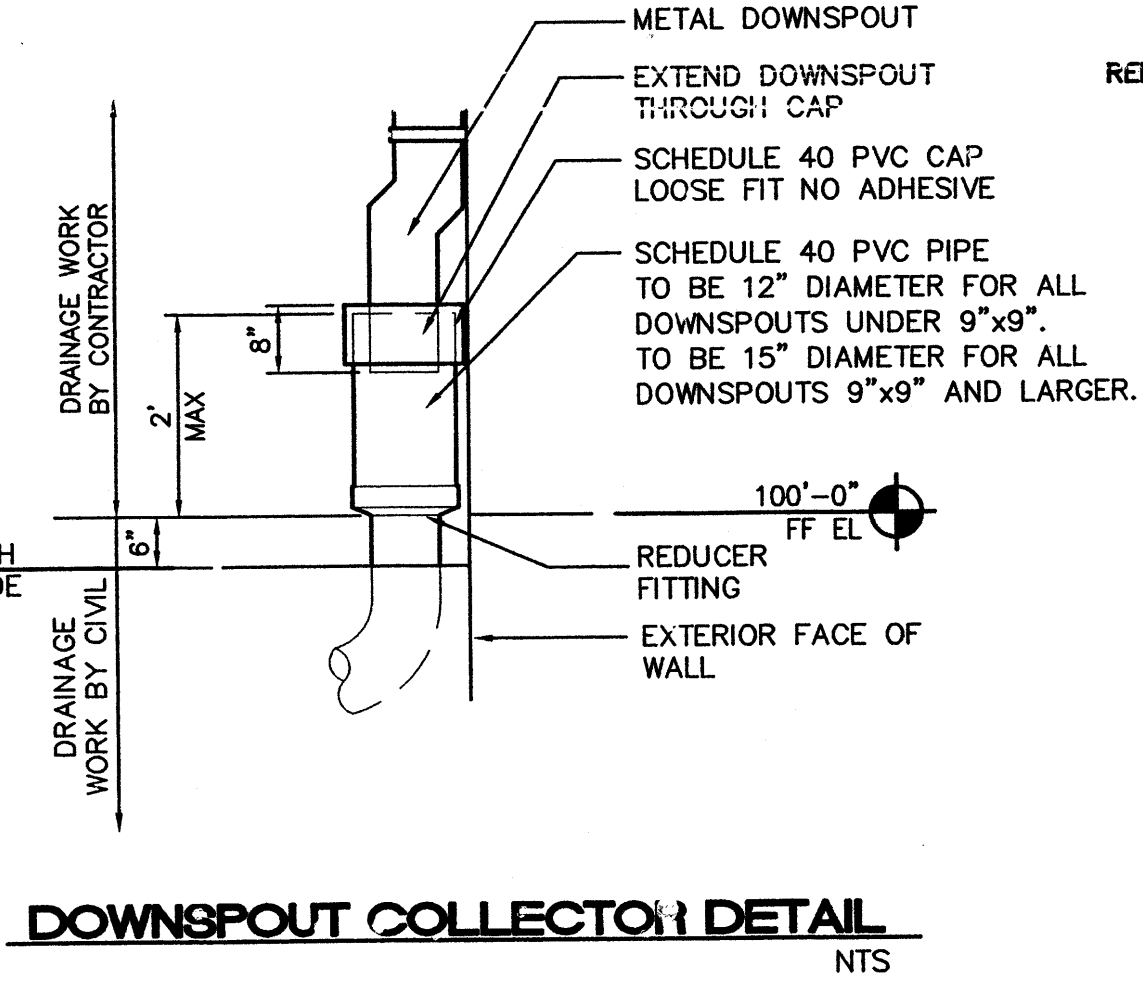
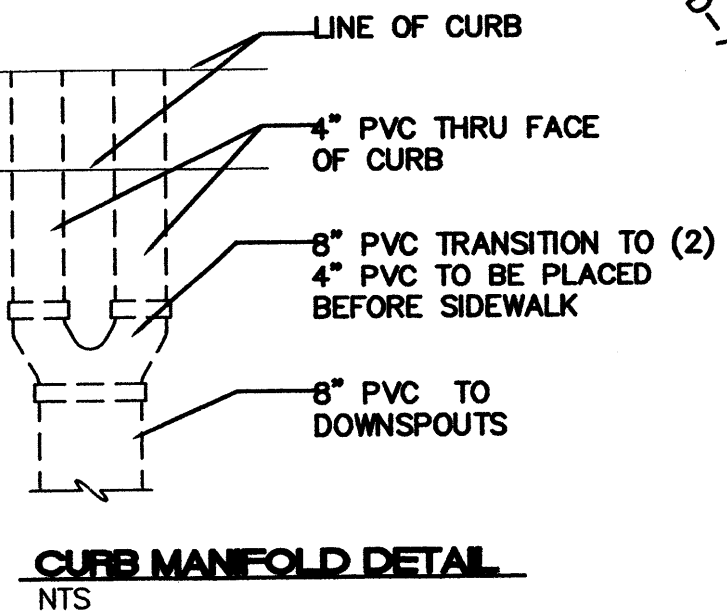
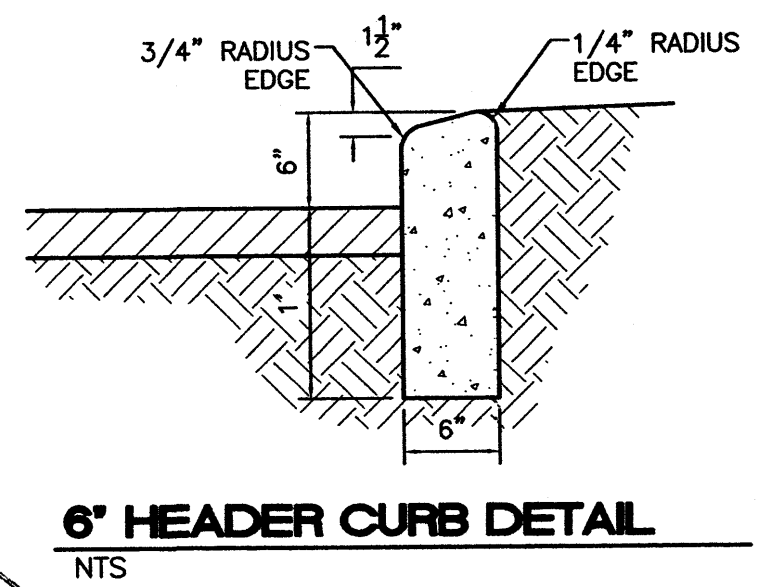
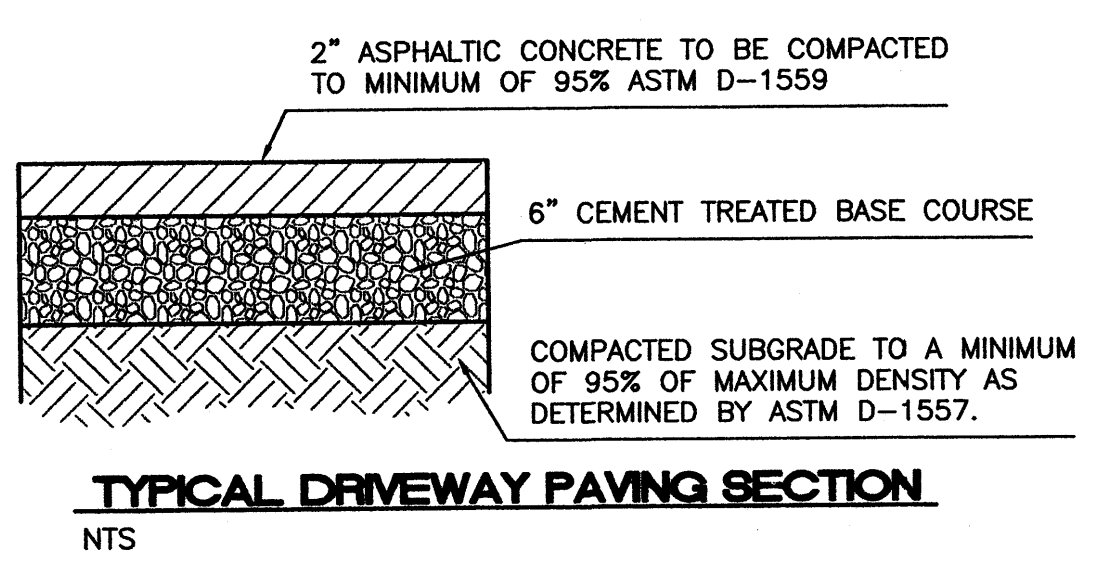
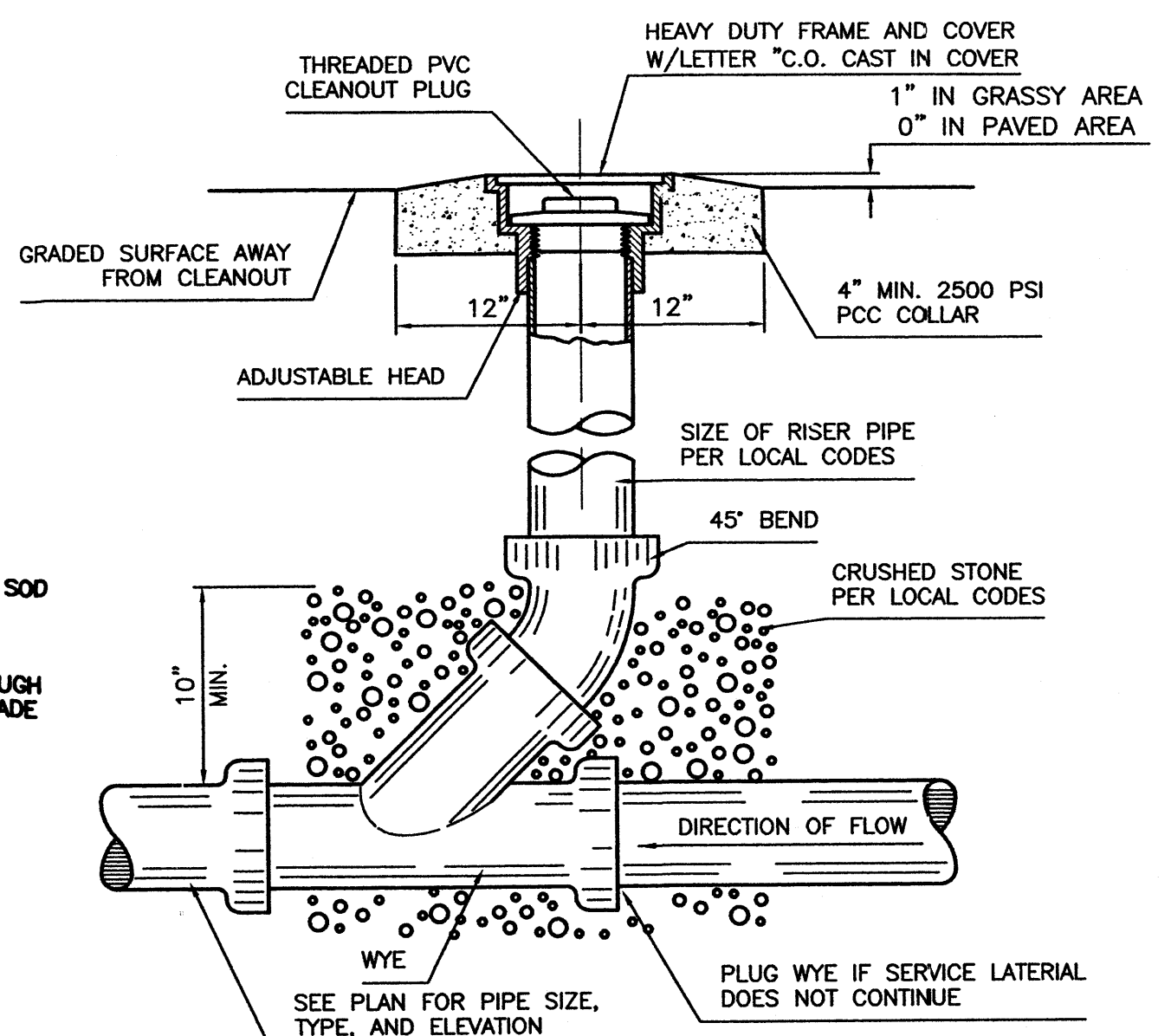
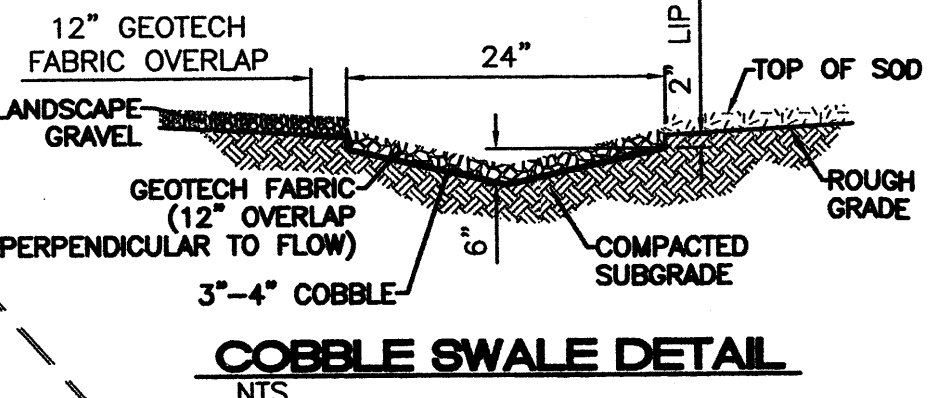
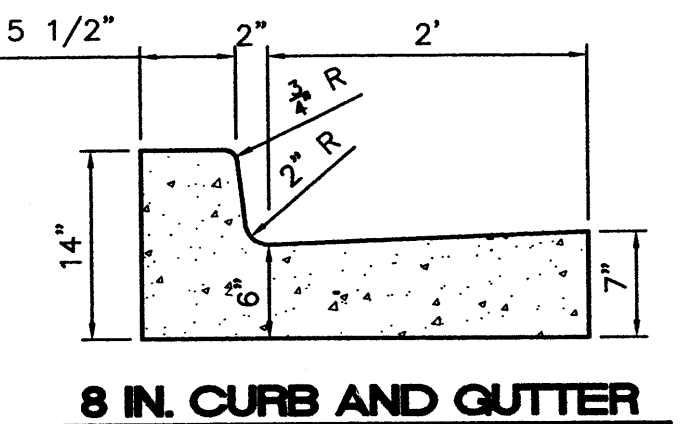
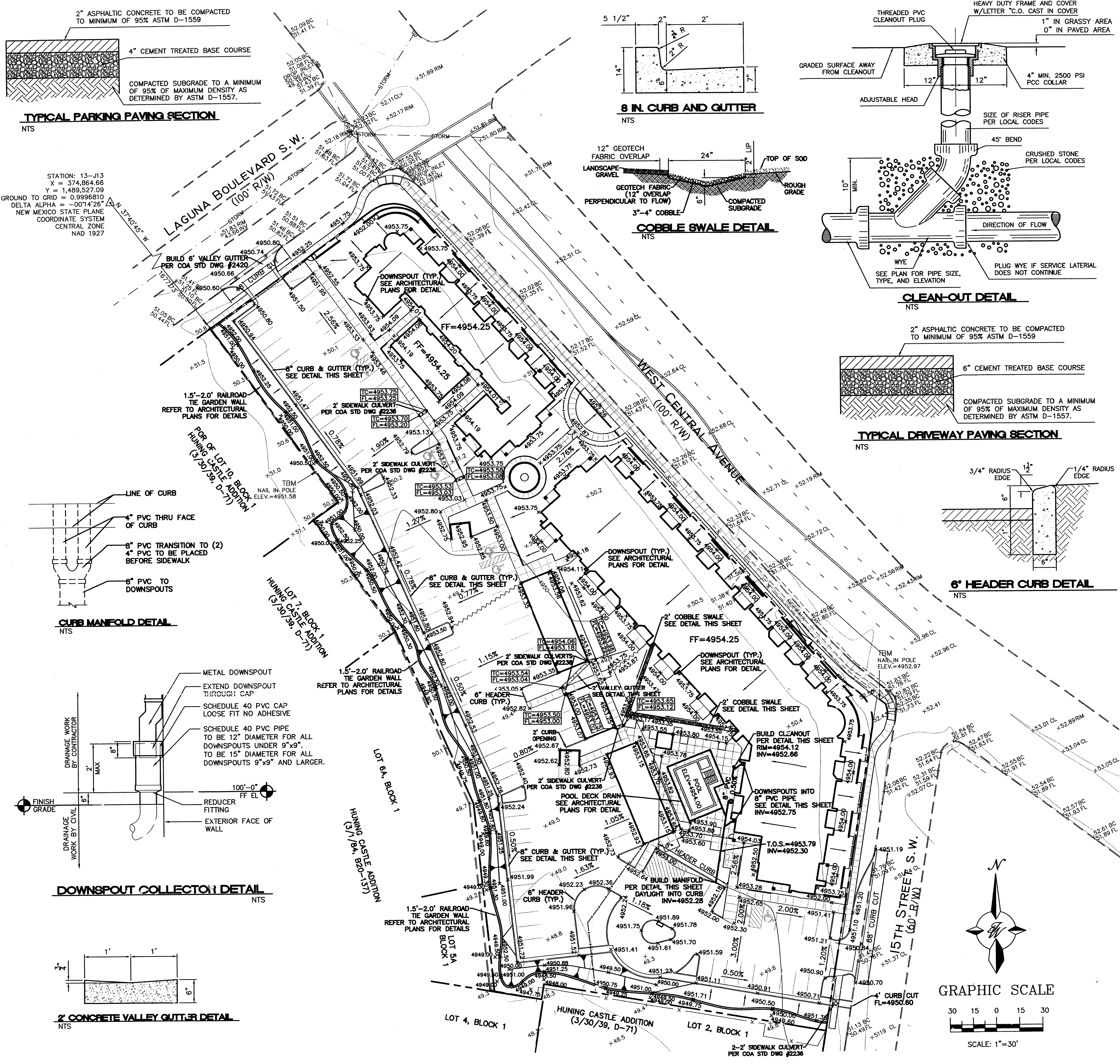


Landscape Plan



TYPICAL PARKING PAVING SECTION
NTS

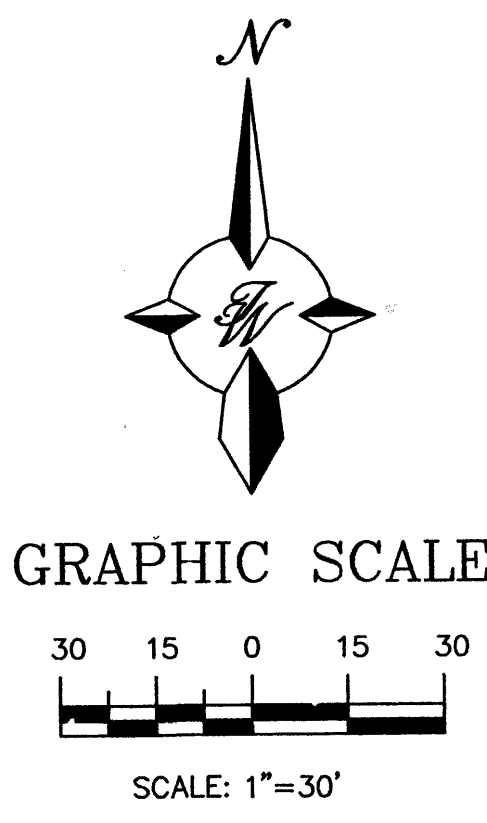
STATION: 13-J13
X = 374,864.66
Y = 1,489,527.09
GROUND TO GRID = 0.9996810
DELTA ALPHA = -00'14"26"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927



LEGAL DESCRIPTION
LOTS 1, 8, 9, AND A PORTION OF 10 BLOCK 1 HUNING CASTLE ADDITION

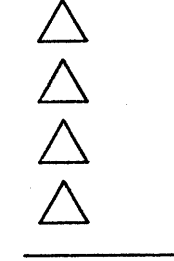
LEGEND

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	BENCH MARK



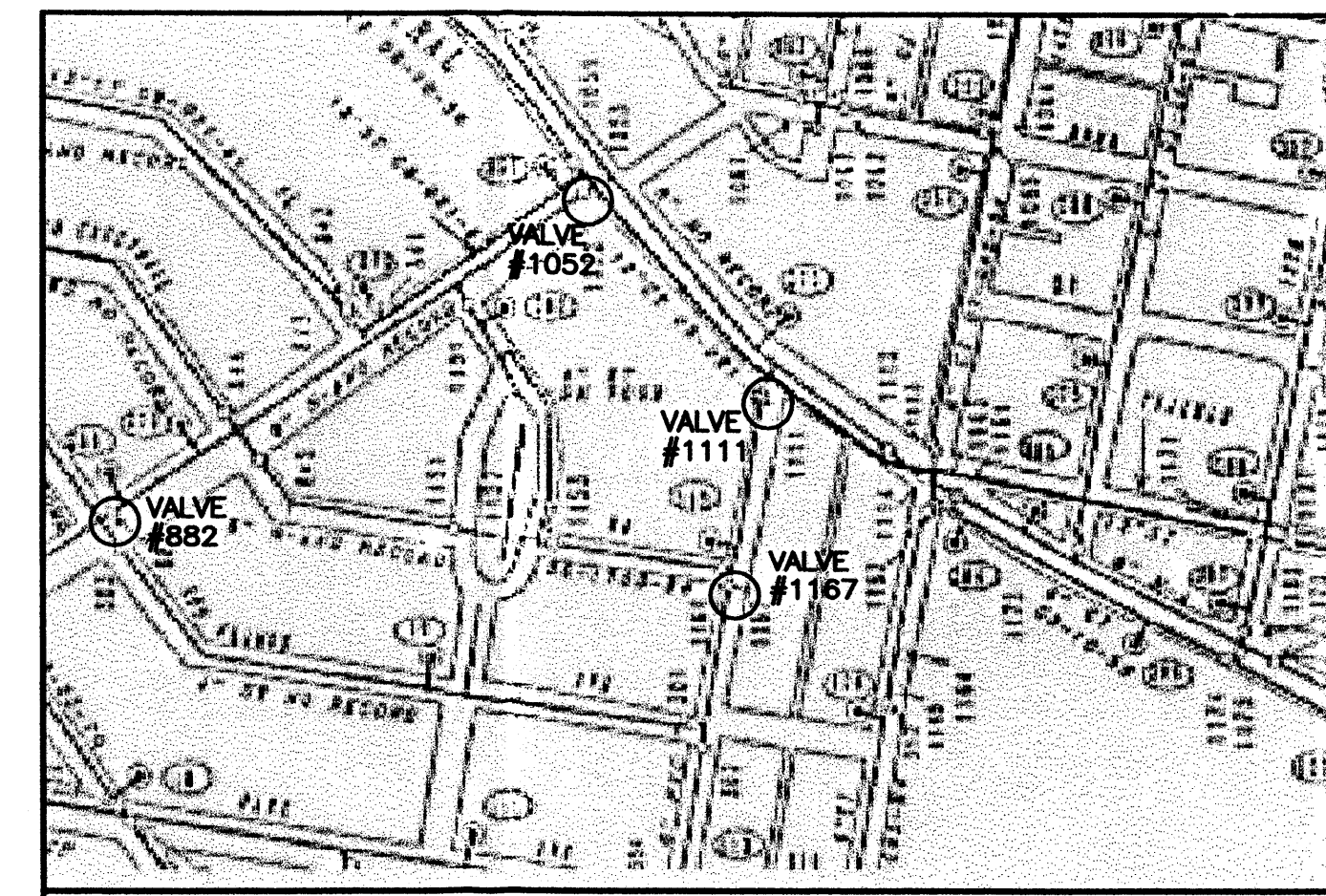
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	HUNING CASTLE APARTMENTS GRADING AND DRAINAGE PLAN TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY JDN DATE 06-10-03 9631GR03.DWG JOB # 960031
---	---	---

Huning Castle Apartment Homes
Central Avenue
Albuquerque, New Mexico



DRAWN BY	JN
REVIEWED BY	DS
DATE	3/27/03
PROJECT NO.	P02091
DRAWING NAME	Grading and Drainage Plan

**Huning Castle
Apartment Homes
Central Avenue
Albuquerque, New Mexico**



WATER SHUTOFF PLAN SHUT OFF VALVES #882, 1051, 1111, 1167

- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
- NOTE:**
1. ALL FIRE HYDRANTS TO BE BUILT PER COA STD DWG #2340.
 2. ALL WATER LINES MUST HAVE A MIN. 3' BURY.
 3. SEE ARCHECTURAL PLANS FOR DRY UTILITY LAYOUT.

BENCHMARK USED:
STATION 13-J13
X = 374864.66
Y = 1489527.09
GROUND TO GRID = 0.9996810
DELTA ALPHA = -0°14'26"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

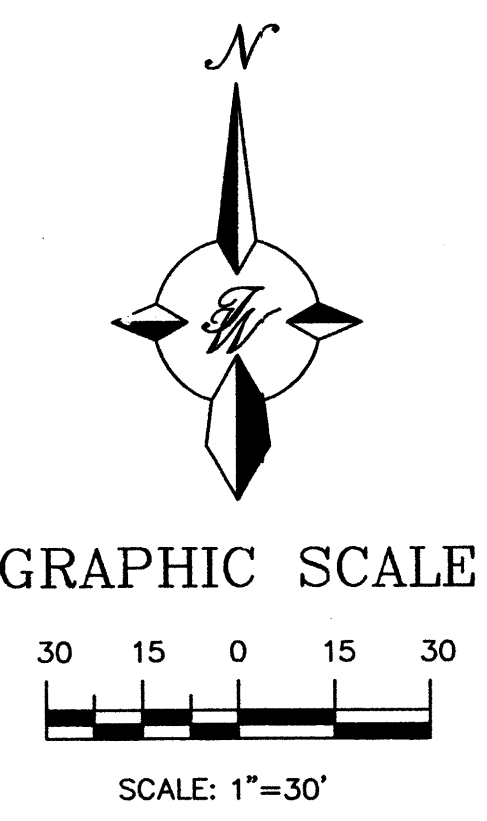
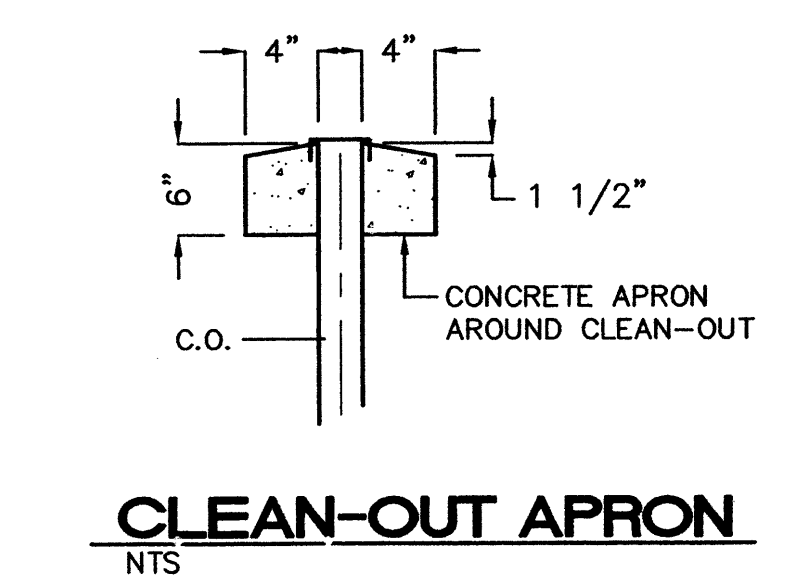
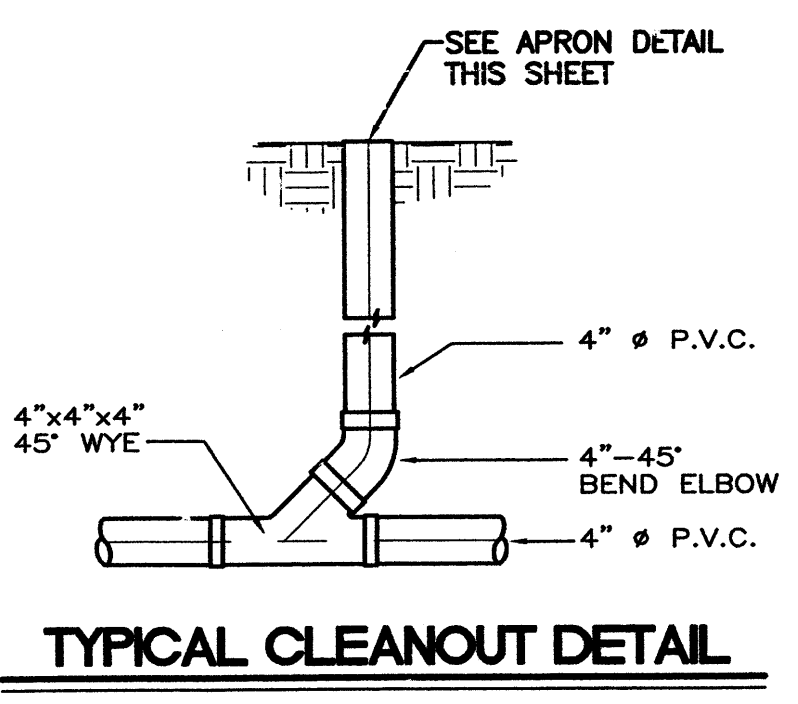
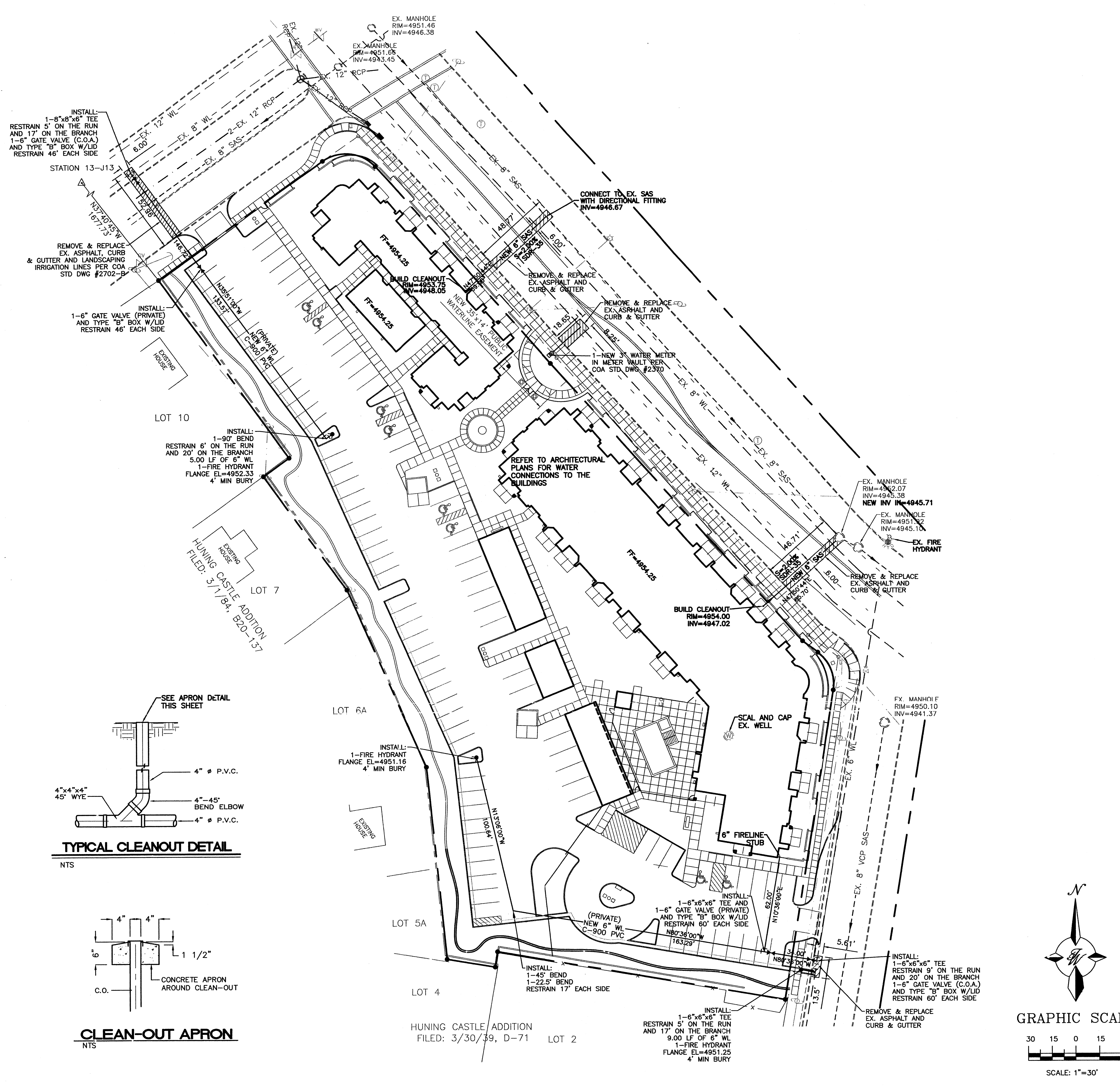
LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE

REVISIONS

△	
△	
△	
△	

DRAWN BY	JN
REVIEWED BY	DS
DATE	3/27/03
PROJECT NO.	P02091
DRAWING NAME	Master Utility Plan



	HUNING CASTLE APARTMENTS	DRAWN BY JDN
	MASTER UTILITY PLAN	DATE 06-19-03
		9631NMU.DWG
8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 960031

ARCHITECT

ENGINEER

PROJECT

Exterior Colors:

Stucco:
Field Color #1
Sherwin Williams - White Duck SW 1010

Accent Color #2
Sherwin Williams - Balanced Beige SW 1037

Exterior Guardrails/Handrails:
Sherwin Williams - Roycroft Adobe SW 0040

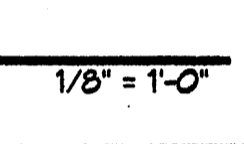
Windows:
Aluminum Frames, light Bronze color



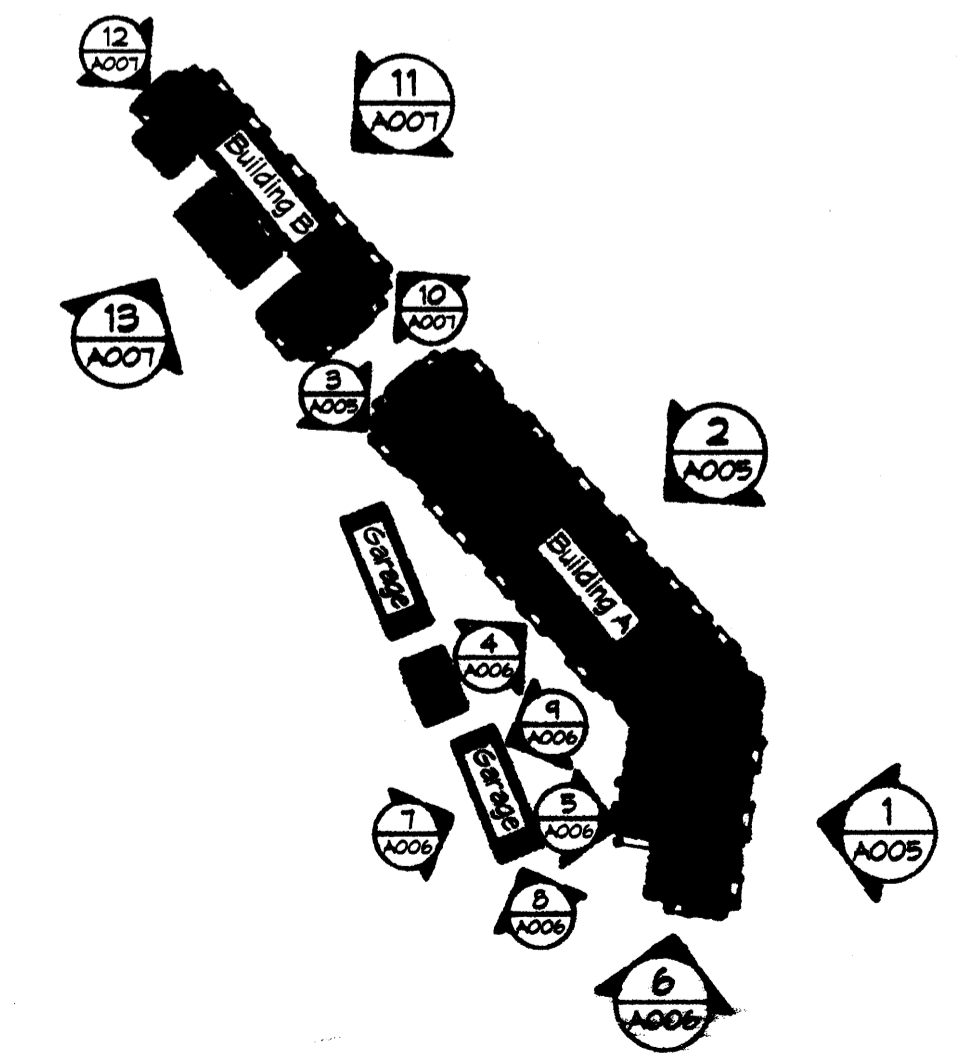
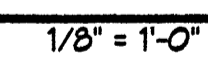
1 Elevation - Building A
East



3 Elevation - Building A
Northwest



2 Elevation - Building A
Northeast



Buildings A and B - Elevation Key Plan
N.T.S.

**Huning Castle
Apartment Homes**
Central Avenue
Albuquerque, New Mexico

REVISIONS

△	
△	
△	
△	

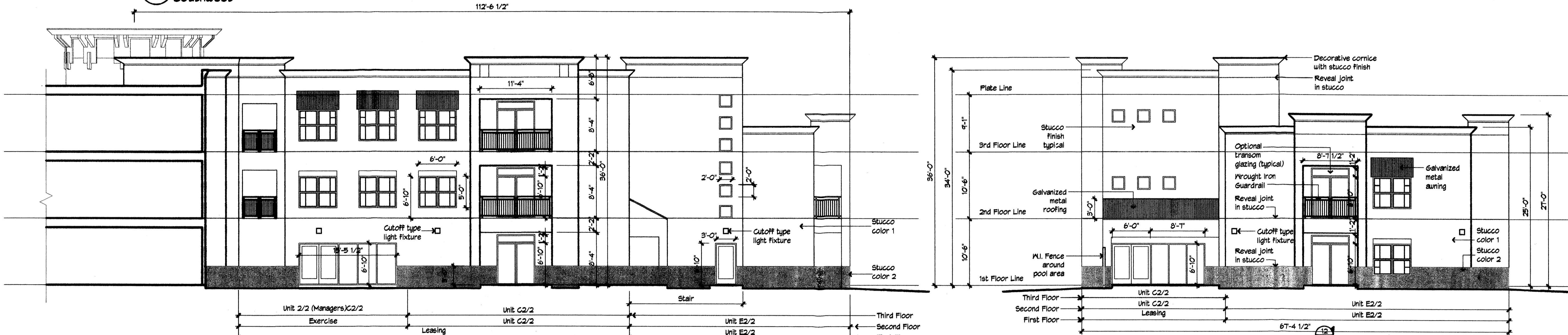
DRAWN BY	LM/DM
REVIEWED BY	DRD
DATE	6/18/08
PROJECT NO.	08088
DRAWING NAME	Building A Building Elevations

Exterior Colors:

Stucco:
Field Color #1
Sherwin Williams - White Duck SW 1010
Accent Color #2
Sherwin Williams - Balanced Beige SW 1037
Exterior Guardrails/Handrails:
Sherwin Williams - Raycroft Adobe SW 0040
Windows:
Aluminum frames, light Bronze color

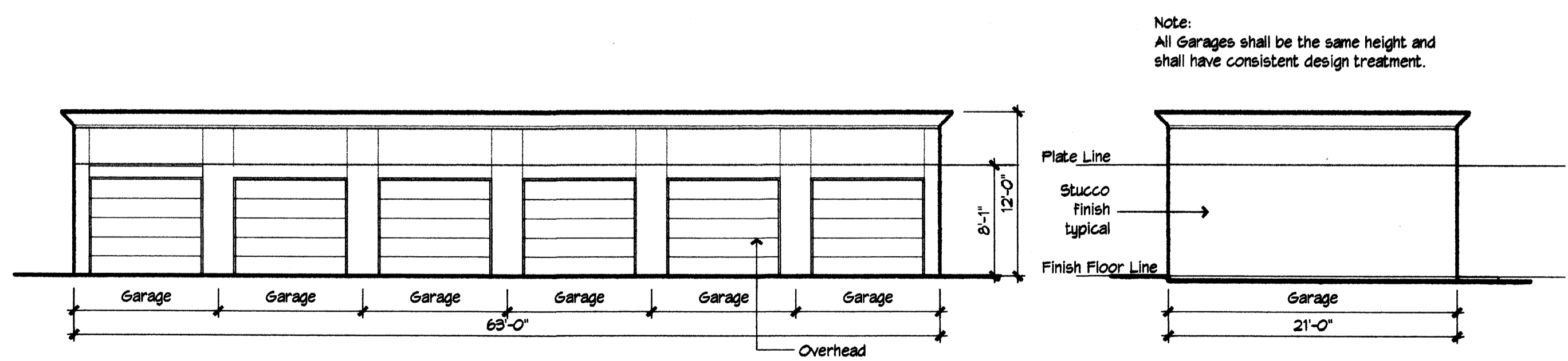


4 Elevation - Building A
Southwest
1/8" = 1'-0"



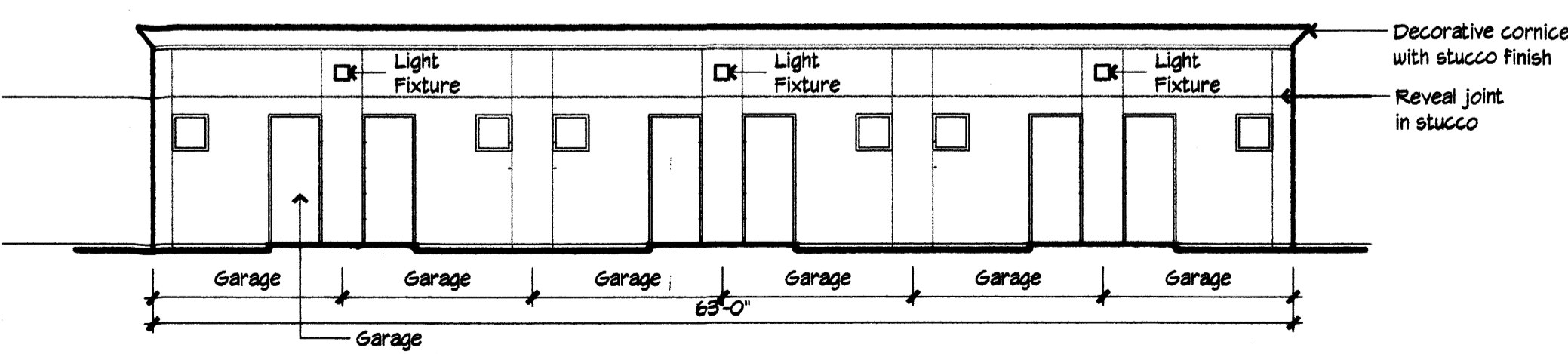
5 Elevation - Building A
West
1/8" = 1'-0"

6 Elevation - Building A
South
1/8" = 1'-0"



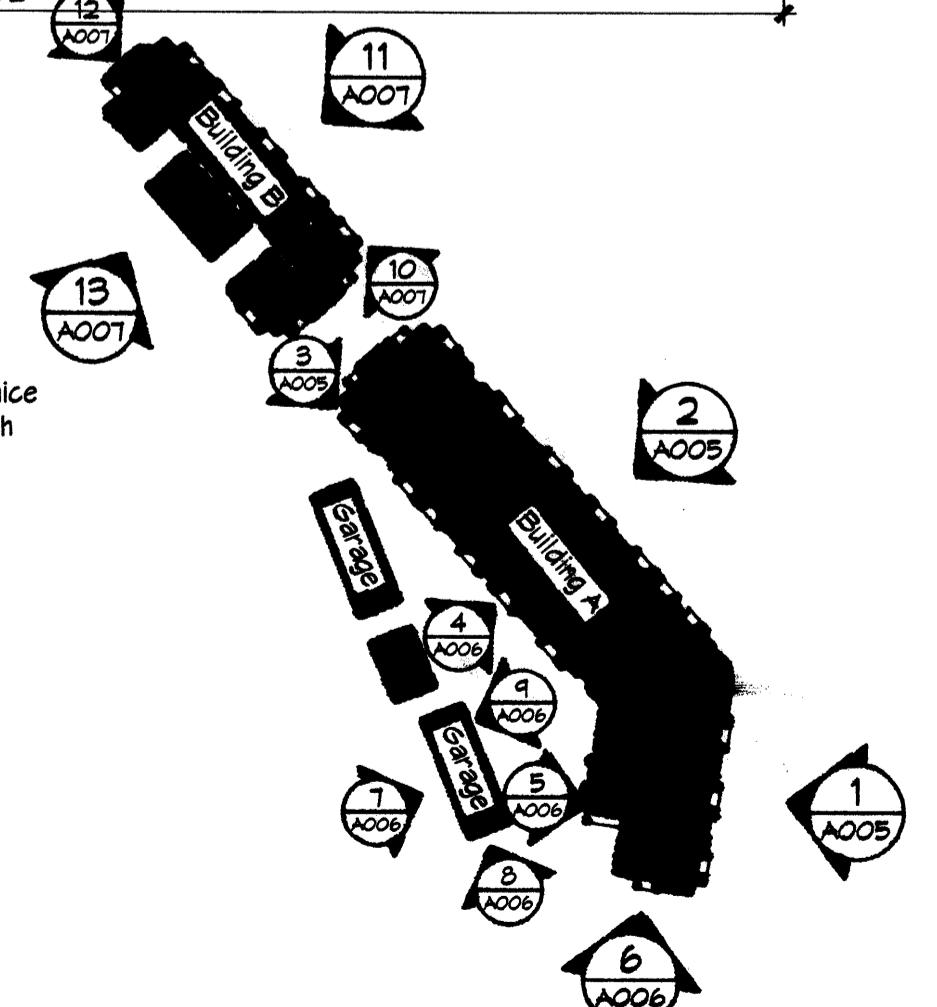
7 Elevation - Garage
Southwest
1/8" = 1'-0"

8 Elevation - Garage
SE/NW typical
1/8" = 1'-0"



9 Elevation - Garage
Northeast
1/8" = 1'-0"

Note:
All Garages shall be the same height and shall have consistent design treatment.



Buildings A and B - Elevation Key Plan
N.T.S.

**Huning Castle
Apartment Homes**
Central Avenue
Albuquerque, New Mexico

REVISIONS

△	
△	
△	
△	

DRAWN BY	LM/DM
REVIEWED BY	DRD
DATE	6/18/08
PROJECT NO.	08088
DRAWING NAME	

**Building A
Typical Garage
Elevations**

ARCHITECT

ENGINEER

PROJECT

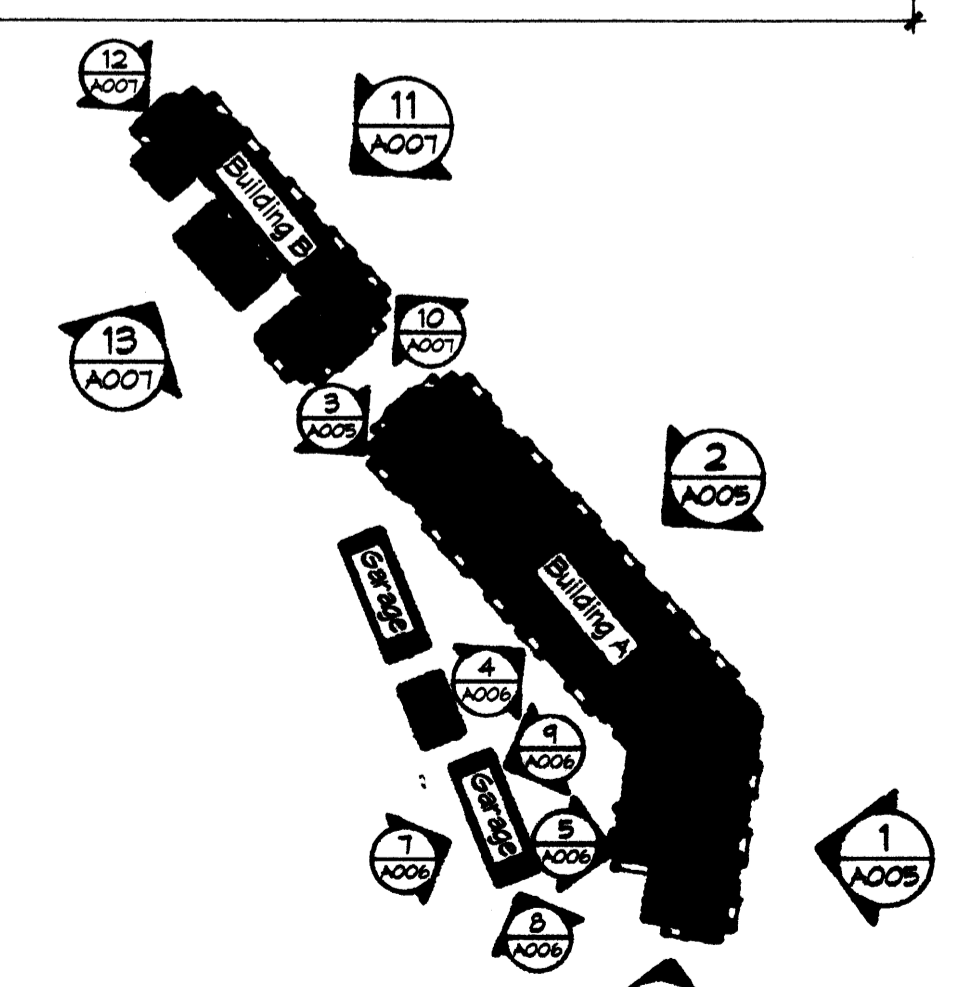
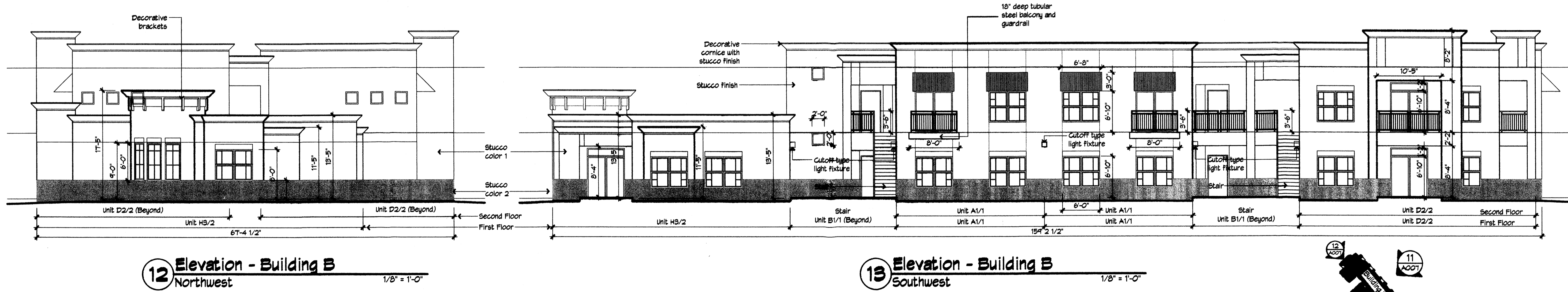
Exterior Colors:

Stucco:
Field Color #1
Sherwin Williams - White Duck SW 1010

Accent Color #2
Sherwin Williams - Balanced Beige SW 1087

Exterior Guardrails/Handrails:
Sherwin Williams - Roycroft Adobe SW 0040

Windows:
Aluminum frames, light Bronze color



Buildings A and B - Elevation Key Plan
N.T.S.

REVISIONS

△	
△	
△	
△	

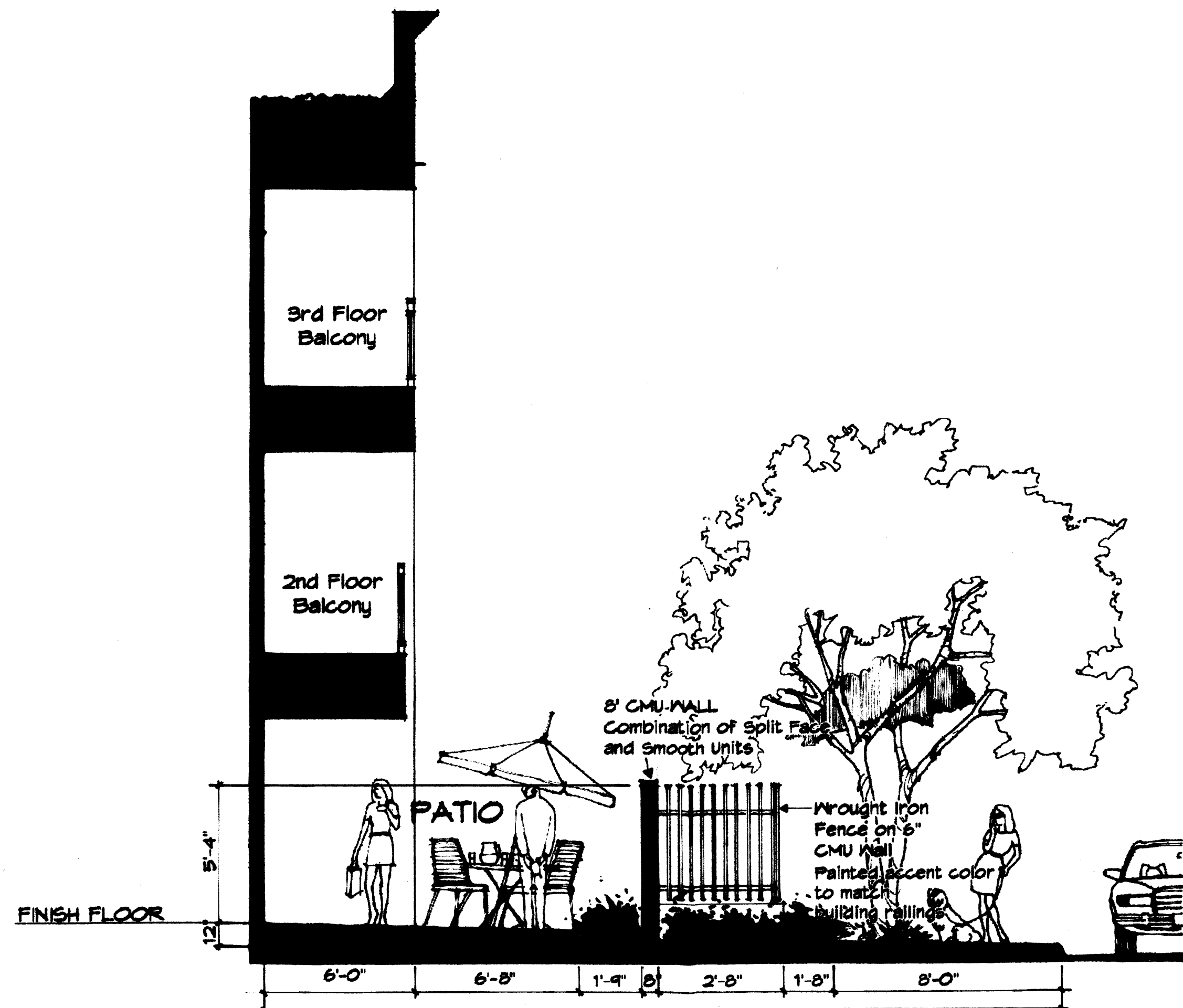
DRAWN BY	LM/DM
REVIEWED BY	DRD
DATE	6/18/08
PROJECT NO.	08088
DRAWING NAME	

**Building B
Building Elevations**

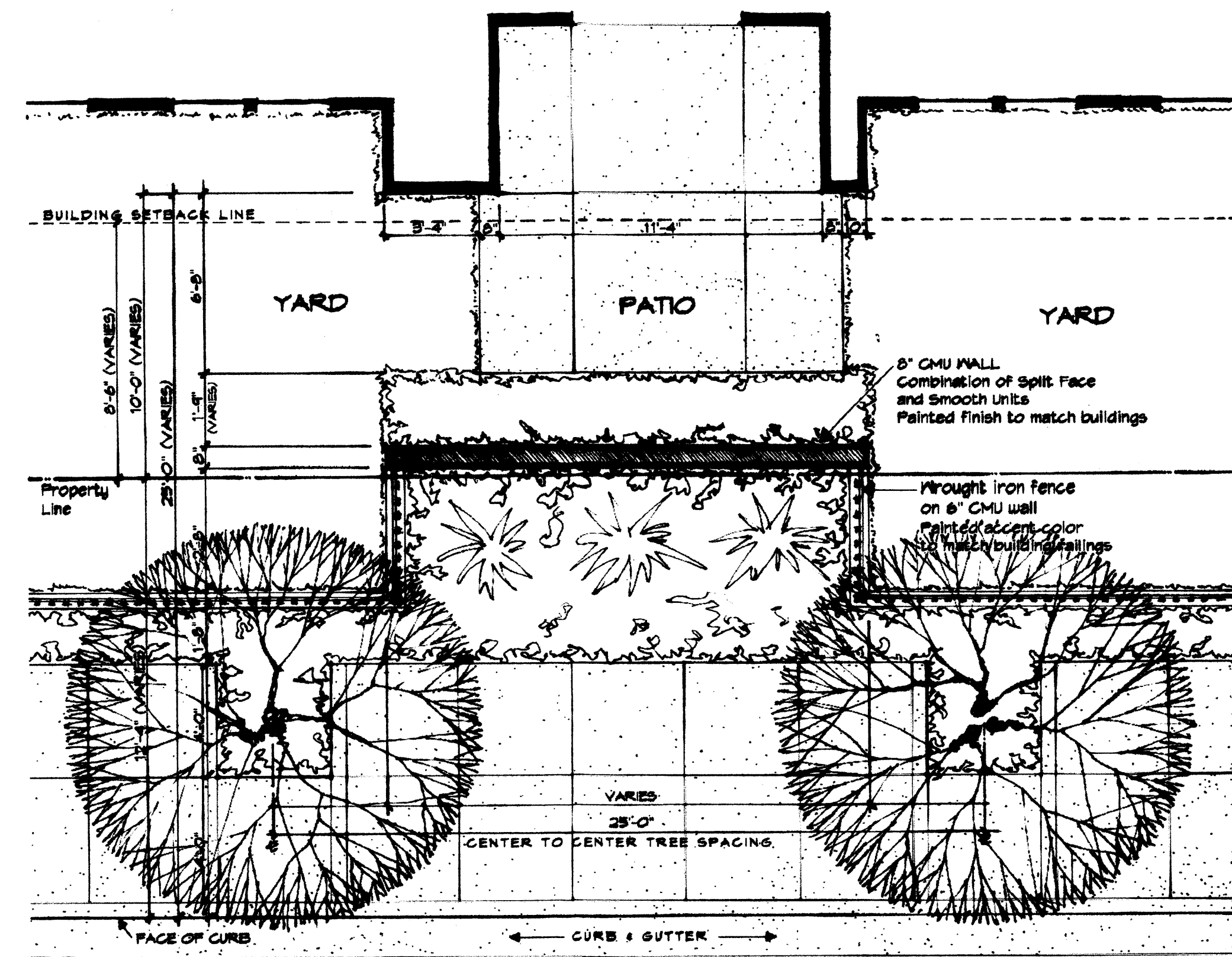
**Huning Castle
Apartment Homes**
Central Avenue
Albuquerque, New Mexico



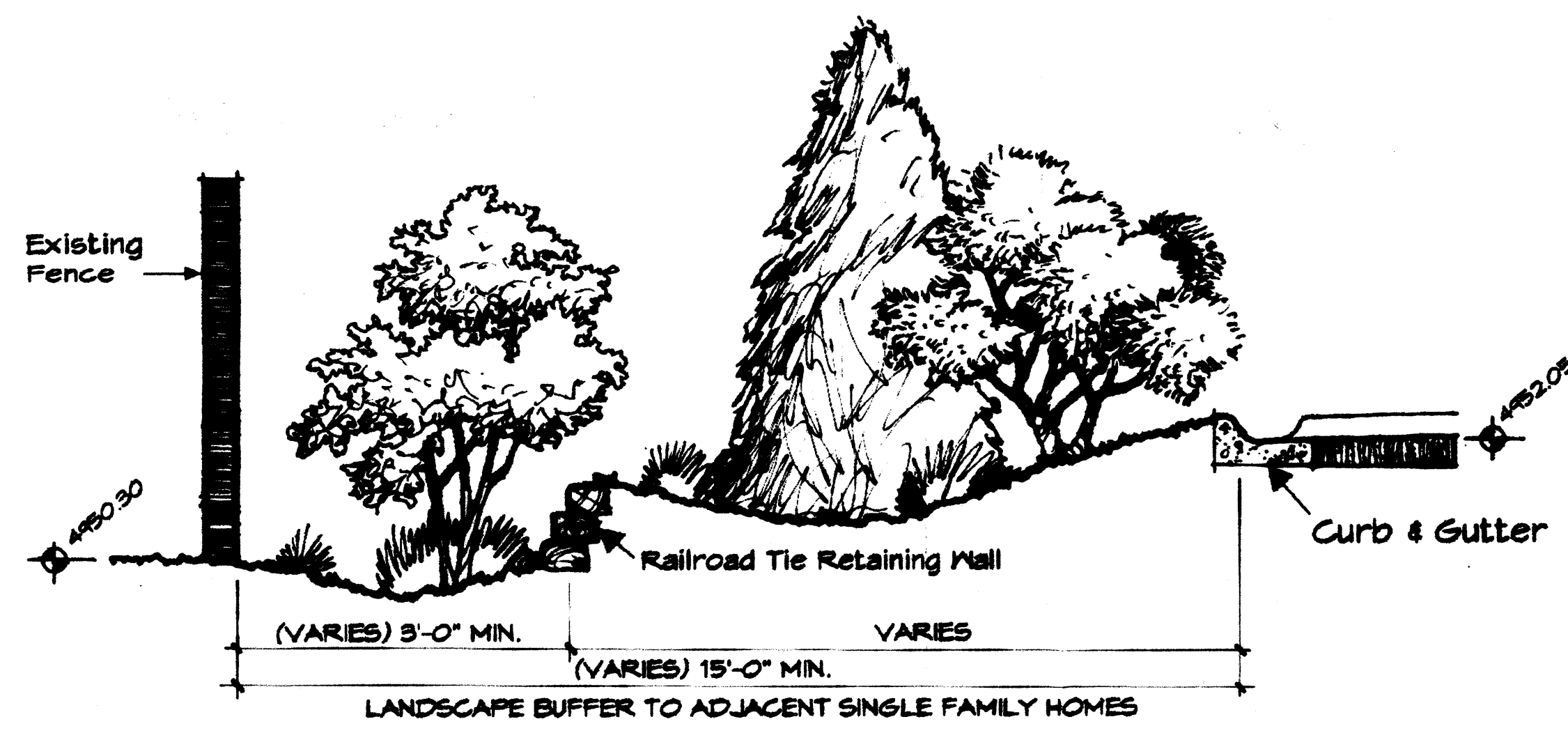
2 PARTIAL ELEVATION
1/4" = 1'-0"



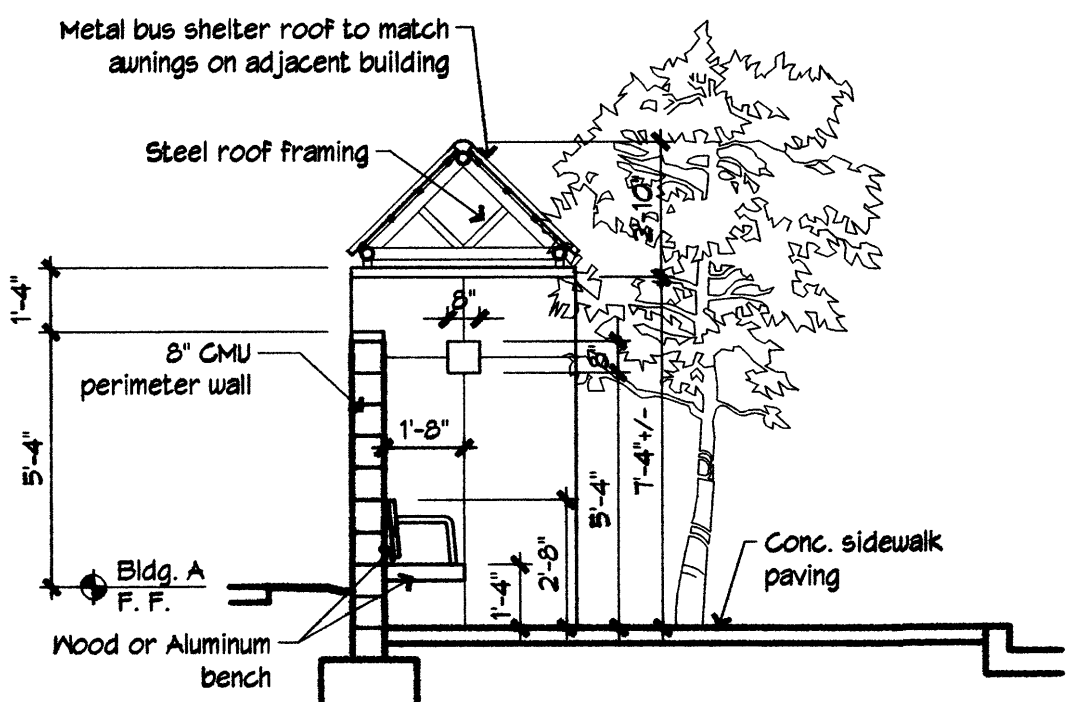
3 BUILDING SECTION
1/4" = 1'-0"



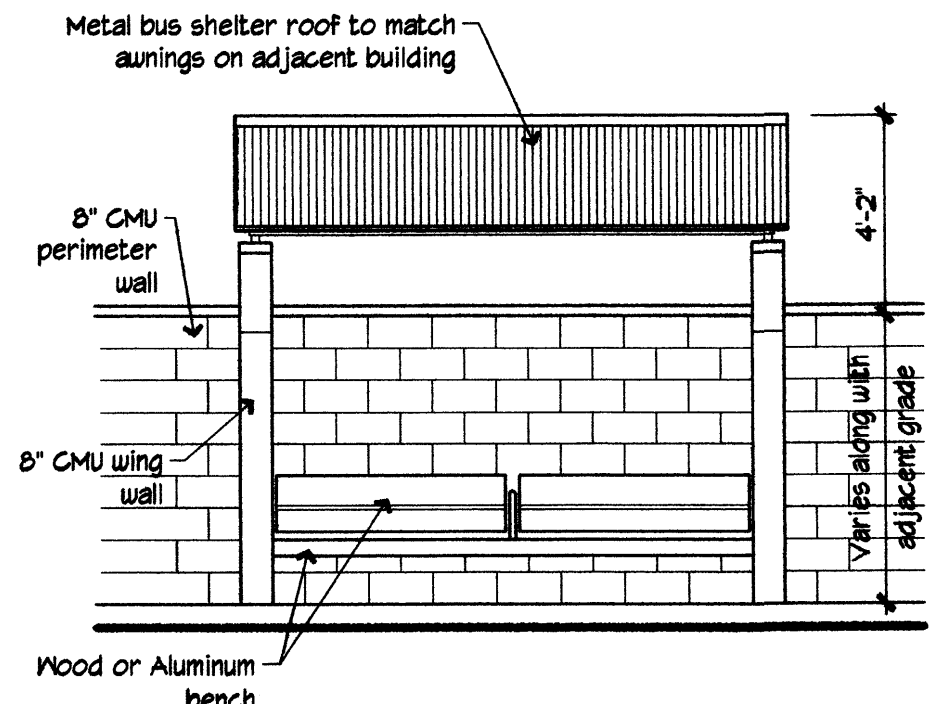
1 PARTIAL SITE PLAN
1/4" = 1'-0"



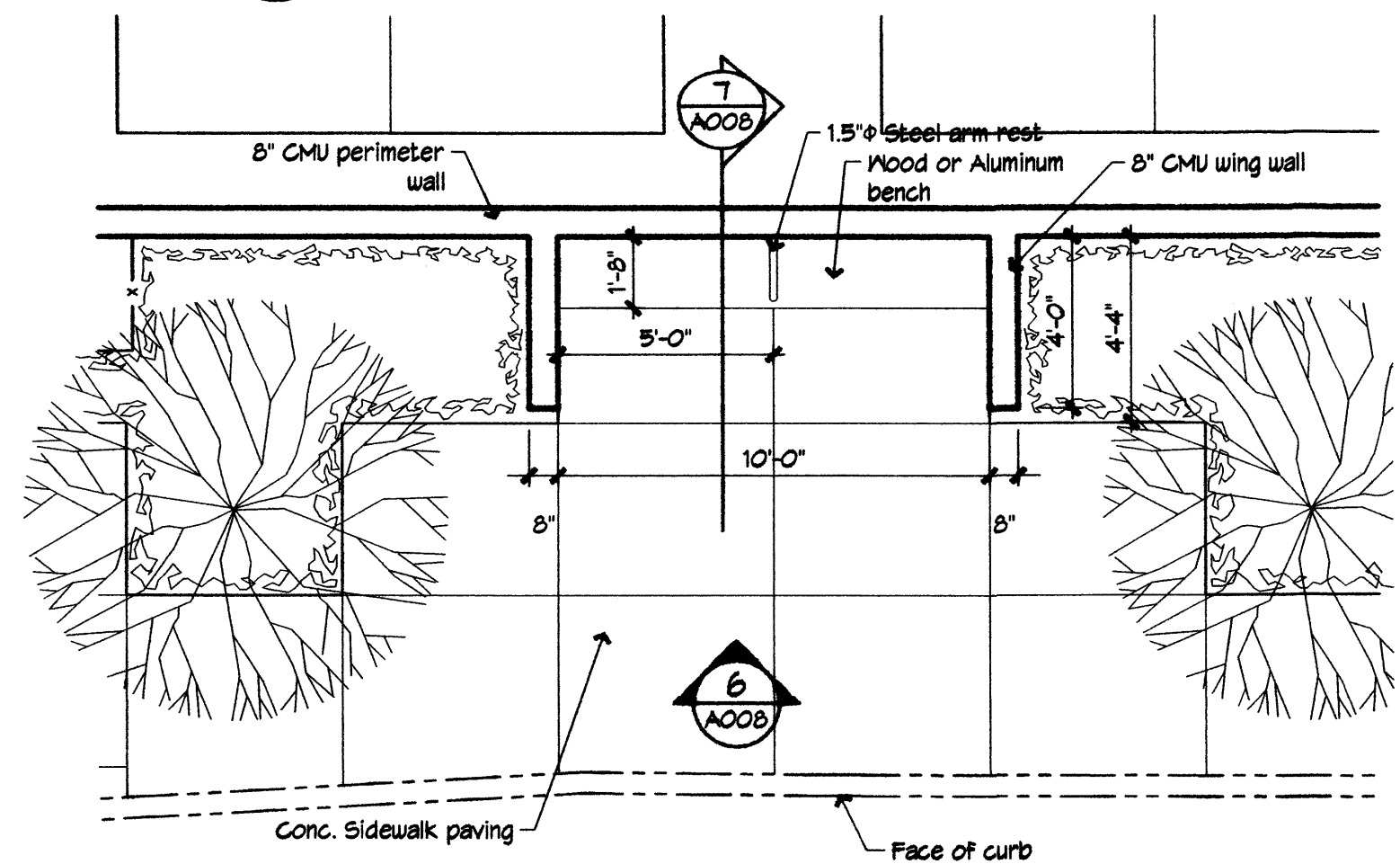
4 PARTIAL SITE SECTION
1/2" = 1'-0"



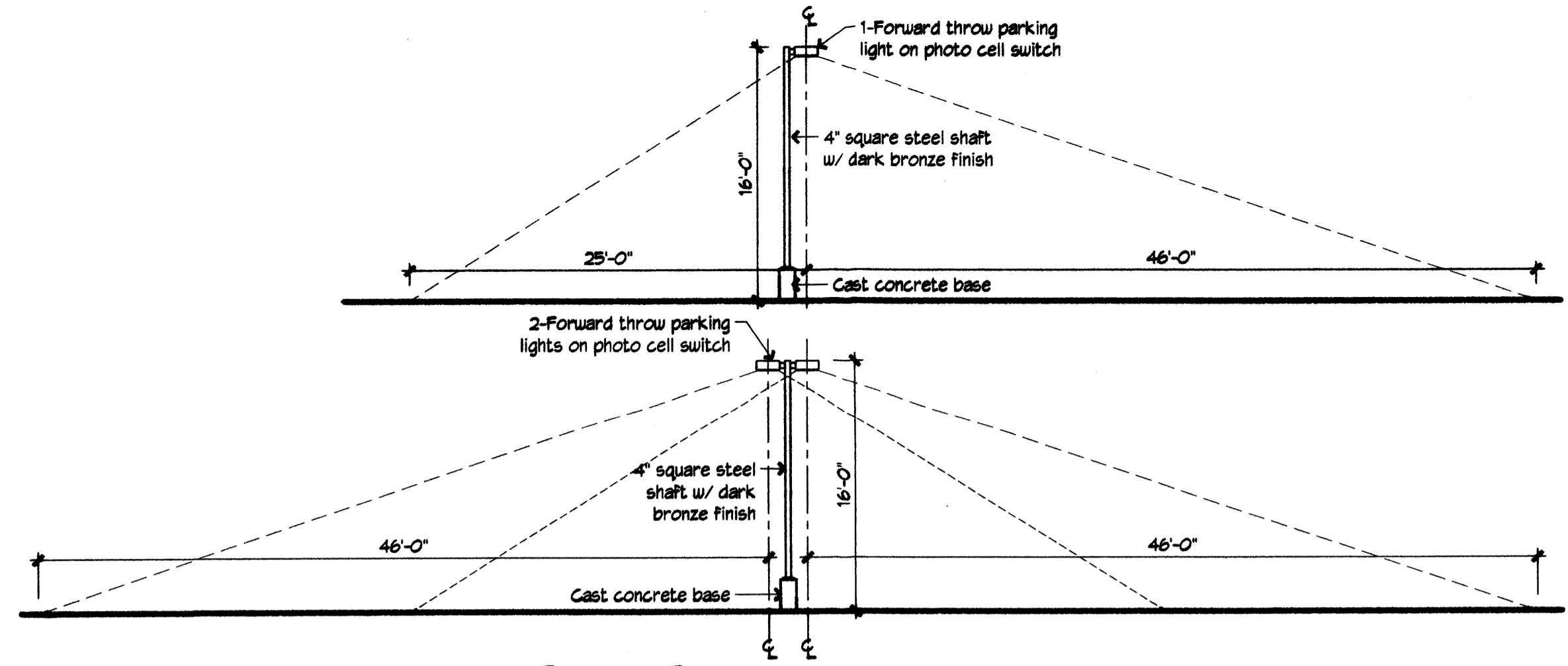
7 BUS SHELTER SECT.
1/4" = 1'-0"



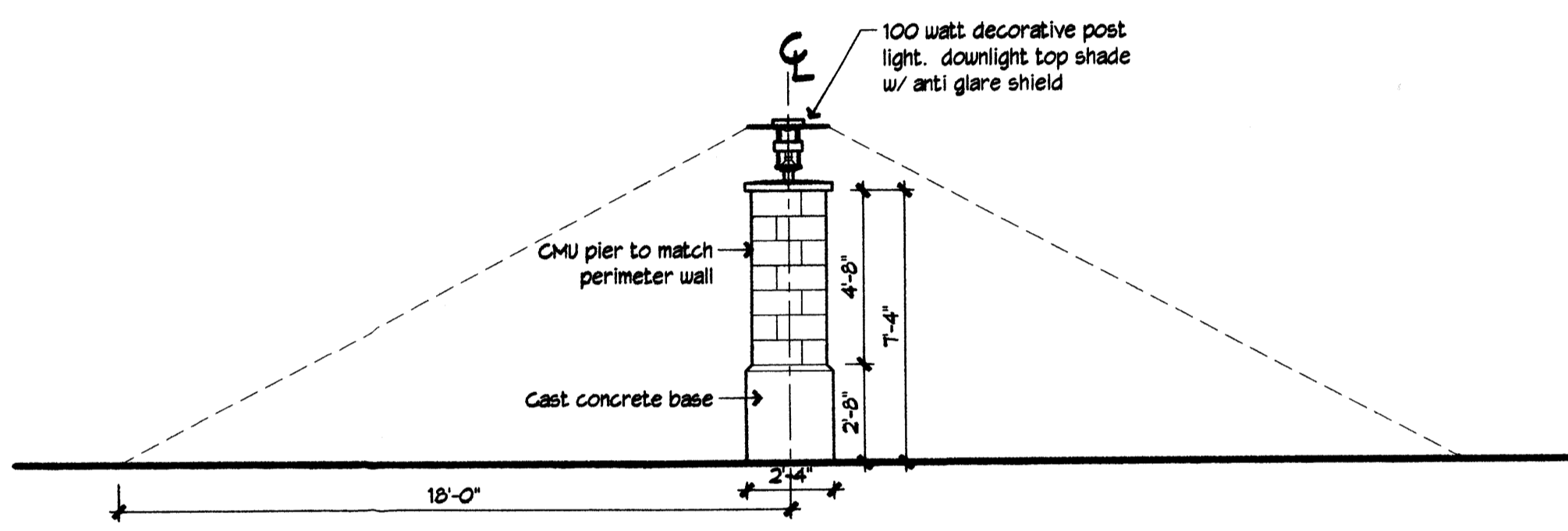
6 BUS SHELTER ELEV.
1/4" = 1'-0"



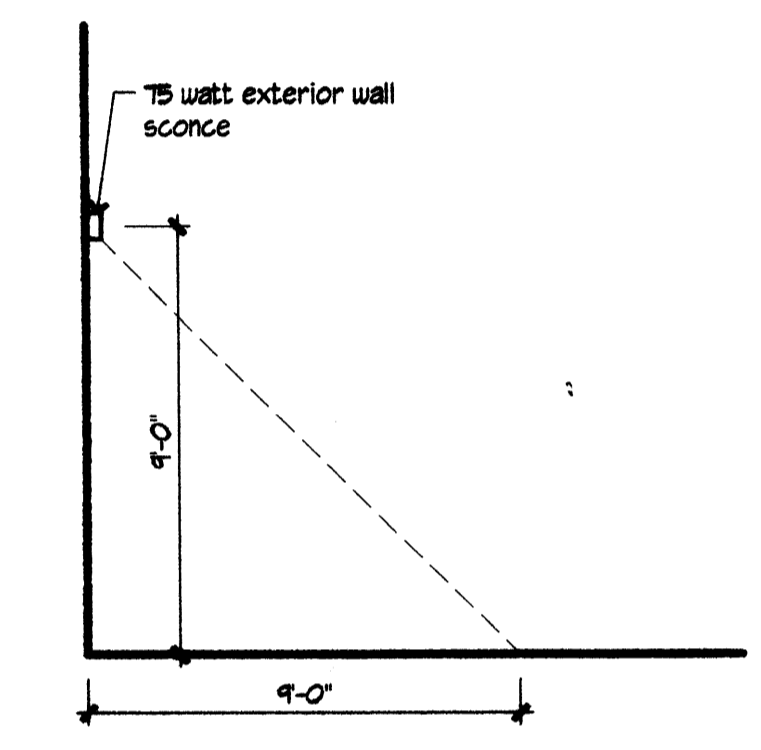
5 BUS SHELTER PLAN
1/4" = 1'-0"



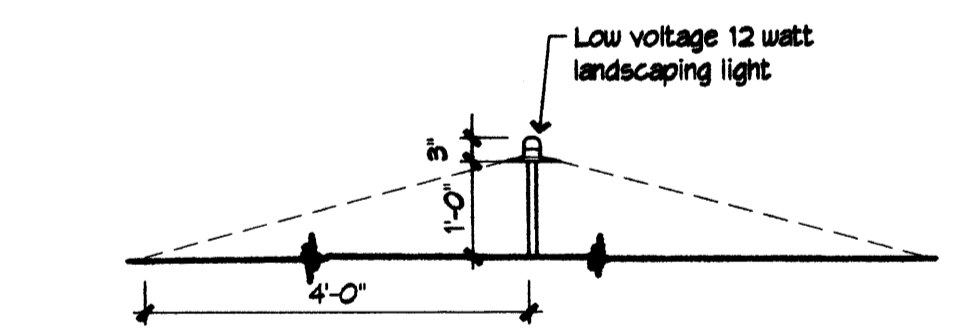
8 POLE LIGHT
1/8" = 1'-0"



10 MONUMENT LIGHTS
1/4" = 1'-0"



9 BUILDING MOUNTED WALL SCONCE
1/4" = 1'-0"



11 LANDSCAPE LIGHTING
1/2" = 1'-0"

REVISIONS

- △
- △
- △
- △

DRAWN BY	LM/DM
REVIEWED BY	DRD
DATE	6/18/08
PROJECT NO.	08088
DRAWING NAME	

Site Lighting Details

SHEET NO.