

LEGAL DESCRIPTION

BEING THAT CERTAIN PARCEL OF LAND SITUATED WITHIN SECTION 19, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, BEING IDENTIFIED AS PARCEL #2, LAND DIVISION PLAT OF LANDS OF JACK MCKINLEY, AS SAID PARCEL #2 IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 2, 1974, IN VOLUME 89, FOLD 174; TOGETHER WITH TRACT 145B, M.R.G.C.D. PROPERTY MAP NO.26; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING THE NORTHWEST CORNER OF SAID PARCEL #2 AND A POINT ON THE SECTION LINE COMMON TO SECTION 19, T11N, R3E, NMPM AND SECTION 24, T11N, R2E, NMPM, WHENCE THE SECTION CORNER COMMON TO SECTIONS 18 AND 19, T11N, R3E, NMPM, AND SECTIONS 13 AND 24, T11N, R2E, NMPM BEARS N 00°14'21" E, 549.17 FEET DISTANCE AND WHENCE THE ACS CONTROL STATION "NM448-NB" BEARS S 37°04'37" W, 1,173.91 FEET DISTANCE; THENCE,

S 89°43'20" E, 190.07 FEET DISTANCE TO THE NORTHEAST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING THE NORTHEAST CORNER OF SAID PARCEL #2 AND A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF M.R.G.C.D. CORRALES MAIN CANAL; THENCE,

S 01°31'20" E, 789.42 FEET DISTANCE TO THE POINT OF CURVATURE; THENCE,

SOUTHWESTERLY, 72.77 FEET DISTANCE ALONG THE ARC OF A CURVE, BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 141.09 FEET, A CENTRAL ANGLE OF 29°33'00" AND A CHORD WHICH BEARS S 13°15'10" W, 71.96 FEET DISTANCE TO THE POINT OF TANGENCY; THENCE,

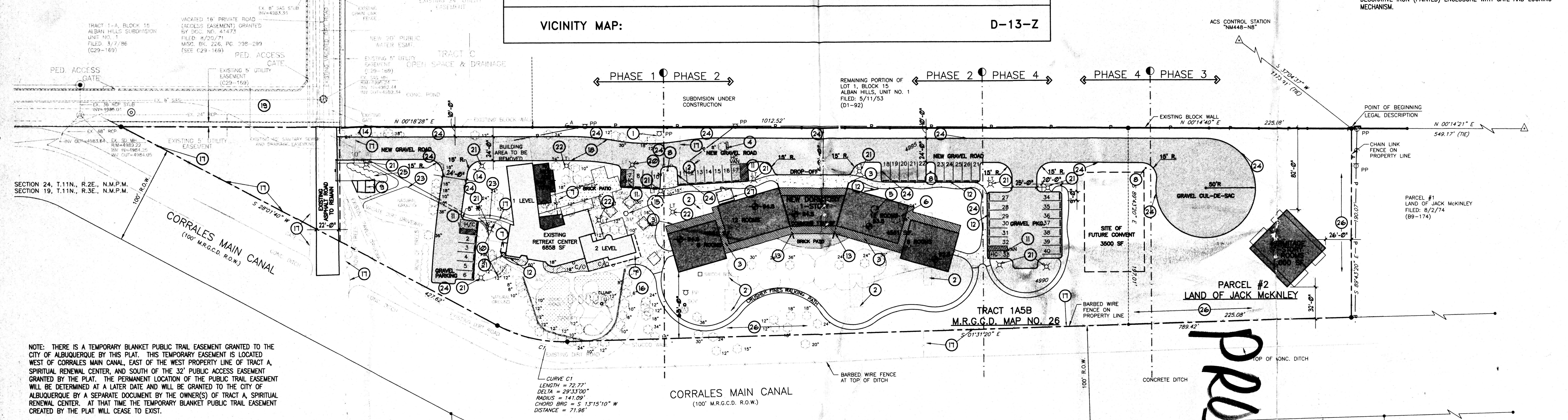
S 28°01'40" W, 427.62 FEET DISTANCE TO THE MOST SOUTHERLY CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING A POINT ON THE SECTION LINE COMMON TO SECTION 19, T11N, R3E, NMPM AND SECTION 24, T11N, R2E, NMPM; THENCE,

N 00°18'28" E, 1,012.52 FEET DISTANCE TO A POINT BEING THE SOUTHWEST CORNER OF SAID PARCEL #2; THENCE,

N 00°14'40" E, 225.08 FEET DISTANCE TO THE NORTHWEST CORNER AND POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED AND CONTAINING 212,123 SQUARE FEET (4.8697 ACRES), MORE OR LESS.

KEYED NOTES

- EXISTING PUMP HOUSE TO REMAIN.
- REMOVE EXISTING SHED(S).
- PORTAL.
- REMOVE PROPANE TANK.
- EXISTING WATER TOWER.
- REMOVE EXISTING TREE(S).
- OVERHANG.
- PROPOSED FIRE HYDRANT.
- TRASH ENCLOSURE. EXTEND CONCRETE PAD TO EXISTING ASPHALT ROAD. SEE COA DETAIL, SHEET C3.2.
- REMOVE EXISTING WOOD FENCE. REPLACE WITH 30" HIGH ADOBE WALL.
- H/C PARKING SPACE, ACCESS AISLE, SIGN, WHEEL STOP, CONCRETE SURFACE. CONCRETE WHEEL STOP AT ALL PARKING SPACES. CONCRETE PAD TO EXTEND FROM SIDEWALK TO H/C SPACE AND AISLE. SEE DETAIL 1/C3.1.
- BICYCLE RACK.
- AREA SEPARATION WALL.
- STOP SIGN.
- EXISTING WATER METER.
- NEW PLANTINGS TO SCREEN TRASH ENCLOSURE. SEE LANDSCAPE PLAN.
- REMOVE EXISTING BARBED WIRE FENCE.
- REMOVE EXISTING CONCRETE.
- FUTURE BICYCLE PATH TO BE COORDINATED WITH THE CITY OF ALBUQUERQUE AND LEGENDS OF THE BOSQUE PLANNING COMMITTEE.
- REMOVE EXISTING LIGHT.
- NEW EXTERIOR LIGHT. FIXTURE SHALL BE NO HIGHER THAN 16 FEET IN HEIGHT AND SHALL BE A FULL CUT-OFF (SHOEBOX) DESIGN. LOCATE FIXTURE TO MINIMIZE GLARE AND FUGITIVE LIGHT.
- EXISTING LIGHT TO REMAIN.
- PEDESTRIAN ACCESS SIDEWALK TO ROAD AND TRASH ENCLOSURE.
- GRAVEL EDGING. TYPICAL. SEE DETAIL SHEET C3.2.
- NEW SHRUBS TO PROVIDE SCREEN FOR TRASH ENCLOSURE.
- A VEGETATIVE SCREEN SHALL BE PLANTED ALONG THE NORTH AND EAST FENCE LINE AS PART OF THE PHASE 2 IMPROVEMENTS. THE PLANT MATERIAL SHALL BE MUTUALLY APPROVED THE CITY OPEN SPACE DIVISION PRIOR TO INSTALLATION.
- NEW, SECURE BICYCLE RACK ENCLOSURE - 6'-0" HIGH DECORATIVE IRON (PAINTED) ENCLOSURE WITH GATE AND LOCKING MECHANISM.



NOTE: THERE IS A TEMPORARY BLANKET PUBLIC TRAIL EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. THIS TEMPORARY EASEMENT IS LOCATED WEST OF CORRALES MAIN CANAL, EAST OF THE WEST PROPERTY LINE OF TRACT A, SPIRITUAL RENEWAL CENTER, AND SOUTH OF THE 32' PUBLIC ACCESS EASEMENT GRANTED BY THE PLAT. THE PERMANENT LOCATION OF THE PUBLIC TRAIL EASEMENT WILL BE DETERMINED AT A LATER DATE AND WILL BE GRANTED TO THE CITY OF ALBUQUERQUE BY A SEPARATE DOCUMENT BY THE OWNER(S) OF TRACT A, SPIRITUAL RENEWAL CENTER. AT THAT TIME THE TEMPORARY BLANKET PUBLIC TRAIL EASEMENT CREATED BY THE PLAT WILL CEASE TO EXIST.

LEGEND

- PP POWER POLE
- ANCHOR
- LT LIGHT POLE
- WM WATER METER
- SCV SPRINKLER CONTROL VALVE
- C/O CLEAN OUT
- PVC PVC PIPE
- WELL
- FF FINISHED FLOOR ELEVATION
- MANHOLE (STORM)
- MANHOLE (SANITARY)
- MANHOLE (UNDETERMINED)
- TREE (DECIDUOUS)
- BARBED WIRE FENCE

PARKING DATA

REQUIRED PER CITY OF ALBUQUERQUE ZONING ORDINANCE	
DORMITORY 14-16-3-1 A (10) 1 SPACE PER 3 RESIDENTS=	14
CONVENT 14-16-3-1 A (10)	2
HERMITAGE 14-16-3-1 A (10)	2
TOTAL REQUIRED	18
TOTAL PROVIDED	40
HANDICAPPED REQUIRED	4
HANDICAPPED PROVIDED	4
1 VAN SPACE, 3 PASSENGER CARS	

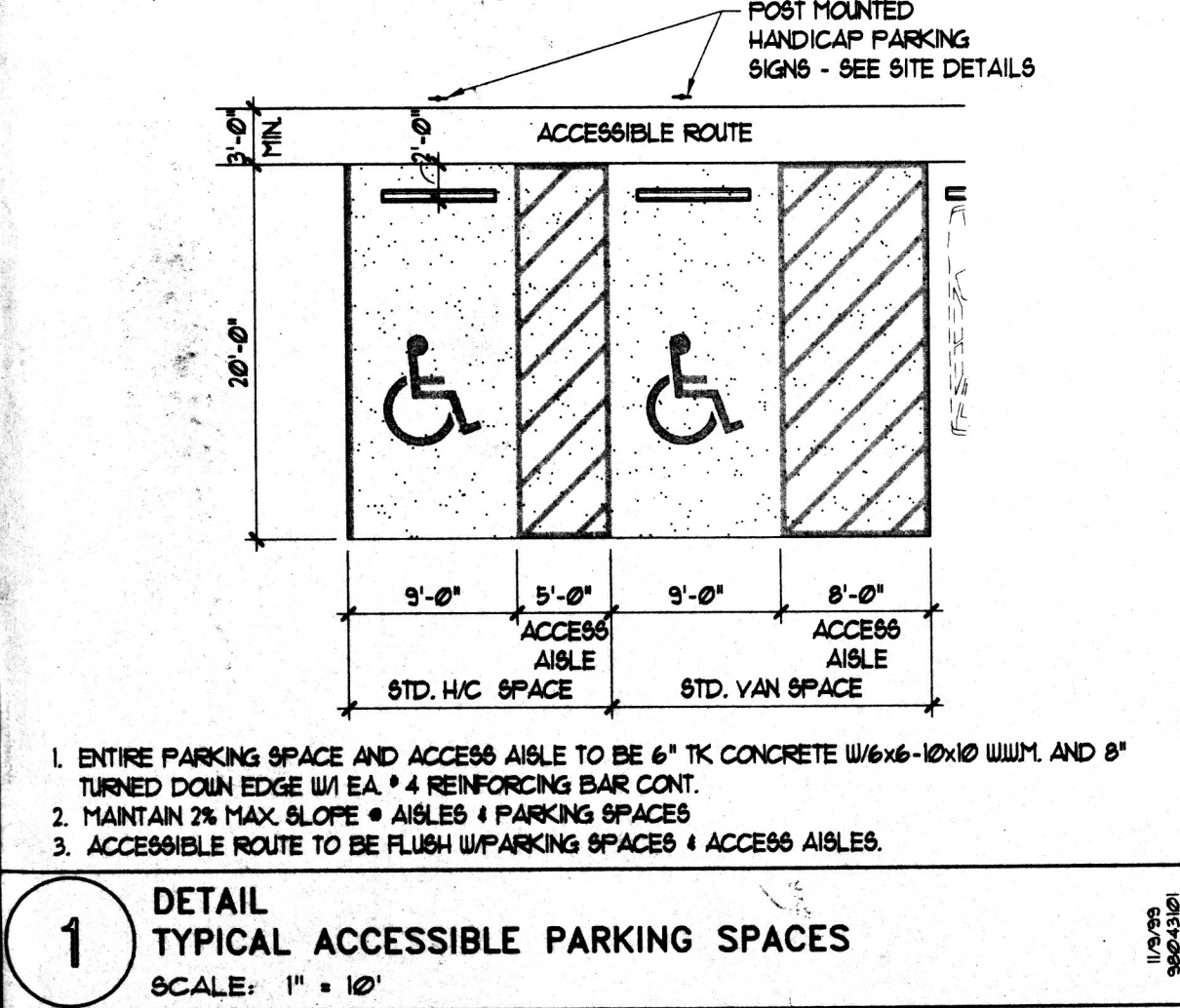
CASE NUMBER: Z-99-241

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON April 15, 1999 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLETED WITH:

SITE DEVELOPMENT PLAN

CHAIR, DEVELOPMENT REVIEW BOARD	5/31/00	DATE
TRANSPORTATION DEV.	12-22-99	DATE
UTILITIES	12-22-99	DATE
PARKS AND RECREATION	5-21-00	DATE
CITY ENGINEER		DATE
CITY PLANNER, ALBUQUERQUE	5/31/00	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.



GREGORY T. HICKS & ASSOC., P.C.
ARCHITECTS - PLANNERS

12 Second St. S.W.
Albuquerque, New Mexico 87102
Tel: (505) 243-7492 Fax: (505) 243-7406

DESIGNING TODAY DESIGNING TOMORROW

DOMINICAN RETREAT HOUSE RENOVATION AND ADDITIONS

6400 COORS N.W.
Albuquerque, New Mexico

proj. no: 9804
acad file: 9804C3
date: 12/17/99

PRELIMINARY SITE DEVELOPMENT PLAN

C3.1A

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	85%
ROADWAY PAVEMENT SUBGRADE	90%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 82, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY DUST CONTROL OR EROSION CONTROL PERMITS FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BARRIERS OR INSTALLING SILT FENCES AT THE PROPERTY LINES (OR LIMITS OF CONSTRUCTION IF DESIGNATED) AND WETTING SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT IDENTIFIED FOR SPECIFIC PERMANENT TREATMENT BY THE PROJECT LANDSCAPING PLAN OR IMPERVIOUS SURFACES ON THE SITE PLAN SHALL BE REVEGETATED WITH GRASS SOD IF PREVIOUSLY GRASSSED OR RECLAMATION SEEDING IF AREA WAS NATIVE BEFORE CONSTRUCTION STARTED. CONTRACTOR SHALL COORDINATE SPECIFIC TREATMENT WITH DOMINICAN REPRESENTATIVES OR PERSONNEL.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAIL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS, INCLUDING GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION AS STATES IN THE SPECIFICATIONS OR IMPOSED BY THE OWNER OR GOVERNING AUTHORITIES.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES", AND AMERICAN'S WITH DISABILITIES ACT (ADA) "ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES", AS AMENDED JANUARY 1998.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

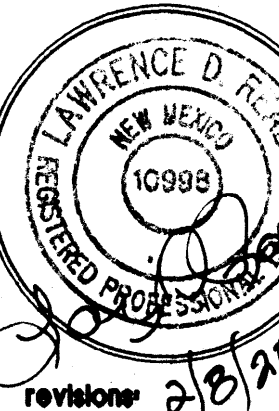
DESIGN ABBREVIATIONS

A = AIR LINE	LP = LIGHT POLE	TP = TOP OF PAVEMENT
AD = AREA DRAIN	L/S = LANDSCAPING	TS = TOP OF SIDEWALK
AIP = ABANDONED IN PLACE	MH = MANHOLE	TW = TOP OF WALL
BLDG. = BUILDING	NG = NATURAL GROUND	TYP = TYPICAL
BM = BENCHMARK	PB = ELECTRICAL PULL BOX	TB = TELEPHONE BOX
CATV = CABLE TELEVISION LINE	PCC = PORTLAND CEMENT CONCRETE	UE = UNDERGROUND ELECTRIC
CIP = CAST IRON PIPE	PP = POWER POLE	UT = UNDERGROUND TELEPHONE
CMP = CORRUGATED METAL PIPE	PVC = POLYVINYL CHLORIDE PIPE	W = WATER LINE
CMPA = CORRUGATED METAL PIPE ARCH	RCP = REINFORCED CONCRETE PIPE	WM = WATER METER
CO = CLEANOUT	RD = ROOF DRAIN	WV = WATER VALVE
CONC = CONCRETE	R/W = RIGHT-OF-WAY	WGV = GATE VALVE
CL = CENTERLINE	S = SLOPE	
DIA = DIAMETER	SAS = SANITARY SEWER	
DIP = DUCTILE IRON PIPE	SD = STORM DRAIN	
E = ELECTRIC LINE	STA = STATION	
ELEV = ELEVATION	STD = STANDARD	
FF = FINISHED FLOOR ELEVATION	SW = SIDEWALK	
FG = FINISHED GRADE	T = TELEPHONE	
FH = FIRE HYDRANT	TA = TOP OF ASPHALT	
G = GAS PIPE	TAC = TOP OF ASPHALT CURB	
GM = GAS METER	TBM = TEMPORARY BENCHMARK	
HI PT = HIGH POINT	TCS = TOP OF CONCRETE SLAB (PAVEMENT)	
INV = INVERT ELEVATION	TCC = TOP OF CONCRETE CURB	
LF = LINEAL FEET	TG = TOP OF GRADE	

DESIGN LEGEND

□ PP POWER POLE	-W-S-G-E- UTILITY (WATER, SEWER, ELEC., GAS, ETC.)
⊖ A ANCHOR	— SWALE (DIRECTION)
⊗ LT LIGHT POLE	○ MH MANHOLE
○ WM WATER METER	○ C/O CLEAN OUT
158.1.79+ EXIST SPOT ELEV.	▨ NEW BUILDING
158.280 NEW SPOT ELEV.	▨ EXISTING BUILDING
— 82 — CONTOUR LINE	▨ CONCRETE SIDEWALK
⊕ FH FIRE HYDRANT	▨ LANDSCAPING POND
⊕ WV WATER VALVE	▨ EXISTING BUILDING TO BE REMOVED
○ PVC PVC PIPE	▨ BUILDING OVERHANG
⊙ WELL	
FF FINISHED FLOOR ELEVATION	
⊙ MANHOLE (STORM)	
○ MANHOLE (SANITARY)	
⊙ MANHOLE (UNDETERMINED)	
— X — X BARBED WIRE FENCE	

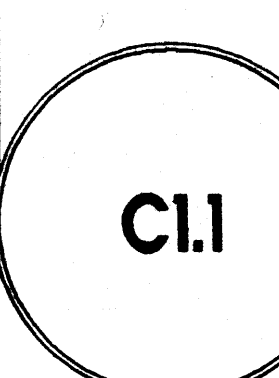
GREGORY T. HICKS & ASSOC., P.C.
ARCHITECTS • PLANNERS
 The Sunrise Building
 Albuquerque, New Mexico 87102
 (505) 243-7192 Fax (505) 243-7006
 • DESIGNING TODAY DESIGNING TOMORROW •



DOMINICAN RETREAT HOUSE
MAIN RETREAT CENTER RENOVATION
 6400 COORS BOULEVARD, N.W.
 ALBUQUERQUE, NEW MEXICO

proj. no. 9804
 aoad file: 9804CILDWG
 date: 02/04/00

GENERAL CIVIL NOTES



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (24hr) (acre-ft)	Q (cfs)		
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
A	0.75	0.00	48.00	18.00	34.00	1.17	0.07	3,171	0.08	3,596	2.22
B	2.87	0.00	92.70	2.10	2.20	0.71	0.17	7,348	0.17	7,454	6.02
C	0.23	0.00	92.00	0.00	8.00	0.77	0.01	0.46	0.02	0.11	0.51
D	1.06	0.00	41.30	24.20	34.50	1.20	0.11	4,602	0.12	5,212	3.22
E	0.29	0.00	36.50	43.40	20.10	1.07	0.03	1,119	0.03	1,215	0.83
TOTAL	5.20							16886	0.42	18154	12.81
PROPOSED CONDITIONS - FULL BUILDOUT											
A	0.75	0.00	47.90	8.00	44.10	1.27	0.08	3,455	0.09	4,007	2.35
B	2.87	0.00	37.30	24.40	38.30	1.25	0.30	12,981	0.34	14,816	8.99
C	0.23	0.00	60.40	27.40	12.20	0.92	0.02	765	0.02	812	0.59
D	1.06	0.00	36.70	26.40	36.90	1.23	0.11	4,749	0.12	5,402	3.30
E	0.29	0.00	36.50	43.40	20.10	1.07	0.03	1,127	0.03	1,224	0.83
TOTAL	5.20							23076	0.60	26261	16.05
PROPOSED CONDITIONS - PHASE I CONSTRUCTION ONLY											
A	0.75	0.00	22.70	13.20	22.70	0.73	0.05	1,987	0.05	2,272	1.37
B	2.87	0.00	95.70	2.10	2.20	0.71	0.17	7,348	0.17	7,454	6.02
C	0.23	0.00	100.00	0.00	0.00	0.67	0.01	559	0.01	559	0.47
D	1.06	0.00	41.30	24.20	34.50	1.20	0.11	4,602	0.12	5,212	3.22
E	0.29	0.00	36.50	43.40	20.10	1.07	0.03	1,127	0.03	1,224	0.83
TOTAL	5.20							15623	0.38	16721	11.92

EXCESS PRECIP.	0.44	0.67	0.99	1.97	E (in)
PEAK DISCHARGE	1.29	2.03	2.87	4.37	Q ₁₀₀ (cfs)

WEIGHTED E (in) = (E_A)(%A) + (E_B)(%B) + (E_C)(%C) + (E_D)(%D) + (E_E)(%E)

V_{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12

V_{24hr} (acre-ft) = V_{6hr} + (A_p)(P_{24hr} - P_{6hr})/12

Q (cfs) = (Q₁₀₀)(A₁) + (Q₁₀₀)(A₂) + (Q₁₀₀)(A₃) + (Q₁₀₀)(A₄)

ZONE = 1

P_{6hr} (in) = 1.20

P_{24hr} (in) = 0.66

P_{3hr} (in) = 3.37

DOMINICAN RETREAT HOUSE
SEDIMENTATION POND SIZING

NOTE: BASIN E DOES NOT DRAIN TO SEDIMENTATION POND FOR CURRENT GRADING PLAN.

BASIN D
CHECK CULVERT CAPACITY: 3-8" PVC - ORIFICE
Q = CA/2.30
C = 0.67
A = 0.35 sf
h₀(ft) = 1.00'
Q = 0.67 x 0.35/2 x 32.2 x (1.0)
Q = 1.88 cfs/sec x 3 = 5.64 cfs > Q₁₀₀ = 3.22 cfs OK

BASIN A
CHECK CULVERT CAPACITY: 2-8" PVC - ORIFICE
Q = CA/2.30
C = 0.67
A = 0.35 sf
h₀(ft) = 1.00'
Q = 0.67 x 0.35/2 x 32.2 x (1.0)
Q = 1.88 cfs/sec x 2 = 3.76 cfs > Q₁₀₀ = 2.22 cfs OK

TOTALS FLOW RATES TO SEDIMENTATION POND - PHASE I ONLY

Q₁₀₀ = 11.92 cfs
V₁₀₀ = 16721 cf

SEDIMENTATION POND

A. CRITERIA PER "NORTH COORS DRAINAGE MANAGEMENT PLAN"

1. SEDIMENTATION FALL = 0.002 ft/sec @ 50% Q₁₀₀
2. DETENTION TIME = POND DEPTH/0.002 ft/sec.
3. MAXIMUM HORIZONTAL VELOCITY = 0.5 ft/sec @ 50% Q₁₀₀
4. MINIMUM SEDIMENTATION STORAGE = 0.0024 cf/cf.

B. OUTLET CONTROL WEIR - EXISTING.
WEIR ELEVATION = 89.92'
WIDTH = 10'
TOP OF BERM = 1.71'
Q = CL^{3/2}
C = 2.6
L = 10'
h = 1.71'

Q = 2.6 * 10 * (1.71)^{3/2} = 58.1 cfs (OK) >> Q = 11.92 cfs.

CALCULATE MAXIMUM FLOW DEPTH @ 50% Q₁₀₀

11.92/2 = 2.6 * 10 * h^{3/2}

h = 0.37' << 1.71' AVAILABLE, OK

MAXIMUM WATER SURFACE = 89.92 + 0.38 = 90.30

BOTTOM OF POND @ WEIR = 89.02

DEPTH = 90.30 - 89.00 = 1.30'

DETENTION TIME REQUIRED

T = 1.30/0.002 ft/sec = 650 sec = 10.83 min

DETENTION TIME PROVIDED @ 50% Q₁₀₀

L = 815'

BOTTOM SLOPE = 0.22'

BOTTOM WIDTH = 5'

SIDE SLOPE = 5:1

FROM MANNING, n = 0.045, V = 1.05 ft/sec

TIME IN CHANNEL = 815' / 1.05 ft/sec = 774 sec = 12.90 min

T_{total} = 12.90 min > T_{req} = 10.83 min, OK

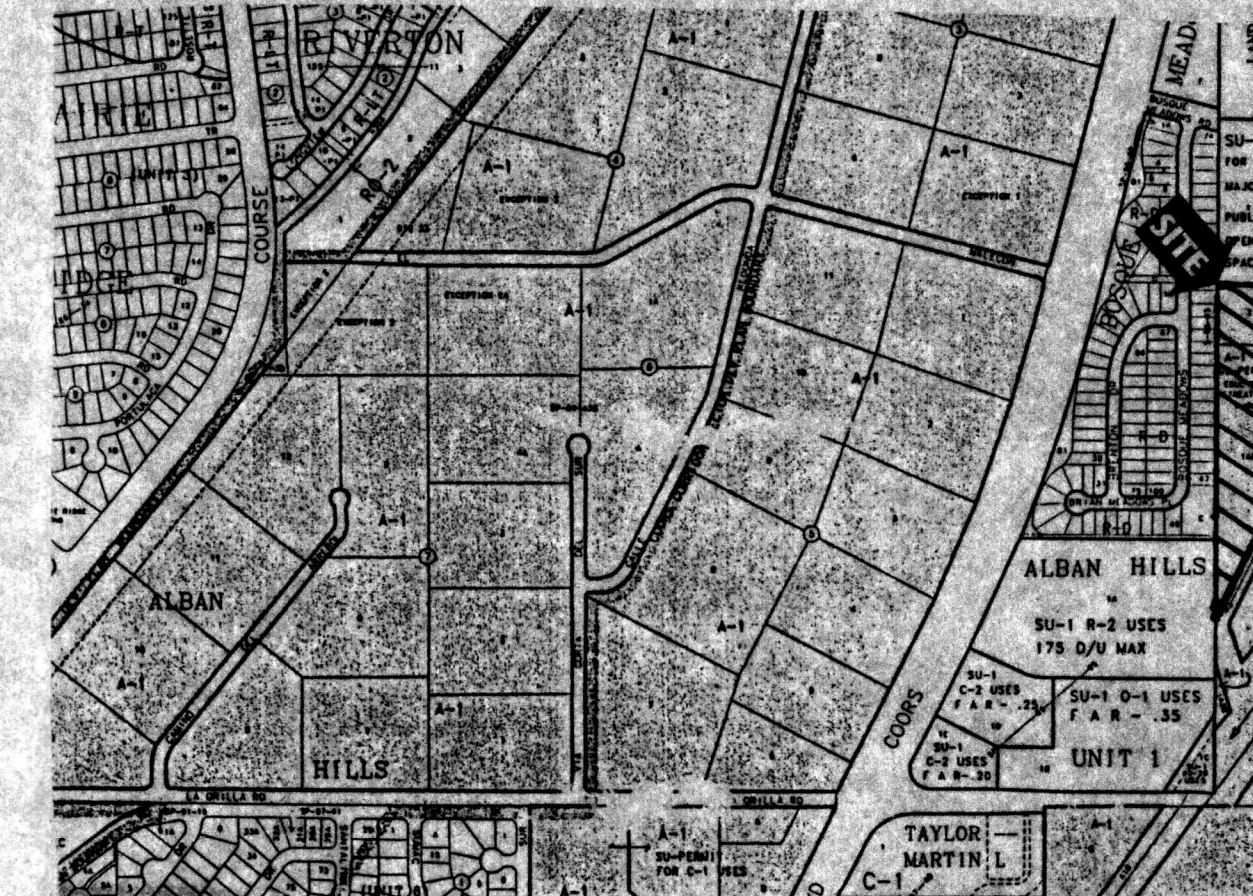
CHECK SEDIMENTATION STORAGE VOLUME

REQUIRED = 4.91 ac (0.0024 cf/cf) = 0.011784 of = 513 cf

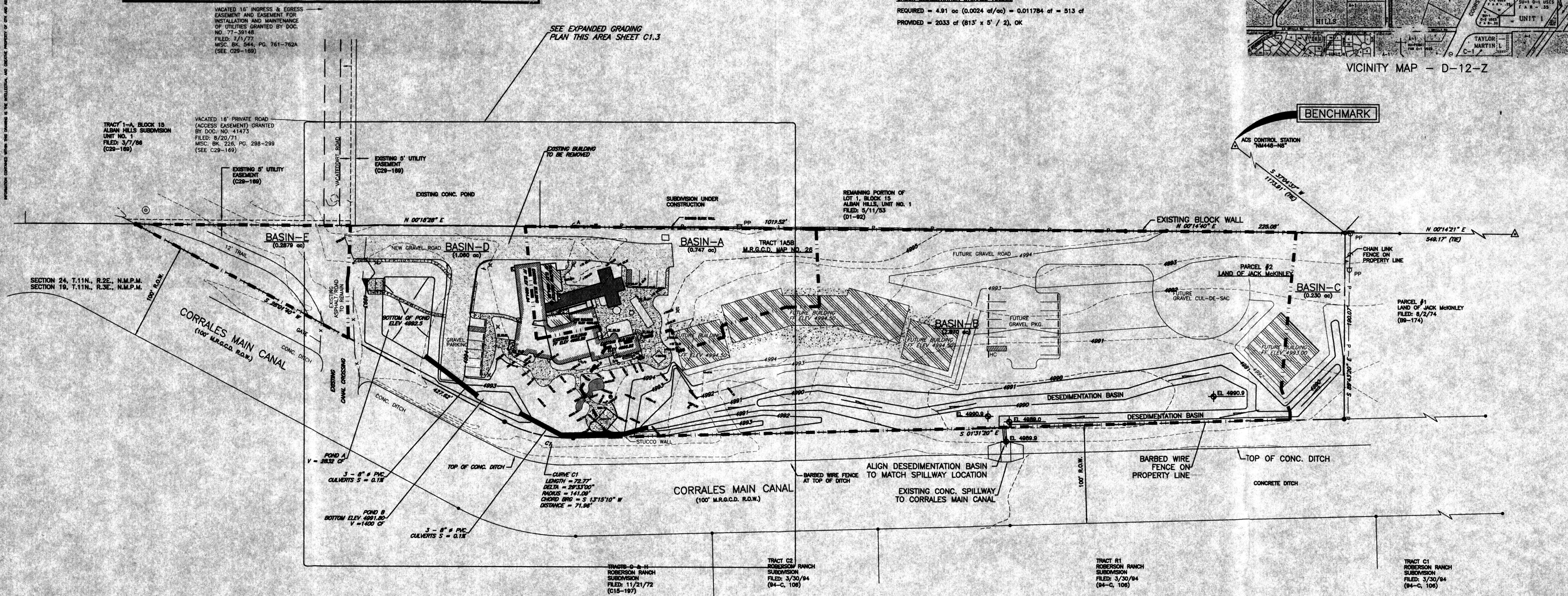
PROVIDED = 2033 cf (815' x 5' / 2), OK

LEGAL DESCRIPTION
TOPOGRAPHIC & BOUNDARY SURVEY

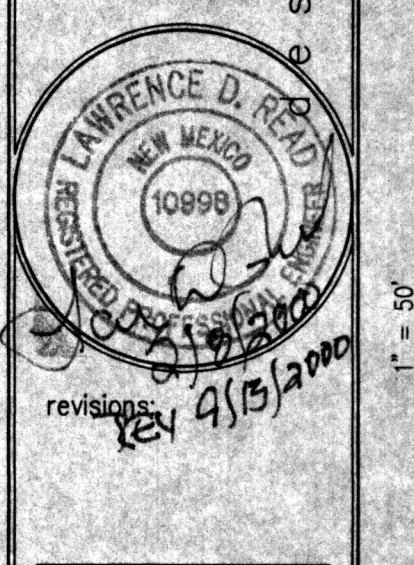
PARCEL #2
LAND OF JACK MCKINLEY
AND
TRACT 1A5B
M.R.G.C.D. PROPERTY MAP NO. 26
BERNALILLO COUNTY, NEW MEXICO
JULY 1998



VICINITY MAP - D-12-Z



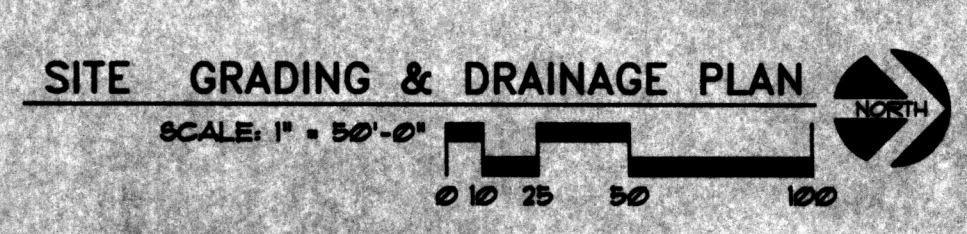
gregory t. hicks & assoc. p.c.
architects planners
112 Second St. S.W.
Albuquerque, New Mexico 87102
(505) 243-7492 fax (505) 243-1106
designing today designing tomorrow



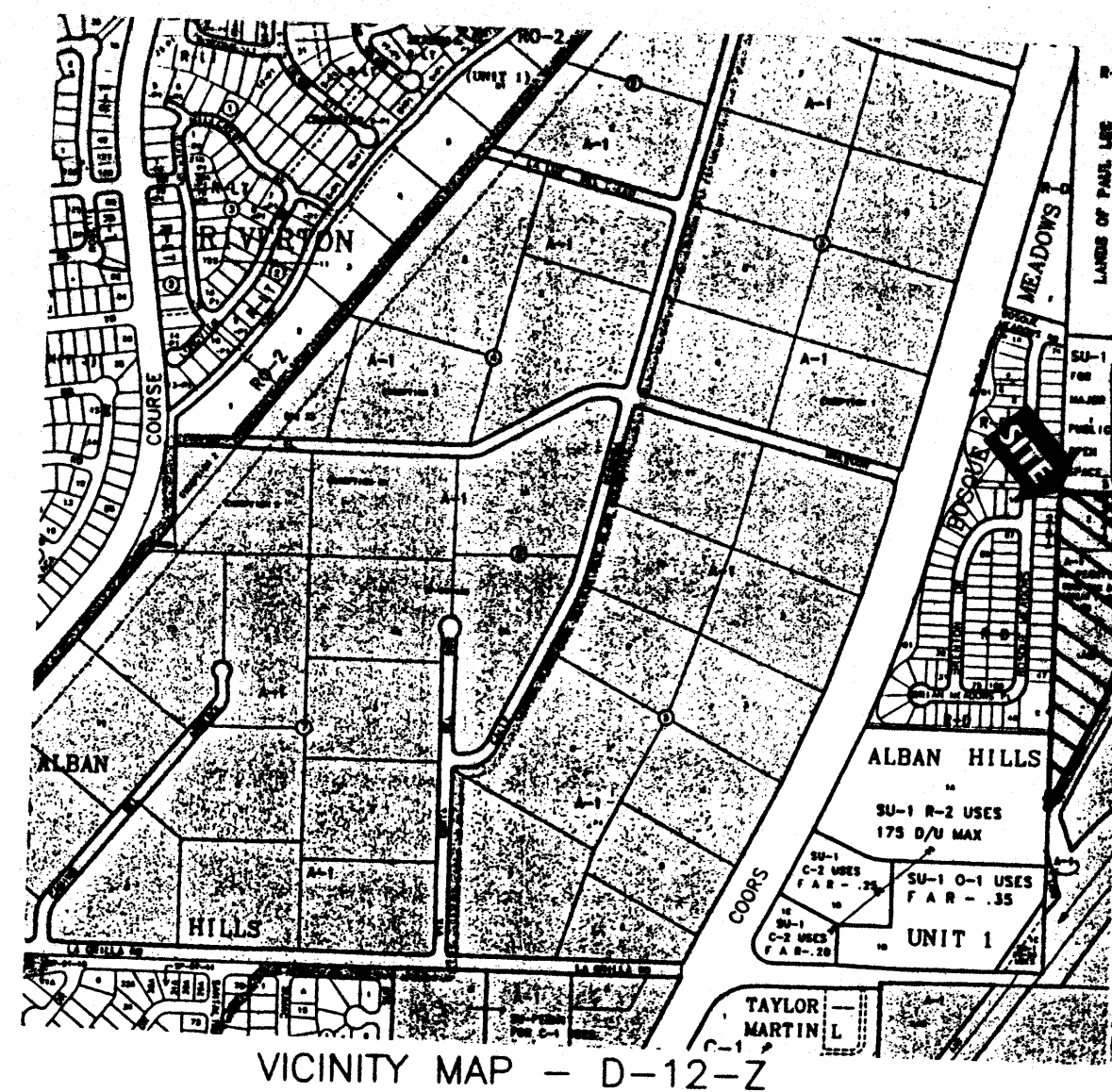
DOMINICAN RETREAT HOUSE
RENOVATION AND ADDITIONS
6400 COORS N.W.
Albuquerque, New Mexico

proj. no.: 9804
acad file: 9804C12
date: 2/2/2000

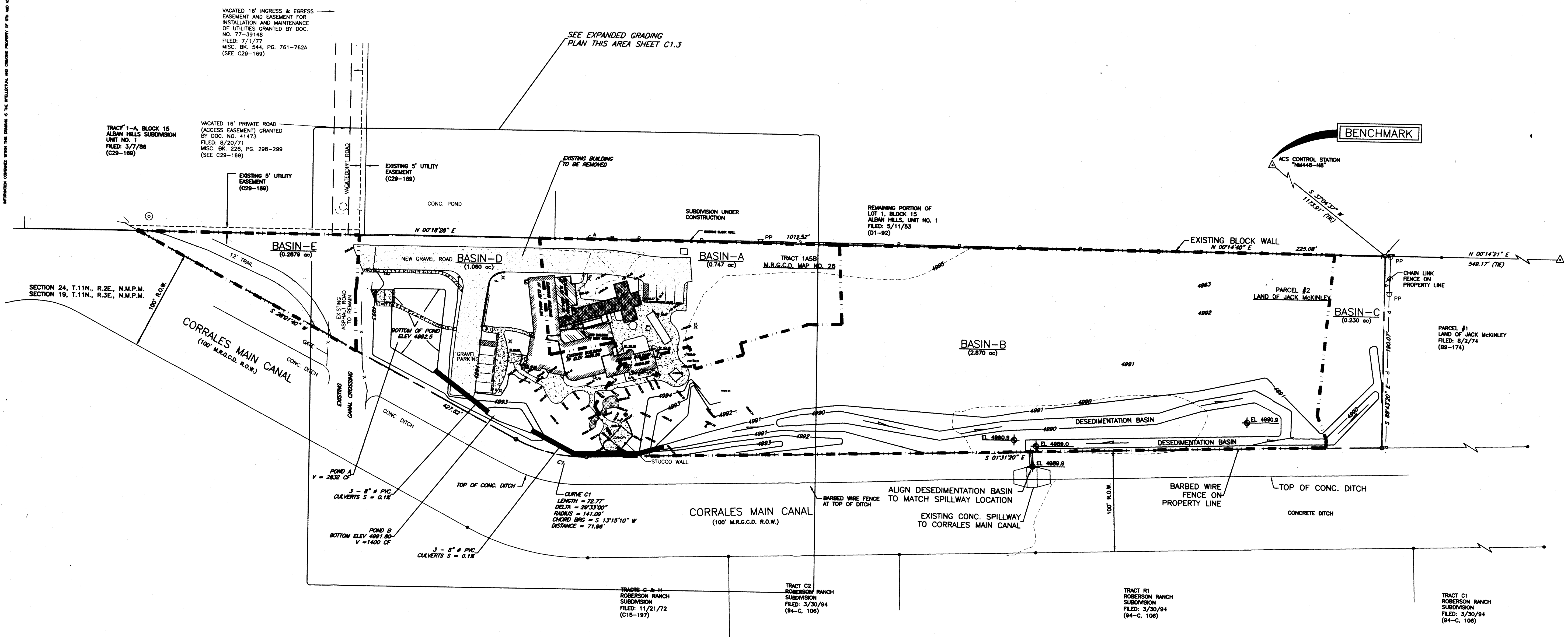
GRADING PLAN



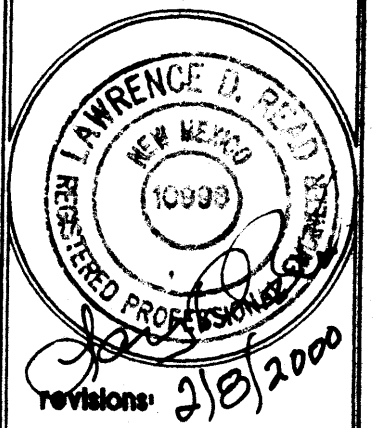
C1.2



LEGAL DESCRIPTION
 TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL #2
LAND OF JACK MCKINLEY
 AND
TRACT 1A5B
M.R.G.C.D. PROPERTY MAP NO. 26
 BERNALILLO COUNTY, NEW MEXICO
 JULY 1998



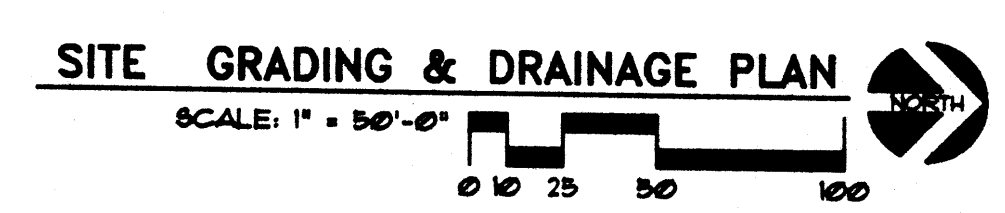
GREGORY T. Hicks & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 The Sunshine Building
 Albuquerque, New Mexico 87102
 (505) 243-7492 Fax (505) 243-7604
 • designing today designing tomorrow •



**DOMINICAN RETREAT HOUSE
 RENOVATION AND ADDITIONS**
 6400 COORS N.W.
 Albuquerque, New Mexico

proj. no. 9804
 acad. file 9804C2
 date 2/2/2000

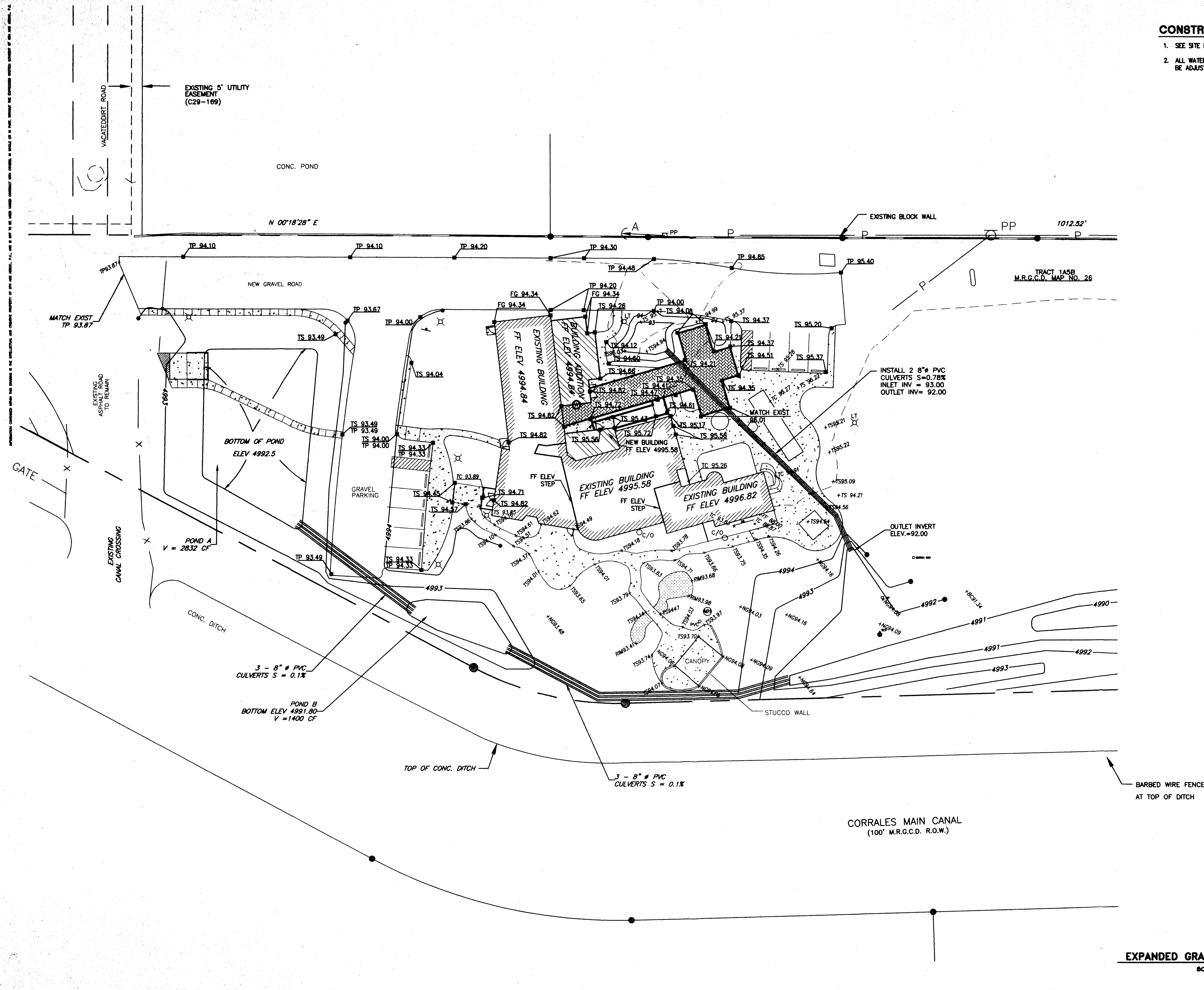
GRADING PLAN



C1.2

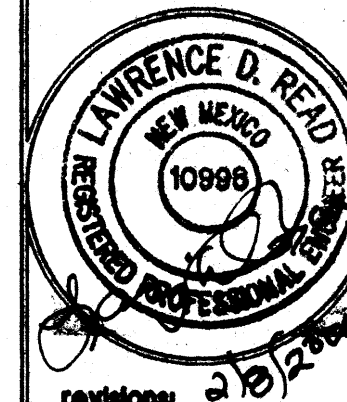
CONSTRUCTION NOTES:

1. SEE SITE PLAN FOR ALL DIMENSIONS AND MATERIAL IDENTIFICATION.
2. ALL WATER VALVES, SPRINKLER VALVES, BOXES, AND HEADS, SHALL BE ADJUSTED TO FINISH GRADE WHEN CONSTRUCTION IS COMPLETE.



EXPANDED GRADING & DRAINAGE PLAN
 SCALE: 1" = 20'

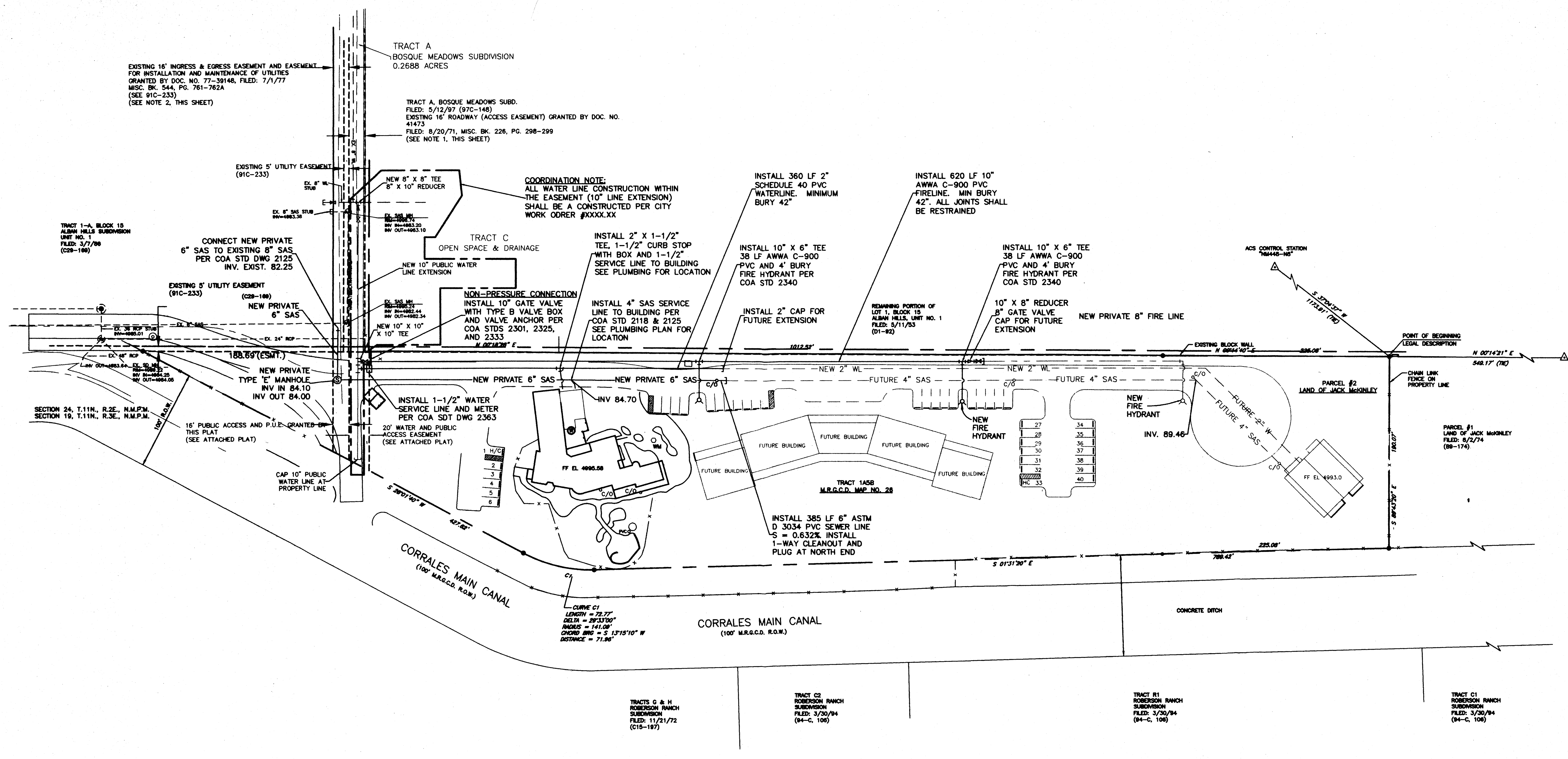
GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 22 Second St. S.W.
 Albuquerque, New Mexico 87102
 505 243-7492 Fax 505 243-3004
 • designing today designing tomorrow •



**DOMINICAN RETREAT HOUSE
 RENOVATION AND ADDITIONS**
 6400 COORS N.W.
 Albuquerque, New Mexico

proj. no. 9804
 coord. by 9804CS
 date 2/2/2000
 EXPANDED
 GRADING PLAN

CL3



EXISTING 16' INGRESS & EGRESS EASEMENT AND EASEMENT FOR INSTALLATION AND MAINTENANCE OF UTILITIES GRANTED BY DOC. NO. 77-39148, FILED: 7/1/77, MISC. BK. 544, PG. 761-762A (SEE NOTE 2, THIS SHEET)

TRACT A BOSQUE MEADOWS SUBDIVISION 0.2688 ACRES

TRACT A, BOSQUE MEADOWS SUBD. FILED: 5/12/97 (97C-148) EXISTING 16' ROADWAY (ACCESS EASEMENT) GRANTED BY DOC. NO. 41473 FILED: 8/20/71, MISC. BK. 226, PG. 298-299 (SEE NOTE 1, THIS SHEET)

TRACT 1-A, BLOCK 15 ALHAMBRA HILLS SUBDIVISION UNIT NO. 1 FILED: 3/7/99 (C29-189)

CONNECT NEW PRIVATE 6" SAS TO EXISTING 8" SAS PER COA STD DWG 2125 INV. EXIST. 82.25

EXISTING 5' UTILITY EASEMENT (91C-233)

NEW PRIVATE 6" SAS

NEW PRIVATE TYPE 'E' MANHOLE INV IN 84.10 INV OUT 84.00

16' PUBLIC ACCESS AND P.U.E. GRANTED BY THIS PLAT (SEE ATTACHED PLAT)

CAP 10" PUBLIC WATER LINE AT PROPERTY LINE

COORDINATION NOTE: ALL WATER LINE CONSTRUCTION WITHIN THE EASEMENT (10' LINE EXTENSION) SHALL BE A CONSTRUCTED PER CITY WORK ORDER #XXXX.XX

TRACT C OPEN SPACE & DRAINAGE

NON-PRESSURE CONNECTION INSTALL 10" GATE VALVE WITH TYPE B VALVE BOX AND VALVE ANCHOR PER COA STDS 2301, 2325, AND 2333

INSTALL 2" X 1-1/2" TEE, 1-1/2" CURB STOP WITH BOX AND 1-1/2" SERVICE LINE TO BUILDING SEE PLUMBING FOR LOCATION

INSTALL 4" SAS SERVICE LINE TO BUILDING PER COA STD 2118 & 2125 SEE PLUMBING PLAN FOR LOCATION

INSTALL 360 LF 2" SCHEDULE 40 PVC WATERLINE. MINIMUM BURY 42"

INSTALL 10" X 6" TEE 38 LF AWWA C-900 PVC AND 4" BURY FIRE HYDRANT PER COA STD 2340

INSTALL 2" CAP FOR FUTURE EXTENSION

INSTALL 620 LF 10" AWWA C-900 PVC FIRELINE. MIN BURY 42". ALL JOINTS SHALL BE RESTRAINED

INSTALL 10" X 6" TEE 38 LF AWWA C-900 PVC AND 4" BURY FIRE HYDRANT PER COA STD 2340

10" X 8" REDUCER 8" GATE VALVE CAP FOR FUTURE EXTENSION

NEW PRIVATE 8" FIRE LINE

ACS CONTROL STATION

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

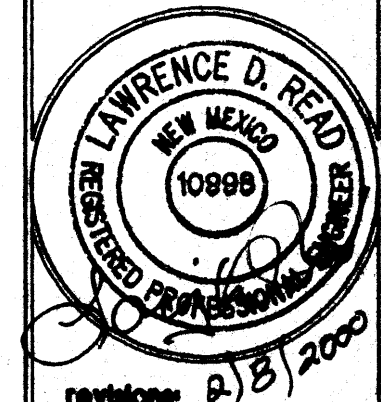
NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

NEW PRIVATE 8" FIRE LINE

GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 6400 COORS BOULEVARD, NW
 ALBUQUERQUE, NEW MEXICO 87102
 (505) 243-7492 FAX (505) 243-8004



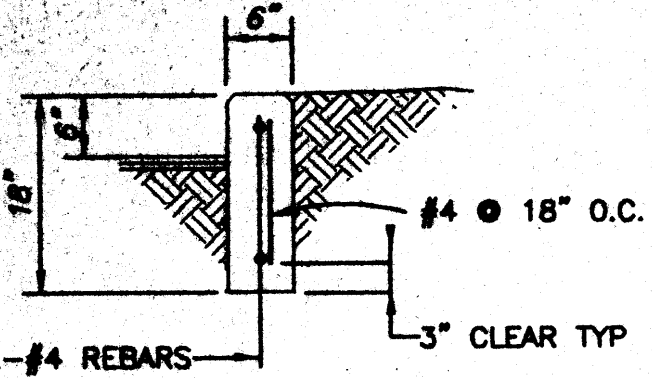
**DOMINICAN RETREAT HOUSE
 MAIN RETREAT CENTER RENOVATIONS**
 6400 COORS BOULEVARD, NW
 ALBUQUERQUE, NEW MEXICO

proj. no. 9804
 coord. file 9804CH
 date 02/03/2000
 TITLE LINE 1
 TITLE LINE 2
 WATER & SEWER PLAN

CI.4

CONSTRUCTION NOTES:

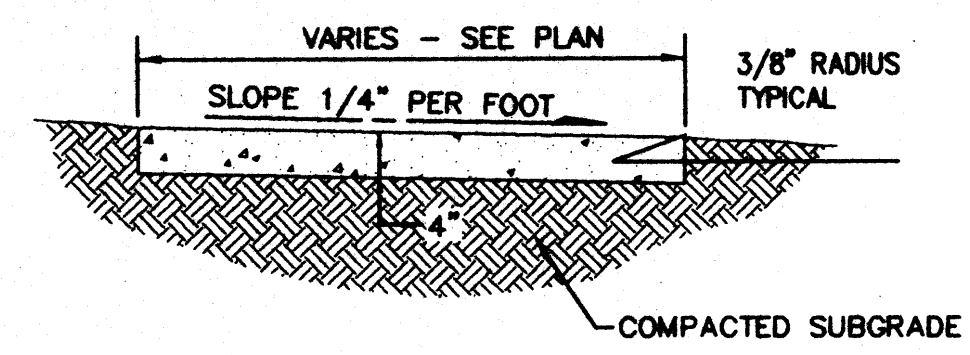
1. USE 4000 PSI PCC AT 28 DAYS.
2. PROVIDE EXPANSION JOINTS AT 36' O.C. MAX. AT IMMOVABLE OBJECTS AND AT BEGINNING AND END OF CURVES.
3. PROVIDE CONTRACTION JOINTS AT 6' O.C. MAX.
4. ALL EXPOSED CONCRETE CORNERS SHALL HAVE 3/8" RADIUS.
5. REINFORCING BARS SHALL BE DISCONTINUOUS AT JOINTS.



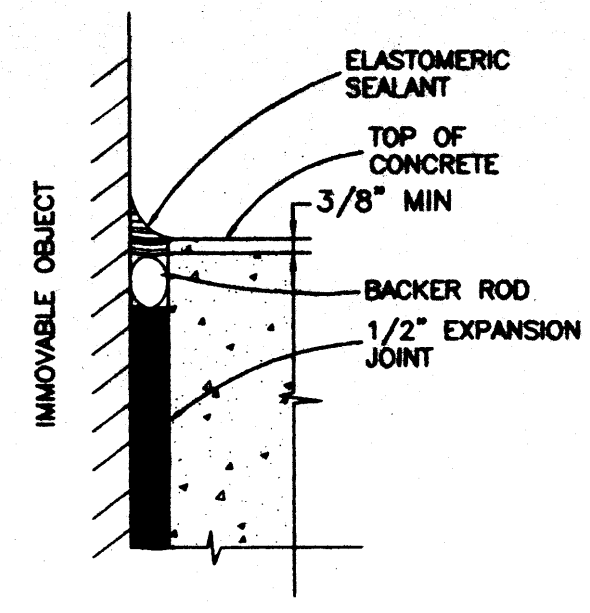
1 CONCRETE HEADER CURB DETAIL
N. T. S.

CONSTRUCTION NOTES:

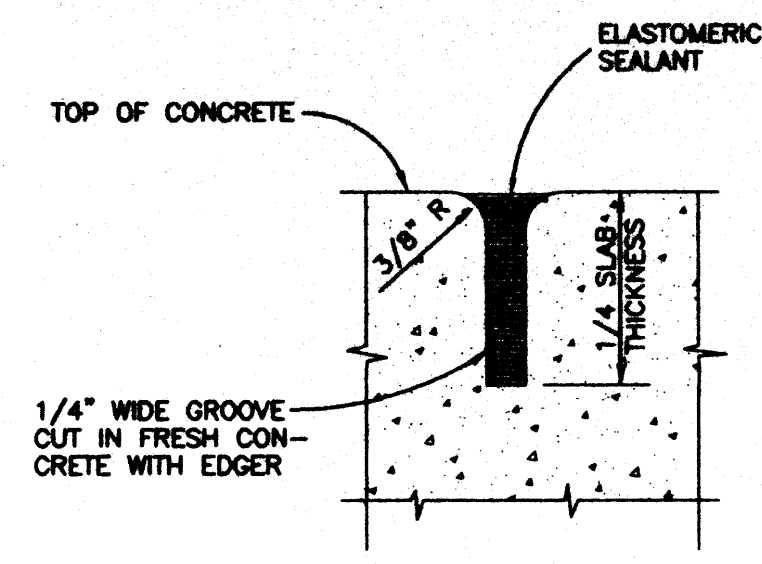
1. A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AWAY FROM ALL STRUCTURES TOWARD THE PREVALENT DRAINAGE SLOPE UNLESS OTHERWISE NOTED ON THE GRADING PLAN.
2. CONCRETE WALKS SHALL HAVE CONTRACTION JOINTS AT 6' O.C. MAX. EACH WAY AND EXPANSION JOINTS AT 36' O.C. MAX. EACH WAY.
3. EXPANSION JOINTS SHALL BE INSTALLED ADJACENT TO ALL BUILDINGS AND ALL RIGID STRUCTURES SUCH AS CURBS, LIGHT STANDARDS, AND RAMPS, AND AT ALL DIRECTION CHANGES.
4. CONCRETE SHALL BE 4000 PSI @ 28 DAYS.
5. SURFACE SHALL RECEIVE A LIGHT BROOM FINISH IN THE DIRECTION OF PREVALENT SLOPE UNLESS OTHERWISE NOTED.
6. FINISHED GRADE OF ADJACENT EARTH OR LANDSCAPING SHALL BE FLUSH WITH THE TOP OF SIDEWALK.



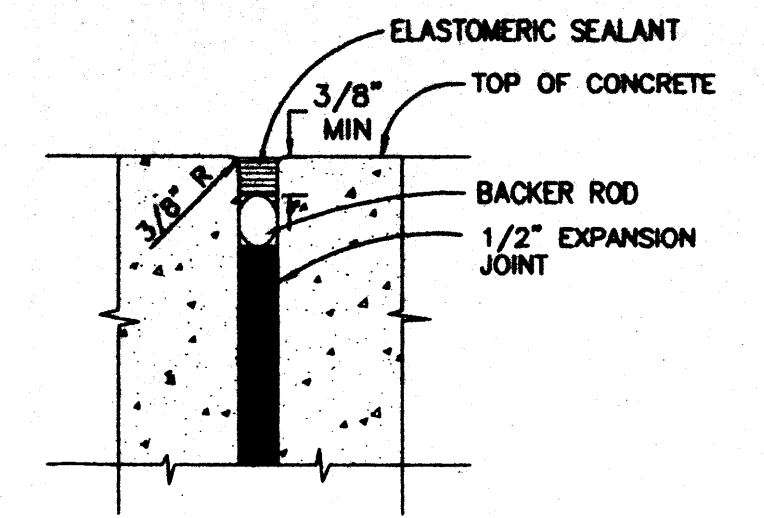
2 STANDARD CONCRETE SIDEWALK
N. T. S.



3 EXPANSION JOINT AT IMMOVABLE OBJECT
N. T. S.



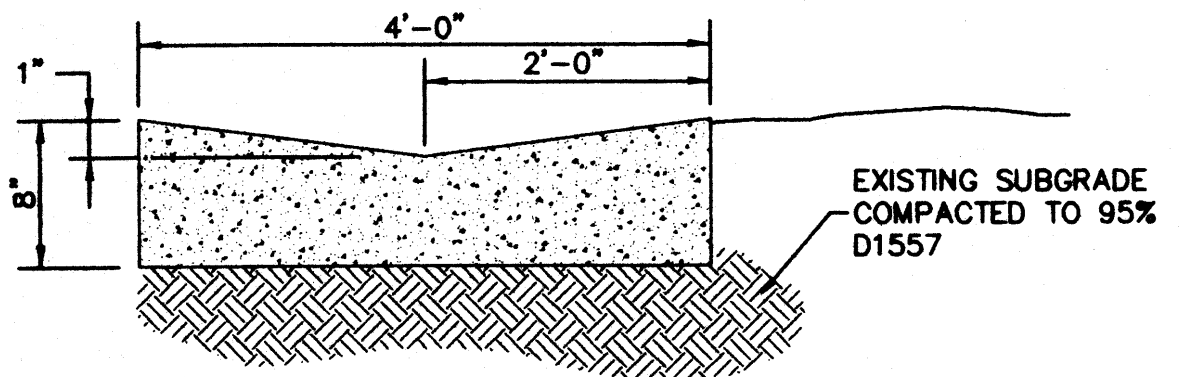
4 CONTRACTION JOINT DETAIL
N. T. S.



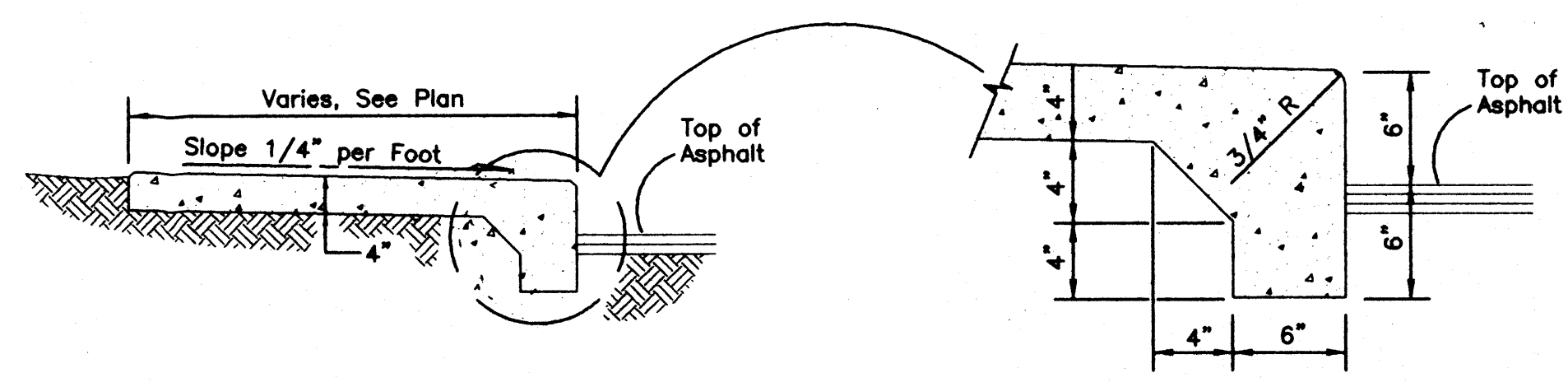
5 EXPANSION JOINT DETAIL
N. T. S.

CONSTRUCTION NOTES:

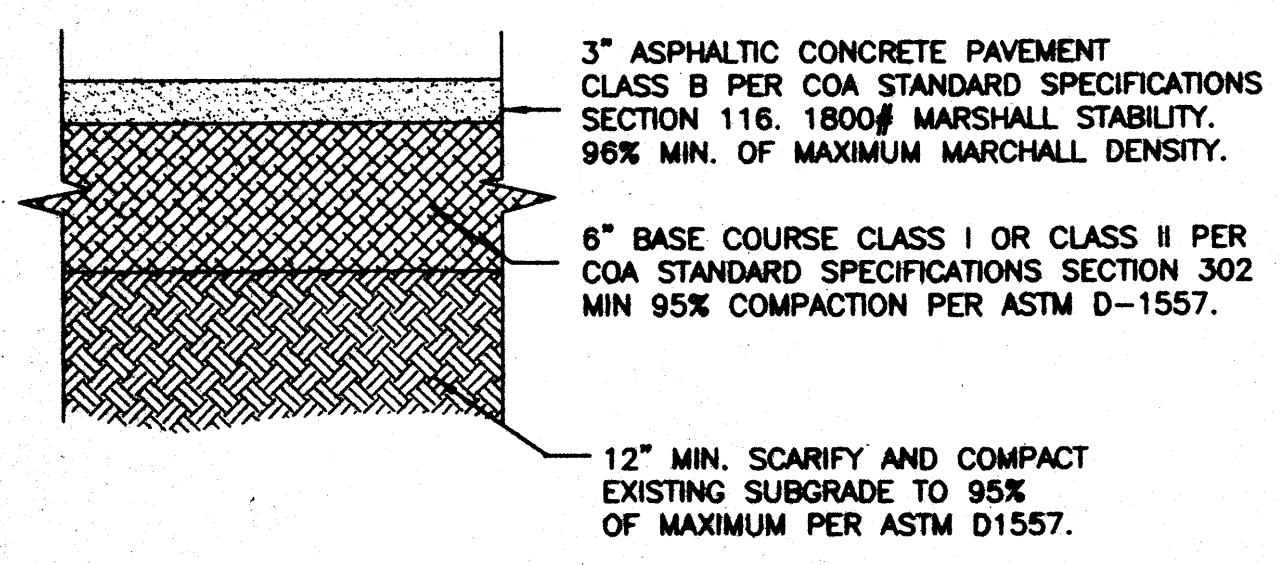
1. USE 4000 PSI PCC AT 28 DAYS
2. PROVIDE EXPANSION JOINTS AT 36' O.C. MAX. AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS.
3. PROVIDE CONTRACTION JOINTS @ 6' O.C. MAX.



7 CONCRETE VALLEY GUTTER
N. T. S.



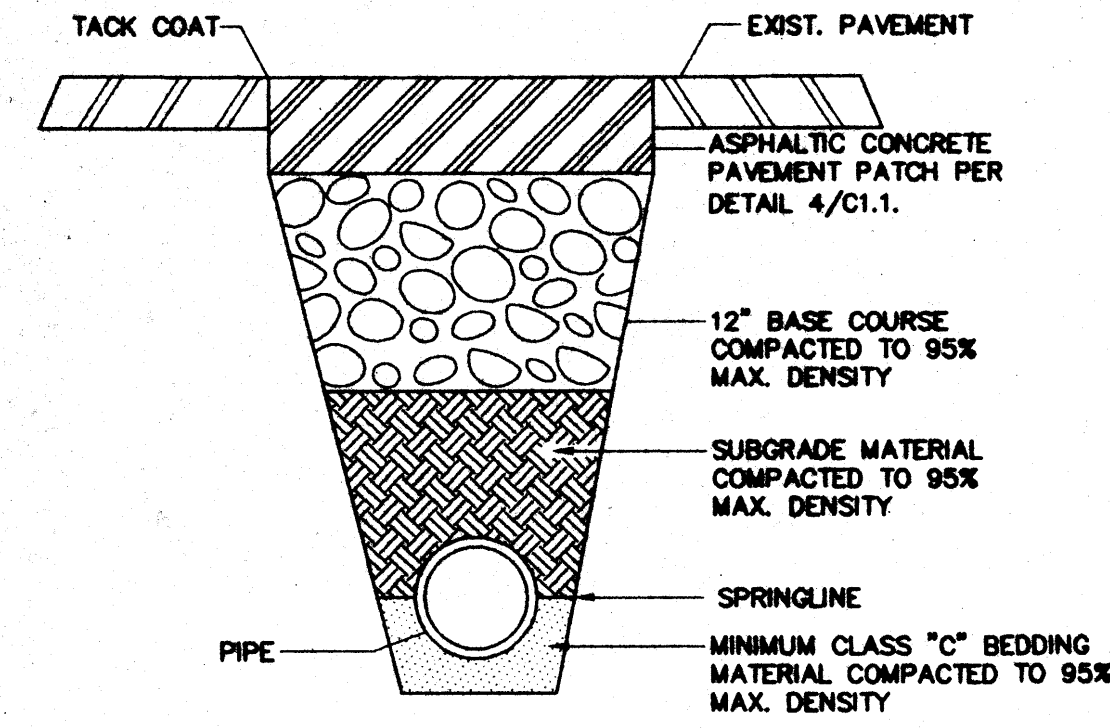
8 SIDEWALK DETAIL WITH TURNDOWN
N. T. S.



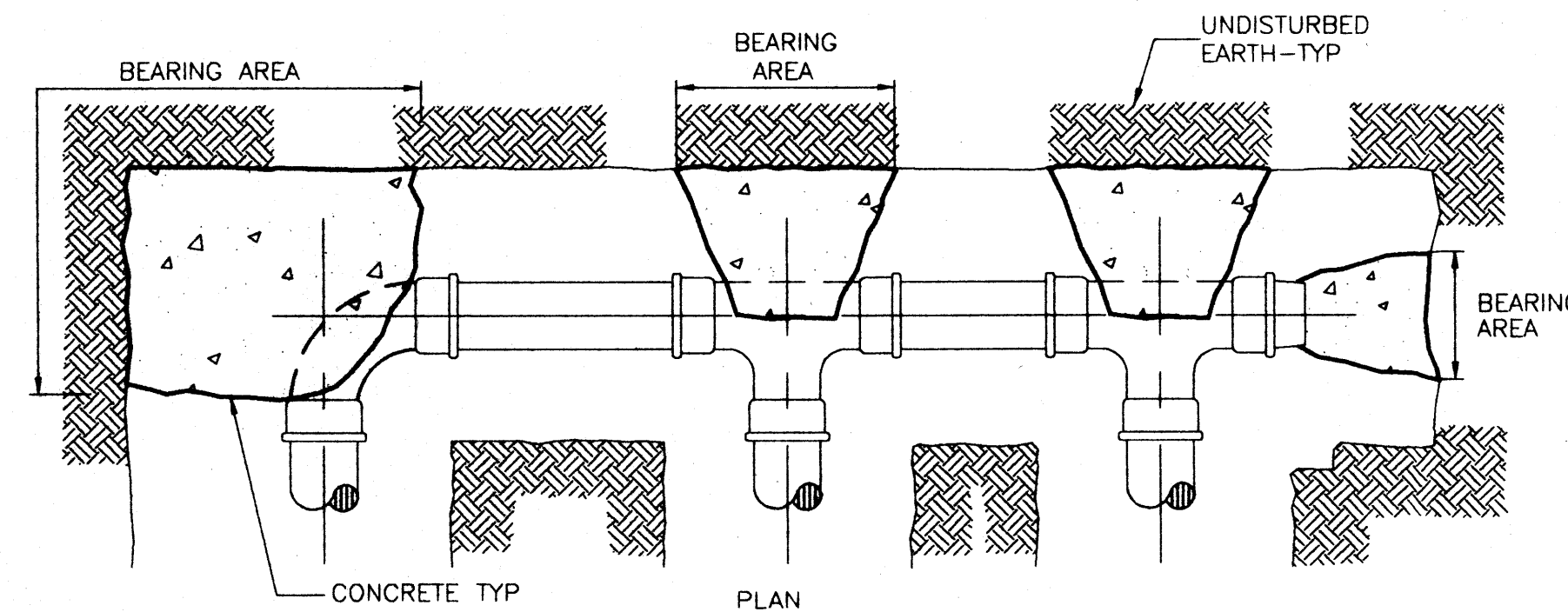
6 ASPHALT PAVEMENT SECTION
N. T. S.

CONSTRUCTION NOTES:

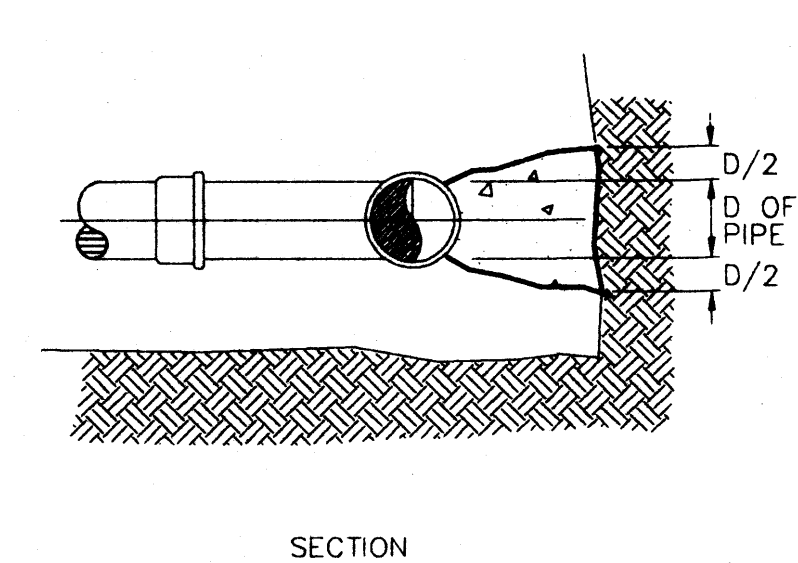
1. A Cross Slope of 1/4" per Foot Shall be Provided and Shall Slope Towards the Direction of Drainage Area.
2. Concrete Walks Shall Have Contraction Joints at 6' Intervals. 1/2" Expansion Joints Shall be Installed @ 36', Unless Otherwise Shown On Plans.
3. 1/2" Expansion Joints Shall be Installed where walks abut Rigid Structures, Such as Curbs, Buildings, or Light Standards. See Detail This Sheet.
4. Concrete Shall Be 4000 PSI @ 28 Days.



9 TYPICAL UTILITY TRENCH SECTION
N. T. S.



10 CONCRETE THRUST BLOCKING DETAIL
N. T. S.



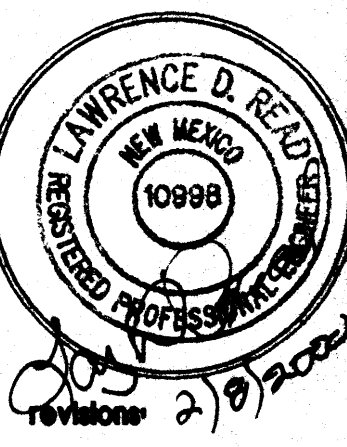
MINIMUM THRUST BLOCK BEARING AREA (SF)

PIPE DIA.	PLUG TEE.	90° BEND	45° BEND
4"	2	2	2
6"	4	5	3
8"	6	8	5
10"	9	13	7
12"	13	18	10
14"	18	25	14
16"	23	32	18

CONSTRUCTION NOTES:

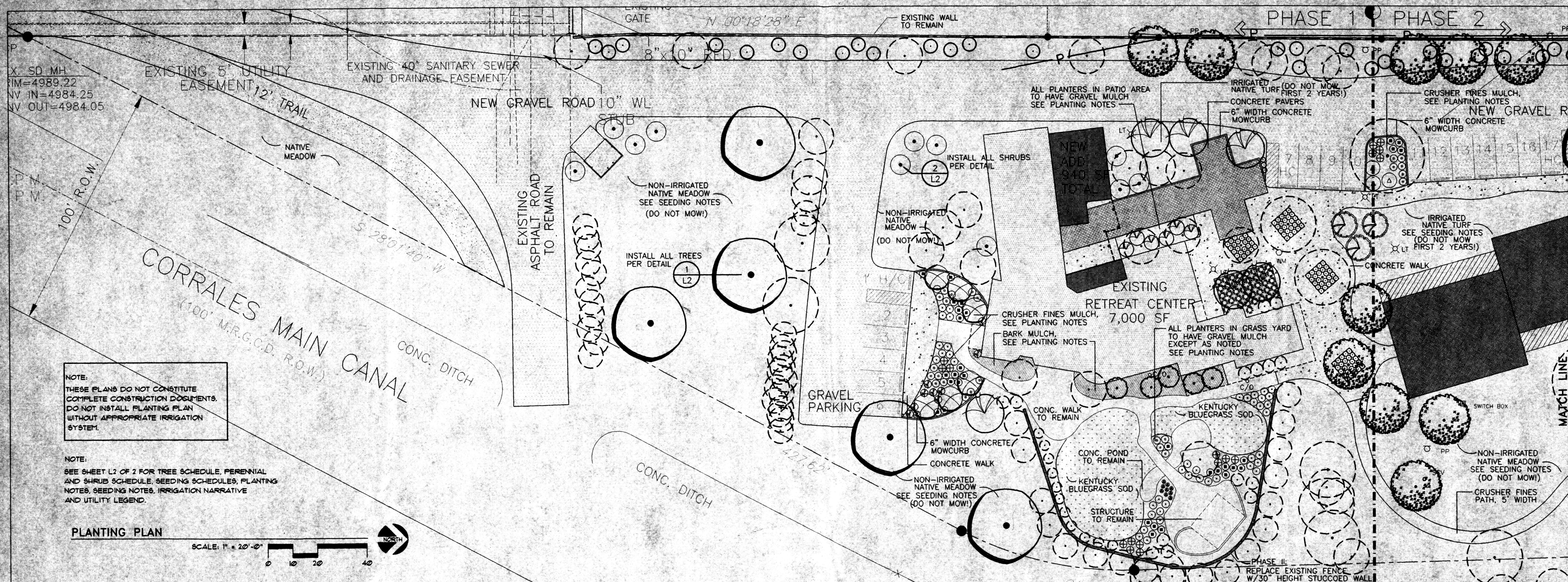
1. SIZE OF CONCRETE DETERMINED BY SIZE OF PIPE. CONCRETE SHALL COVER AREA OF PIPE AS SHOWN AND SHALL REST AGAINST UNDISTURBED BANK OF TRENCH.
2. BEARING AREAS ARE FOR UNDISTURBED MATERIAL. INCREASE BEARING AREA FOR COMPACTED FILL MATERIAL BY A FACTOR OF 1.5.
3. CONCRETE f'c=3000 PSI @ 28 DAYS.
4. TABLE BASED ON NFPA 24, 8.6, 225 PSI PRESSURE AND 2000 PSI SOIL BEARING.

GREGORY T. HICKS & ASSOC., P.C.
ARCHITECTS • PLANNERS
12 Second St. N.W.
Albuquerque, New Mexico 87102
505 243-4492 Fax: 505 243-8064
DESIGNING TODAY DESIGNING TOMORROW.
SINCE 1980



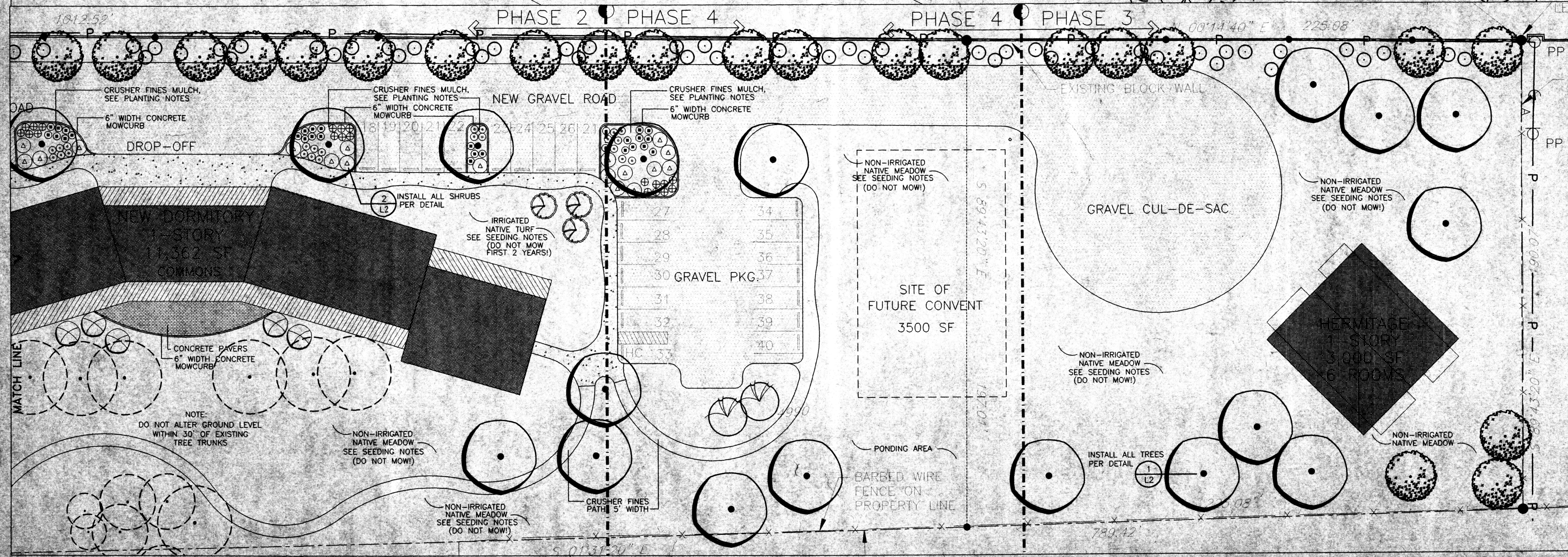
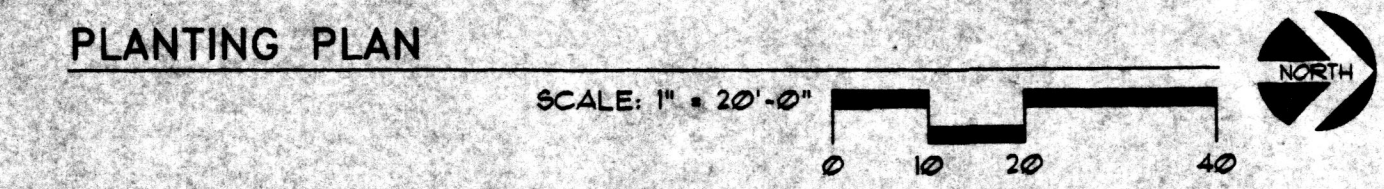
DOMINICAN RETREAT HOUSE RENOVATION AND ADDITIONS
6400 Coors N.W.
Albuquerque, New Mexico

proj. no. 9804
coord. by SS_DLDW6
date 1/31/2000
DRAINAGE DETAILS



NOTE:
THESE PLANS DO NOT CONSTITUTE COMPLETE CONSTRUCTION DOCUMENTS. DO NOT INSTALL PLANTING PLAN WITHOUT APPROPRIATE IRRIGATION SYSTEM.

NOTE:
SEE SHEET L2 OF 2 FOR TREE SCHEDULE, PERENNIAL AND SHRUB SCHEDULE, SEEDING SCHEDULES, PLANTING NOTES, SEEDING NOTES, IRRIGATION NARRATIVE AND UTILITY LEGEND.



NOTE:
DO NOT ALTER GROUND LEVEL WITHIN 30" OF EXISTING TREE TRUNKS

NON-IRRIGATED NATIVE MEADOW SEE SEEDING NOTES (DO NOT MOW!)

NON-IRRIGATED NATIVE MEADOW SEE SEEDING NOTES (DO NOT MOW!)

Roddick & Dunbar Ltd.
LANDSCAPE ARCHITECTURE

P.O. BOX 1502 CEDAR CREST, N.M. 87008
(505) 286-0000 voice (505) 286-1610 FAX



DOMINICAN RETREAT HOUSE
RENOVATION AND ADDITIONS

6400 COORS N.W.
ALBUQUERQUE, NEW MEXICO

date:	04-20-99
project:	9807
file no.:	9807PL
revision:	
sheet:	PLANTING PLAN
	L1 OF 2

TREE SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY EACH			
				PHASE 1	PHASE 2	PHASE 3	PHASE 4
	EXISTING TREE TO REMAIN						
	RIO GRANDE COTTONWOOD	POPULUS FREMONTII WISLIZENI'	2 1/2" CAL.	5	6	8	4
	JAPANESE MAPLE	ACER PALMATUM	2" CAL.	5			
	ARIZONA SYCAMORE	PLATANUS WRIGHTII	2 1/2" CAL.	3	16	8	5
	VITEX	VITEX AGNUS-CASTUS	15 GAL.		6		
	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	2" CAL.	6	5		
	DESERT WILLOW	CHILOPSIS L. 'LUCRETIA HAMILTON'	24" BOX	4			

PERENNIAL & SHRUB SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY EACH			
				PHASE 1	PHASE 2	PHASE 3	PHASE 4
	EXISTING SHRUB TO REMAIN						
	VINCA	VINCA MAJOR	4" POTS @ 12" O.C.				
	WINTERCREEPER	EUONYMUS FORTUNEI	1 GAL.	70			
	MEXICAN EVENING PRIMROSE	OENOTHERA SPECIOSA	1 GAL.	40			
	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	1 GAL.	12	17	8	
	RED VALERIAN	CENTRANTHUS RUBER	1 GAL.	19	22	9	
	MOONSHINE YARROW	ACHILLEA FILIPENDULINA 'MOONSHINE'	1 GAL.		27	22	9
	BLUE AVENA GRASS	HELICTRICHON SEMPERVIRENS	1 GAL.	13			
	ENGLISH LAVENDER	LAVANDULA 'MUSTEAD STRAIN'	1 GAL.	29			
	LICORICE MINT	AGASTACHE RUPESTRIS	1 GAL.	10			
	THREE-LEAF SUMAC	RHUS TRILOBATA	5 GAL.	18	30	16	13
	BUTTERFLY BUSH	NOLINA MICROCARPA	5 GAL.		12	9	
	PERSIAN LILAC	SYRINGA PERSICA	5 GAL.	11			
	SPIRAEA	SPIRAEA VANHOUTEI	5 GAL.	6			

NATIVE LAWN SEEDING SCHEDULE

COMMON NAME	BOTANICAL NAME	LBS PLS PER 1000 SF
BLUE GRAMA	BOUTLELOUA GRACILIS	1.5
BUFFALO GRASS	BUCHLOE DACTYLOIDES	1.5

NATIVE MEADOW SEEDING SCHEDULE

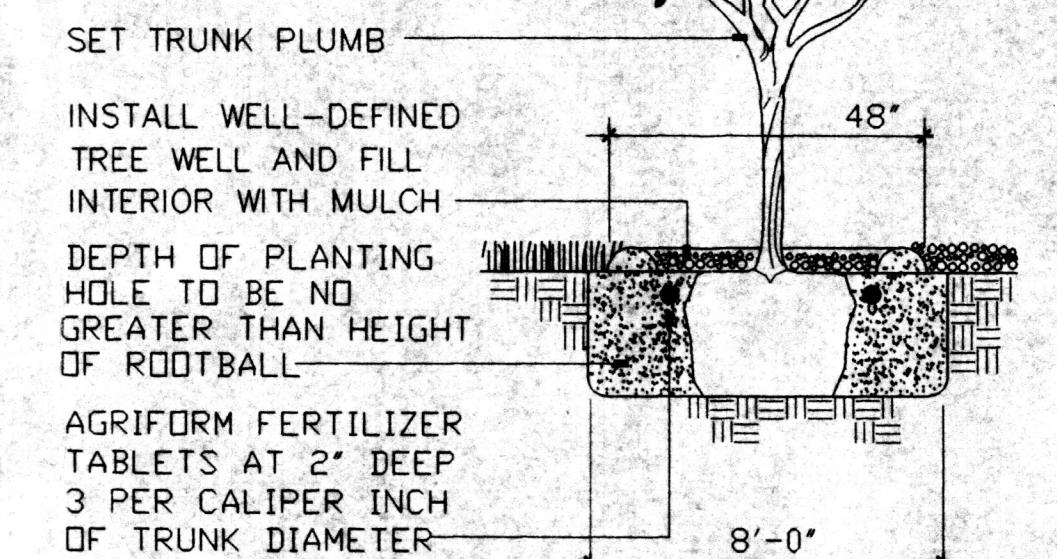
COMMON NAME	BOTANICAL NAME	LBS PLS PER ACRE
BLUE GRAMA	BOUTLELOUA GRACILIS	3
BUFFALO GRASS	BUCHLOE DACTYLOIDES	3
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	1
SIDEOTS GRAMA	BOUTLELOUA CURTIPENDULA	3
INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	6
GALLETA	HILARIA JAMESII	6
PURPLE ASTER	MACHAERANTHERA BIGELOVII	1
BUSH PENSTEMON	PENSTEMON AMBIGUUS	1
VERBENA	VERBENA BIPINNATIFIDA	0.5
FIREWHEEL	GAILLARDIA ARISTATA	0.5
BLANKET FLOWER	GAILLARDIA PULCHELLA	0.5
DESERT MARI GOLD	BAILEYA MULTIRADIATA	1
PARRY PENSTEMON	PENSTEMON PARRYI	0.5
WINTERFAT	EUROTIA LANATA	0.5
THREADLEAF SAGE	ARTEMESIA FILIFOLIA	0.5
FOUR WING SALT BUSH	ATRIplex CANESCENS	0.5

UTILITIES LEGEND

- POWER POLE
- ANCHOR
- LIGHT POLE
- WATER METER
- SPRINKLER CONTROL VALVE
- CLEAN OUT
- PVC PIPE
- WELL
- FINISHED FLOOR ELEVATION
- MANHOLE (STORM)
- MANHOLE (SANITARY)
- MANHOLE (UNDETERMINED)

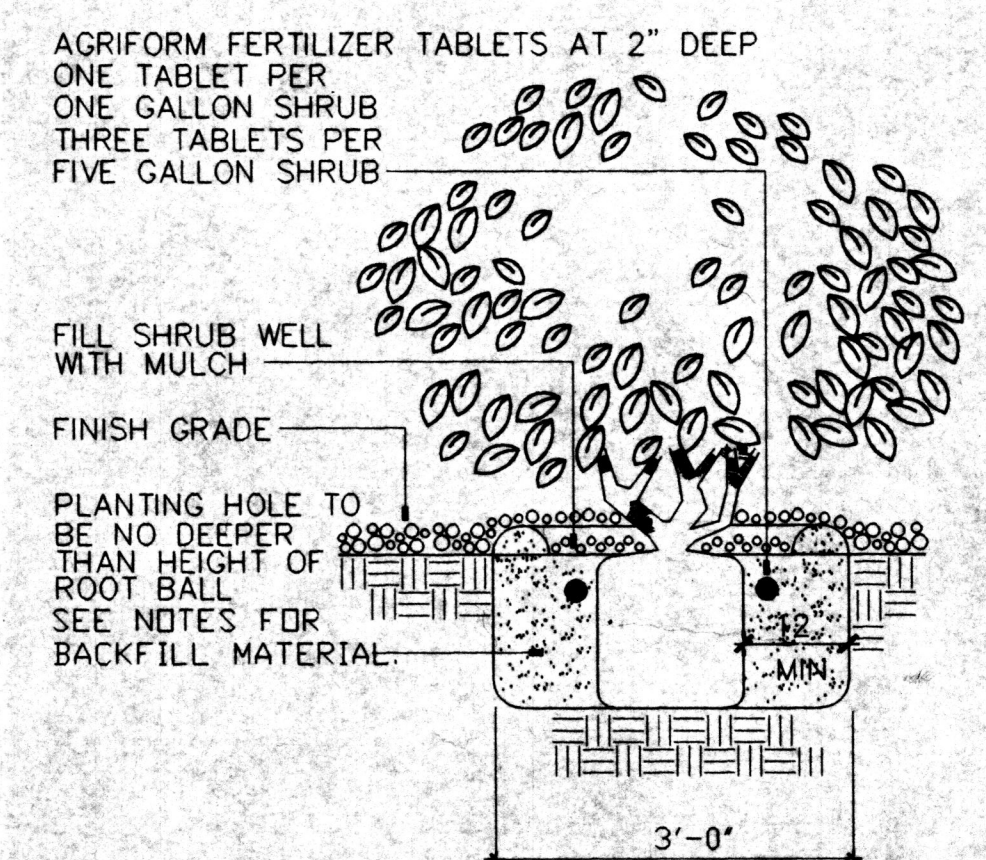
NOTES: ROUGH SIDES OF PIT TO PREVENT GLAZING. REMOVE WIRE FROM ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL. LAYER AND TAMP IN BACKFILL SOIL.

SEE NOTES FOR BACKFILL MATERIAL.



TREE INSTALLATION DETAIL

1 L2 N.T.S.



SHRUB INSTALLATION DETAIL

2 L2 N.T.S.

NOTE: THESE PLANS DO NOT CONSTITUTE COMPLETE CONSTRUCTION DOCUMENTS. DO NOT INSTALL PLANTING PLAN WITHOUT APPROPRIATE IRRIGATION SYSTEM.

GENERAL PLANTING NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF AND AVOID DAMAGE TO ALL UNDERGROUND UTILITIES.
- ANY PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS NOT TO INSTALL PLANT MATERIAL AS SHOWN ON PLANS IF EVIDENT THAT FIELD CONDITIONS EXIST THAT WERE NOT CONSIDERED IN THE DESIGN. SUCH CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- PLANT MATERIAL TO BE PLANTED AS SOON AS POSSIBLE FOLLOWING DELIVERY TO THE SITE. BACKFILL ALL PLANTS (EXCEPT FOR THOSE IN FOLLOWING NOTE) WITH CLEAN NATIVE SOIL, UNLESS NOTED IN THE PLANT SCHEDULE. REMOVE ALL STONE OVER 1" DIAMETER FROM BACKFILL SOIL. LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE TO TAG TREES AT NURSERY PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE TO VISUALLY OBSERVE PLANT MATERIAL FOR SIZE AND VIGOR, AND SPOT LOCATIONS PRIOR TO INSTALLATION. PROVIDE 48 HOUR NOTICE TO LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE. PLANTING AREAS ARE NOT TO STAND BARE FOR LONGER THAN NEEDED FOR REMOVALS AND CONSTRUCTION.
- BACKFILL THE FOLLOWING PLANTS WITH 3 PARTS CLEAN NATIVE TOPSOIL AND 1 PART DECOMPOSED DAIRY MANURE: JAPANESE MAPLE, VINCA, PERSIAN LILAC, SPIRAEA.
- MULCH ALL SHRUB PLANTERS WITH 3" DEPTH MULCH. MULCH TO BE 1/2"-3/4" DIA. GRAVEL, OR CRUSHER FINES, AS NOTED ON PLANS. GRAVEL TO BE SANTA FE BROWN, CRUSHER FINES TO BE GREY. PROVIDE SAMPLE OF MULCH TO LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. FILTER FABRIC TO BE INSTALLED BENEATH ALL GRAVEL AND CRUSHER FINES MULCH IN ALL PLANTERS.
- ALL VITEX, NEW MEXICO OLIVE, DESERT WILLOW AND RUSSIAN OLIVE SPECIMENS TO BE MULTI-TRUNKED TREE FORMS.
- ALL LANDSCAPE MAINTENANCE TO BE PROVIDED BY THE PROPERTY OWNER.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, PLANTING RESTRICTION APPROACH.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

NATIVE MEADOW SEEDING NOTES

- SEEDING SHALL ONLY BE ACCOMPLISHED IN THE SPRING FROM APRIL 1 THROUGH MAY 30 OR IN THE FALL FROM AUGUST 15 THROUGH SEPTEMBER 30. IF SEEDING IS NOT ACCOMPLISHED DURING THESE TIMES THE CONTRACTOR SHALL ACCOMPLISH THE SEEDING DURING THE NEXT SEASON. EXTENSION OF THE CONTRACT TO MEET THE CORRECT SEEDING TIME SHALL BE ACCOMPLISHED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REMOVE ALL TRASH AND DEBRIS FROM SEEDING AREA.
- ROTOTIL ALL COMPACTED AREAS TO A DEPTH OF SIX INCHES (EXCEPT BENEATH EXISTING TREES). (DO NOT ROTOTIL WITHIN 30' OF EXISTING TREE TRUNKS) ADD NO ORGANIC AMENDMENT.
- SEED BY DRILL TO 1/2" DEPTH OR BY BROADCAST METHOD. IF BROADCAST METHOD IS USED, DISPERSE SEED EVENLY IN A NORTH-SOUTH DIRECTION, THEN AGAIN IN AN EAST-WEST DIRECTION. THEN RAKE ENTIRE AREA LIGHTLY TO COVER SEED WITH 1/2" TO 1/4" SOIL.
- DO NOT MOW MEADOW. MEADOW WILL NOT SELF-PROPOGATE IF MOWED.

IRRIGATION SYSTEM NARRATIVE

ALL PLANTING IMPROVEMENTS, EXCEPT FOR NONIRRIGATED NATIVE MEADOW, ARE TO BE SUSTAINED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL TREES ARE TO BE WATERED BY LOW PRECIPITATION RATE BUBBLER HEADS. SHRUBS AND PERENNIALS SHALL BE WATERED BY MULTI-OUTLET DRIP EMITTERS. TREES ARE TO RECEIVE 0.25 TO 1.0 GPH, DEPENDING ON SPECIES, AND SHRUBS ARE TO RECEIVE 0.10 TO 0.50 GPH, DEPENDING ON SPECIES. SPRAY HEADS WILL BE INCORPORATED IN THE NATIVE GRASS LAWN IN FRONT OF THE DORMITORY AND NEAR THE RETREAT HOUSE PATIO. IN ORDER TO ESTABLISH AND OCCASIONALLY SERVE THE NATIVE COVER, THE IRRIGATION SYSTEM WILL BE FED BY ONE OR MORE POINTS OF CONNECTION, AS DETERMINED BY DESIGN DEVELOPMENT. BACKFLOW PREVENTION WILL BE PROVIDED AT EACH NEW POINT OF CONNECTION TO SERVE AS THE MEANS OF WATER CONTAMINATION PROTECTION. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER AND POWER SOURCE TO BE DETERMINED IN DESIGN DEVELOPMENT. IRRIGATION MAINTENANCE TO BE PROVIDED BY THE PROPERTY OWNER.

NATIVE LAWN SEEDING NOTES

- SEEDING SHALL ONLY BE ACCOMPLISHED IN THE SPRING FROM APRIL 1 THROUGH MAY 30 OR IN THE FALL FROM AUGUST 15 THROUGH SEPTEMBER 30. IF SEEDING IS NOT ACCOMPLISHED DURING THESE TIMES THE CONTRACTOR SHALL ACCOMPLISH THE SEEDING DURING THE NEXT SEASON. EXTENSION OF THE CONTRACT TO MEET THE CORRECT SEEDING TIME SHALL BE ACCOMPLISHED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REMOVE ALL TRASH AND DEBRIS FROM SEEDING AREA.
- ROTOTIL ENTIRE AREA TO A DEPTH OF 6", EXCEPT BENEATH EXISTING TREES. (DO NOT ROTOTIL WITHIN 30' OF EXISTING TREE TRUNKS) ADD NO ORGANIC AMENDMENTS.
- IRRIGATE AREA LIGHTLY FOR ONE WEEK, THEN USE A PRE-EMERGENT HERBICIDE OVER ENTIRE AREA TWO FULL WEEKS PRIOR TO SEEDING.
- SEED BY DRILL TO 1/2" DEPTH OR BY BROADCAST METHOD. IF BROADCAST METHOD IS USED, DISPERSE SEED EVENLY IN A NORTH-SOUTH DIRECTION, THEN AGAIN IN AN EAST-WEST DIRECTION. THEN RAKE ENTIRE AREA LIGHTLY TO COVER SEED WITH 1/2" TO 1/4" SOIL.
- KEEP NEWLY SEEDING AREAS MOIST AT ALL TIMES DURING THE FIRST 14 DAYS FOLLOWING SEEDING. WATER FOR PERIODS NOT EXCEEDING FIVE MINUTES EACH DURING THIS PERIOD.
- CONTINUE IRRIGATION ON A REGULAR BASIS FOR THE FIRST THREE GROWING SEASONS.
- DO NOT MOW UNTIL END OF 2ND GROWING SEASON.

LANDSCAPE AREA REQUIREMENTS

PROPERTY - 212,123 SF	BUILDINGS - 24,939 SF
LANDSCAPED AREA REQUIRED 28077 SF (15% OF PROPERTY GROUNDS)	
LANDSCAPED AREA PROVIDED 119880 SF (64% OF PROPERTY)	

LANDSCAPED AREAS

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	2212 SF (1.8% OF LANDSCAPED AREA)
LOW WATER USE (NATIVE GRASS) TURF	7465 SF (6.2% OF LANDSCAPED AREA)
GRAVEL SHRUB BEDS	6328 SF (5.3% OF LANDSCAPED AREA)
NONIRRIGATED NATIVE PLANT MEADOW	103875 SF (86.7% OF LANDSCAPED AREA)

Roddick & Dunbar Ltd.
 LANDSCAPE ARCHITECTURE
 P.O. BOX 15002, CEDAR CREST, N.M. 87008
 (505) 286-0000 VOICEMAIL (505) 286-1610 FAX



DOMINICAN RETREAT HOUSE
 RENOVATION AND ADDITIONS
 6400 COORS N.W.
 ALBUQUERQUE, NEW MEXICO

date: 04-20-99

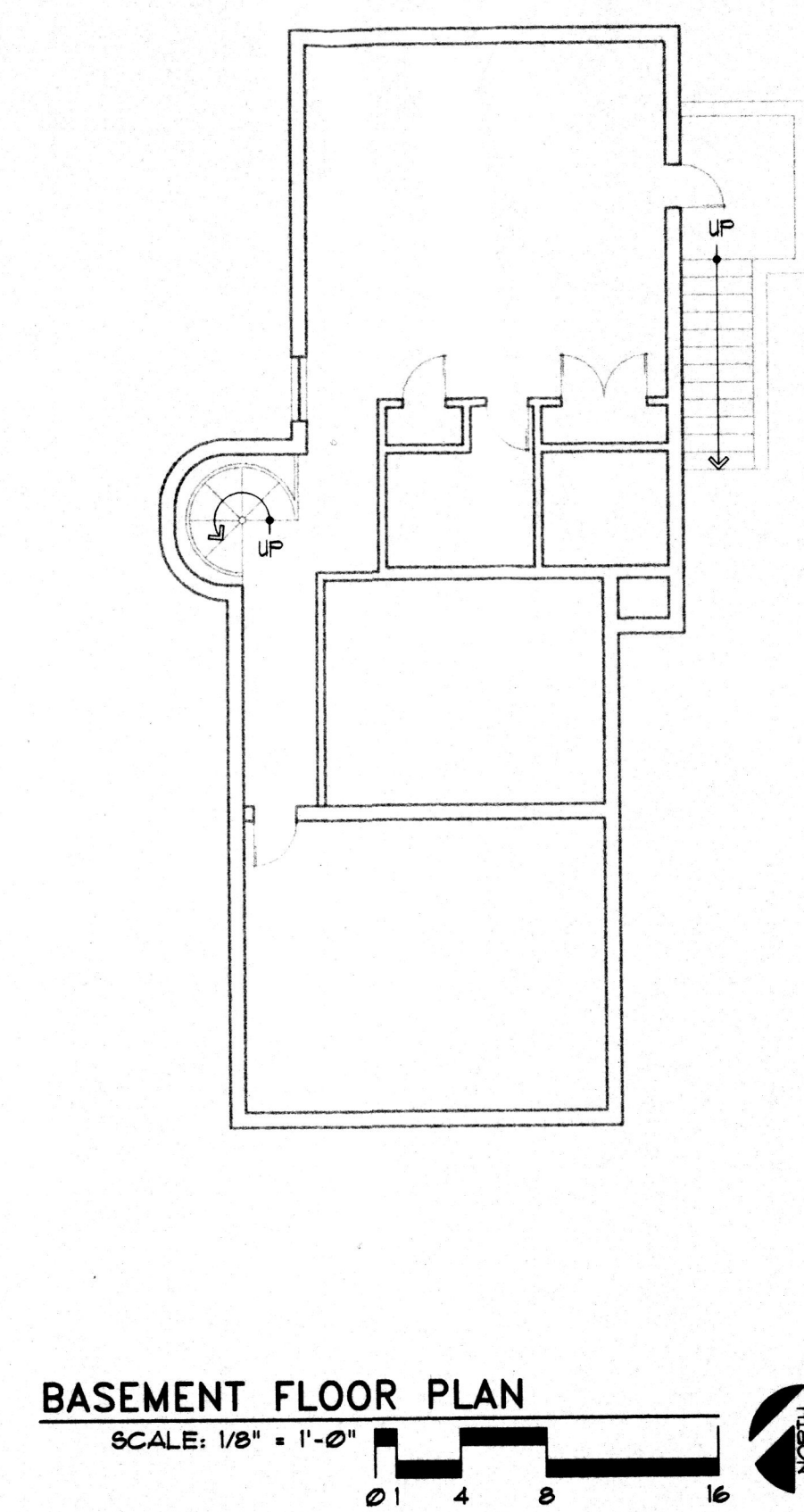
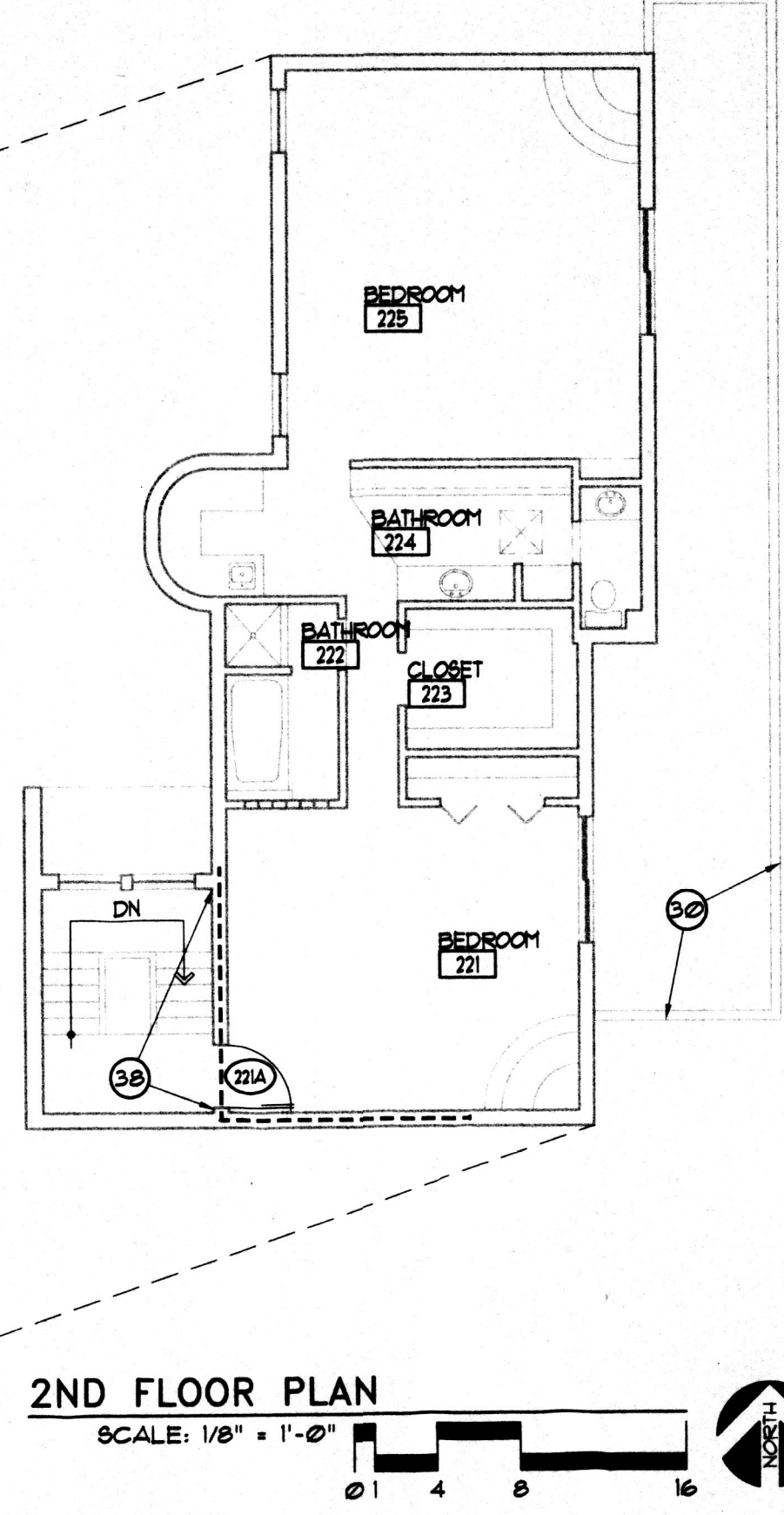
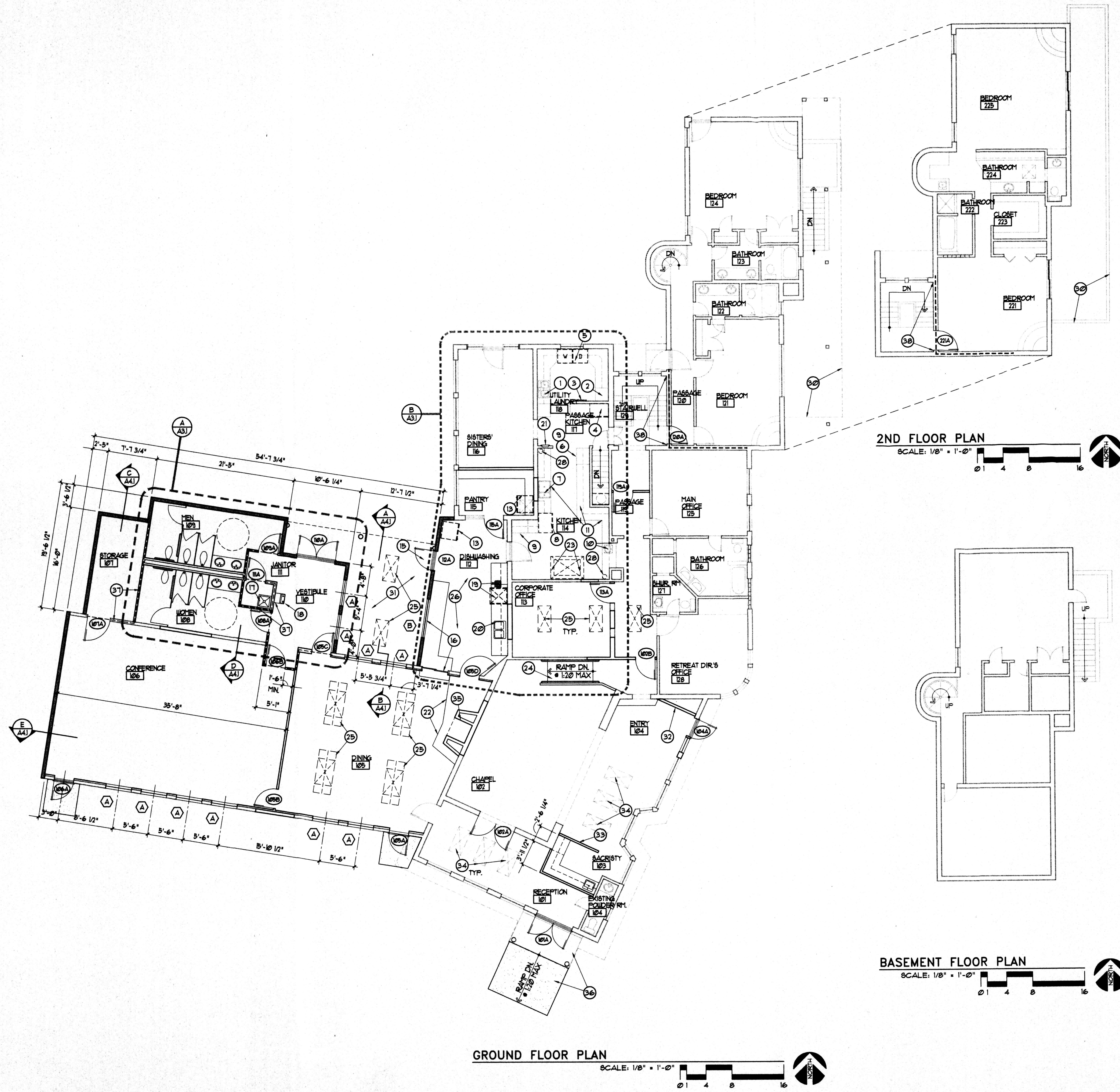
project: 9807

file no: 9807SC

revision:

sheet: PLANTING SCHEDULES
DETAILS & NOTES
L2 OF 2

INFORMATION CONTAINED HEREIN IS THE PROPERTY OF GREGORY T. HICKS & ASSOC., P.C. AND IS NOT TO BE USED UNLESS CONTRACT WITH OWNER. IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT OF GTH AND ASSOC., P.C.



GENERAL NOTES

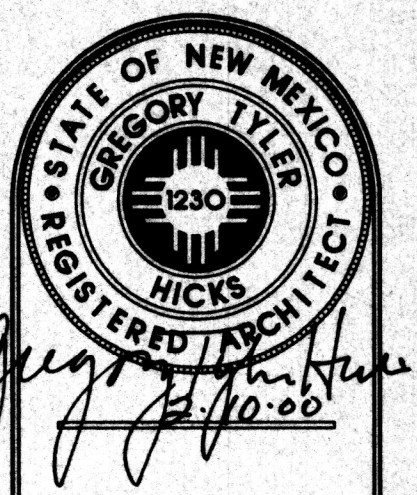
- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED, VERIFY INTENT WITH THE ARCHITECT BEFORE PROCEEDING.
- B. THE OWNER MAINTAINS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS NOT REUSED. REUSE MATERIALS WHERE POSSIBLE. VERIFY CONDITION WITH THE ARCHITECT PRIOR TO REUSE. THE CONTRACTOR SHALL DELIVER ITEMS NOT REUSED TO THE OWNER'S WAREHOUSE OR TO A PROPER LANDFILL AS REQUESTED BY THE OWNER.

KEYED NOTES

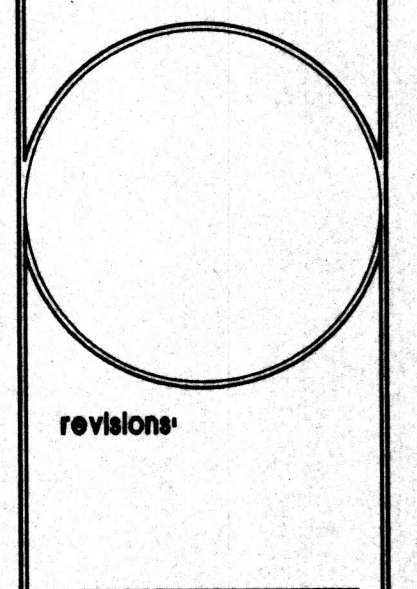
- 1. UTILITY/LAUNDRY SINK, EXISTING.
- 2. CHEMICAL/INSECTICIDE TUB SECTION STORAGE CABINET.
- 3. WALL HUNG IRONING BOARD, EXISTING.
- 4. EXISTING FREEZER TO REMAIN.
- 5. NEW WASHER AND DRYER, N.I.C.
- 6. BUILT-IN MICROWAVE TO REMAIN.
- 7. EXISTING FOOD PREPARATION SINK W/ DOUBLE COMPARTMENT AND GARBAGE DISPOSAL.
- 8. EXISTING REFRIGERATOR TO REMAIN.
- 9. NEW DOORS, SHELVES AT CABINETS.
- 10. HANDWASHING SINK, NO FOOD PREP. AT THIS SINK. PAPER TOWELS AND SOAP DISPENSERS, OWNER FURNISHED.
- 11. NEW PLASTIC LAMINATE COUNTER SURFACE FOR FOOD PREPARATION. COLOR BY OWNER. EXISTING TILE BACKSPLASH TO REMAIN.
- 12. BUTCHER BLOCK FURNISHED BY OWNER.
- 13. REFRIGERATOR FURNISHED BY OWNER.
- 14. NOT USED.
- 15. NEW SLOPED SLAB FOR DELIVERIES.
- 16. NEW SERVING WINDOW.
- 17. NEW JANITOR'S CLOSET AND CURB MOP SINK.
- 18. NEW ELECTRIC WATER COOLER. SEE A3.1.
- 19. NEW FLOOR SINK AND VENT/HOOD. HOBART DISHWASHER/STERILIZER AND BOOSTER UNIT FURNISHED BY OWNER. SEE MECH.
- 20. NEW 2 COMPARTMENT SINK. ONE COMPARTMENT TO ACCOMMODATE LARGEST COOKING UTENSIL. 18\"/>
- 21. ELECTRIC PANEL, EXISTING.
- 22. NEW LEVEL CHANGE.
- 23. NEW STOVE AND VENT. VENT/HOOD TO INCLUDE STAINLESS STEEL BACKSPLASH AND SURROUND TO PROTECT CABINET FROM GREASE SPATTER. SEE MECH.
- 24. NEW RAMP. ADA ACCESSIBLE.
- 25. NEW INSULATED SKYLIGHT W/ INTEGRAL CURB. CONTRACTOR SHALL FIELD VERIFY JOIST ORIENTATION AND PROVIDE 2 SKYLIGHTS (APPROX. 2' X 4') IN ORIENTATION DICTATED BY STRUCTURE. FINISH INTERIOR OF WELL TO MATCH EXISTING CEILING. PAINT. VERIFY LOCATION AND SKYLIGHT SIZE WITH ARCHITECT PRIOR TO INSTALLATION.
- 26. NEW NON-SLIP, QUARRY TILE FLOORING THIS AREA.
- 27. EXISTING HOT WATER HEATER.
- 28. NEW FIRE EXTINGUISHER.
- 29. NOT USED.
- 30. DECK AT SECOND LEVEL.
- 31. EXTERIOR COVERED PATIO.
- 32. PARTIAL HEIGHT WALL WITH SHELF (SHELF AT 42\"/>
- 33. WALL DISPLAY FOR RETABLO.
- 34. EXISTING SKYLIGHT TO REMAIN.
- 35. NEW GAS BURNING FIREPLACE.
- 36. NEW RAMP AND STEP AT ENTRANCE. ADA COMPLIANT.
- 37. 1 HOUR RATED WALL.
- 38. FIRE RATED OCCUPANCY SEPARATION WALL.

WALL TYPES

- TYPE 1:** UNRATED
CONSTRUCT THIS WALL USING 6\"/>
- TYPE 2:** 1-HR. RATED
5/8\"/>
- TYPE 3:** UNRATED
1/2\"/>
- EXISTING TO REMAIN:** EXISTING WALL/CONSTRUCTION TO REMAIN UNLESS INDICATED OTHERWISE.

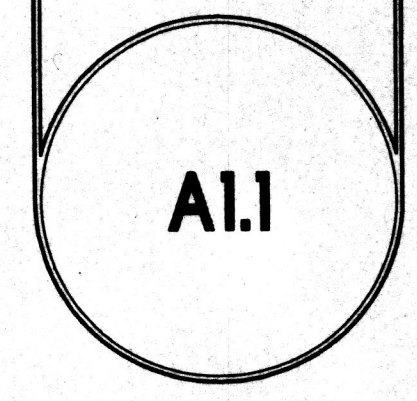


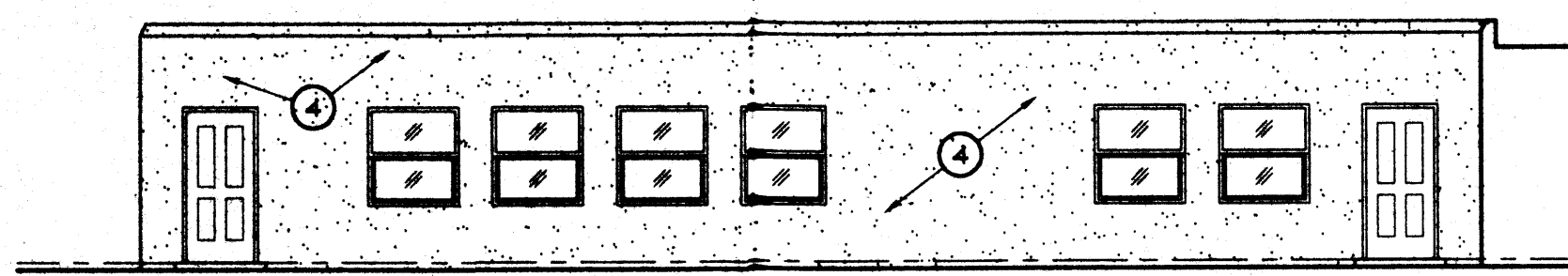
GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 The Sunshine Building
 Albuquerque, New Mexico 87102
 12 Second St. S.W.
 (505) 243-7492 Fax: (505) 243-1066
 • DESIGNING TODAY DESIGNING TOMORROW •



DOMINICAN RETREAT HOUSE
MAIN RETREAT CENTER RENOVATION
 6400 COORS BOULEVARD N.W.
 Albuquerque, New Mexico

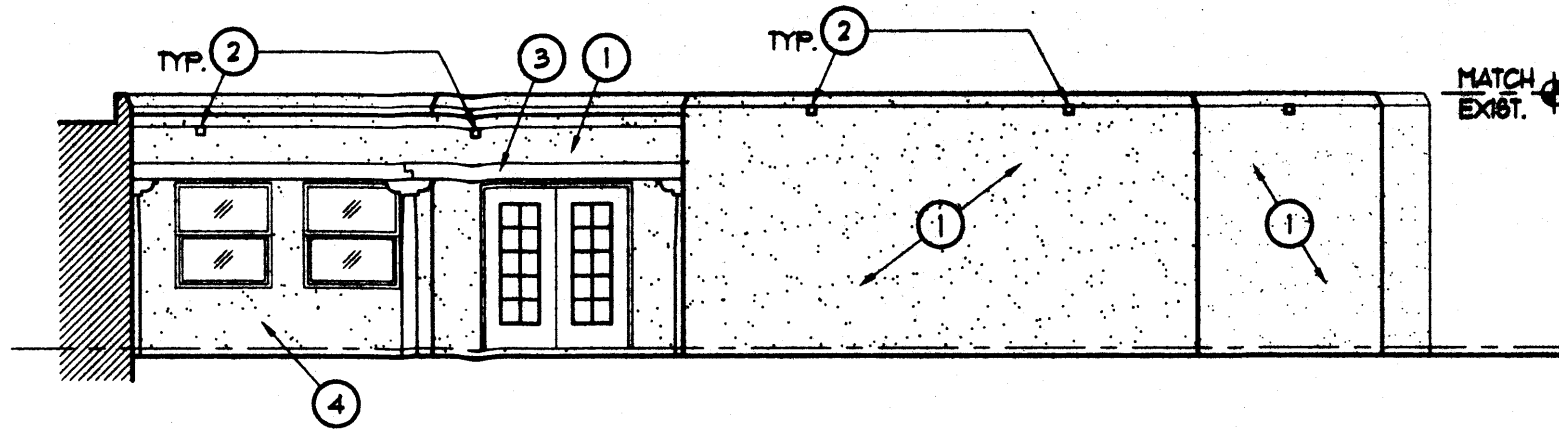
proj. no.: 9804
 acad file: 9804A11
 date: FEB. 10, 1999
 FLOOR PLAN





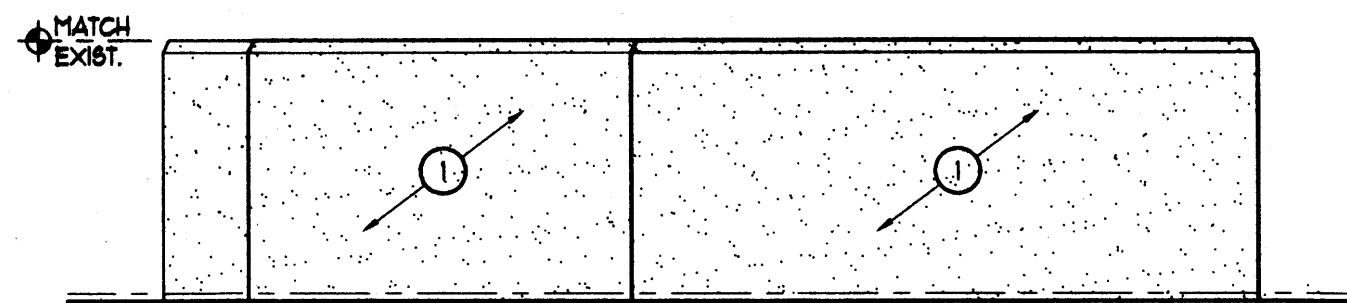
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



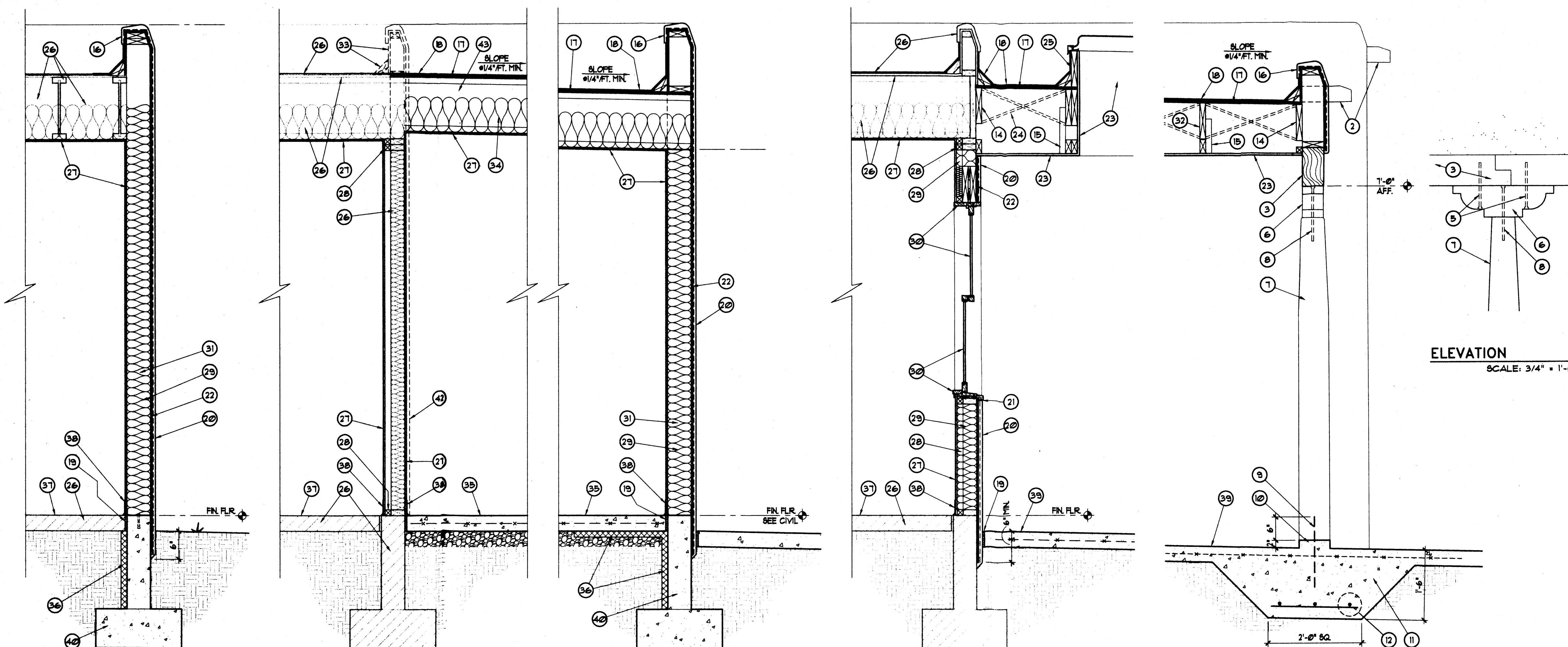
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



E SECTION

D SECTION

C SECTION

B SECTION

SCALE: 3/4" = 1'-0" (TYP)

A SECTION

SCALE: 3/4" = 1'-0" (TYP)

KEYED NOTES

1. STUCCO FINISH. COLOR TO MATCH EXISTING.
2. GALVANIZED METAL SCUPPER TO MATCH EXISTING. PAINT.
3. 6"x10" DOUGLASS-FIR BEAM.
4. APPLY COLOR COAT OF STUCCO OVER ENTIRE FACE OF EXISTING BUILDING FOLLOWING INSTALLATION OF NEW DOORS AND WINDOWS. COLOR TO MATCH EXISTING.
5. 12"x12" LAG BOLT EACH SIDE.
6. CORSEL.
7. COLUMN.
8. 1/2" x 14" LAG BOLT.
9. 4" x 1'-6" AT COLUMN CENTER.
10. RAISED CONCRETE "PIER".
11. THICKENED CONCRETE SLAB.
12. 3ea. #4 EACH WAY.
13. NOT USED.
14. 2"x10" WOOD JOIST.
15. 2"x4 HANGAR SUSPENDED FROM JOIST ABOVE. 4ea. PER JOIST. ANCHOR 2"x4 CEILING SUPPORT PARALLEL TO JOIST.
16. EXTEND STUCCO FINISH OVER PARAPET TO MATCH EXISTING.
17. 5/8" "CDX" PLYWOOD ROOF DECK.
18. BALLASTED, BUILT-UP ROOF TO MATCH EXISTING.
19. 1/2" EXPANSION JOINT MATERIAL.
20. 1/8" 3-COAT STUCCO SYSTEM WITH ELASTOMERIC COLOR COAT ON IT GA. SELF-FURRING STUCCO MESH OVER "JUMBO-TEX" BUILDING PAPER OR APPROVED EQUAL.
21. SEALANT AT EXTERIOR - CAULK AT INTERIOR.
22. 1/2" EXTERIOR SHEATHING.
23. 1/2" GYPSUM SOFFIT BOARD. COVER ENTIRE INTERIOR SURFACE OF SKYLIGHT WELLS WHERE APPLIES. PAINT.
24. JOIST BRACING.
25. NON-INSULATED SKYLIGHT W/CLEAR PLASTIC LENS AND INTEGRAL WOOD CURB.
26. EXISTING CONSTRUCTION TO REMAIN.
27. 1/2" GYPSUM BOARD.
28. 2"x2 WOOD FURRING OVER EXISTING 2"x4 FRAMING.
29. R-19 BATT INSULATION.
30. DOUBLE-HUNG WINDOW UNIT W/INSULATED GLAZING.
31. 6" METAL STUD @ 16" O.C. U.N.O.
32. WOOD JOIST. SEE STRUCTURAL.
33. REMOVE EXISTING PARAPET AS INDICATED ON ROOF PLAN TO ALLOW FOR CONSTRUCTION OF ADDITION. PROVIDE SMOOTH TRANSITION OVER ROOF SURFACE FOR FLOW OF WATER.
34. R-30 ROOF INSULATION.
35. 4" CONCRETE W/6x6-10x10 WWM. OVER VAPOR BARRIER ON 4" BASE COURSE OVER COMPACTED SUBGRADE.
36. 1" TK. MIN. RIGID PERIMETER INSULATION.
37. FINISH FLOOR AS SCHEDULED.
38. BASE AS SCHEDULED.
39. 4" CONCRETE SLAB-ON-GRADE W/6x6-10x10 WWM. OVER COMPACTED SUBGRADE.
40. CONCRETE FOOTING.
41. NOT USED.
42. REMOVE EXISTING STUCCO AND SHEATHING.
43. ROOF JOIST. SEE STRUCTURAL.

Greg T. Hicks
2-10-00

GREGORY T. HICKS & ASSOC., P.C.
ARCHITECTS • PLANNERS
12 Second St. N.W.
Albuquerque, New Mexico 87102
Tel: (505) 243-7472 Fax: (505) 243-8026

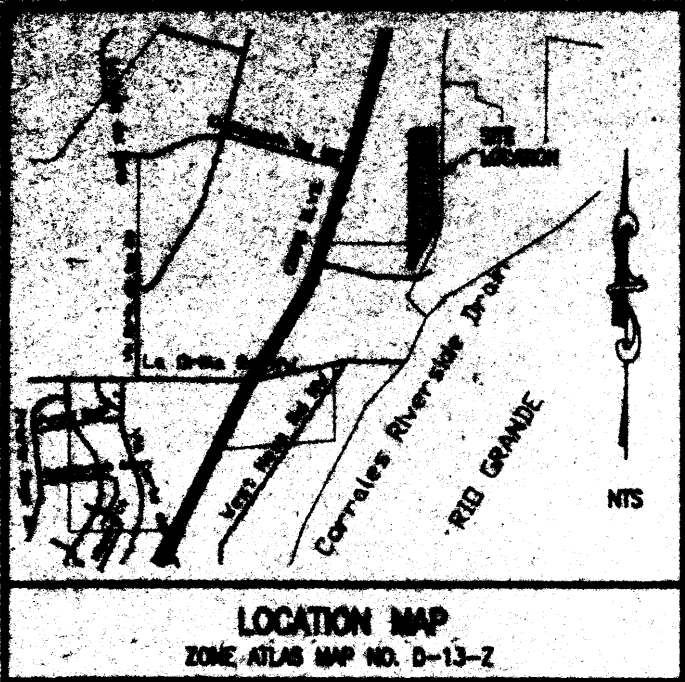
GTH
SINCE 1980

designing today designing tomorrow.

DOMINICAN RETREAT HOUSE
MAIN RETREAT CENTER RENOVATION
6400 COORS BOULEVARD N.W.
Albuquerque, New Mexico

proj. no: 9804
acad file: 9804A41
date: FEB. 10, 1999
ELEVATIONS AND SECTIONS

A4.1



PLAT OF
TRACT A
SPIRITUAL RENEWAL CENTER
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1999

LEGAL DESCRIPTION

BEING THAT CERTAIN PARCEL OF LAND SITUATED WITHIN SECTION 19, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, BEING DESCRIBED AS PARCEL #2, LAND DIVISION PLAT OF LANDS OF JACK MCKINLEY, AS SAID PARCEL #2 IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 2, 1974, IN VOLUME 88, FOLIO 174; TOGETHER WITH TRACT 1A5B, BERNALILLO COUNTY, PROPERTY MAP NO. 28, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING THE NORTHWEST CORNER OF SAID PARCEL #2 AND A POINT ON THE SECTION LINE COMMON TO SECTION 19, T11N, R3E, NMPM AND SECTION 24, T11N, R2E, NMPM, WHENCE THE WEST 1/4 SECTION CORNER OF SECTION 19, T11N, R3E, NMPM BEARS N 00°14'21" E, 548.17 FEET DISTANCE AND WHENCE THE ACS CONTROL STATION "M4448-88" BEARS S 37°04'37" W, 1,173.91 FEET DISTANCE; THENCE

S 89°43'20" E, 190.07 FEET DISTANCE TO THE NORTHEAST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING THE NORTHEAST CORNER OF SAID PARCEL #2 AND A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF M.R.G.C.D. CORRALES MAIN CANAL; THENCE

S 01°31'20" E, 788.42 FEET DISTANCE TO THE POINT OF CURVATURE; THENCE

SOUTHWESTERLY, 72.77 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAD ARC) HAVING A RADIUS OF 141.08 FEET, A CENTRAL ANGLE OF 29°33'00" AND A CHORD WHICH BEARS S 13°15'10" W, 71.06 FEET DISTANCE TO THE POINT OF TANGENCY; THENCE

S 28°01'40" W, 427.82 FEET DISTANCE TO THE MOST SOUTHERLY CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING A POINT ON THE SECTION LINE COMMON TO SECTION 19, T11N, R3E, NMPM AND SECTION 24, T11N, R2E, NMPM; THENCE

N 00°18'28" E, 1,012.52 FEET DISTANCE TO A POINT BEING THE SOUTHWEST CORNER OF SAID PARCEL #2; THENCE

N 00°14'40" E, 225.08 FEET DISTANCE TO THE NORTHWEST CORNER AND POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED AND CONTAINING 212,123 SQUARE FEET (4.8887 ACRES), MORE OR LESS.

APPROVED AND ACCEPTED BY:

SUBDIVISION PLAT NO.	CITY	COUNTY
CHAIR, DEVELOPMENT REVIEW BOARD	DATE	
CITY ENGINEER		
A.H.A.F.C.A.		
TRAFFIC ENGINEER	12-22-99	
UTILITIES DEVELOPMENT DIVISION	12-22-99	
CITY OF ALBUQUERQUE PUBLIC WORKS		
PROPERTY MANAGEMENT	118699	
CITY SURVEYOR		

SUBDIVISION DATA

- CASE NO. 7-99-66/AR-99-5, 99-99-241
- ZONE ATLAS TRACT NO. 1-13-2
- GROSS SUBDIVISION ACRES: 4.8697
- TOTAL NUMBER OF EXISTING LOTS: 2 LOTS
- TOTAL NUMBER OF PROPOSED LOTS: 1 TRACT
- DATE OF SURVEY: JULY 1999
- VALOR LOS NO. 384807-8010-380338
- EXISTING ZONING: 20-1
- PROPOSED ZONING: 20-4 PERMIT FOR RELIGIOUS RETREAT FACILITY INCLUDING HOSPITALITY, CONVENT AND HERMITAGE

NOTES

- BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE). DISTANCES ARE GROUND DISTANCES.
- UNLESS OTHERWISE INDICATED, ALL PROPERTY CORNERS ARE MARKED WITH A P.K. NAIL W/SHINER, "X" IN CONCRETE OR AN IRON STAKE SURMOUNTED WITH A CAP STAMPED "P.S. 10464".
- THE PURPOSE OF THIS PLAT IS TO COMBINE TRACT 1-A-5-B AND PARCEL #2 INTO ONE TRACT OF LAND AND TO GRANT EASEMENTS AS SHOWN.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO TRACT A, SPIRITUAL RENEWAL CENTER MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

OWNER'S CERTIFICATE

THE SUBDIVISION SHOWN HEREIN IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREIN FOR THE PURPOSES NOTED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Mary Anne Giangola 11/24/99
 MARY ANNE GIANGOLA
 CONSTRUCTION PROJECT MANAGER AND MEMBER
 OF THE BOARD OF DIRECTORS
 SPIRITUAL RENEWAL CENTER, INC.

ACKNOWLEDGMENT

STATE OF New Mexico
 COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE 24th DAY OF November, 1999, by Mary Anne Giangola

MY COMMISSION EXPIRES: 1-14-2002 Crystal Dela Notary Public

SURVEYOR'S CERTIFICATION

I, VLADIMIR JIRIK, A FULLY QUALIFIED PROFESSIONAL SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST AND THAT THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

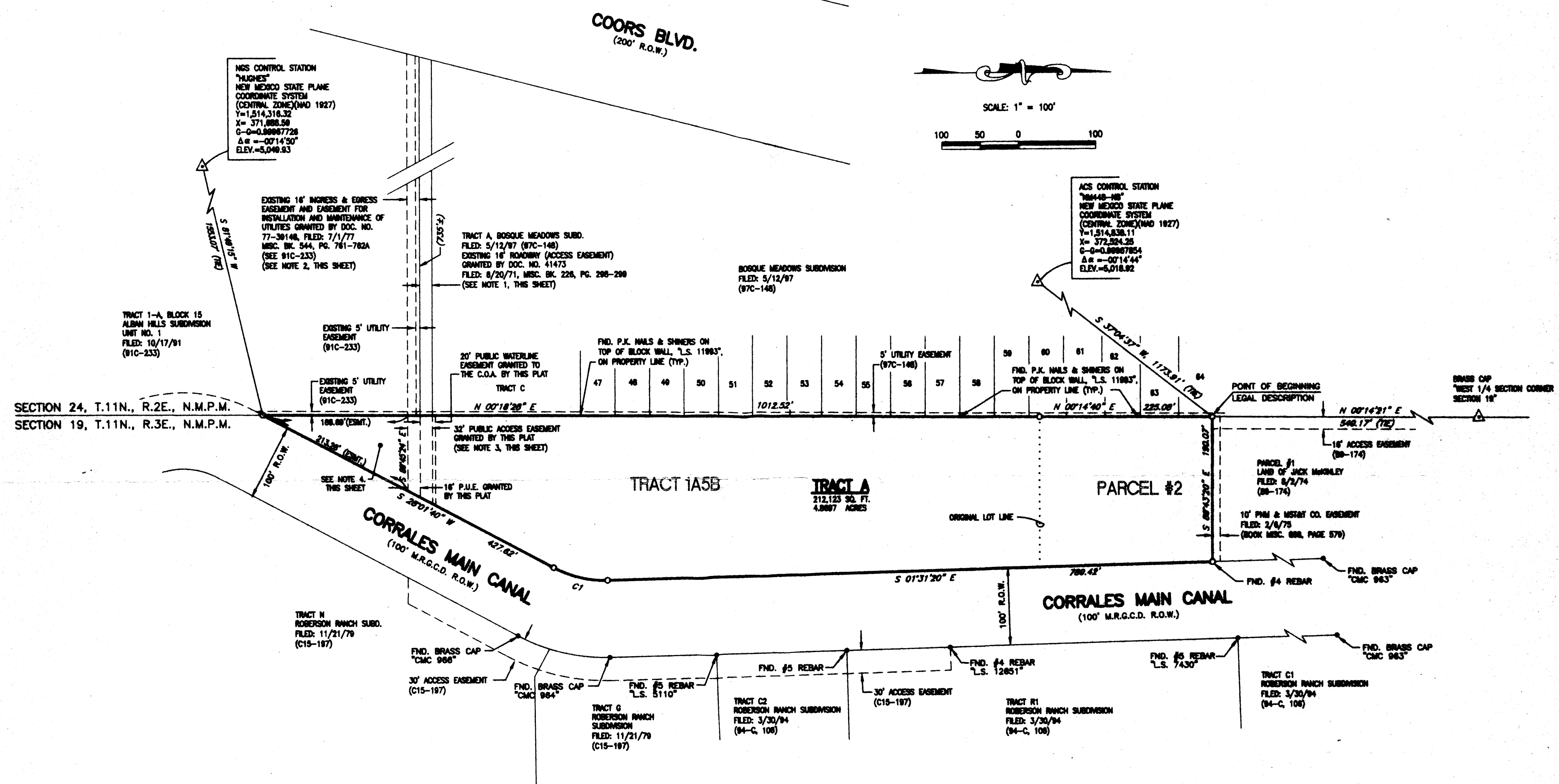
Vladimir Jirik NOV 24 1999
 VLADIMIR JIRIK, NPS NO. 10464

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPCB

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE:

PLAT OF
TRACT A
SPIRITUAL RENEWAL CENTER
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 1999



CURVE TABLE

CURVE	LENGTH	DELTA	RADIUS	CHORD BEG.	DISTANCE
C1	78.771	28°33'00"	141.08'	S 13°15'10" W	71.06'

NOTES:

- THE BENEFICIARIES OF 16' ROADWAY (ACCESS EASEMENT) ARE PROPERTIES ADJACENT TO AND EAST OF THE SECTION LINE. THE OWNER OF SUCH ADJACENT PREMISES, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, MAY AT THEIR OWN COST AND EXPENSE ESTABLISH AND MAINTAIN SIDEWALKS AND ROADWAYS WITHIN THE AREA OF THIS EASEMENT (SEE DOC. 841473, FILED 8/20/1971).
- THE BENEFICIARY OF 16' INGRESS AND EGRESS EASEMENT AND UTILITY EASEMENT IS THE PROPERTY TO THE EAST OF CORRALES MAIN CANAL (ROBERSON RANCH SUBDIVISION). THE EASEMENT GRANTED IS FOR INGRESS AND EGRESS TO AND FROM THE ROBERSON RANCH SUBDIVISION PROPERTY AND FOR INSTALLATION AND MAINTENANCE OF UTILITIES. THE GRANTOR OF THE EASEMENT RESERVED THE RIGHT TO BUILD ROADWAY IMPROVEMENTS AND MAINTAINANCE THE SAME FOR REASONABLE PERIODS (SEE DOC. 877-99148, FILED 7/1/1977).
- THE BENEFICIARY OF 30' PUBLIC ACCESS AND 16' P.U.E. GRANTED BY THIS PLAT ARE THE LOTS AND TRACTS ADJACENT TO AND EAST OF THE CORRALES MAIN CANAL, KNOWN AS ROBERSON RANCH SUBDIVISION. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNERS OF TRACT A, SPIRITUAL RENEWAL CENTER.
- THERE IS A TEMPORARY BLANKET PUBLIC TRAIL EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. THIS TEMPORARY EASEMENT IS LOCATED WEST OF CORRALES MAIN CANAL, EAST OF THE WEST PROPERTY LINE OF TRACT A, SPIRITUAL RENEWAL CENTER, AND SOUTH OF 30' PUBLIC ACCESS EASEMENT GRANTED BY THIS PLAT. THE PERMANENT LOCATION OF THE PUBLIC TRAIL EASEMENT WILL BE DETERMINED AT A LATER DATE, WILL BE GRANTED TO THE CITY OF ALBUQUERQUE BY A SEPARATE INSTRUMENT BY THE OWNER OF TRACT A, SPIRITUAL RENEWAL CENTER AND AT THAT TIME THE TEMPORARY BLANKET PUBLIC TRAIL EASEMENT CREATED BY THIS PLAT WILL CEASE TO EXIST.