

CONDITIONS:

- THE FOLLOWING PUBLIC WORKS CONDITIONS SHALL BE MET BEFORE FINAL DRB SIGN OFF:
 - INCLUSION OF A NOTE ON THE SITE PLAN WHICH STATES THAT DIRECT ACCESS ONTO PASEO DEL NORTE IS PROHIBITED.
 - CONSTRUCTION OF REQUIRED PAVEMENT, MEDIAN, CURBS, GUTTERS AND 6 FOOT SIDEWALK ON PASEO DEL NORTE.
 - PROVISION OF A 30 FOOT UNOBSTRUCTED SERVICE DRIVE FOR LARGE VEHICLES, FROM THE STREET ENTRANCE TO LOADING DOCK AREAS. CONSTRUCTION OF 25 FOOT CORNER RADI ARE REQUIRED FOR THE SERVICE ROUTE. A MINIMUM OF A 3 FOOT SETBACK IS REQUIRED TO PROTECT BUILDINGS AND WALLS.
 - PROVISION OF ADEQUATE TURNAROUND AREA FOR LARGE VEHICLES ADJACENT TO THE DOCK AREA.
 - THE SITE PLAN MUST IDENTIFY SURROUNDING USES AND PROVIDE DIMENSIONS WHERE APPROPRIATE, I.E. STRUCTURES, STREETS, MEDIANS, DRIVE AISLES, PARKING SPACES, WALLS, SIGNS, ETC.
 - LOCATION AND DIMENSION OF PROPOSED FIRE LANES MUST MEET FIRE CODE REQUIREMENTS AS PER THE DPM.
 - COORDINATION WITH THE SOLID WASTE DEPARTMENT WITH REGARD TO REFUSE CONTAINER LOCATION AND ACCESS.
- THE FOLLOWING SITE PLAN CONDITIONS SHALL BE MET BEFORE FINAL DRB SIGN OFF:
 - INDICATION OF THE BOUNDARIES OF THE NORTHWEST MESA ESCARPMENT PLAN IMPACT AREA AND VIEW AREAS OVERLAY ZONES.
 - A NOTE WHICH INDICATES THAT LIGHTING SHALL HAVE THE MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS.
 - PROVIDE DIMENSIONS OF ALL MAJOR SITE ELEMENTS, INCLUDING ALL SIDEWALKS AND PEDESTRIAN PATHS.
 - REVISION OR ELIMINATION OF PARKING SPACES ON THE WEST SIDE OF THE SITE, BEHIND THE FURR'S SUPERMARKET BUILDING.
 - THE DRIVE AISLE/PARKING/LANDSCAPE CONFIGURATION ON THE SOUTH SIDE OF THE FURR'S SHALL BE REVISD TO AVOID VEHICLE OVERHANG. THE SIDEWALK ALONG THE SOUTH SIDE OF FURR'S SHALL BE A MINIMUM OF 6 FEET WIDE AND SHALL INCLUDE A CONNECTION TO THE TRAIL ALONG PASEO DEL NORTE.
 - THE FOLLOWING PEDESTRIAN RELATED CHANGES SHALL BE MADE TO THE SITE PLAN, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - PROVISION OF SIDEWALKS TO THE PARKING SPACES ON THE WEST AND SOUTH SIDE OF FURR'S.
 - REVISE THE PEDESTRIAN PATH BETWEEN THE FURR'S AND SHOP B TO MAKE IT HANDICAP ACCESSIBLE AND CONSISTENT WITH THE LANDSCAPING PLAN.
 - THERE SHALL BE A MINIMUM 15 FOOT WIDE SIDEWALK AND LANDSCAPE AREA SETBACK FROM THE FRONT FACADE OF THE BUILDING TO THE DRIVE AISLE OR PARKING AREA. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES.
 - PROVIDE A MINIMUM OF 15 FOOT SIDEWALK AND LANDSCAPE AREA ALONG THE ENTIRE EAST FRONT OF FURR'S. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES AT 20 TO 30 FEET ON CENTER IN 5 FOOT BY 5 FOOT PLANTERS.
 - THE FOLLOWING CHANGES SHALL BE MADE TO THE ELEVATIONS, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - 70% OF THE BUILDING MATERIALS SHALL BE SPLIT FACED CMU BLOCK, AS IS CONSISTENT WITH THE "PAD ARCHITECTURE STANDARDS."
 - A NOTE SHALL BE ADDED TO THE ELEVATIONS WHICH INDICATES THAT ALL GUIDELINES OF THE "PAD ARCHITECTURE STANDARDS" SHALL BE FOLLOWED.
 - A NOTE SHALL BE ADDED TO THE "PAD ARCHITECTURE STANDARDS" WHICH STATES VINYL COATED PLASTIC REFLECTIVE TYPE AWNINGS SHALL NOT BE PERMITTED.
 - THE FOLLOWING CHANGES TO THE LANDSCAPING PLAN SHALL BE MADE TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - PROVISION OF TREES ALONG PASEO DEL NORTE IN COMPLIANCE WITH THE STREET ORDINANCE.
 - THE LANDSCAPE BUFFER ALONG THE WEST SIDE, ADJACENT TO THE RESIDENTIAL PROPERTY, SHALL CONSIST PRIMARILY OF TREES AT LEAST EIGHT FEET HIGH AT THE TIME OF PLANTING AND CAPABLE OF REACHING A HEIGHT AT MATURITY OF AT LEAST 25 FEET. SPACING OF THE TREES SHALL BE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER.
 - REVISION OF THE LANDSCAPING ON THE PEDESTRIAN PATH BETWEEN FURR'S AND SHOP B SUCH THAT IT IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN AND THAT IT IS HANDICAP ACCESSIBLE.
 - THE LANDSCAPING PALATE SHALL BE CONSISTENT WITH THAT OF THE NORTHWEST MESA ESCARPMENT PLAN.
 - PROVISION OF THE STREET TREES/LANDSCAPING IN THE AREAS BETWEEN THE CURB AND THE SIDEWALKS ALONG PASEO DEL NORTE AND GOLF COURSE ROAD.
 - THE GRADING AND DRAINAGE PLAN MUST BE APPROVED BY THE CITY ENGINEER BEFORE FINAL DRB SIGN OFF.
 - A WATER AVAILABILITY STATEMENT FROM NEW MEXICO UTILITIES, INC. MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE FINAL DRB SIGN OFF. REQUIRED INFRASTRUCTURE MUST BE FINANCIALLY GUARANTEED PRIOR TO SITE PLAN AND PLAT APPROVAL BY THE DRB. ALL PUBLIC INFRASTRUCTURE MUST BE DESIGNED TO CITY OF ALBUQUERQUE STANDARDS, INCLUDING WATER AND/OR SANITARY SEWER LINES OWNED AND OPERATED BY NMU.
 - NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED; ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS.
 - OUTDOOR PATIO SPACE SHALL BE PROVIDED WITH ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE. A PATIO WHICH IS A MINIMUM OF 400 SQUARE FEET IN SIZE SHALL BE PROVIDED ON THE FURR'S PAD, AND A PATIO WHICH IS A MINIMUM OF 200 SQUARE FEET SHALL BE PROVIDED ON PAD B. THE PATIO SHALL HAVE ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE THAT INTEGRATES INTO THE ARCHITECTURE.
 - THIS IS A DESIGNATED SHOPPING CENTER SITE, THEREFORE OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
 - THE FUTURE TRAIL EXTENSION SHOWN ALONG THE SOUTHERN BOUNDARY OF THE SITE PLAN AND THE CURBED TRAIL ADJACENT TO THE PIEDRAS MERCADAS ARROYO SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DRB.

GENERAL SITE REQUIREMENTS FROM PLANNING DEPARTMENT

- △ DIRECT ACCESS TO PASEO DEL NORTE IS PROHIBITED
- △ LIGHTING SHALL HAVE A MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS
- △ ALL RAISED PEDESTRIAN PATHWAYS SHALL BE A MINIMUM OF 6 FEET WIDE
- △ NO OFF PREMISE SIGNS SHALL BE PERMITTED
- △ NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED
- △ ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS

ADMINISTRATIVE AMENDMENT
 File #04-01474 Project # 100046A
 Building replacement with less square footage. See attached letter w/ conditions.
 Approved by: [Signature]
 DATE: 1/28/05

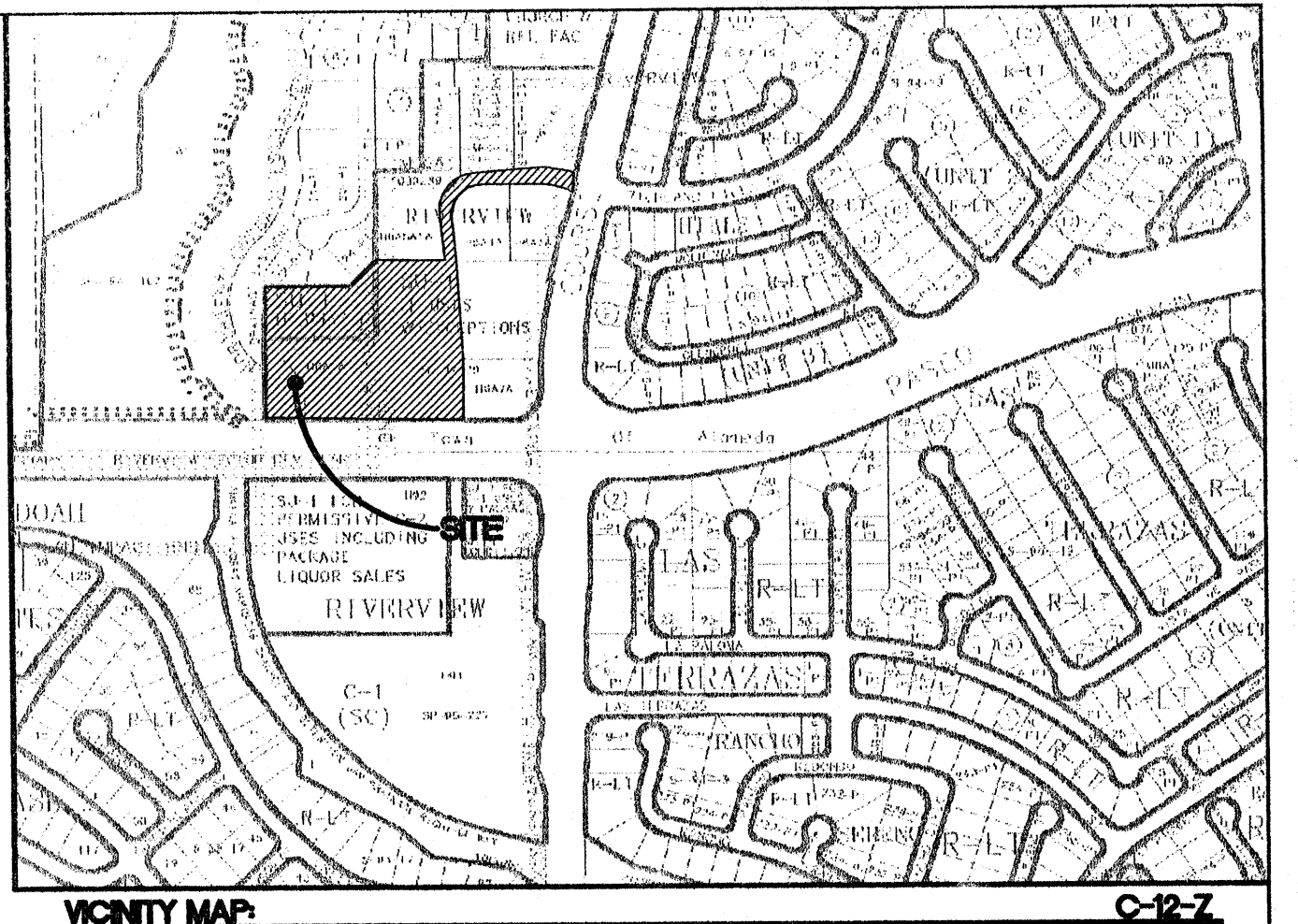
PROJECT NUMBER: Z-99-11
APPLICATION NUMBER: 00450-00000-00525

Is an Infrastructure List required? () Yes () No () No, if Yes, from a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary 12/16/03



BUILDING DATA

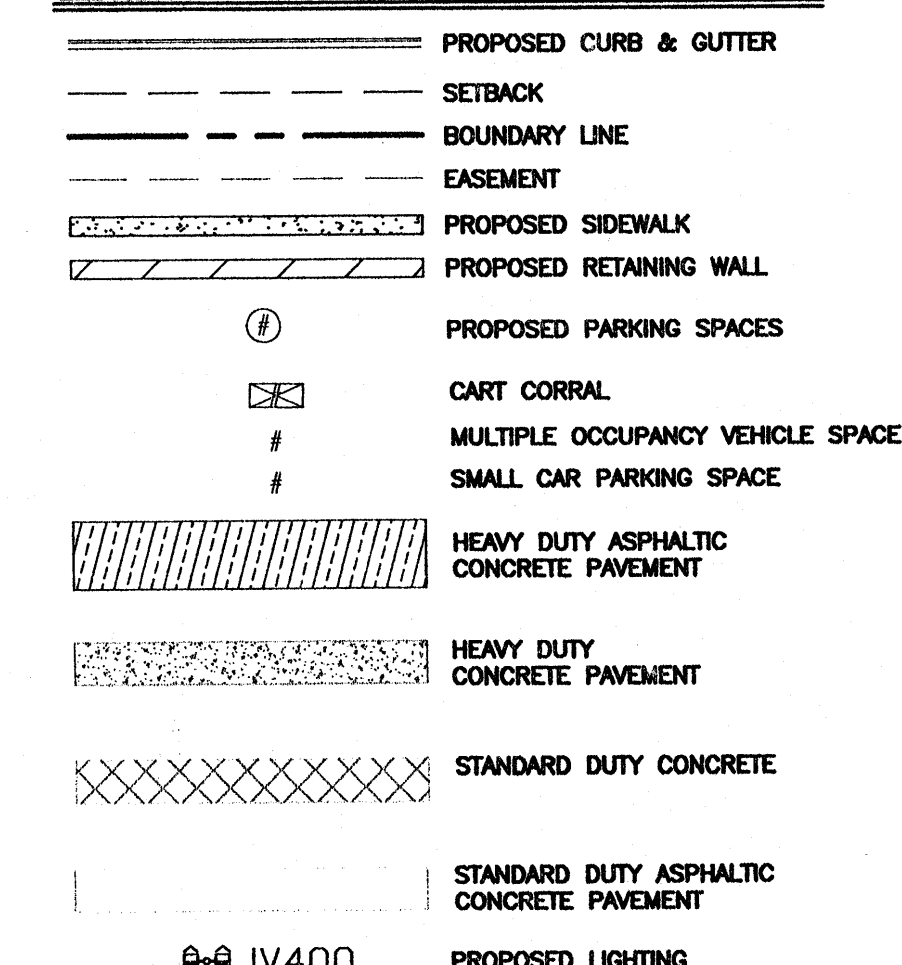
GROSS BUILDING AREA: 39,690± S.F.
 BUILDING SETBACKS REQD: BY SITE PLAN
 BUILDING HEIGHT: Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26' shall fall within 45° angle planes drawn from the horizontal of the mean grade along each internal boundary of the premises and adjacent public right-of-way centerline. To protect solar access, a structure over 26' may not exceed the northern boundary of these 45° planes, but may be sited in any other direction within planes drawn at 60° angle from the same boundaries or centerline.

BUILDING COVERAGE: NEIGHBORHOOD MARKET 20% ±

KEYED NOTES:

- BIKE RACK (TYP.)
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- 6" MEDIAN CURB & GUTTER
- UNIDIRECTIONAL HANDICAP RAMP PER COA STD DWG #2426
- CART CORRAL (TYP.)
- TRASH COMPACTOR
- 6" DIA. PIPE BOLLARD (TYP.)
- AWNINGS (PER ARCHITECTURAL PLANS)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE (TYP.)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
- HANDICAP PARKING SIGN
- PAINTED 6" RED STRIPE W/ 4" WHITE LETTERS "NO PARKING FIRE ZONE"
- 8" CONCRETE SIDEWALK
- 10'x15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- ELECTRICAL TRANSFORMER
- PEDESTRIAN CRG. SIGN W/2- AND W/4-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- PAINTED DIRECTIONAL ARROW (TYP.)
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT (TYP.)
- ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- 5'x5' LANDSCAPE PLANTERS
- 400 SF TREE SHADED PATIO AREA
- 6" CONCRETE SIDEWALK
- STANDARD CURB AND GUTTER
- 12" PAINTED (WHITE) STOP BAR W/PAVEMENT MARKING "STOP" IN 6" LETTERS

LEGEND



SITE DATA

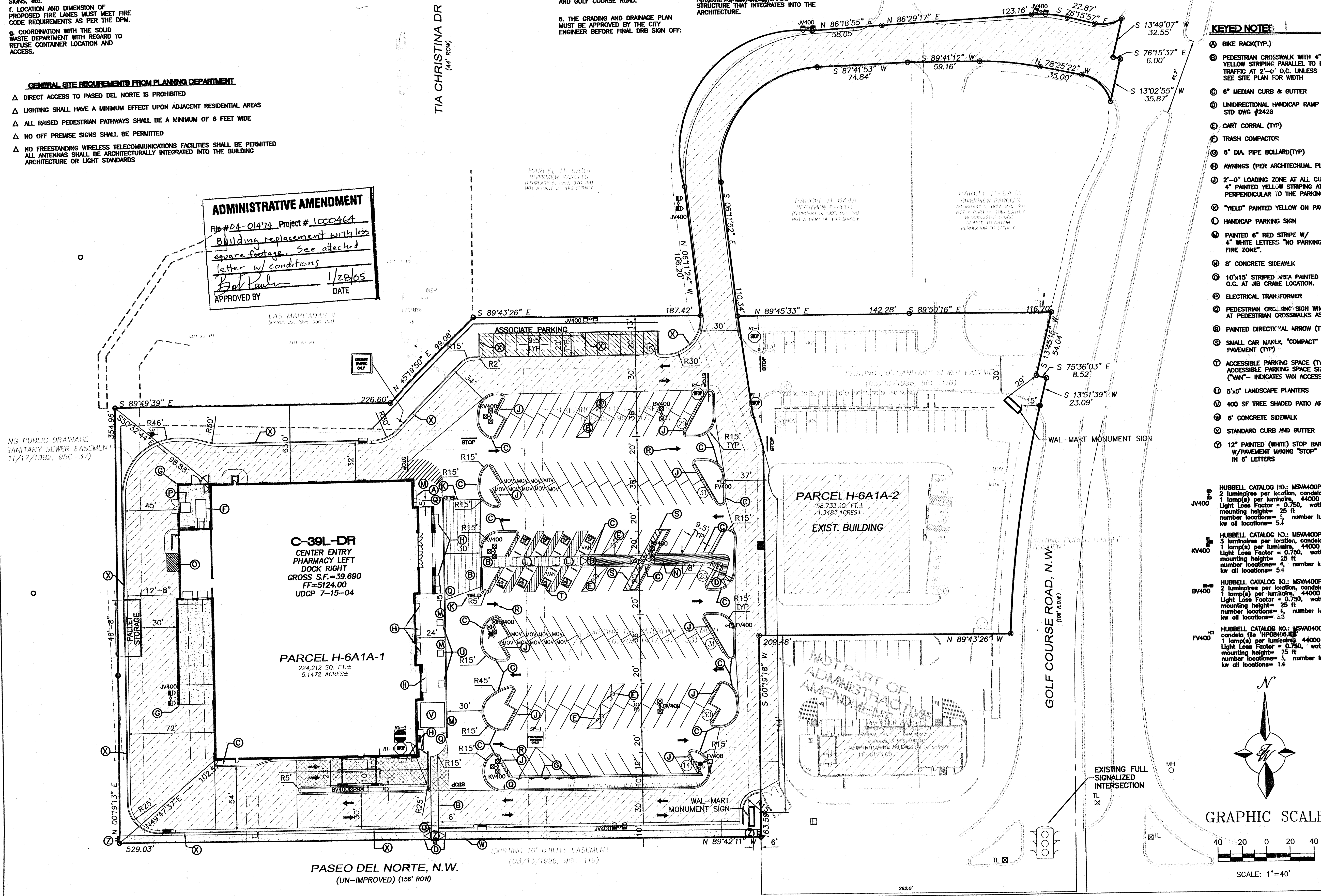
PARCEL H-6A1A-1	5.1472 ± AC
PARCEL H-6A1A-2	1.3483 ± AC
TOTAL	6.4955 ± AC
LAND USE CLASSIFICATION:	COMMERCIAL
ZONING CLASSIFICATION:	SM-1 FOR IP WITH EXCEPTIONS DRIVE-UP WINDOW MUST BE 75' MINIMUM FROM NEAREST RESIDENCE
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONED X UNSHADED

PARKING DATA

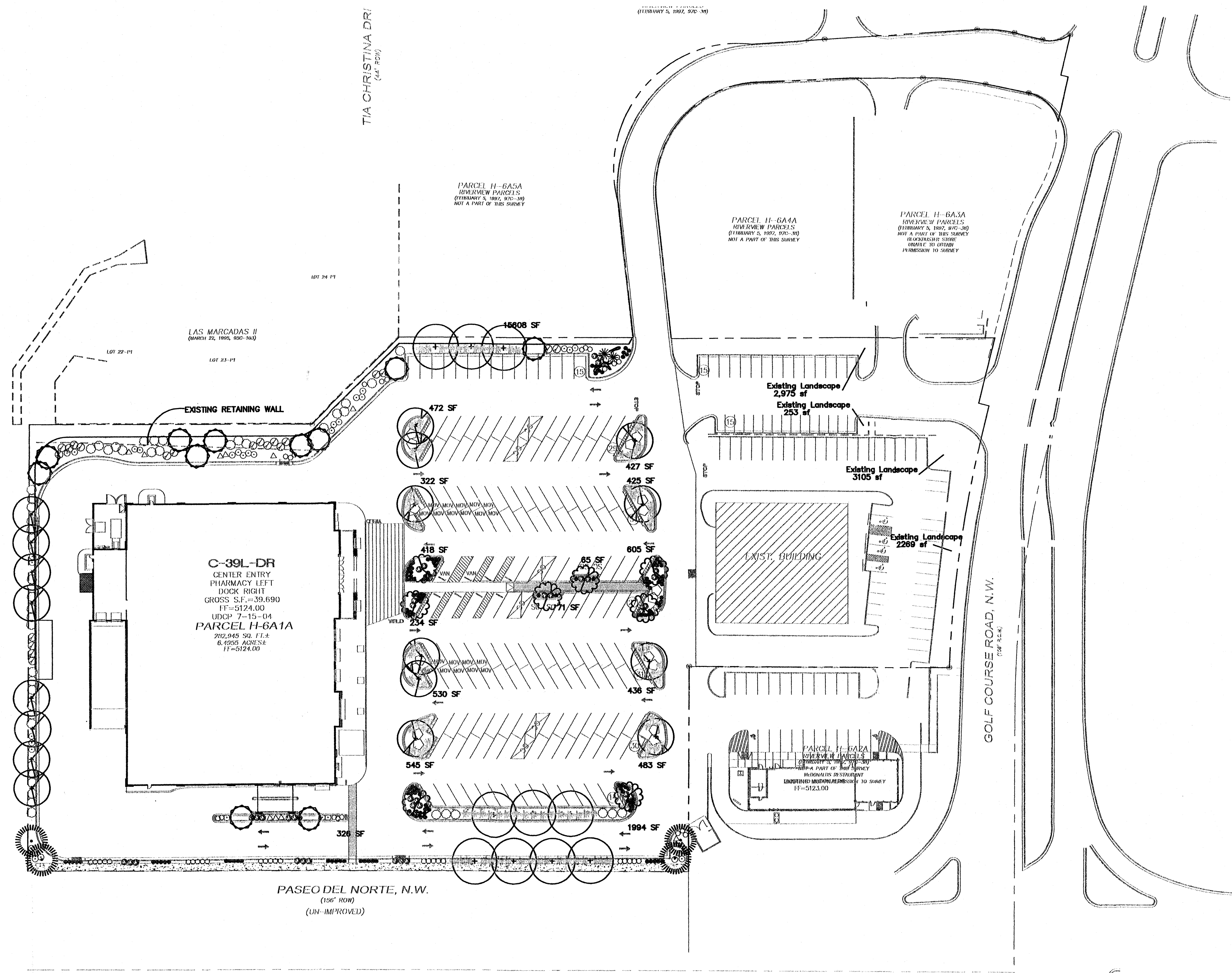
PARCEL H-6A1A-1	39,690 S.F./200=	199 SPACES
PARCEL H-6A1A-2	10,080 S.F./200=	50 SPACES
TOTALS	49,770 S.F.	249 SPACES
TOTAL PARKING REQUIRED		249 SPACES
LESS 10% BUS CREDIT		225 SPACES
STANDARD SPACES	254 SPACES (24 SMALL CAR)	
MULTIPLE OCCUPANCY VEHICLE SPACES	25 SPACES	
ACCESSIBLE SPACES	12 SPACES	
CART CORRALS	6 SPACES	
TOTAL PARKING REQUIRED	225 SPACES	
TOTAL PARKING PROVIDED	254 SPACES	
RATIO FOR PARCEL H-6A1A-1	5.04/1,000 S.F.	

NOTES:

- ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING
- WAL-MART PREFERRED PARKING (5.0 SP/1,000 S.F.) CODE REQUIRED PARKING SPACES (5.0/1,000 S.F.)
- PARKING LAYOUT MEETS WAL-MART STANDARDS WHICH IS WITHIN LOCAL REQUIREMENTS.
- CITY OF ALBUQUERQUE DOES NOT ALLOW CREDIT FOR CART CORRALS.
- PARKING SHOWN CONTAINS BOTH 60' AND 90' PARKING SPACES. TYPICAL DIMENSIONS: WIDTH: 9.5' DEPTH: 20' ONE WAY ASLES: 20' TWO WAY ASLES: 25'
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (MEP) FOR LOCATION AND SPECIFICATIONS FOR ALL PARKING LOT LIGHTING AND LIGHT POLES.



NO.	DATE	REMARKS	BY
REVISIONS			
		PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #317-00 8511 GOLF COURSE RD. NW	DRAWN BY: rwm
		AMENDED SITE PLAN FOR BUILDING PERMIT	DATE: 12-01-2004
		ALBUQUERQUE NEW MEXICO	2387SPB-11-12-04X
			SHEET # 7 OF 27
			JOB # 230087
ENGINEER'S SEAL		RONALD R. BOHANNAN P.E. #7868	



LANDSCAPE LEGEND

Size	Common Name	Quantity	H2O Use
4-6'	Palm Yucca, Boulder, Cobble Yucca faxonia	2	L
2" cal	Autumn Blaze Maple Acer freemanii	10	M
2" cal	Honeylocust Gleditsia triacanthos 'enermis'	18	M
6-8'	Austrian Pine Pinus nigra	4	M
15 Gal	Bradford Pear Pyrus calleryana	8	M
15 Gal	Desert Willow Chilopsis linearis	11	L
5 Gal	Parney Cotoneaster Cotoneaster parneyi	18	M
5 Gal	Raphiolepis Raphiolepis indica	36	M
5 Gal	Honeysuckle Lonicera japonica	101	M
5 Gal	Dwarf Butterfly Bush Buddleia davidii nanhoensis	12	L
5 Gal	Threadgrass Nassella tenuissima	138	M
5 Gal	Cherry Sage Salvia greggii	46	L
5 Gal	Blue Mist Caryopteris x claudensis	35	L
5 Gal	Chamisa Chrysothamnus nauseosus	49	L
5 Gal	Apache Plume Fallugia paradoxa	21	L
	Landscape Gravel over Filter Fabric		

LANDSCAPE NOTES

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub.

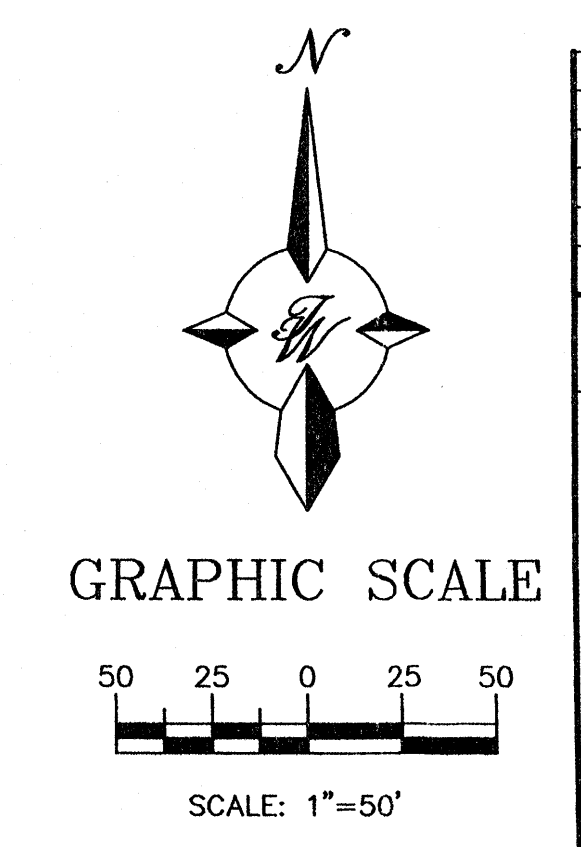
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	203900
TOTAL BUILDING AREA (sf)	-39690
NET LOT AREA (sf)	164210
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	24632
NEW LANDSCAPE PROVIDED (sf)	22961
EXISTING LANDSCAPE (sf)	8602
TOTAL LANDSCAPE PROVIDED (sf)	31563



Mitchell Associates, LLC
Landscape Architects
7200 Way Cross Av. NW
Albuquerque, NM 87120
(505) 839-2081
danny@mitchellassociatesllc.com

NO.	DATE	REMARKS	BY
REVISIONS			
LANDSCAPE ARCHITECT SEAL	PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #3317-00 8511 GOLF COURSE RD. NW		DRAWN BY DM
STATE OF NEW MEXICO DANNY D. MITCHELL 239 REGISTERED LANDSCAPE ARCHITECT	LANDSCAPE PLAN ALBUQUERQUE NEW MEXICO		DATE 11-16-2004
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2387LS-08-09-04X
DANNY D. MITCHELL R.L.A. #239			SHEET # 14 OF 27
		JOB # 230087	

DETAIL-A

DETAIL-B

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

FOUNDATION PAD PREPARATION NOTES
 Proposed NEIGHBORHOOD CENTER #317-00
 PASEO DEL NORTE & GOLF COURSE ROAD
 ALBUQUERQUE, NEW MEXICO
 Terracon Project No. 66035064

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BEYOND THE CONSTRUCTION LIMITS OF THE PROPOSED SITE.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, GARDEN CENTER, PORCHES, RAMPS, STOOPS, TRUCK WELLS/DOCKS, CONCRETE APRONS AT THE AUTOMOTIVE CENTER, COMPACTOR PAD, ETC. THE SUBBASE, WHERE REQUIRED, DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

THE FINAL SUBGRADE ELEVATION FOR SLAB-ON-GRADE FLOORS SHALL BE ESTABLISHED AT 10 INCHES BELOW FINISHED FLOOR ELEVATION TO ALLOW FOR A 4 INCH CONCRETE SLAB (OR 11-1/2 INCHES TO ALLOW FOR A 5-1/2 INCH CONCRETE SLAB) AND A 6 INCH SUBBASE. THE SUBBASE SHALL CONSIST OF 4 INCHES OF COARSE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF ASTM D-448, TYPE 57 OR NMSTD TYPE VII-0GB COVERED WITH 2 INCHES OF FINE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF ASTM D-448, NO. 10 WITH 6 TO 12 PERCENT PASSING THE NO. 200 SIEVE OR THE FOLLOWING GRADATION REQUIREMENTS:

STANDARD SIEVE SIZE	PERCENT PASSING
NO. 4	85 - 100
NO. 8	75 - 95
NO. 16	55 - 75
NO. 50	22 - 45
NO. 100	10 - 30
NO. 200	6 - 12

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. THE SUBBASE SHALL BE PLACED ON COMPACTED SUBGRADE, ROLLED WITH A VIBRATORY ROLLER, AND VISUALLY INSPECTED FOR INLOCKING OF PARTICLES. THE FINE AGGREGATE WILL BE UNIFORMLY SPREAD ON THE SUBBASE MATERIAL.

EXISTING FOUNDATIONS, SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATIONS, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AREA. PROOFROLL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSUITABLE AREAS WITH SUITABLE MATERIAL. SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

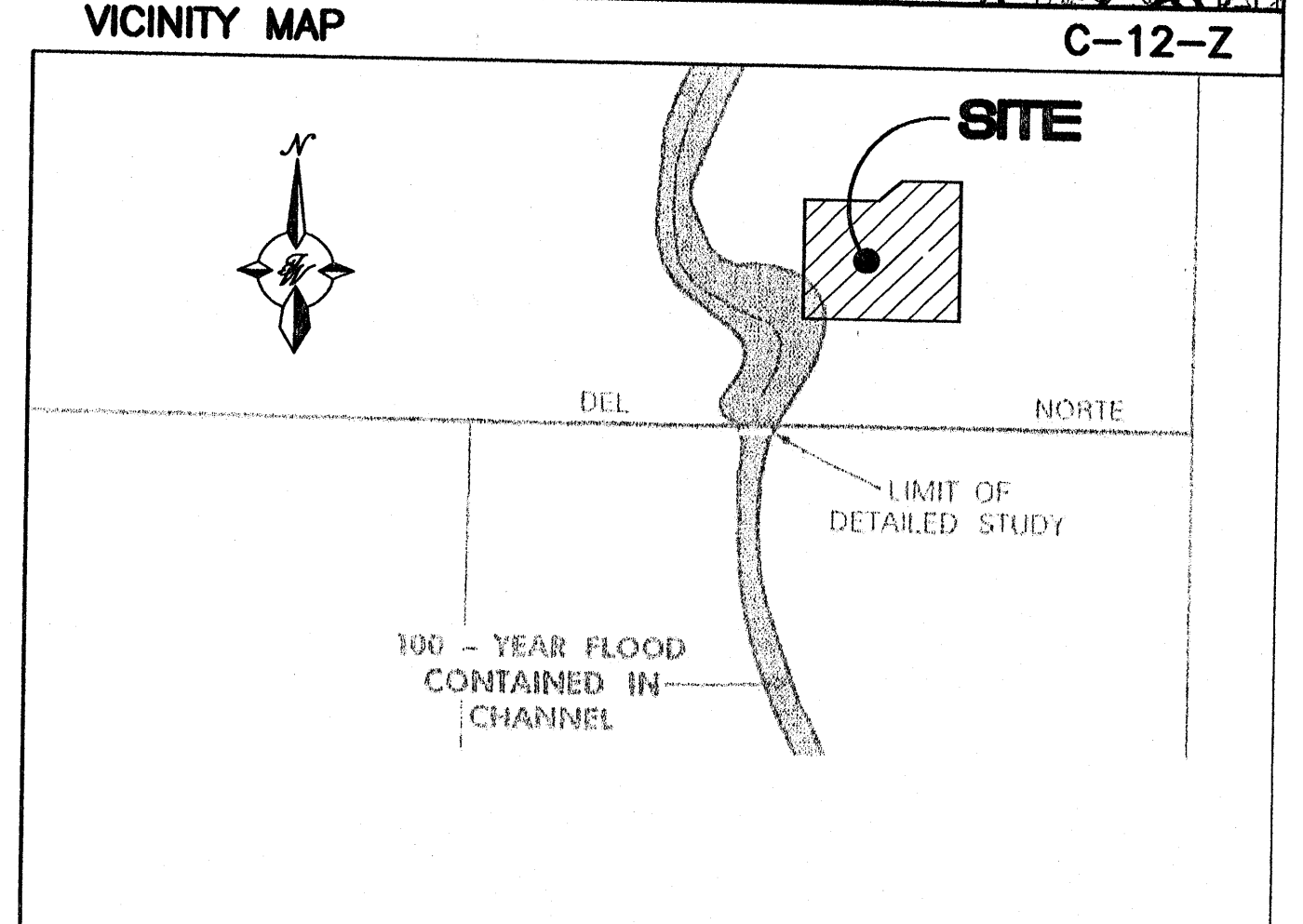
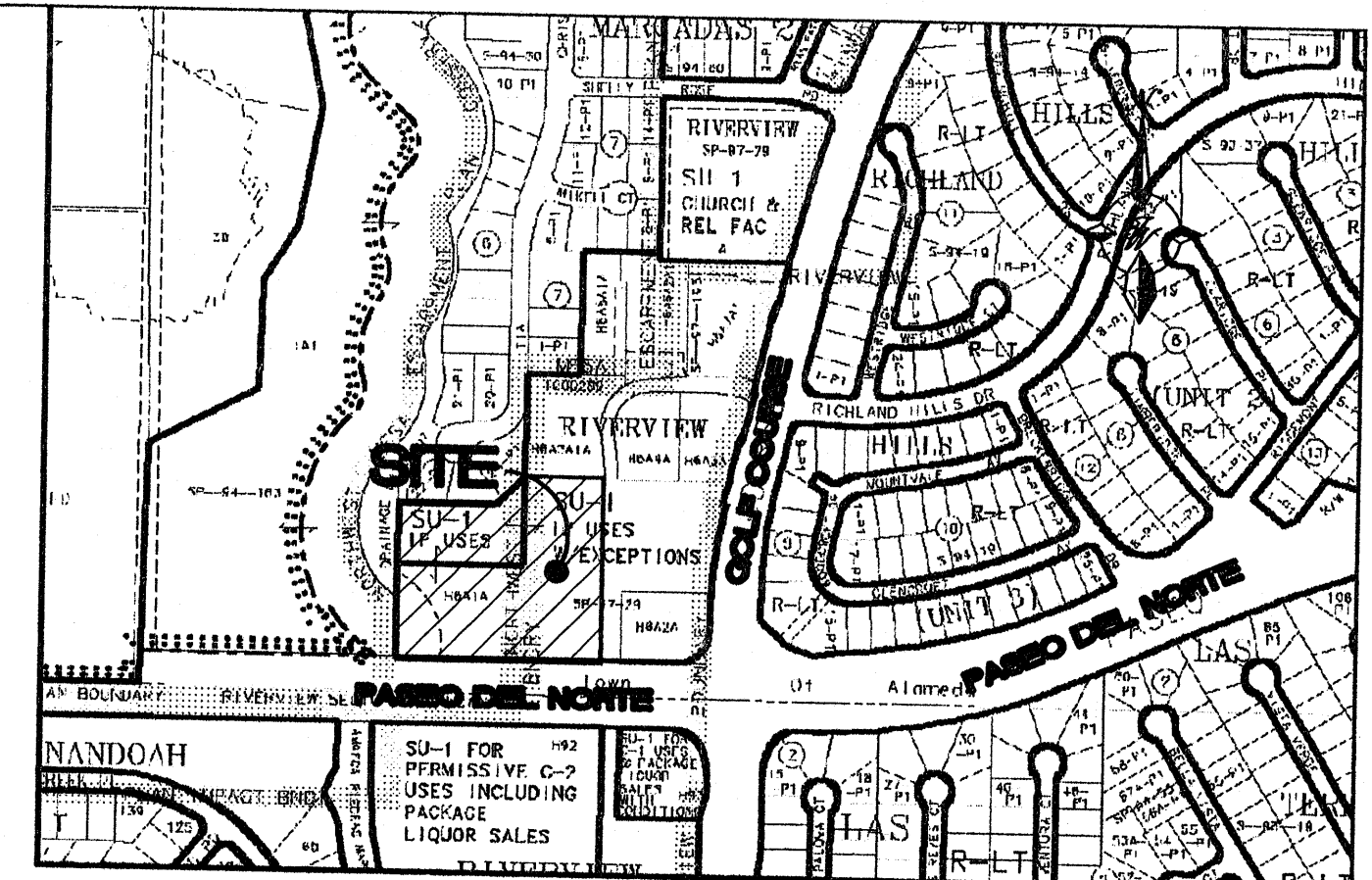
LOCATION WITH RESPECT TO FINAL GRADE BUILDING AREA	P.I.	L.L.
	12 MAX.	35MAX.

MAX. PRACTICE SIZE (ASTM C136)	PERCENT PASSING
4"	100
3"	70 - 100
NO. 4 SIEVE	50 - 100
NO. 200 SIEVE	50 (MAX)

ENGINEERED FILL TO EXTEND A MINIMUM OF 5 FEET BELOW PROPOSED FOOTING BEARING ELEVATION AND COMPACTED TO AT LEAST 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). THE SOILS BENEATH THE SLAB SUBGRADE SHOULD BE REMOVED TO A DEPTH OF 3 FEET BELOW BOTTOM OF SLAB AND REPLACED WITH ENGINEERED FILL. SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 10 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM FOR SOILS WITH A PLASTICITY INDEX AREA THAN 5 AND AT A MOISTURE CONTENT WITHIN 3 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT FOR ALL OTHER SOILS.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS FOOTINGS AT WALLS (PROVIDED BY THE CONTRACTOR). THE SPREAD FOOTINGS AND SLAB-ON-GRADE SHALL BE SUPPORTED ON A MINIMUM OF 5 FEET AND 3 FEET OF ENGINEERED FILL, RESPECTIVELY. THE FILL FOR FOOTINGS SHOULD EXTEND HORIZONTALLY 8 INCHES FOR EACH FOOT OF ENGINEERED FILL BENEATH THE FOOTING. FOOTING EXCAVATIONS SHALL BE EVALUATED BY WAL-MART'S GEOTECHNICAL REPRESENTATIVE PRIOR TO CONCRETE PLACEMENT TO CONFIRM THAT SUITABLE BEARING CONDITIONS EXIST.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY TERRACON, REVISED OCTOBER 26, 2004 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).



FIRM MAP 35001C0112 D

LEGAL DESCRIPTION
 TOWNSHIP 11 NORTH, RANGE 2 EAST, PARCEL H-6A-1-A OF THE PLAT OF RIVERVIEW PARCELS H-6A-1-A THRU H-6A-7-A AND PARCEL "A" CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

	PROPOSED STORM SEWER MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING BOUNDARY LINE
	PROPOSED BOUNDARY LINE
	EASEMENT
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	GRADING HIGH POINT
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION

ROUGH GRADING APPROVAL

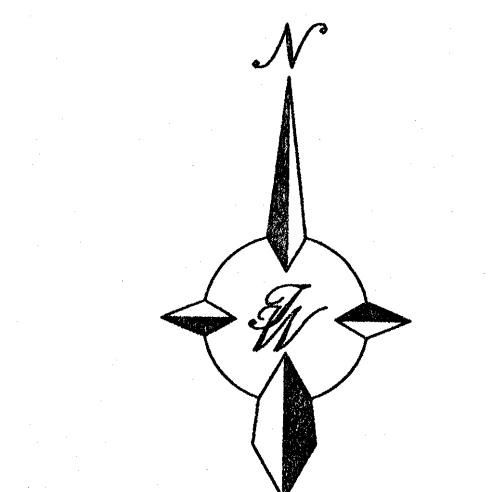
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #317-00 8511 GOLF COURSE RD. NW	DRAWN BY rwm
		GRADING AND DRAINAGE PLAN	DATE 12-01-2004
		ALBUQUERQUE NEW MEXICO	23876R0-11-12-04X
		TERRA WEST, LLC	SHEET # 8 OF 27
		8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 230087
		RONALD R. BOHANNAN P.E. #7868	

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

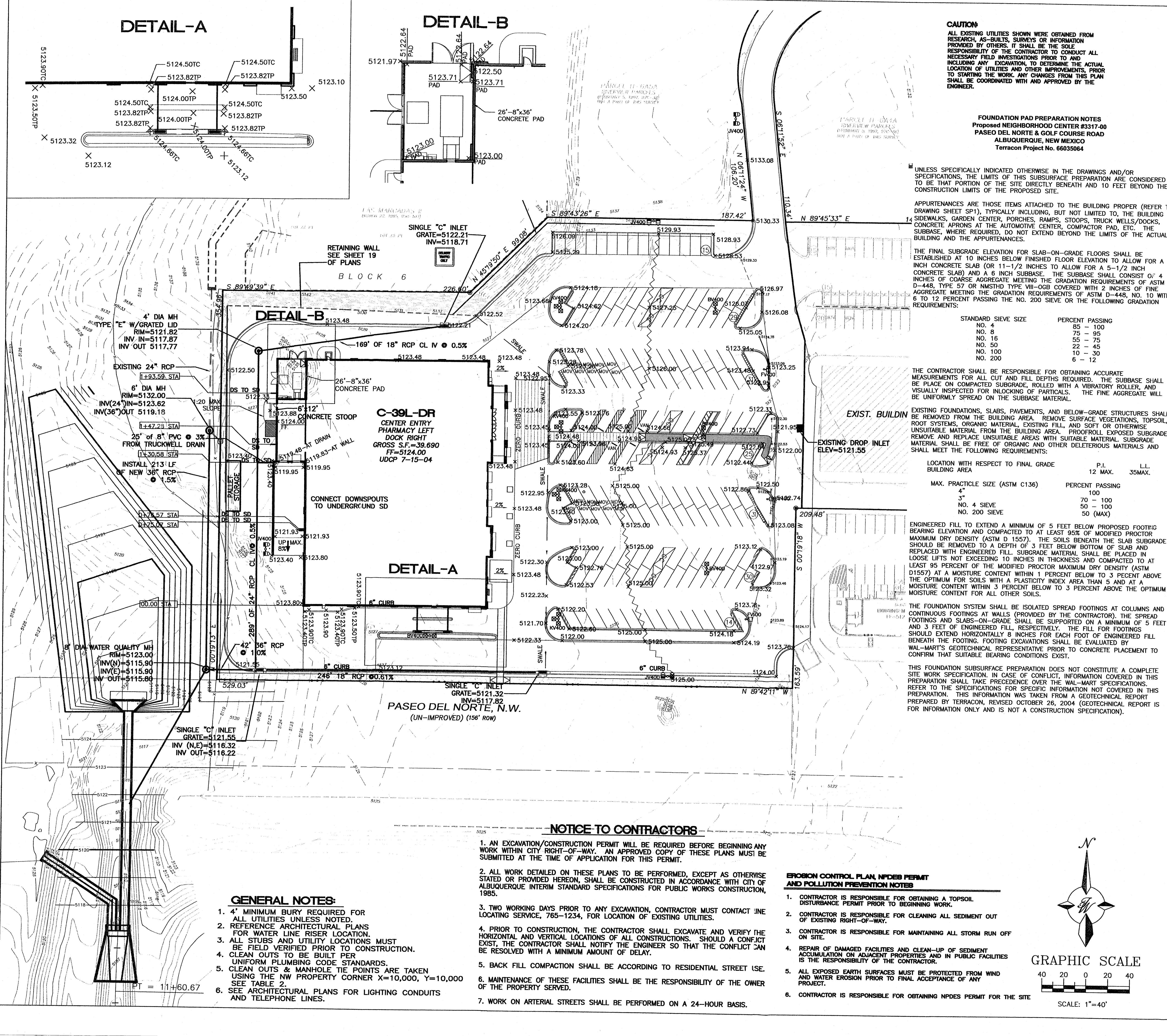
EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



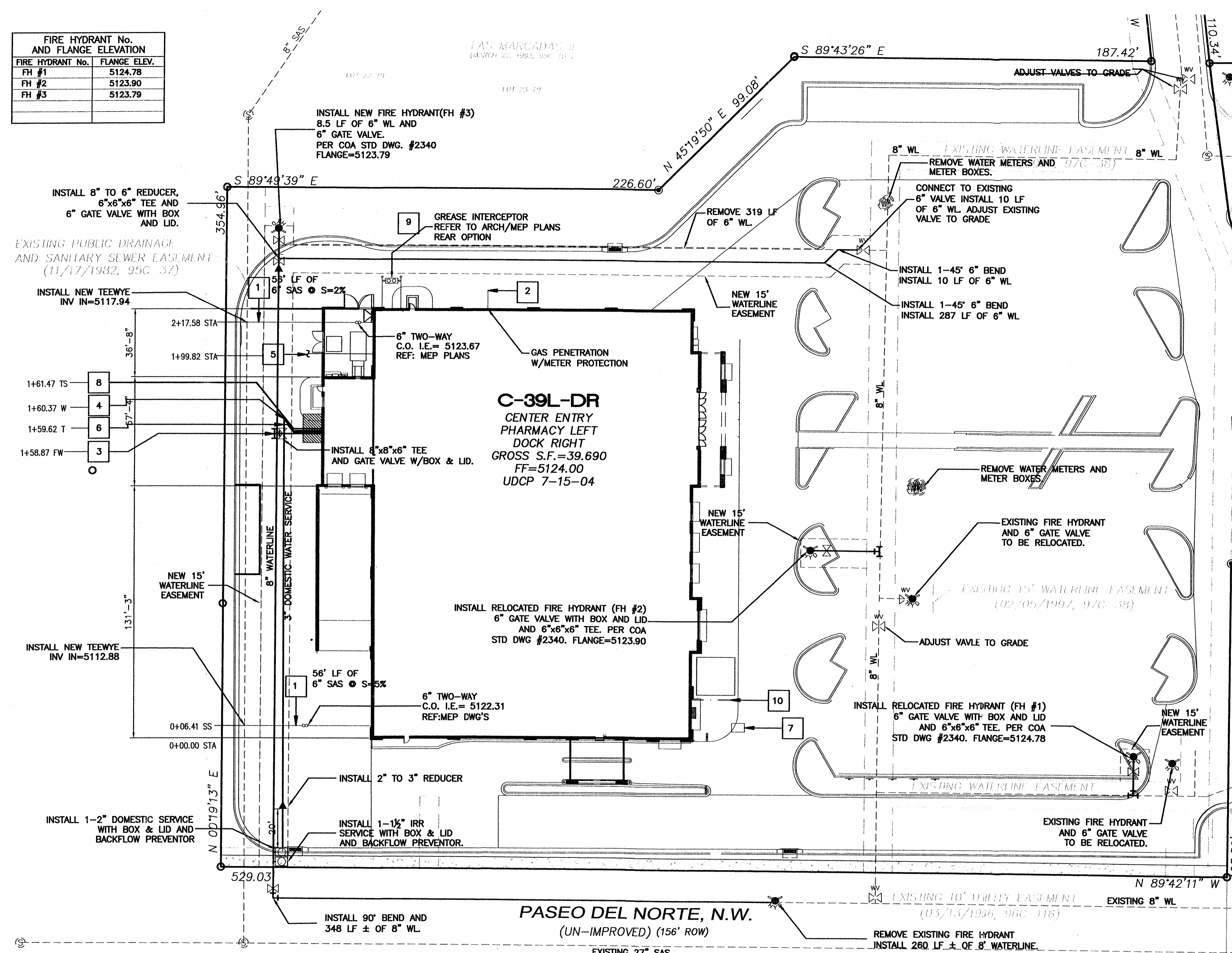
GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

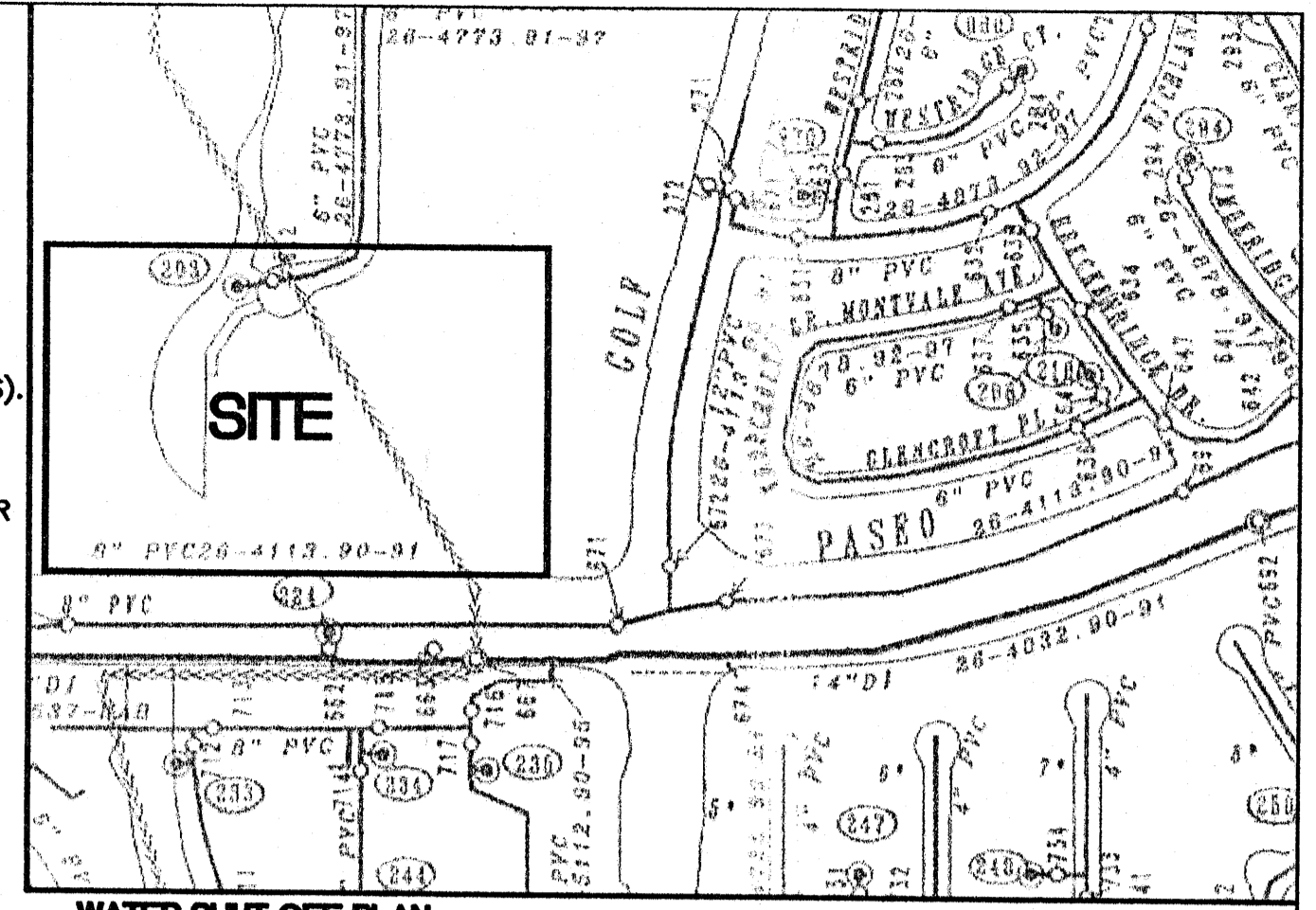


FIRE HYDRANT No. AND FLANGE ELEVATION	
FIRE HYDRANT No.	FLANGE ELEV.
FH #1	5124.78
FH #2	5123.90
FH #3	5123.79

JAS. MARCADIAN, P.E.
(ARCHIT. 22, 1995, 898-1511)



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NMUI SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES. THREE WORKING DAYS PRIOR THE CONTRACTOR MUST CONTACT NMUI (898-2661).
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
 9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
 10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
 11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
 12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
 13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
 14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
 15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
 16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.



WATER SHUT OFF PLAN VALVE #671

- NOTES:**
1. WATER SHUTOFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUTOFF PLAN
 4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
 5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 6. SHUTOFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

LEGEND

	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	PROPOSED SAS MANHOLE
	PROPOSED SAS CLEANOUT
	DIRECTION OF FLOW
	8" SAS
	PROPOSED SANITARY SEWER LINE
	SANITARY SEWER SERVICE LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE
	PROPOSED CURB
	BOUNDARY LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	PROPOSED STORM SEWER LINE
	PROPOSED DRY UTILITY TRENCH
	EXISTING DRY UTILITY TRENCH

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR TEES*

SIZE	LENGTH ALONG RUN**				
	5'	4'	3'	2'	1'
12x12x12	14	18	22	25	29
12x12x10	8	10	14	19	23
12x12x8	1	1	7	12	18
12x12x6	1	1	1	3	10
12x12x4	1	1	1	1	2
10x10x10	9	13	17	20	24
10x10x8	1	5	10	14	19
10x10x6	1	1	1	6	12
10x10x4	1	1	1	1	4
8x8x8	5	9	13	16	20
8x8x6	1	1	3	8	13
8x8x4	1	1	1	1	6
8x8x4	1	3	7	10	14
8x8x4	1	1	1	1	6

RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)

SIZE	HORIZONTAL BENDS				VALVES	DEAD END
	90°	45°	22-1/2°	11-1/4°		
12	15	6	3	1	34	
10	13	5	3	1	29	
8	11	4	2	1	24	
6	8	3	2	1	18	
4	6	2	1	N/A	13	

RESTRAINED JOINT LENGTHS FOR REDUCERS***

SIZE	L. SIDE		R. SIDE	
	SIZE	L. SIDE	SIZE	L. SIDE
12x10	17	10x6	18	
12x8	18	10x4	23	
12x6	25	8x6	10	
12x4	29	8x4	17	
10x8	10	6x4	9	

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)

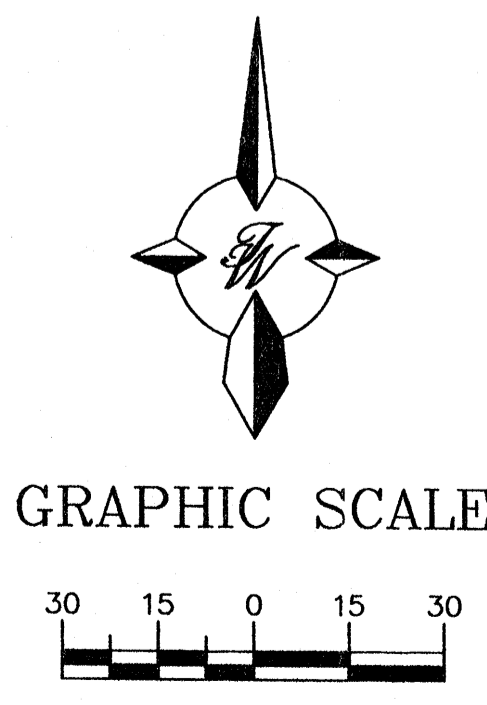
SIZE	HORIZONTAL BENDS			
	90°	45°	22-1/2°	11-1/4°
12 UPPER	DON'T USE	14	7	3
12 LOWER	DON'T USE	4	2	1
10 UPPER	DON'T USE	12	6	3
10 LOWER	DON'T USE	3	2	1
8 UPPER	DON'T USE	10	5	2
8 LOWER	DON'T USE	3	1	1
6 UPPER	DON'T USE	8	4	2
6 LOWER	DON'T USE	2	1	N/A
4 UPPER	DON'T USE	5	3	1
4 LOWER	DON'T USE	1	1	N/A

- KEYED NOTES**
1. SANITARY SEWER EXIT
 2. GAS ENTRY; RE: FUEL STUDY
 3. 6" FIRE LINE ENTRY
 4. 3" DOMESTIC WATERLINE WITH 2" TO 3" REDUCER ELECTRICAL ENTRY COORDINATE: TRANSFORMER PAD LOCATION WITH MEP TELEPHONE ENTRY
 5. (1) 1-1/2" CONDUIT FOR IRRIGATION CONTROL ENTRY
 6. (1) 1" CONDUIT FOR FIRE PROTECTION TAMPER SWITCH COORDINATE NEED FOR T.S. WITH FIRE PROTECTION ENGINEER
 7. 2,000 GAL SANITARY SEWER GREASE INTERCEPTOR

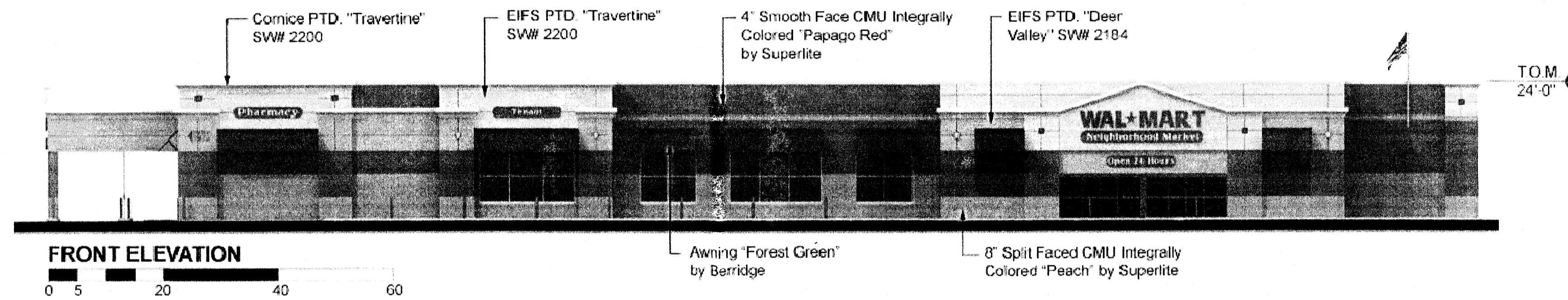
GENERAL NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH N.M.U.I. STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

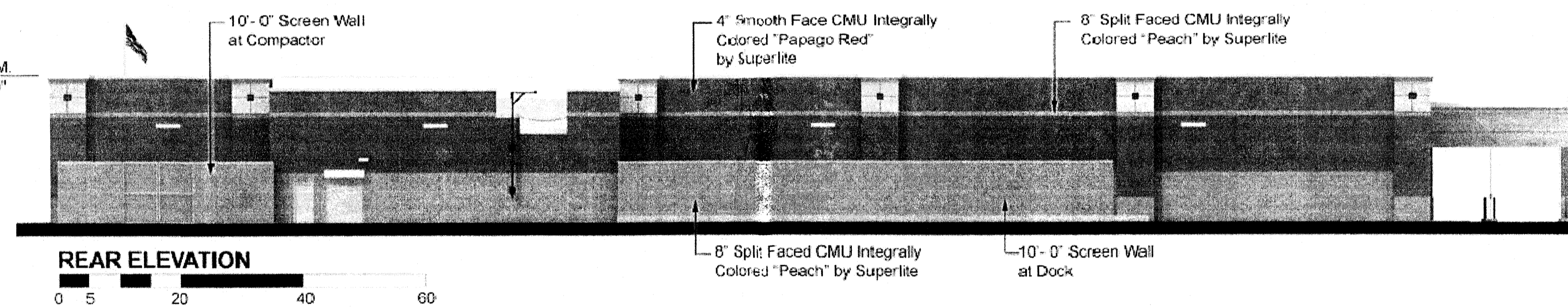
NMUI APPROVAL



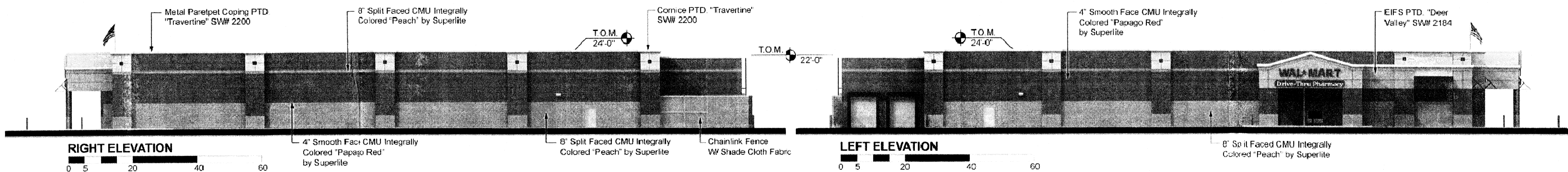
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL			DRAWN BY
WAL-MART NEIGHBORHOOD MARKET #3317 8511 GOLF COURSE RD. N.W.			DATE
MASTER UTILITY PLAN			2387MUD-10-27-04X
TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			SHEET #
RONALD R. BOHANNAN P.E. #7868			6 OF 10
			JOB #
			230087



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

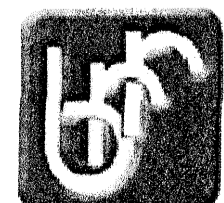


LEFT ELEVATION



FRONT SIGNAGE		HEIGHT	AREA
1	"WAL-MART"	3'-0"	67.63 S.F.
2	"NEIGHBORHOOD MARKET"	2'-3"	49.59 S.F.
3	"PHARMACY"	2'-0"	24.00 S.F.
4	"OPEN 24 HOURS"	2'-0"	24.00 S.F.
5	"TENANT"	2'-0"	24.00 S.F.
TOTAL FRONT			213.22 S.F.
DRIVE-THRU SIGNAGE		HEIGHT	AREA
6	"DRIVE THRU PHARMACY"	2'-0"	44.00 S.F.
7	"WAL-MART"	2'-6"	48.20 S.F.
8	DRIVE THRU w/ ARROW	2'-0"	8.44 S.F.
9	EXIT (2)	0'-9"	3.30 S.F.
10	LANE 1	0'-9"	2.55 S.F.
11	LANE 2	0'-9"	2.71 S.F.
TOTAL SIDE			109.20 S.F.
TOTAL SIGNAGE			322.42 S.F.

QUALITY CONTROL PLOT	
DAVE/BOYD	
ENTITLEMENT	
SIGNAGE	
RGN MNGR.	
3D	



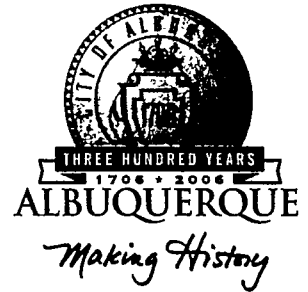
**REPRESENTATION ONLY
NOT FOR CONSTRUCTION**

Building, landscape, and site furnishing images shown are a representation of the design intent and may not reflect any subtle variations in color, material or construction that may occur due to local material differences and final design detailing.

WAL-MART
NEIGHBORHOOD MARKET

Albuquerque (Golf), NM
#3317 12/28/04

CITY OF ALBUQUERQUE



January 28, 2005

For File: File04-AA- , Project 1000464

Request: Administrative Amendment to an Approved Site Development Plan for Building Permit for Parcel H-6A1A-1 and H-6A1A-2 Riverview. Total of 6.4955 acres.

This letter provides explanation for the approval of the above-referenced request. The original site development plan approval was made by the EPC in 1999 at a noticed public hearing. While the approved Furr's Grocery store building was constructed following the EPC approval, construction was never finalized and the building was not occupied. It remained vacant for several years. This amendment, as provided for under that authority provided in the Comprehensive City Zoning Code, allows the replacement of the approved building with a similar building and minor adjustments to the approved site layout. Overall, the Planning Department has determined that the adjustments approved through this action will cause no additional impact to surrounding streets and properties compared to the impacts that would have occurred with the occupancy of the EPC-approved layout. In fact, several modifications to the administratively approved plan have been designed to minimize adverse site impacts beyond the level of the EPC-approved plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

Modifications to the plan to minimize off-site impacts were made in response to input from area residents, including the Piedras Marcadas Neighborhood Association. Prior to approving this request, property owners within 100 feet of the site along with area neighborhood associations were informed of the City's consideration of this action. Several discussions were conducted with concerned area residents; in addition, a meeting between the applicant, area residents and Planning Department representatives was held to review the project and to discuss possible plan modifications.

With this approval, the following Conditions are put into effect:

www.cabq.gov

- 1) Building height shall not exceed the height or maximum elevation of the originally-approved Furr's building. This height shall not necessarily be measured from the finished floor grade of the building; rather, height shall be measured relative the elevation of surrounding properties and terrain. (The Furr's building measured 22' to top of parapet, the new owner is proposing to lower the finish floor grade of the building 2' in order to construct a building height of 24' feet above finished floor.)
- 2) Rooftop equipment shall not reach a height above the building parapet.
- 3) The building roof and rooftop equipment shall be a beige (or similar) non-reflective color to minimize glare and to minimize the presence of rooftop equipment.

- 4) The trash compactor area to the rear of the building shall be fully covered with a roof in order to minimize noise from the compactor.
- 5) Truck deliveries made to the rear loading dock of the building are prohibited between the hours of 10:00 PM and 5:00 AM local time to minimize noise impact on nearby residential properties.
- 6)
- 7) Landscaping along the north property line of the site shall include trees and shrubs that provide visual buffering but will not grow to heights that infringe on the views from the adjacent residential properties.
- 8) The site occupant shall abide by the City's weed and litter ordinance and noise ordinance, and make every reasonable effort to keep the site free of trash.
- 9) Non-delivery vehicles shall directed by signage and/or other means from circling the building.
- 10) The queuing and idling of diesel delivery trucks on the drive aisle along the north side of the property is strongly discouraged.

Approved By

 1/28/2005

For Planning Director Richard Dineen