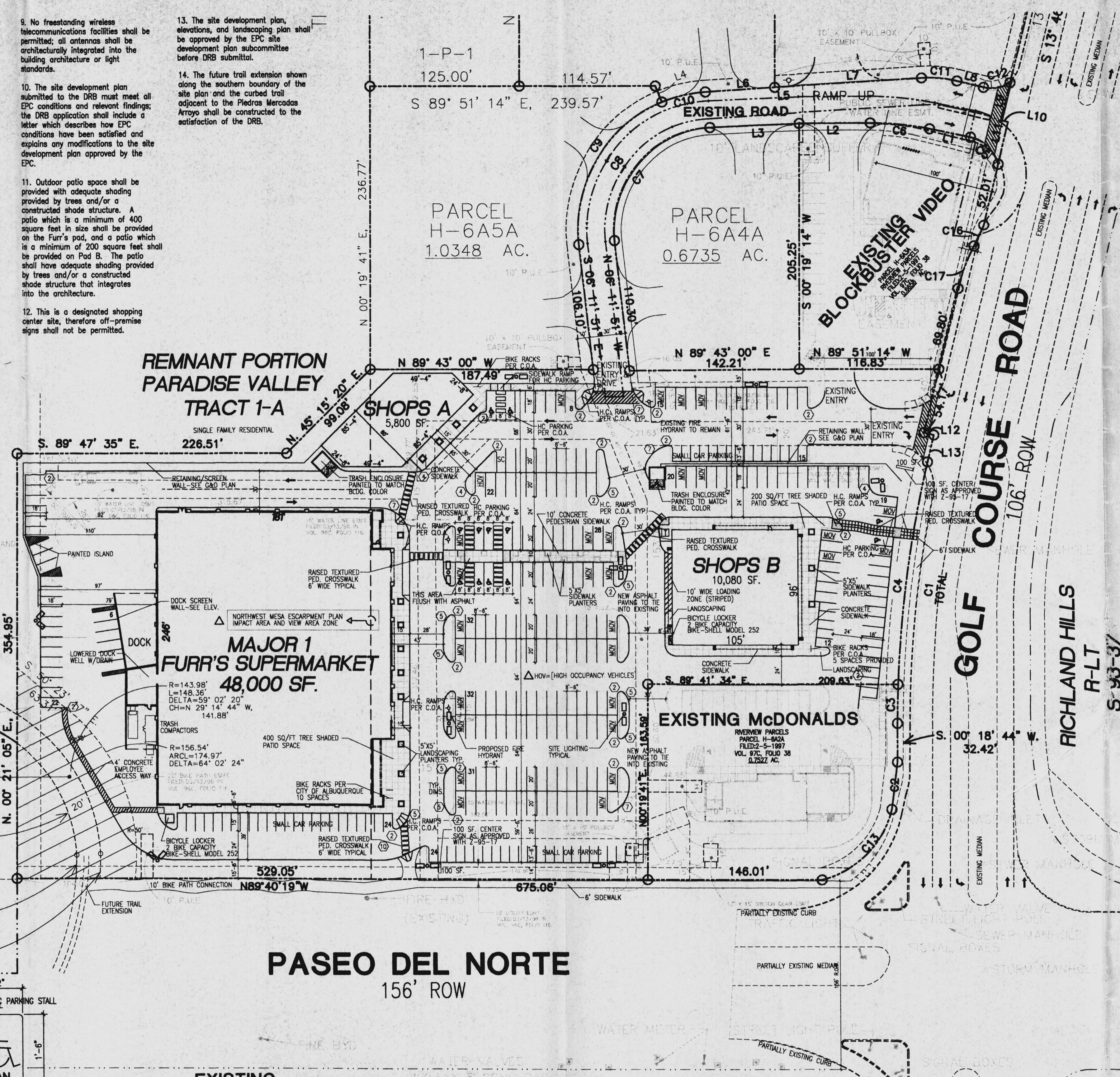


CONDITIONS:

- The following Public Works conditions shall be met before final DRB sign off:
 - Inclusion of a note on the site plan which states that direct access onto Paseo del Norte is prohibited.
 - The implementation of and / or monetary contributions for mitigation measures required subsequent to the IS negotiations must be done by the developer and accepted by the City prior to site plan sign-off by the DRB.
 - Dedication of right-of-way for and construction of the Piedras Marcadas Trail.
 - Dedication of 78 feet of right-of-way for Paseo del Norte.
 - Construction of required pavement, median, curbs, gutters and 6 foot sidewalk on Paseo del Norte.
 - Provision of a 30 foot setback from the front facade of the all building to the drive aisle or parking area. The sidewalk shall be shaded with portals, canopies or shade trees.
 - Provide a minimum of 15 foot sidewalk and landscape area along the entire east front of Furr's. The sidewalk shall be shaded with portals, canopies or shade trees at 20 to 30 feet on center in 5 foot by 5 foot planters.
- The following changes shall be made to the site plan, to the satisfaction of the Planning Department, before final DRB sign-off:
 - 70% of the building materials shall be split faced CMU block, as is consistent with the "Pod Architecture Standards."
 - A note shall be added to the elevations which indicates that all guidelines of the "Pod Architecture Standards" shall be followed.
 - A note shall be added to the "Pod Architecture Standards" which states vinyl coated plastic reflective type awnings shall not be permitted.
- The following site plan related changes shall be made to the site development plan for building permit before final DRB sign off:
 - Designation of 10% of the parking spaces for multiple occupancy vehicles. The multi-occupancy vehicles should be in shaded areas or areas otherwise considered to be preferred parking.
 - Indication of the boundaries of the Northwest Mesa Escarpment Plan Impact Area and View Area overlay zones.
 - A note which indicates that lighting shall have the minimum effect upon adjacent residential areas.
 - Provide dimensions of all major site elements, including all sidewalks and pedestrian paths.
 - Revision or elimination of parking spaces on the west side of the site, behind the Furr's supermarket building.
- The drive aisle/parking/landscape configuration on the south side of the Furr's building shall be revised to avoid vehicle overhang. The sidewalk along the south side of Furr's shall be a minimum of 6 feet wide and shall include a connection to the trail along Paseo del Norte.
- The following pedestrian related changes shall be made to the site plan, to the satisfaction of the Planning Department, before final DRB sign off:
 - Provision of sidewalks to the parking spaces on the west and south side of Furr's.
 - Revise the pedestrian path between the Furr's and Shop B to make it handicap accessible and consistent with the landscaping plan.
 - There shall be a minimum 15 foot wide sidewalk and landscape area setback from the front facade of the all building to the drive aisle or parking area. The sidewalk shall be shaded with portals, canopies or shade trees.
 - Provide a minimum of 15 foot sidewalk and landscape area along the entire east front of Furr's. The sidewalk shall be shaded with portals, canopies or shade trees at 20 to 30 feet on center in 5 foot by 5 foot planters.
- The following changes shall be made to the elevations, to the satisfaction of the Planning Department, before final DRB sign-off:
 - 70% of the building materials shall be split faced CMU block, as is consistent with the "Pod Architecture Standards."
 - A note shall be added to the elevations which indicates that all guidelines of the "Pod Architecture Standards" shall be followed.
 - A note shall be added to the "Pod Architecture Standards" which states vinyl coated plastic reflective type awnings shall not be permitted.
- The following bike related changes shall be made to the site plan, to the satisfaction of the Planning Department, before final DRB sign off:
 - Provisions for lockers and showers in the supermarket.
 - Inclusion of a bicycle locker between the supermarket and Shop B.
 - Placement of bicycle racks (at least 10 spaces) located on the east side of Furr's, near the trail connection.
- The following site plan related changes shall be made to the site development plan for building permit before final DRB sign off:
 - Designation of 10% of the parking spaces for multiple occupancy vehicles. The multi-occupancy vehicles should be in shaded areas or areas otherwise considered to be preferred parking.
 - Indication of the boundaries of the Northwest Mesa Escarpment Plan Impact Area and View Area overlay zones.
 - A note which indicates that lighting shall have the minimum effect upon adjacent residential areas.
 - Provide dimensions of all major site elements, including all sidewalks and pedestrian paths.
 - Revision or elimination of parking spaces on the west side of the site, behind the Furr's supermarket building.
- Building massing shall avoid a large dominant building mass. The building massing shall be modified to be compatible with the surrounding area and to portray depth and shadow. Changes may relate to entrances, the integral structure and/or the organization of interior spaces and activities.
- The following changes to the landscaping plan shall be made to the satisfaction of the Planning Department, before final DRB sign off:
 - Provision of trees along Paseo del Norte in compliance with the street ordinance.
 - The landscape buffer along the west side, adjacent to the residential property, shall consist primarily of trees at least eight feet high at the time of planting and capable of reaching a height at maturity of at least 25 feet. Spacing of the trees shall be equal to 75% of the mature canopy diameter of the trees.
 - Revision of the landscaping on the pedestrian path between Furr's and Shop B such that it is consistent with the site development plan and that it is handicap accessible.
 - The landscaping palette shall be consistent with that of the Northwest Mesa Escarpment Plan.
 - Provision of street trees / landscaping in the areas between the curb and the sidewalks along Paseo del Norte and Golf Course Road.
- The grading and drainage plan must be approved by the City Engineer before final DRB sign-off.
- A water availability statement from New Mexico Utilities, Inc. must be approved by the Public Works Department before final DRB sign off. Required infrastructure must be financially guaranteed prior to site plan and or plot approval by the DRB. All public infrastructure must be designed to City of Albuquerque standards, including water and/or sanitary sewer lines owned and operated by NMUJ.
- No freestanding wireless telecommunications facilities shall be permitted; all antennas shall be architecturally integrated into the building architecture or light standards.
- The site development plan submitted to the DRB must meet all EPC conditions and relevant findings; the DRB application shall include a letter which describes how EPC conditions have been satisfied and explains any modifications to the site development plan approved by the EPC.
- Outdoor patio space shall be provided with adequate shading provided by trees and/or a constructed shade structure. A patio which is a minimum of 400 square feet in size shall be provided on the Furr's pad, and a patio which is a minimum of 200 square feet shall be provided on Pad B. The patio shall have adequate shading provided by trees and/or a constructed shade structure that integrates into the architecture.
- This is a designated shopping center site, therefore off-premise signs shall not be permitted.
- The site development plan, elevations, and landscaping plan shall be approved by the EPC site development plan subcommittee before DRB submittal.
- The future trail extension shown along the southern boundary of the site plan and the curbed trail adjacent to the Piedras Marcadas Arroyo shall be constructed to the satisfaction of the DRB.



LEGAL DESCRIPTION:
 PARCEL H-6A1A OF RIVERVIEW PARCELS, LOCATED ON THE NORTHWEST CORNER OF GOLF COURSE ROAD AND PASEO DEL NORTE, ALBUQUERQUE, NM.

CURRENT ZONING: SU-1 FOR IP USES W/EXCEPTIONS

TOTAL ACREAGE: 6.49 AC.
ZONE ATLAS: C-12-Z

BUILDING AREA & PARKING CALCULATIONS:

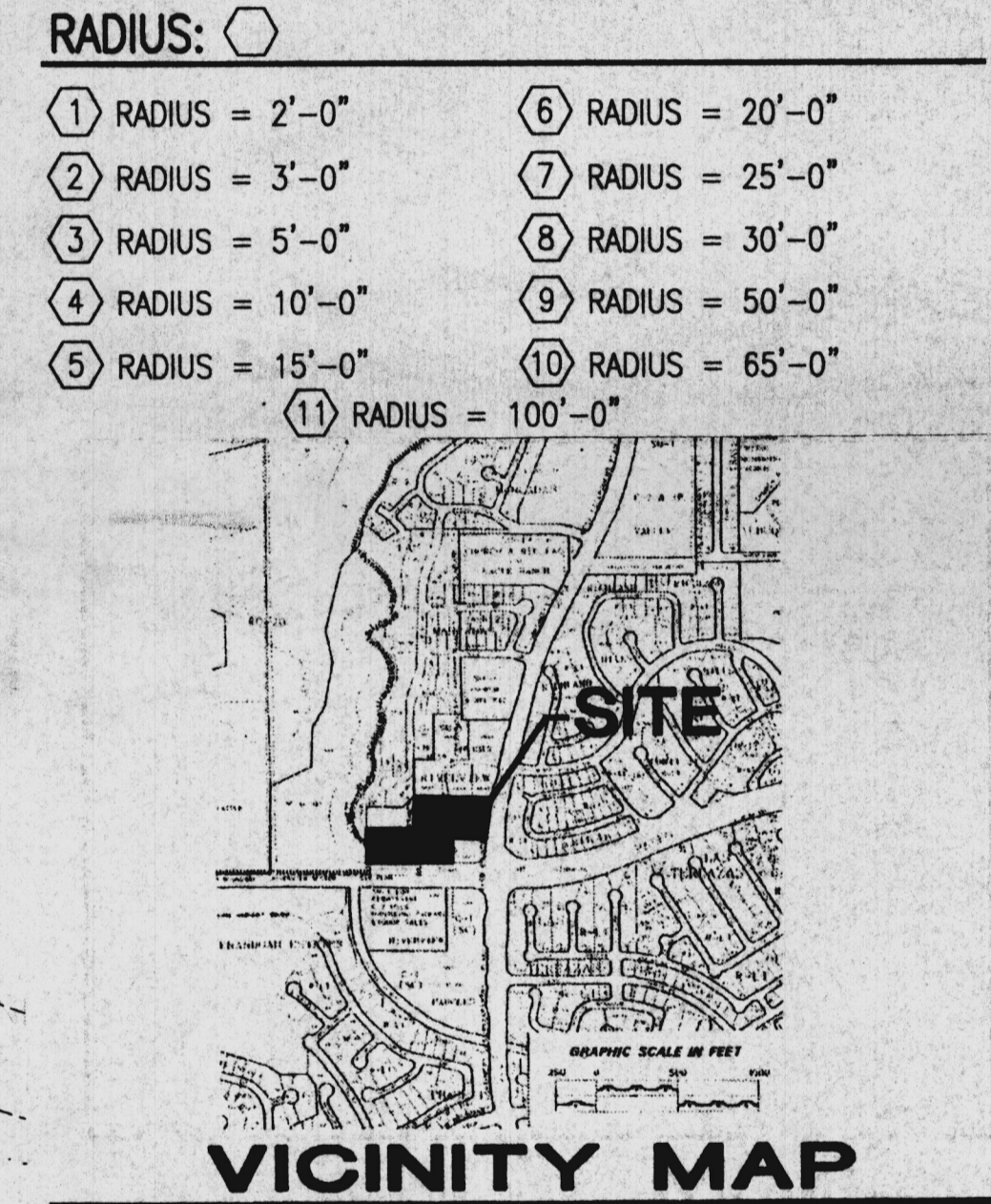
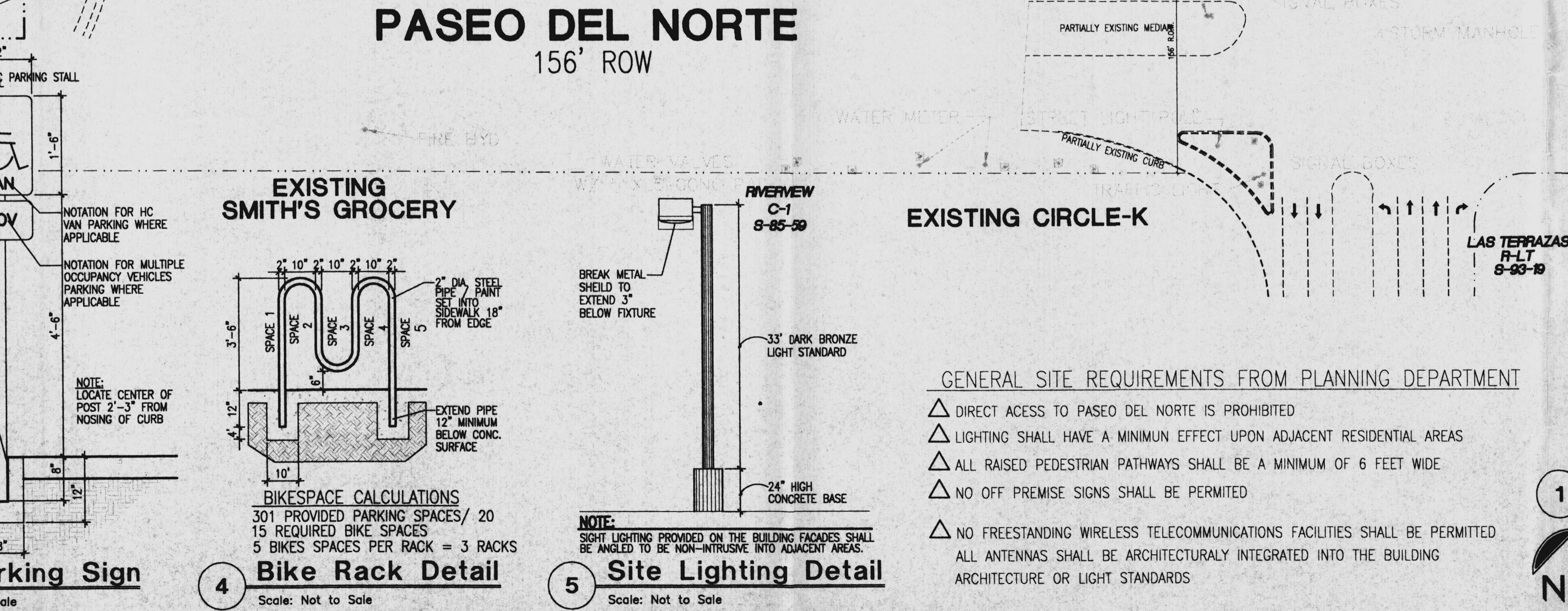
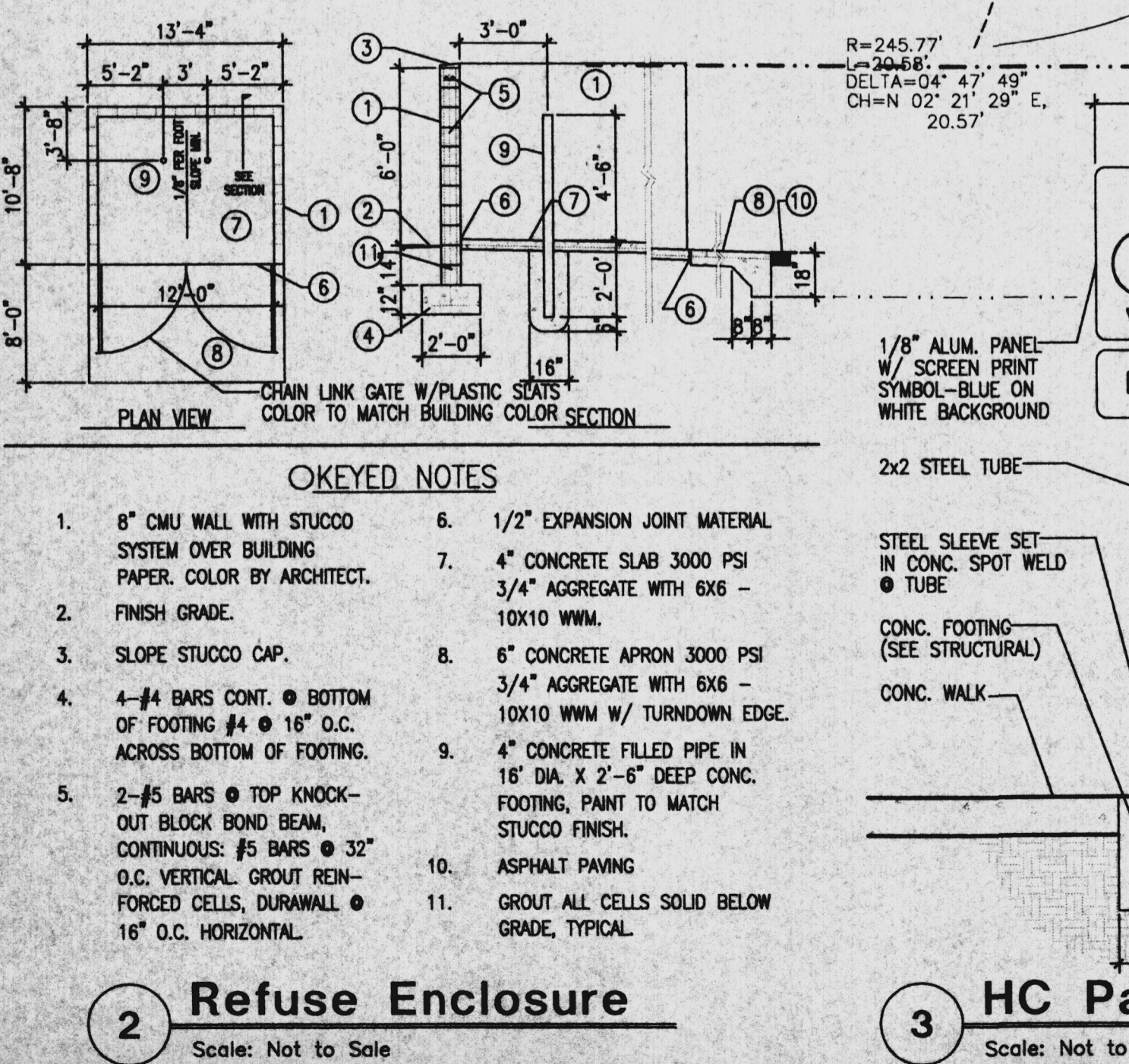
BUILDING AREA	SPACES
FURR'S (MAJOR 1)	48,000 SF./ 200= 240 SPACES
SHOPS A	5,800 SF./ 200= 29 SPACES
SHOPS B	10,080 SF./ 200= 50 SPACES
TOTALS	319 SPACES

PARKING NOTES:

- TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"
- TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"
- TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 8' WIDE ACCESS AISLE
- * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

RADIUS:

① RADIUS = 2'-0"	⑥ RADIUS = 20'-0"
② RADIUS = 3'-0"	⑦ RADIUS = 25'-0"
③ RADIUS = 5'-0"	⑧ RADIUS = 30'-0"
④ RADIUS = 10'-0"	⑨ RADIUS = 50'-0"
⑤ RADIUS = 15'-0"	⑩ RADIUS = 65'-0"
	⑪ RADIUS = 100'-0"



EPC CASE # 2-99-11 DRB CASE # 2000-4-4

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 02-28-2000, 7-1-1999 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	6/28/00	Date
Parks and General Services Department	6/28/00	Date
Public Works, Water Utilities Division	7/12/00	Date
City Engineer, Engineering Division / AMAFCA	7-25-00	Date
City Planner, Albuquerque / Bernalillo County Planning Division	8/18/00	Date
Solid Waste	7/31/00	Date
New Mexico Utilities		Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Application # 00450-00000-00525

Site Plan For Building Permit

Scale: 1"=50'-0"

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REVISION

REV	DATE	BY	DESCRIPTION
1	8/14/2000	MS	PER CITY REVIEW COMMENTS
2	5/9/00	SD	CONDITIONS PER FINAL DRB SIGN OFF (02-99-11)
3	4/10/00	SD	PER CITY REVIEW COMMENTS (02-99-11)
4	10/12/00	MS	PER CITY REVIEW COMMENTS (02-99-11)

PROJECT TITLE: Furr's Supermarket Inc. Golf Course Road and Paseo del Norte Albuquerque, New Mexico

PROJECT MANAGER: George Rainhart, AIA

DRAWN BY: SD

JOB NO.:

SHEET TITLE: Site Plan

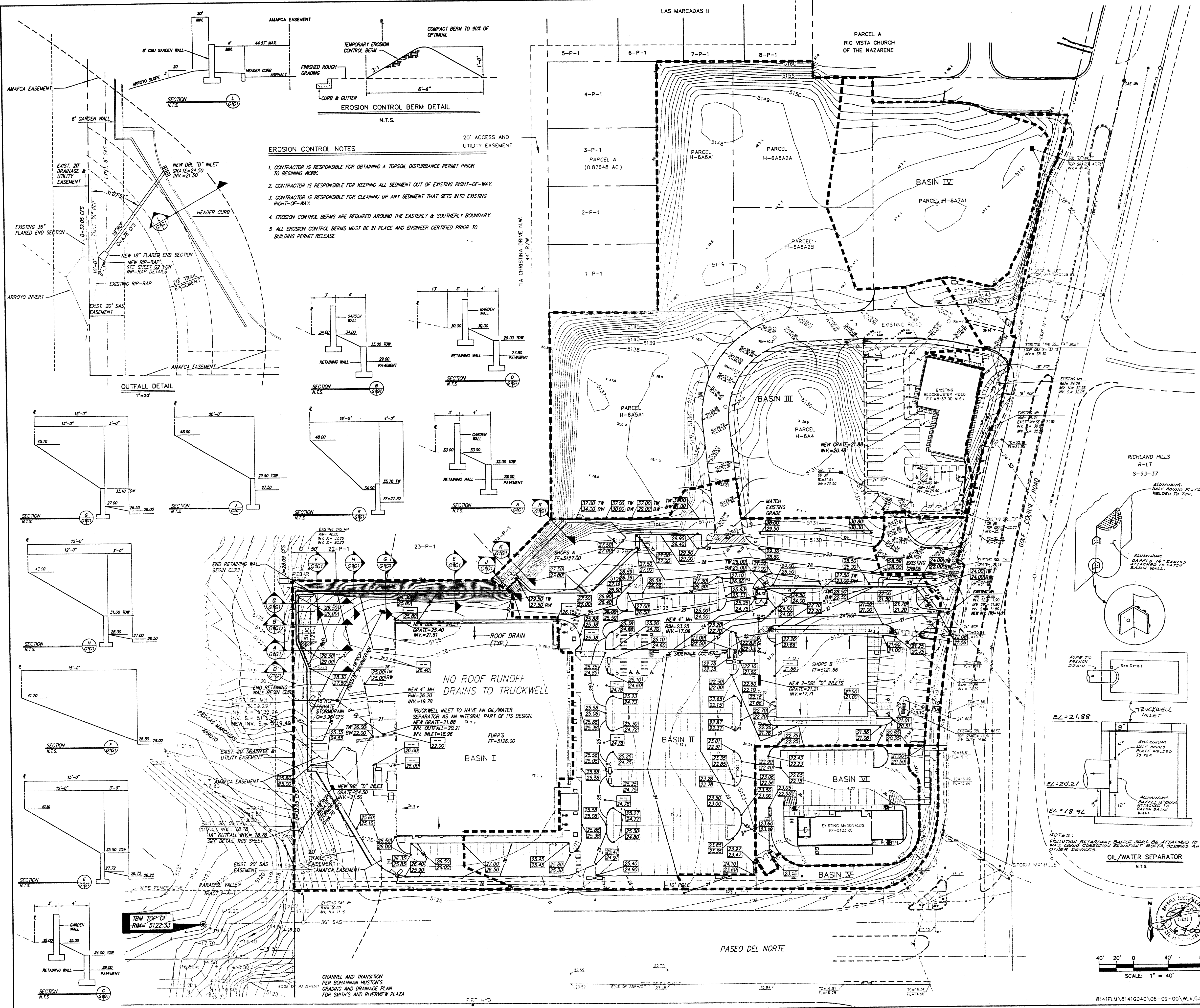
DATE: 5/12/00

SCALE: 1"=50'-0"

SHEET: C1

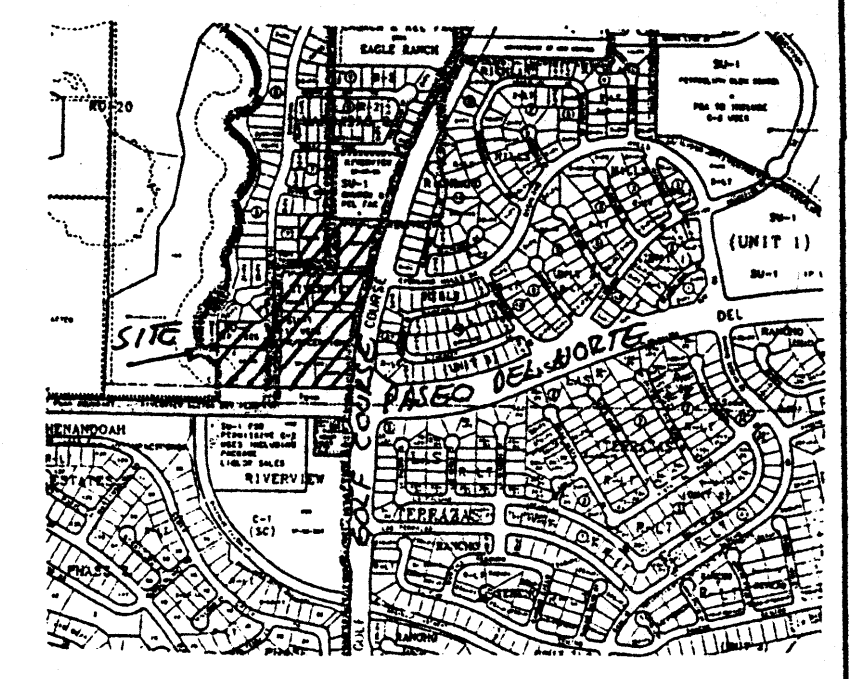
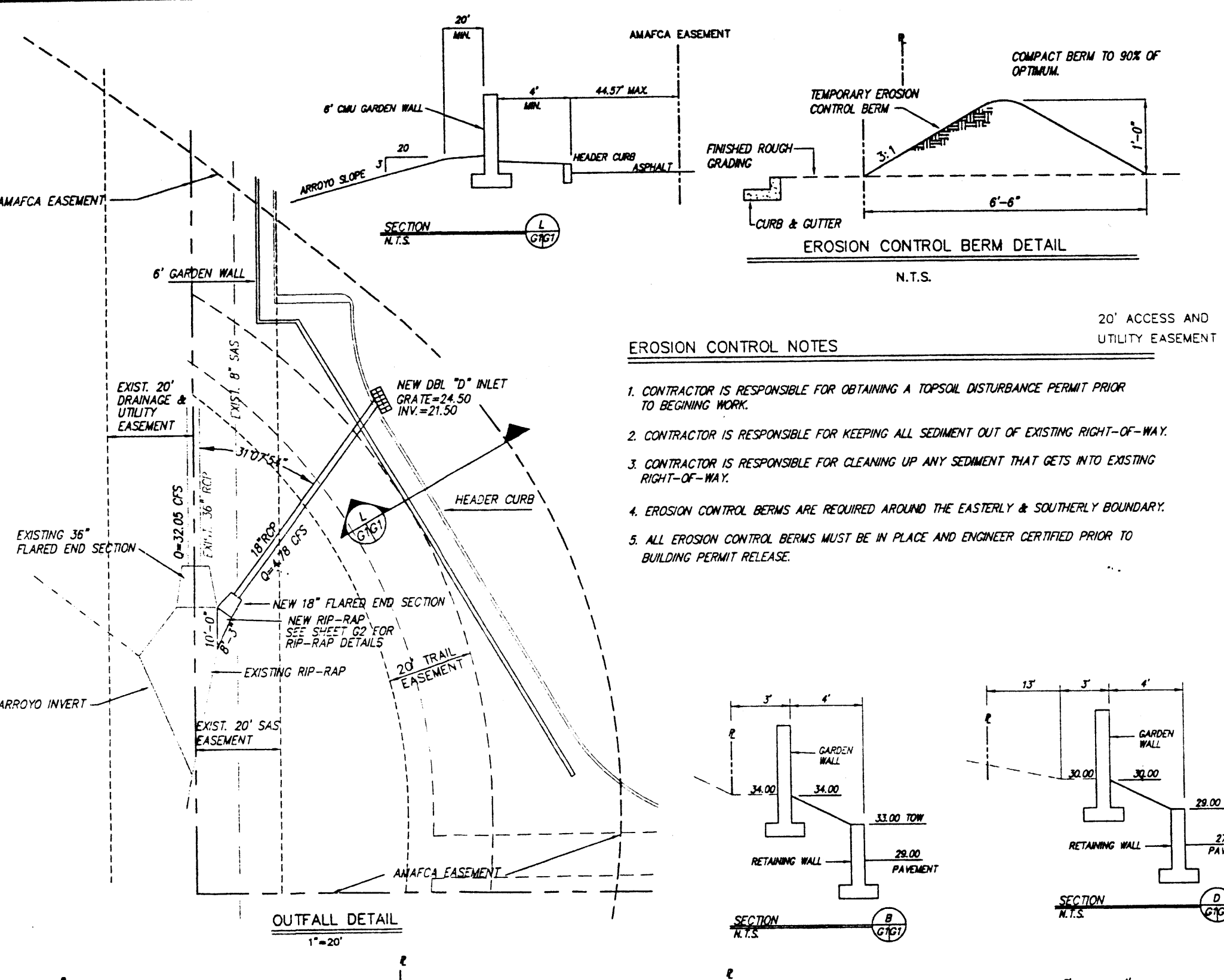
of:

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE EASTERLY & SOUTHERLY BOUNDARY.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



VICINITY MAP ZONE MAP: C-12-Z

ACS BENCHMARK

STATION IS A STANDARD CORPUS OF ENGINEERS METAL TABLE SET IN A CONCRETE POST, 0.75 FT. ABOVE THE GROUND, STAMPED "ALAMEDA B NO 2, ALBUQUERQUE DISTRICT, 1950".

X=373,513.20 Y=1,520,142.81 Z=5058.25

TM

SANITARY SEWER MANHOLE RIM AT THE SOUTHWEST CORNER OF PROPERTY IN PASO DEL NORTE RIGHT-OF-WAY. EL. = 5122.33

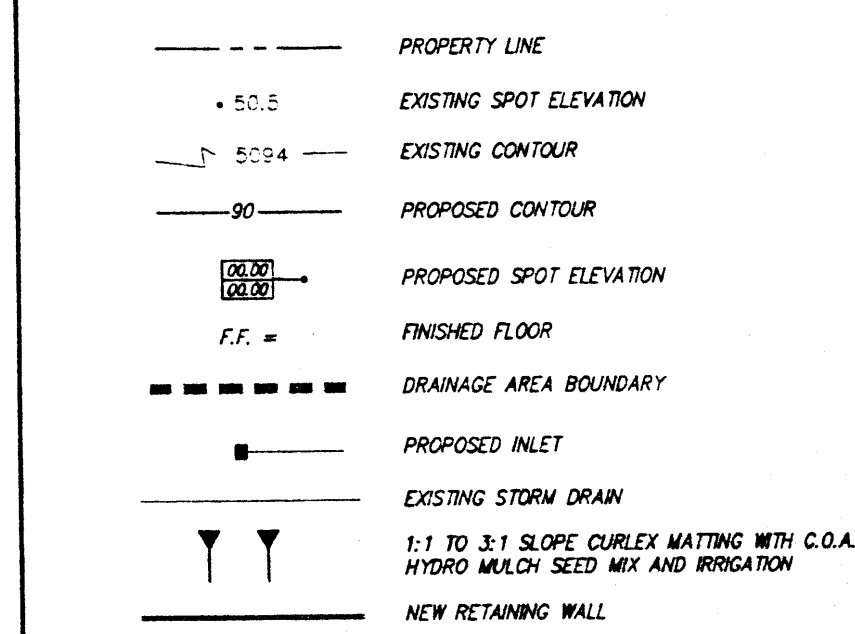
LEGAL DESCRIPTION

RIVERVIEW PARCEL H-6A1A.

NOTES

1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. NO-OFFSITE FLOWS ENTER THIS SITE.
3. TYPE "D" CATCH BASIN PER CITY STD. DWG. 2206.
4. ALL LANDSCAPE AREAS ADJACENT TO BUILDING TO BE GRADED SUCH THAT ROOF RUNOFF DOES NOT POND.
5. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
6. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
7. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DIST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
8. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMP. BERMS AS PER DET. THIS SHD. AND WEEDING THE SOIL TO KEEP IT FROM BLOWING.
9. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
10. ALL CONCRETE CURBING TO BE 4000 P.S.I. @ 28 DAYS.
11. SEE OFFSITE PLANS FOR GOLF COURSE ROAD DESIGN.
12. LIMITS OF CONSTRUCTION WITHIN THE MONUMENT NEED TO BE STAKED PRIOR TO SOIL DISTURBANCE FOR NATIONAL PARK INSPECTION.
13. A SPECIAL USE PERMIT IS REQUIRED PRIOR TO ANY SOIL DISTURBANCE WITHIN THE MONUMENT.
14. THE REMOVAL/REPLACEMENT OF ANY MONUMENT BOUNDARY FENCE MUST BE COORDINATE WITH THE OPEN SPACE DIVISION (873-8830)
15. REFER TO VINHARD AND ASSOCIATES SOIL STABILIZATION REPORT DATED DECEMBER 1, 1994 FOR SOIL CEMENT RECOMMENDATION FOR THE 1:1 TO 3:1 SLOPE AREAS.

LEGEND



Design: *Romels Rip* 6/16/00 DATE

FURR'S LAS MARCADAS SHOPPING CENTER GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
 P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200

Designed: GJK Drawn: MLV Checked: DMG Sheet: G1
 Scale: 1" = 40' Date: 12/94 Job: 9814

E:\ALBUQUERQUE\BUDGET\BUDGET\BUDGET.DWG Thu Jun 15 16:45:00 0. MARK GOODWIN AND ASSOCIATES (PUBLISHED BY STATE) HP: FURR'S LAS MARCADAS SHOPPING CENTER GRADING & DRAINAGE PLAN (PLOT) REVISED: 6/16/00 4.3.1 - TOP ANNOTATION BY HP

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	266,896	square feet
TOTAL BUILDINGS AREA	63,880	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	203,016	square feet
LANDSCAPE REQUIREMENT	.15	percent
TOTAL LANDSCAPE REQUIREMENT	30,453	square feet
TOTAL LANDSCAPE PROVIDED		
TOTAL BED PROVIDED	34,586	square feet
TOTAL SOO PROVIDED	12,018	square feet
TOTAL SOO PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	22,568	square feet

PLANT LEGEND

	SHADE TREE 65 2" Cal
	EVERGREEN TREE 10 6"-8"
	ORNAMENTAL TREE 11 2" Cal
	DESERT WILLOW 33 Chilopsis linearis 15 GAL
	INDIAN HAWTHORN (M) 61 Raphiolepis indica 5 gal
	BLUE MIST (M) 60 Caryopteris spp. 5 gal
	OREGON GRAPE HOLLY (M) 57 Mahonia aquifolium 5 gal
	AUTUMN SAGE (M) 59 Salvia greggii 1 gal
	CHAMISA (L) 39 Chrysothamnus nauseosus 1 gal
	WILDFLOWER 24 1 gal
	TAM JUNIPER (M) 75 Juniperus sabina 5 gal
	SAN ANA TAN GRAVEL w/ FILTER FABRIC
	CRIMP STRAW/NATIVE SEED

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Paseo Del Norte
Required #17	Provided #17
Name of Street	Golf Course Rd.
Required #7	Provided #7

REV	DATE	BY	REVISION
1	5/9/00	SD	CONDITIONS PER FINAL DRB SIGN (P/C-89-11)
2	4/10/00	SD	PER CITY REVIEW COMMENTS (7-99-11)
3	10/12/98	MMS	PER CITY REVIEW COMMENTS (7-99-11)

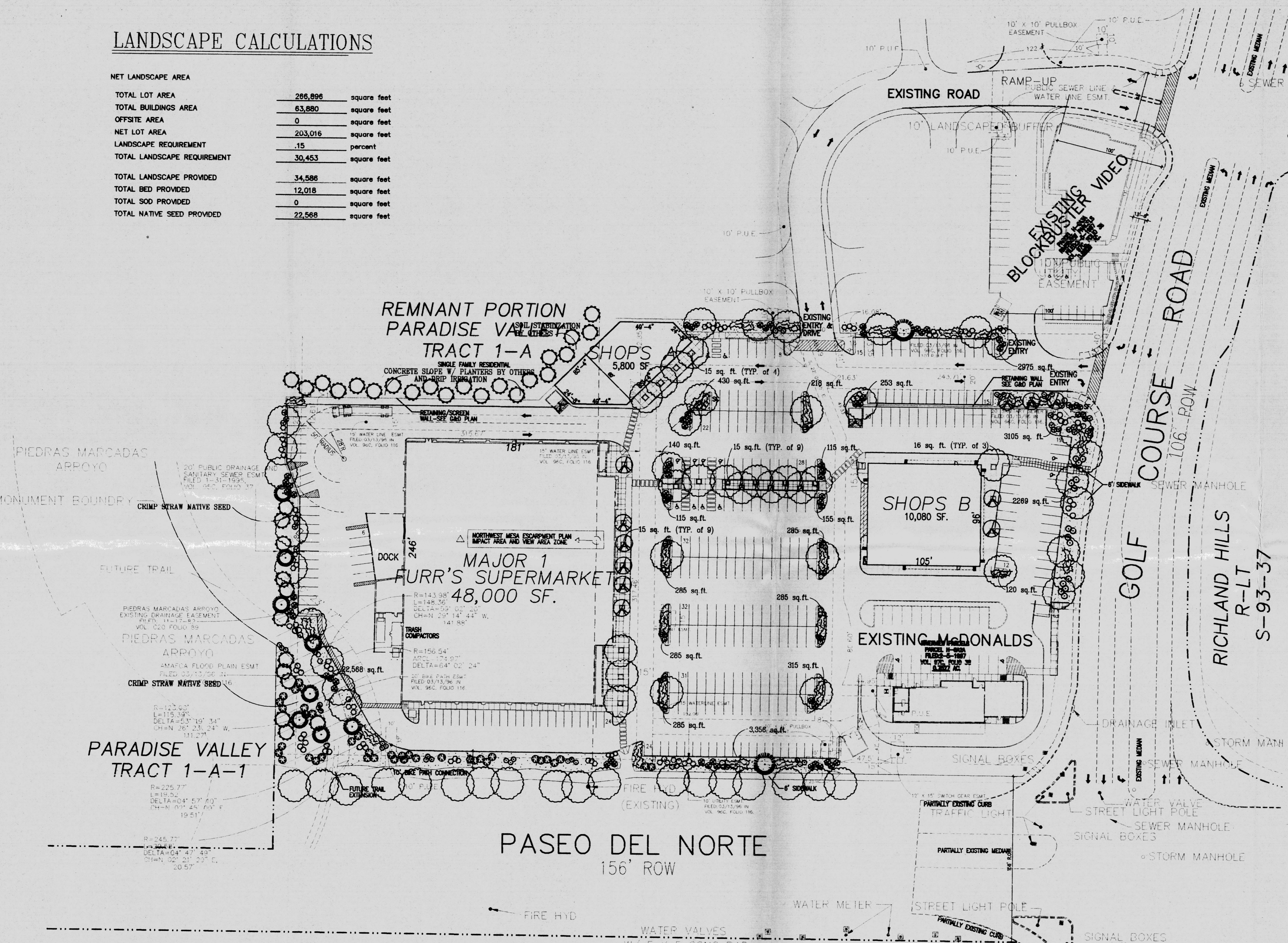
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 2325 SAN PEDRO N.E., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 884-9110

The Hilltop
 Cont. Lic. #28458
 7905 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-0890
 Fax (505) 898-7737
 thilltoplandscaping.com

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PROJECT TITLE: Furr's Supermarket Inc.
 PROJECT MANAGER: George Rainhart, AIA
 DRAWN BY: [Blank]
 SHEET TITLE: Landscaping Plan

DATE:	5/12/00	SHEET:	1
SCALE:	1"=50'-0"	OF:	1



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" San Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

All plant material shall match that which is specified in the West Mesa Escarpment Plan.

EXISTING SMITH'S GROCERY

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters
 Shrubs to receive (2) 1.0 GPH Drip Emitters
 Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

EXISTING CIRCLE-K

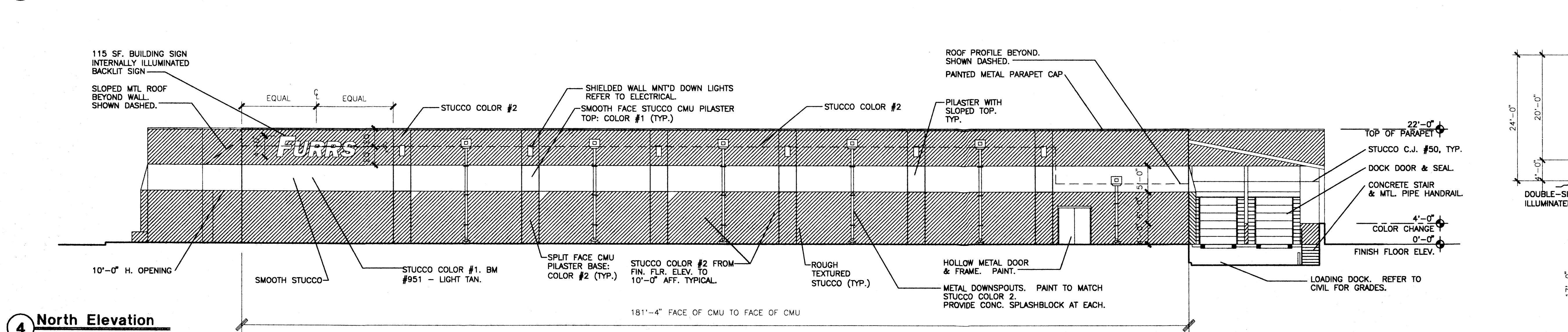
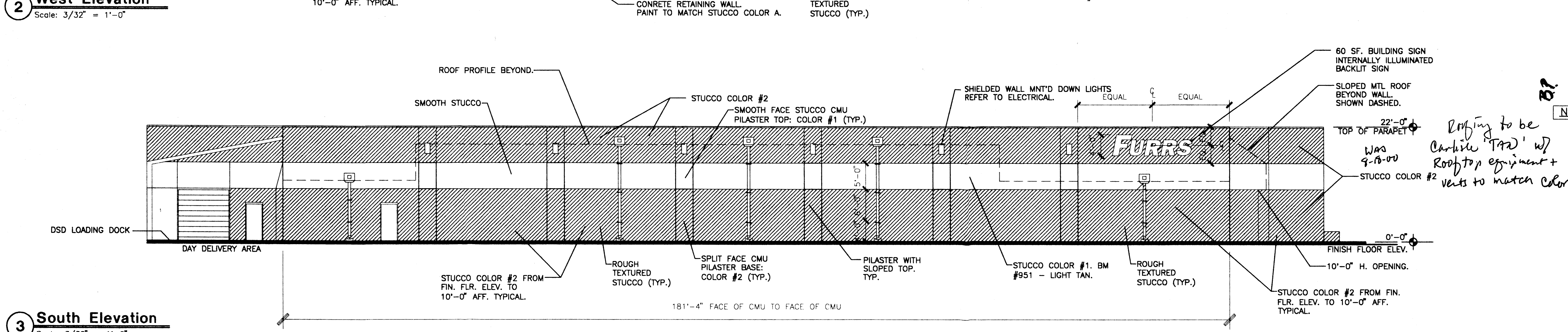
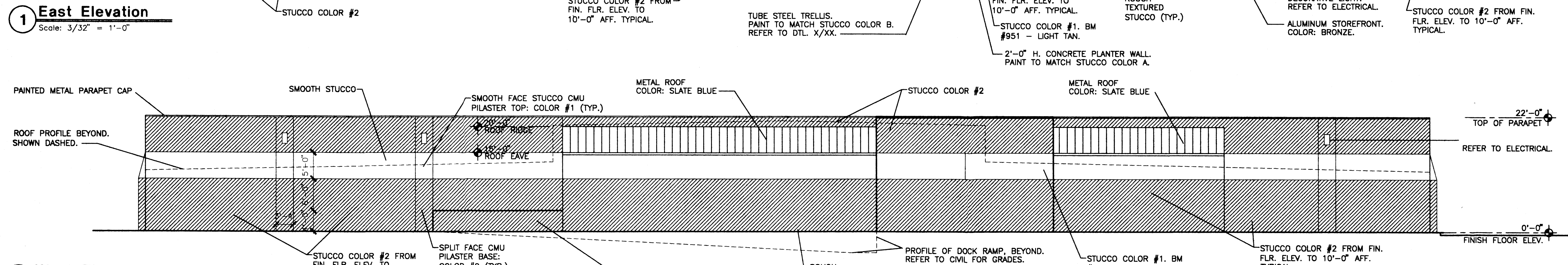
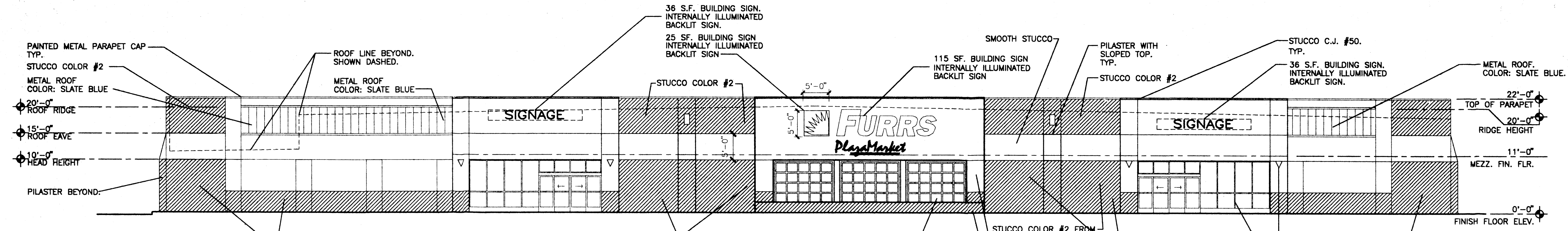
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

1 Landscaping Plan
 Scale: 1"=50'-0"





NOTE: ALL GUIDELINES OF PAD ARCHITECTURAL STANDARDS SHALL BE FOLLOWED

GENERAL REQUIREMENTS

GENERAL ARCHITECTURE CHARACTER FOR PAD STRUCTURES IS TO FOLLOW THE GENERAL DESIGN CONCEPT DEPICTED ON THE ATTACHED EXHIBIT SHEETS. STRUCTURES FOR PAD BUILDINGS TO MATCH COLOR #1. THE BUILDING EXTERIOR BELOW FINISH FLOOR THAT AREA WILL ALSO BE COVERED WITH COLOR #1. BUILDING EXTERIOR IS PREDOMINANTLY FLAT-ROOFED. HOWEVER, PARTIAL BUILDING MASS MAY HAVE SLOPED ROOFS. THESE ROOFS ARE TO BE SPECIFIED AND THE HIGH POINT OF THE ROOF MUST NOT EXCEED THE MAIN BUILDING WALL BELOW THE TOP OF THE MAIN BUILDING PARAPET. HEIGHTS FOR THE MAIN BUILDING WALL OF THE PAD SITE PLAN. THE CITY OF ALBUQUERQUE PERMIT WILL BE DELEGATED TO THE CITY OF ALBUQUERQUE PLANNING STAFF.

PAD ARCHITECTURAL DESIGN STANDARDS

SHALL INCLUDE THE FOLLOWING ELEMENTS TO PROVIDE A UNIFORM STANDARD FOR ALL PADS:

- SEVENTY PERCENT OF THE AREA OF EXTERIOR WALLS AND LANDSCAPING WALLS SHALL BE FOUR OR EIGHT INCH SPLIT FACE CMU.
- FOUR OR EIGHT INCH SPLIT FACE OR ACCENT BLOCK TO A MAXIMUM LINE ENCLOSURE.
- CMU OR STUCCO FASCIAS (STUCCO SHALL BE MINIMAL).
- SHALL BE DESIGNED IN INTERLOCKING HORIZONTAL BANDING MIXING COLORS ONE AND TWO.

MECHANICAL EQUIPMENT SCREENING

ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT OF WAY. IN ADDITION, IT IS DETERMINED THAT MECHANICAL EQUIPMENT CAN BE OBSERVED FROM THE HOUSING RESIDENTIAL AREA WEST OF THE PROPOSED SCREENING PER THE ATTACHED CONCEPTUAL SKETCH IS REQUIRED.

COLOR PALLET

COLOR #1 LIGHT TAN BENJAMIN MOORE 1121
COLOR #2 MEDIUM DARK TAN DADO BAND BASE WALL BENJAMIN MOORE 951
COLOR #3 SLATE BLUE GRAY METAL ROOFING TRIM ANODIZED BRONZE

BUILDING SIGNAGE

EXCEPT AS NOTED UNDER AWNINGS ALL SIGNAGE WILL BE CHANNEL LETTERS. LETTERING MUST BE 3/4" HIGH. NO SIGN SHALL BE PLACED ON ADJACENT WALLS OR ADJACENT RESIDENTIAL AREA. LETTERS ARE TO BE INTERNALLY ILLUMINATED. EXPOSED NEON IF USED MUST BE WITHIN CHANNEL LETTERING. CAN LETTERS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH A SPECIFIC TENANT ARE TO BE PROVIDED IN NON-LAMINATED FASHION FOR SPECIFIC APPROVAL.

LANDSCAPING

LANDSCAPING OF THE PADS WILL BE FROM THE SAME LANDSCAPE PALLET AND CONCEPT AS PROVIDED ON THE MASTER LANDSCAPE PLAN.

NOISE CONTROL

PAD STRUCTURES THAT ARE ADJACENT TO THE RESIDENTIAL AREAS ARE SPECIFICALLY REQUIRED TO PROVIDE INFORMATION REGARDING MITIGATION OF NOISE GENERATING EQUIPMENT ASSOCIATED WITH OPERATION OF THE FACILITY.

REFLECTIVE SURFACES

REFLECTIVE AND/OR SHINY MATERIALS ARE PROHIBITED FROM USE.

AWNINGS

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINTED OR EXPOSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED SIX PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED IN THE AWNING. ACCENT COLORS ON AWNINGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF PROPOSED AWNING COLORS ARE TO BE PROVIDED WITH EACH SUBMITTAL. VINYL COATED PLASTIC REFLECTIVE TYPE AWNINGS SHALL NOT BE PERMITTED.

ROOF SURFACE

THE FLAT ROOF SURFACING VISIBLE FROM ADJACENT RESIDENTIAL AREA IS TO BE GRAVEL SURFACED WITH NATURAL LOCAL GRAVEL. WHITE PLASTIC FINISH IS PROHIBITED.

GLAZING

REFLECTIVE GLAZING IS PROHIBITED. BRONZE AND CLEAR TINTED GLASS IS PERMITTED.

SERVICE AREAS

SERVICE AREAS SUCH AS REUSE LOCATIONS AND COMPACTORS ARE TO BE TOTALLY SCREENED FROM VIEW FROM THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHTS OF WAY AND THE ADJACENT MONUMENT AREA. FREE-STANDING DUMPSTER LOCATIONS ARE TO BE GATED. SCREENING MATERIAL TO MATCH BUILDING WALL COLOR AND MATERIAL.

LIGHTING

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED (I.E. UNSHIELDED) LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

FINISH FLOOR

THE GRADING PLAN ESTABLISHES A MAXIMUM FINISH PAD ELEVATION FOR EACH OF THE RESPECTIVE PAD STRUCTURES. THIS ELEVATION MAY BE LOWER BUT IN NO CASE CAN IT BE HIGHER THAN THE MAXIMUM ELEVATION INDICATED. FINISH FLOOR TO BE NO GREATER THAN 8" ABOVE FINISH PAD ELEVATION.

NOTE: Roofing to be Carlisle TPO w/ rooftop equipment + vents to match color.

REV	DATE	BY	REVISION
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3			
4			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
Furr's Supermarkets INC.
Golf Course Road and Paseo Del Norte
Albuquerque, New Mexico

PROJECT MANAGER
George Rainhart, AIA

JOB NO.
98000

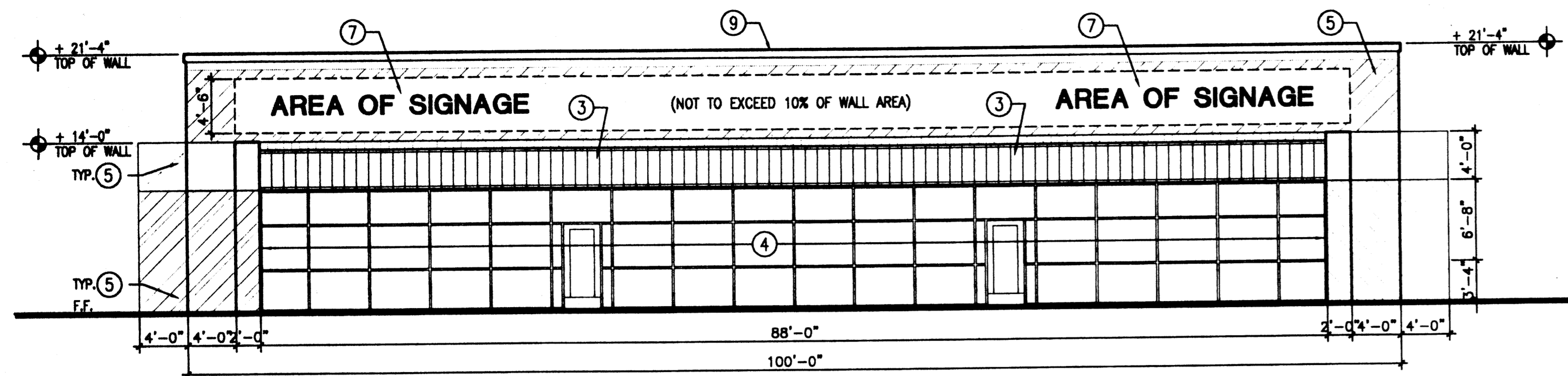
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SD

SHEET TITLE
Exterior Elevations

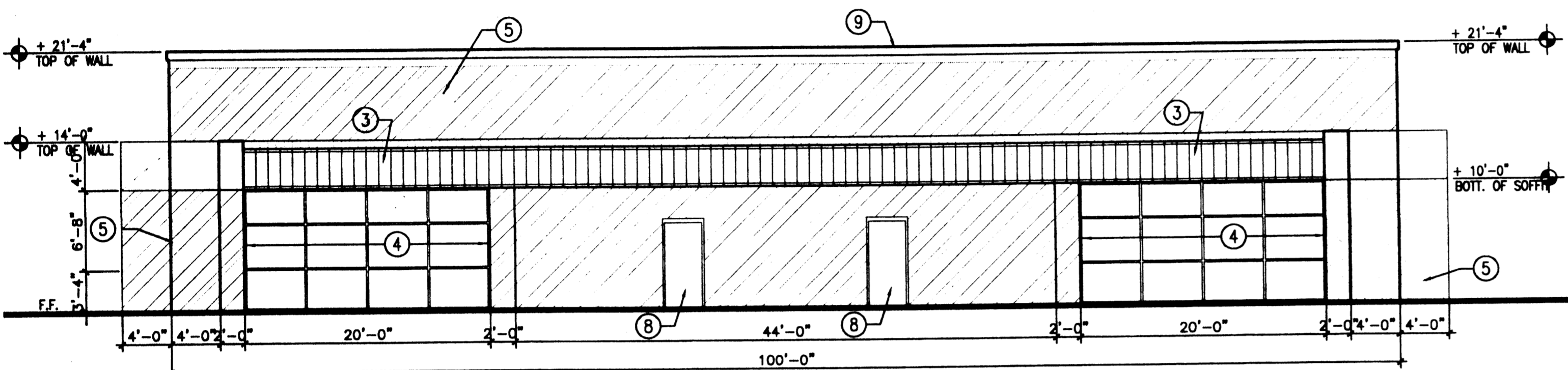
DATE:
8/1/00

SCALE:
3/32" = 1'-0"

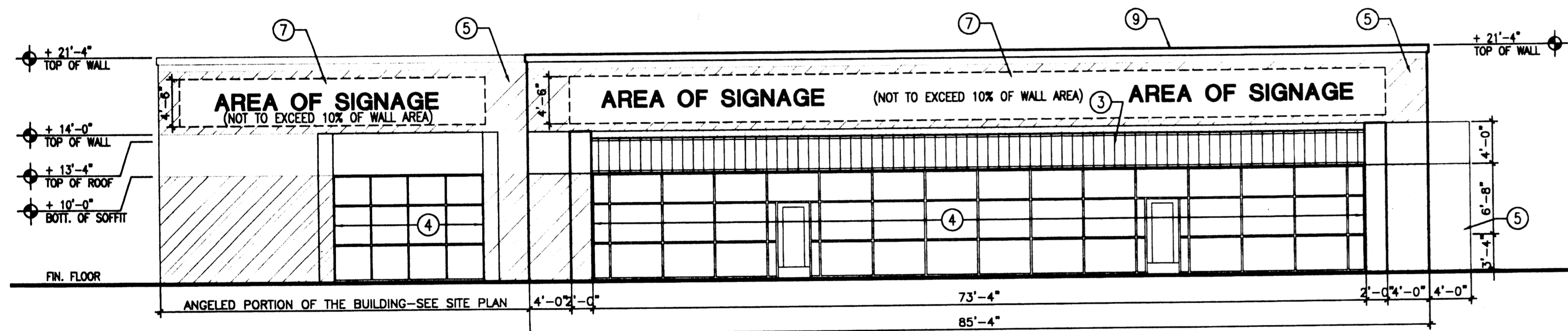
sheet:
A1



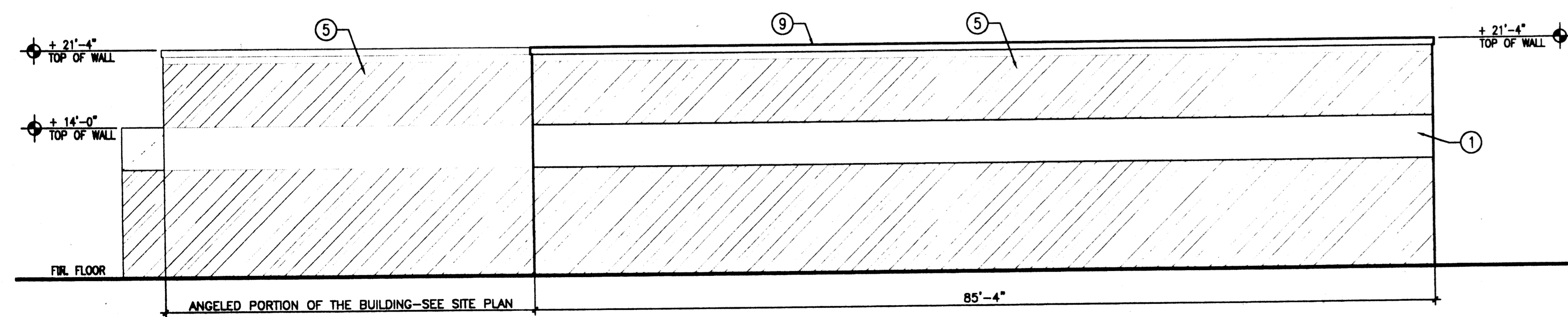
1 North, South & East Elevations
Scale: 1/8" = 1'-0"



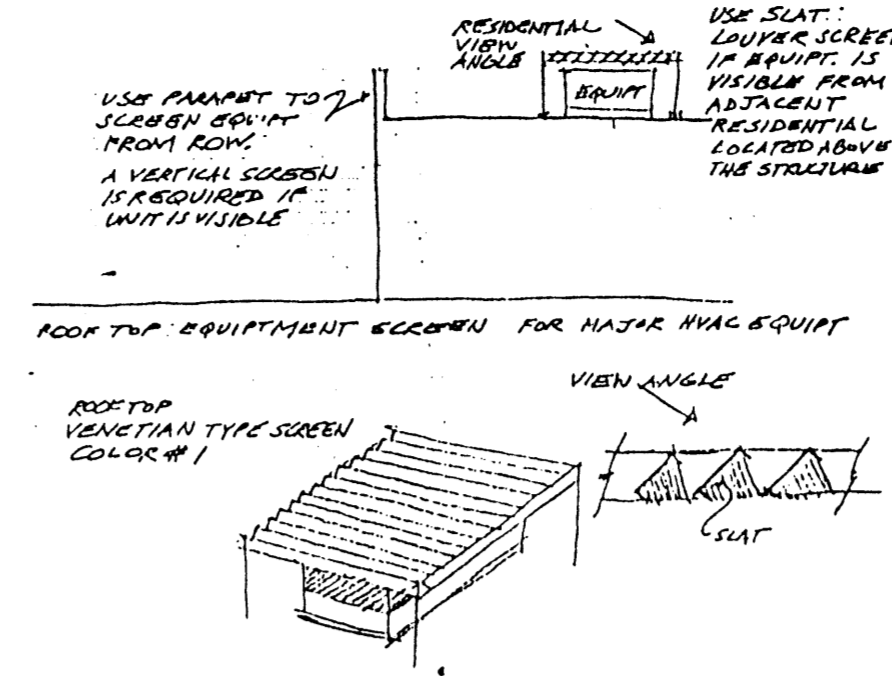
2 West Elevations
Scale: 1/8" = 1'-0"



3 East Elevation
Scale: 1/8" = 1'-0"



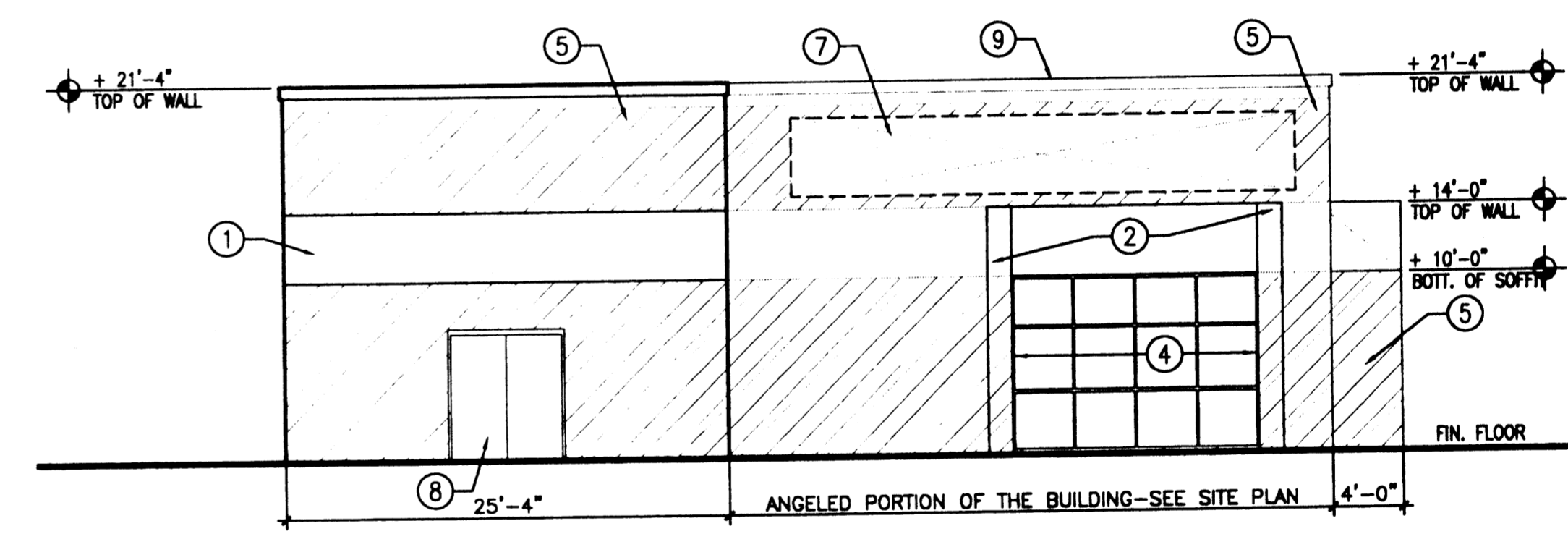
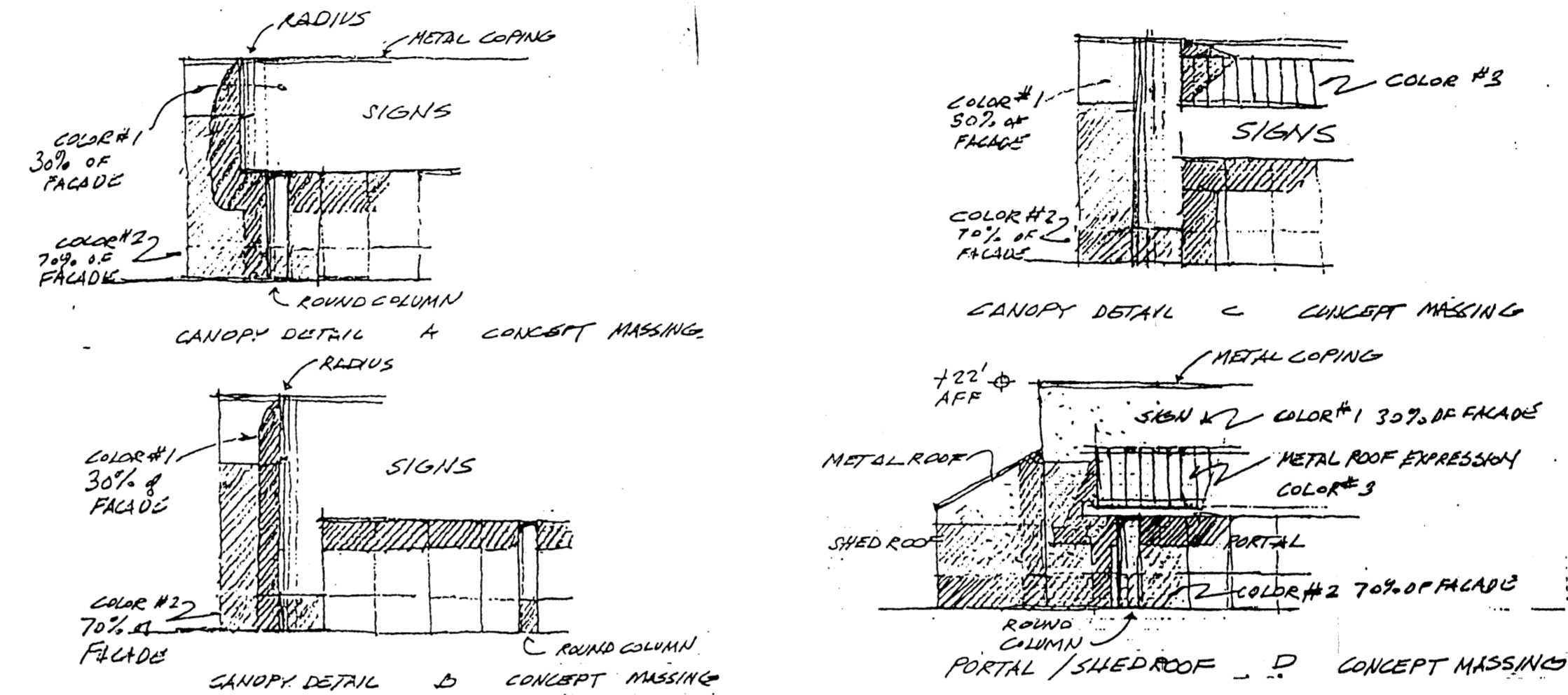
5 West Elevation
Scale: 1/8" = 1'-0"



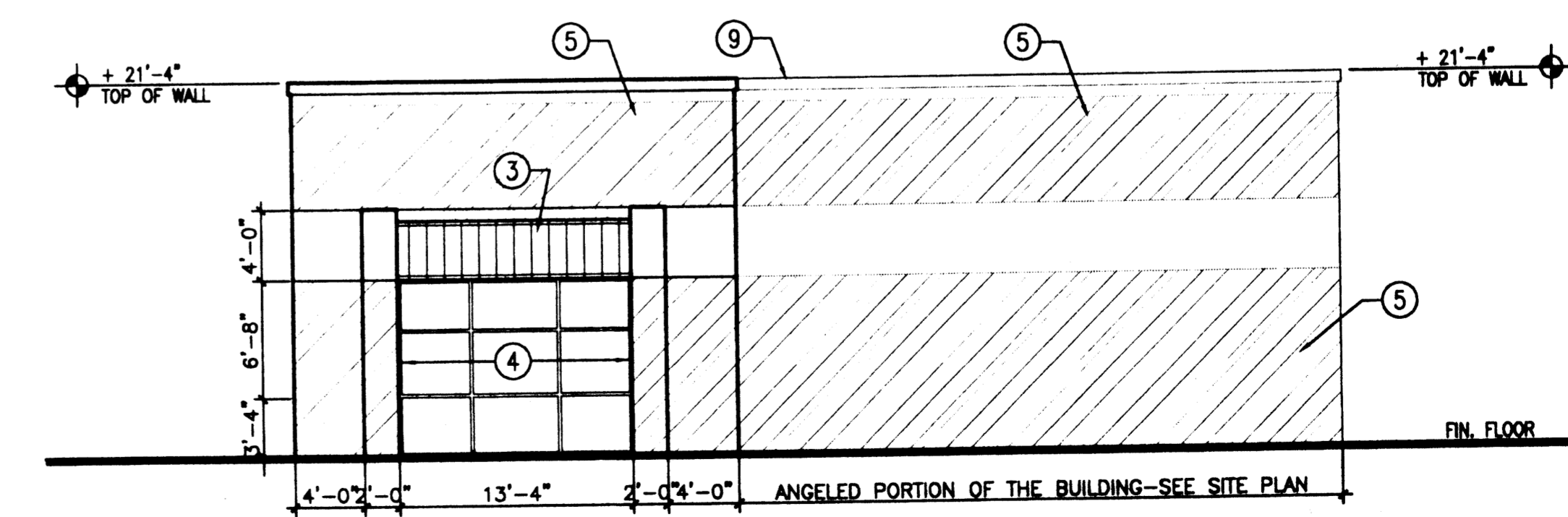
KEYED NOTES

1. LIGHT TAN COLORED CEMENTITIOUS FINISH.
2. DARK TAN COLORED CEMENTITIOUS FINISH.
3. METAL ROOF, COLOR - SLATE BLUE GRAY
4. BRONZE COLOR METAL.
5. SPLIT FACE CMU
6. NOT USED
7. INTERNALLY ILLUMINATED CHANNEL LETTERS.
8. HOLLOW METAL DOORS - PAINTED TO MATCH BUILDING COLOR.
9. BRICK CAP - PAINTED TO MATCH BUILDING COLOR.

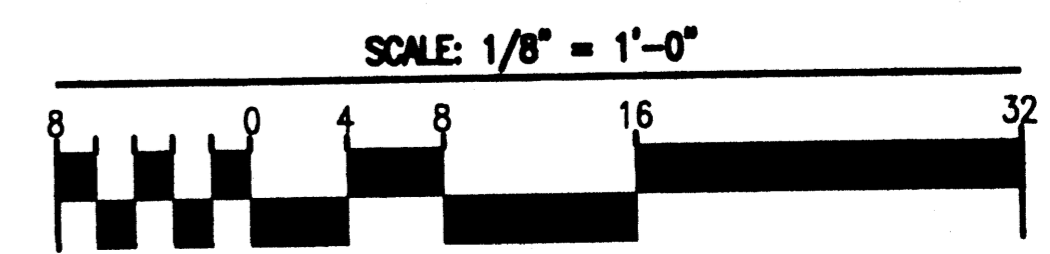
NOTE: ALL GUIDELINES OF PAD ARCHITECTURAL STANDARDS SHALL BE FOLLOWED REFER TO SHEET A-1 FOR PAD ARCHITECTURAL STANDARDS



4 South Elevation
Scale: 1/8" = 1'-0"



6 North Elevation
Scale: 1/8" = 1'-0"



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

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2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
FURR'S SUPERMARKETS INC.
Golf Course and Paseo Del Norte
Albuquerque, New Mexico

PROJECT MANAGER
George Rainhart, AA

JOB NO.
98059

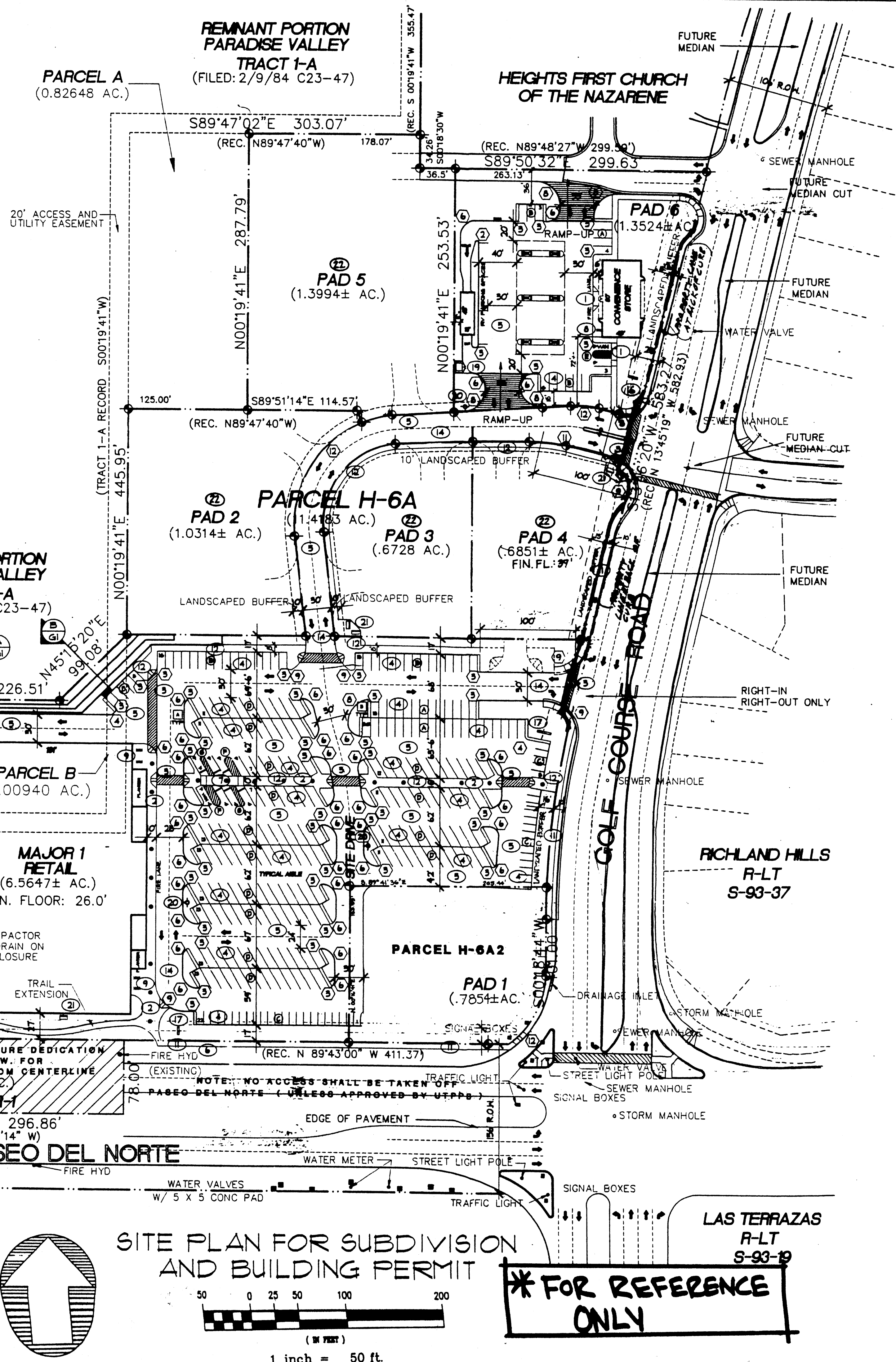
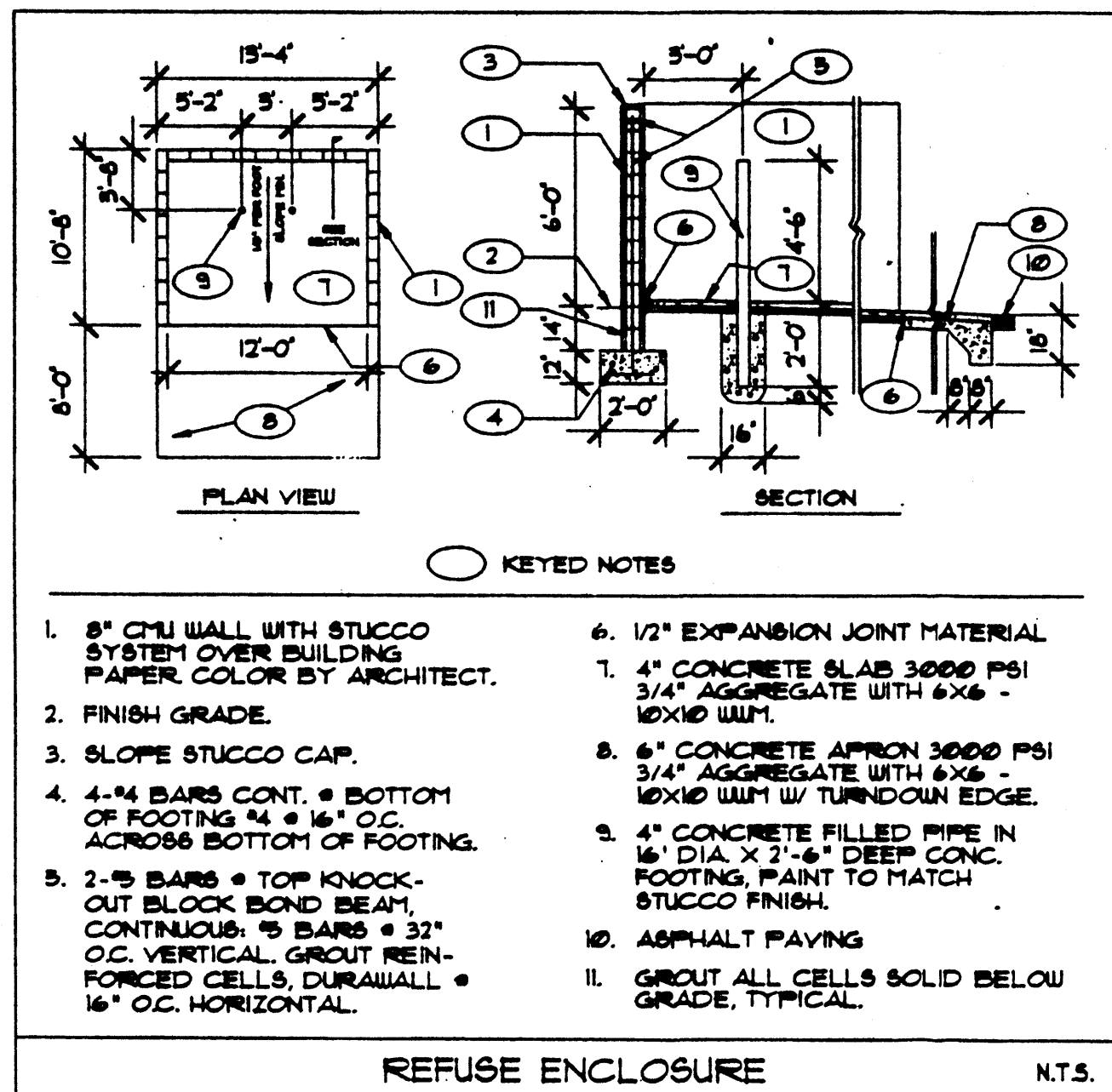
DRAWN BY
SD

SHEET TITLE
ELEVATIONS

DATE
4/12/00

SCALE
1/8"=1'-0"

Sheet
A2



KEYED NOTES

- CONCRETE RAMP
- CONCRETE SIDEWALK
- STRIPED CROSSWALK
- STRIPING
- ASPHALT PAVING
- BIKE RACK LOCATION (EXISTING)
- ALL WALKS AT HC PARKING FLUSH WITH HC ACCESS. ALL HC PARKING STALLS TO HAVE PAINTED SYMBOL AND POLE MOUNTED SIGN. VAN SPACES TO BE IDENTIFIED.
- BIKE RACK (5 BIKES), SEE DETAIL THIS PAGE.
- BIKE RACK (10 BIKES), SEE DETAIL THIS PAGE.
- SITE LIGHTING, SEE DETAIL THIS PAGE.
- 6" PUBLIC SIDEWALK IN ROW @ PROPERTY LINE.
- 6" PARKING LOT ACCESS SIDEWALK (6' CLEAR).
- 24' DRIVE WIDTH.
- 30' DRIVE WIDTH.
- 40' DRIVE WIDTH.
- TYPICAL MOUNTAIN SIGN (DOUBLE SIDED) 50' SF. EACH SIDE INTERNALLY ILLUMINATED. SEE SHEET AL.
- TYPICAL MOUNTAIN SIGN (DOUBLE SIDED) 100' SF. EACH SIDE INTERNALLY ILLUMINATED. SEE SHEET AL.
- REFUSE LOCATION TO CITY OF ALB. STANDARD.
- FIRE HYDRANT LOCATION (PROPOSED)
- REST AREA.
- PADS 1 THRU 5 ARE REQUIRED TO PAY A PRO-RATED SHARE OF OFF-SITE MITIGATION COSTS AS DETERMINED BY TRAFFIC ENGINEER.

LOCATION & LEGAL DESCRIPTION

RIVERVIEW PARCEL H-6, NORTHERLY 2-ACRE UNPLATTED PARCEL AND SOUTHERLY 2-ACRE UNPLATTED PARCEL SITUATE WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPLE MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONING: S-U-1 FOR IP USES
TOTAL ACRES: 13.78646 AC ±
ZONE ATLAS: C-12-Z

BUILDING AREA AND PARKING CALCULATIONS

BUILDING AREA	CARS
MAJOR 1 54,548 SF.	+ 200 = 275
PAD 1 6,000 SF.	+ 200 = 30
PAD 2 PAD DENSITY FAR 30	5 PER 1000
PAD 3 PAD DENSITY FAR 30	5 PER 1000
PAD 4 PAD DENSITY FAR 30	5 PER 1000
PAD 5 PAD DENSITY FAR 30	5 PER 1000
PAD 6 3,200 SF.	+ 200 = 16
120 SF. CAR WASH	
REQUIRED PARKING SPACES	321
PROVIDED PARKING SPACES	323

RADIUS INFORMATION

① R = 3'-0" @ 15'-0"	① RADIUS = 20'-0"
② SEE CURB TYPES	② RADIUS = 25'-0"
③ RADIUS = 2'-0"	③ RADIUS = 30'-0"
④ RADIUS = 3'-0"	④ RADIUS = 50'-0"
⑤ RADIUS = 5'-0"	⑤ RADIUS = 75'-0"
⑥ RADIUS = 10'-0"	⑥ RADIUS = 100'-0"
⑦ RADIUS = 15'-0"	

LANDSCAPE CALCULATIONS

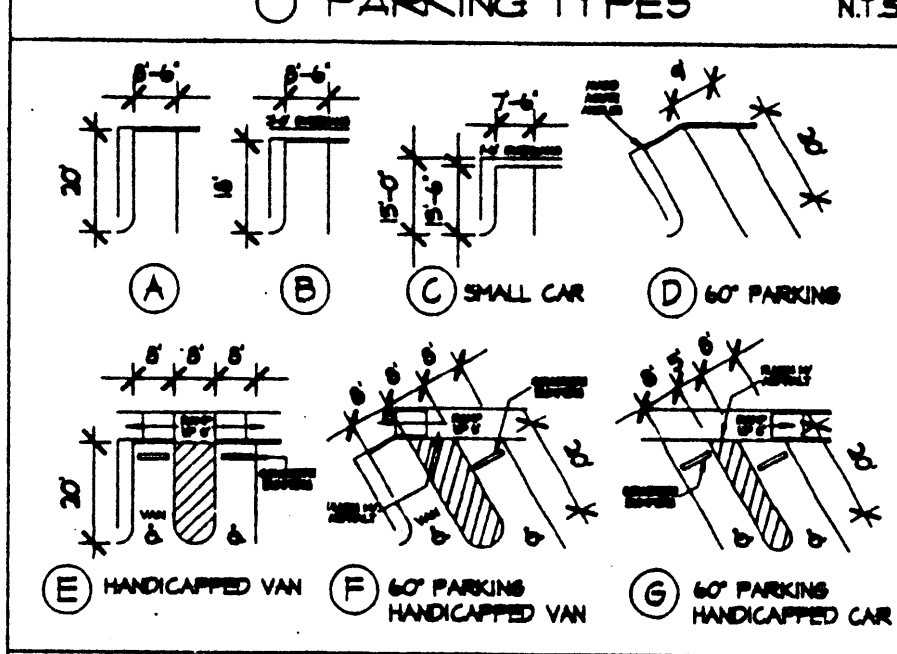
TOTAL LAND INCLUDES:
MAJOR 1, PAD 1, PAD 6 AND LANDSCAPED BUFFER 304,601 SF.

LESS BUILDING AREA - 63,525 SF.
LESS ASPHALT & CONCRETE AREA - 279,951 SF.
REQUIRED REMAINING 41,125 SF.

384,601 - 63,525 / 15 = 279,951 X 15% = 41,125 SF.

TOTAL LANDSCAPING PROVIDED 83,311 SF.

AVERAGE LANDSCAPING 30%



SIGNATURE BLOCK

I CERTIFY THAT THIS AREA ZONED S-U-1 AND THIS PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON 3-16-95

[Signature] PLANNING DIRECTOR DATE 9-21-95

[Signature] TRAFFIC ENGINEER DATE 9-21-95

[Signature] ATAPCA DATE 9-21-95

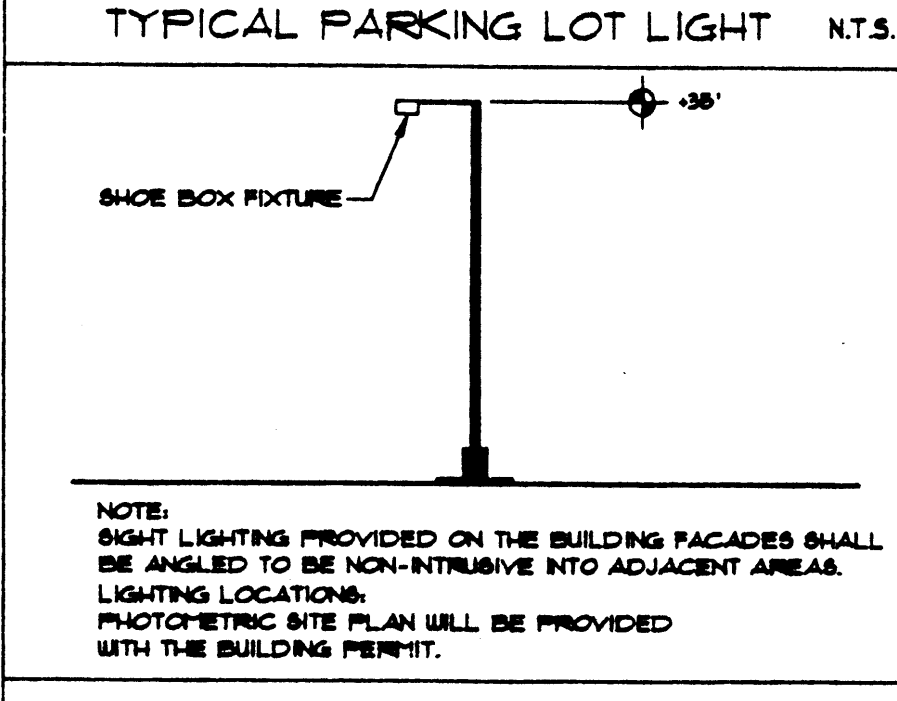
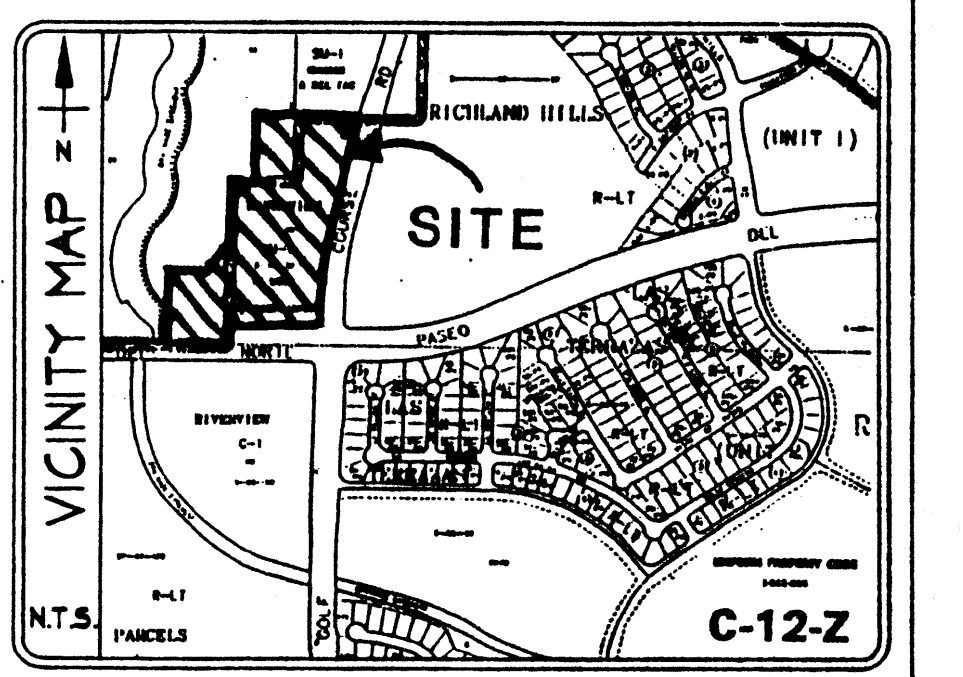
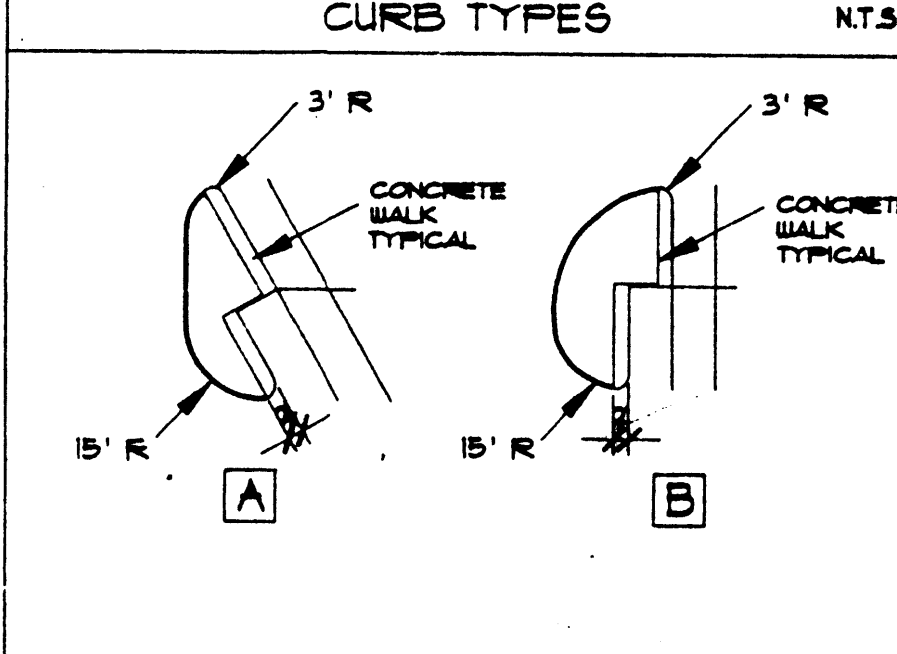
[Signature] PARKS & RECREATION DEPARTMENT DATE 9-20-95

[Signature] CITY ENGINEER DATE 9-21-95

[Signature] WATER RESOURCES DATE 5-30-95

[Signature] HEALTH SERVICES DATE 6-1-95

[Signature] PUBLIC UTILITIES DATE



UPDATED: 4/3/95

UPDATED: 2/17/95

UPDATED: 1/27/95 8/29/95 PAD 1 CHANGES

UPDATED: 1/19/95 5/6/95 AS PER EPC COMMENTS

PLOT DATE 12/30/94

Job Title: **GOLF COURSE & PASEO**

Project Manager: **ROBERT RABSWART, AA** Job No: **9428** Date: **12/30/94**

Sheet Title: **SITE DEVELOPMENT PLAN** by: **TSV**

de la Torre - rainhart, pa architects
north town office park
700 academy rd n.e., building 2 - suite 200
albuquerque, nm 87109 • 505-826-9611

START DATE 12/30/94

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

*** FOR REFERENCE ONLY**

1 inch = 50 ft.