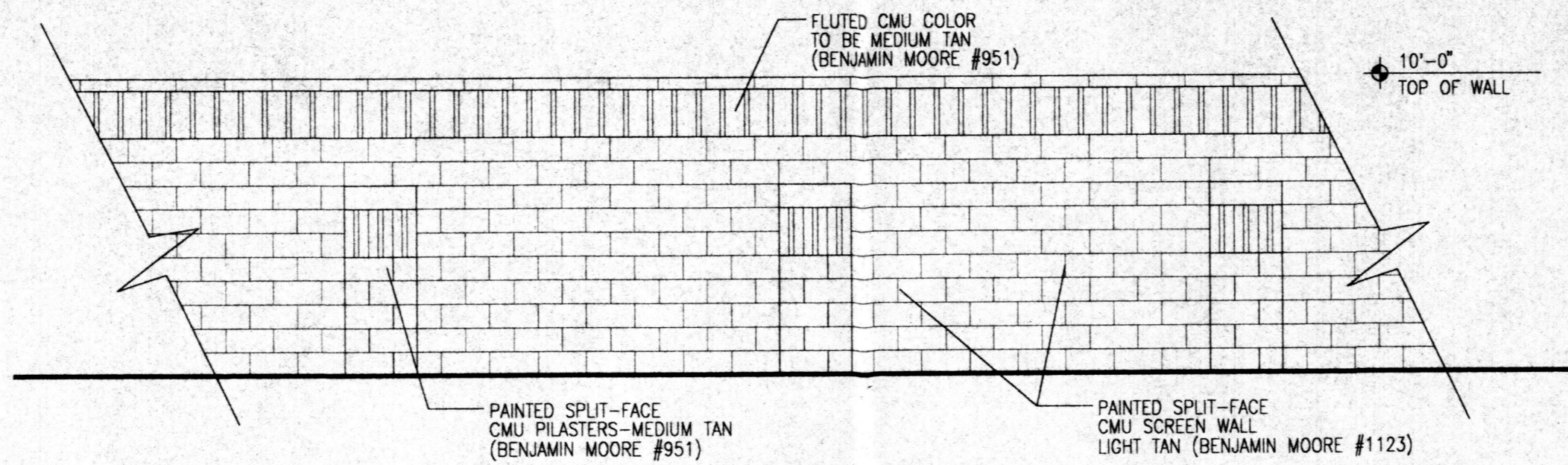
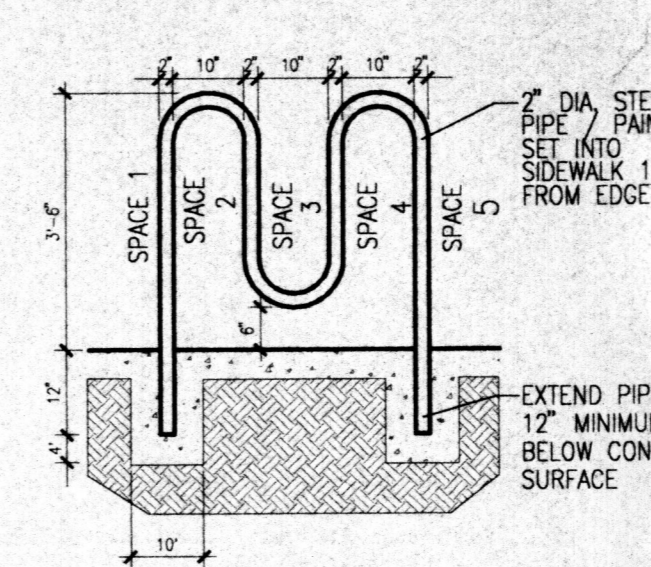


4 Partial Plan at Compactor
Scale: 1/8" = 1'-0"



5 Screen Wall Detail
Scale: Not to Scale

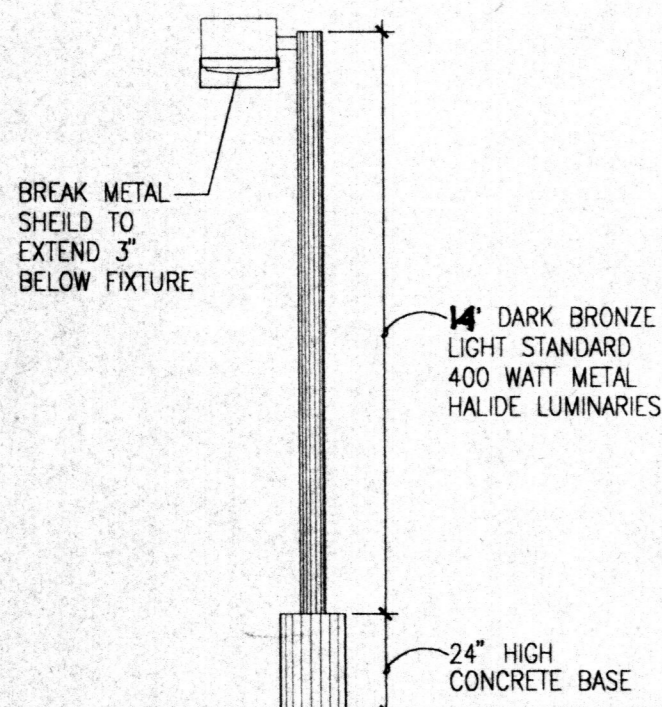
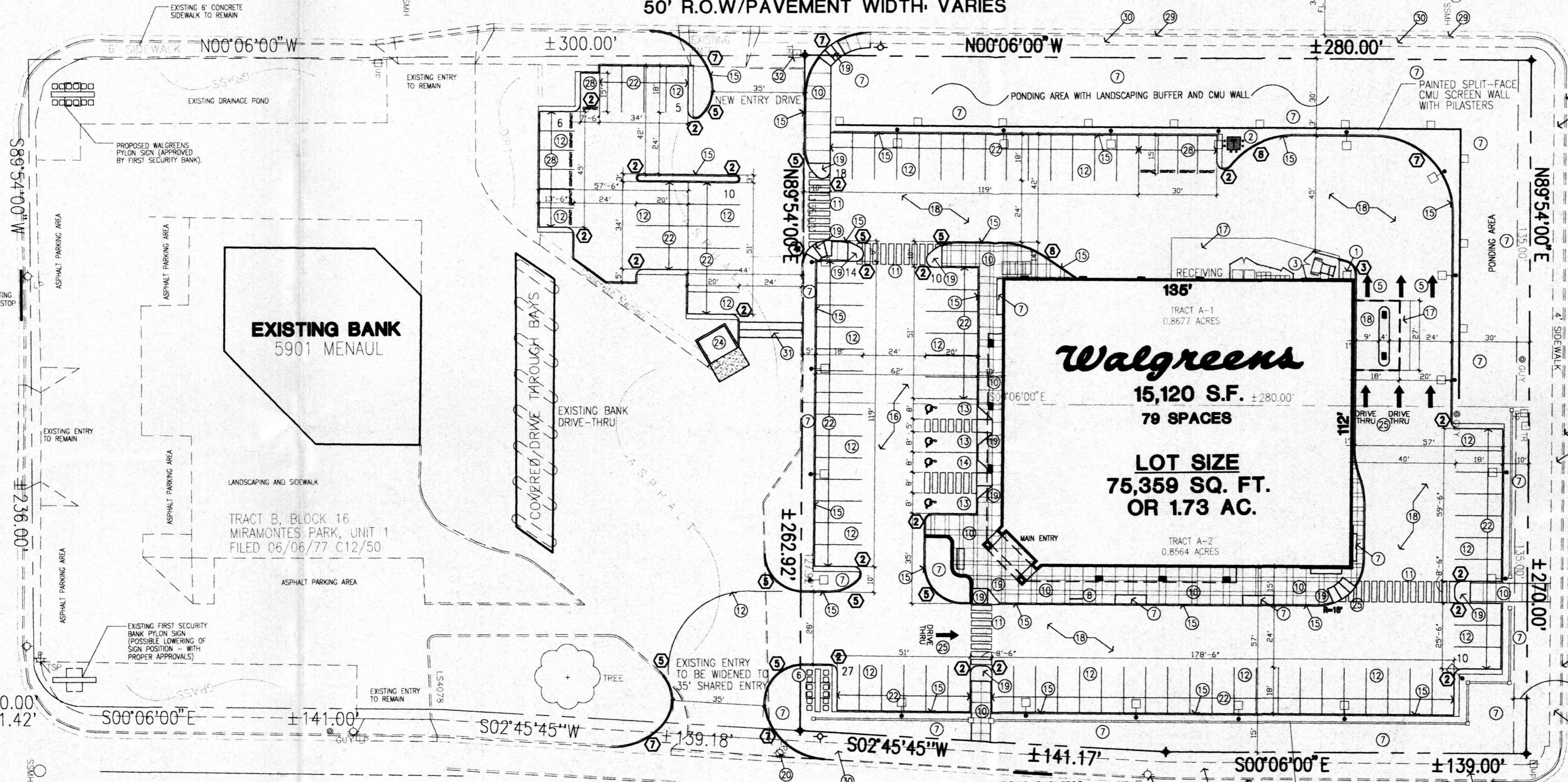


6 Bike Rack Detail
Scale: Not to Scale

CAGUA STREET NE.
50' R.O.W./PAVEMENT WIDTH VARIES

MENAU BOULEVARD NE.
100' R.O.W.

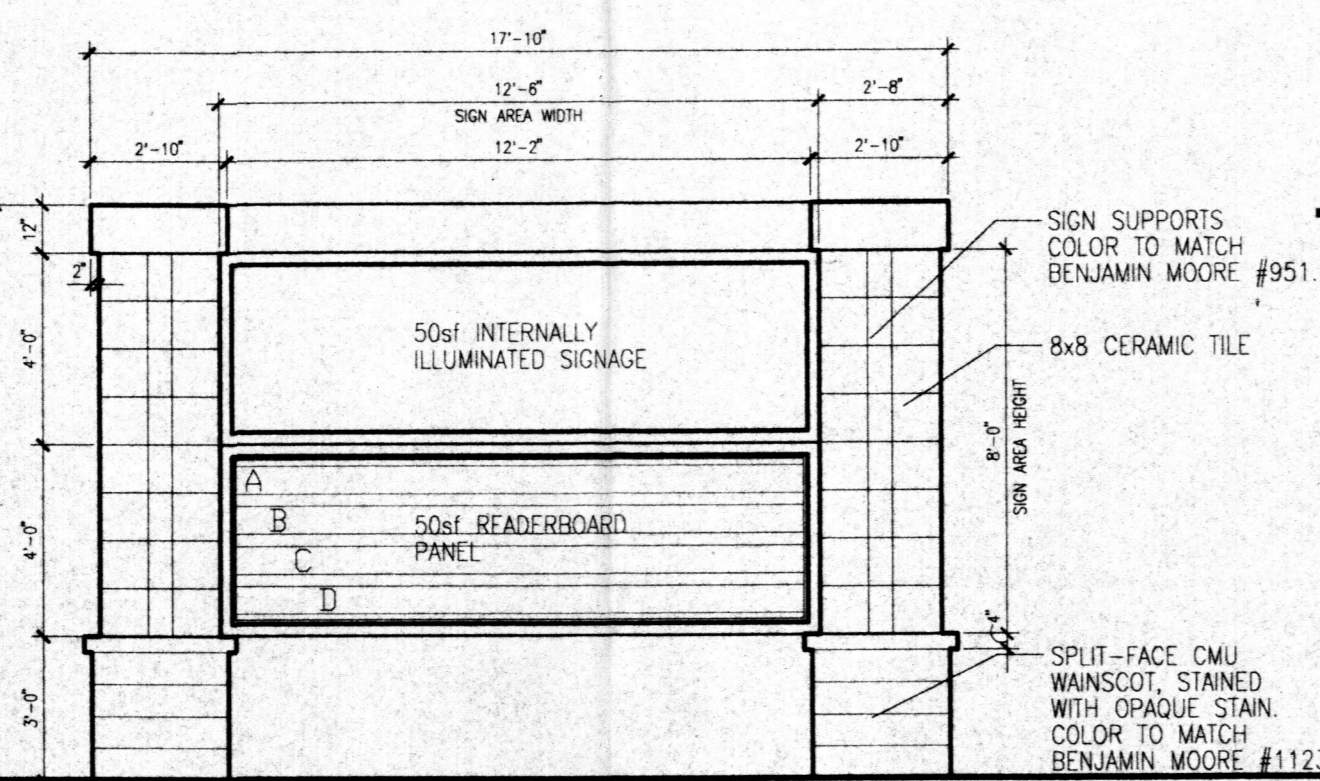
PHOENIX AVENUE NE.
60' R.O.W./PAVEMENT WIDTH VARIES



3 Site Lighting Detail
Scale: Not to Scale

KEYED NOTES:

1. GAS METER LOCATION, PROVIDE BOLLARDS PER LOCAL REQUIREMENTS
2. TRANSFORMER LOCATION
3. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
4. DIRECTIONAL SIGN "ONE WAY-DO NOT ENTER" SEE 6/CO.0
5. WHITE PAINTED ARROW
6. WALGREENS MONUMENT SIGN WITH READER BOARD (100 SF.) PER CITY OF ALBUQUERQUE REQUIREMENTS. SEE SHEET AS.1
7. NEW LANDSCAPE BUFFERS/ISLANDS
8. BICYCLE RACK LOCATION - 4 BIKES. SEE 3/CO.1
9. NEW CURB CUT AND HANDICAP RAMP TO MATCH EXISTING. CONSTRUCT PER C.O.A. STANDARD DETAIL DWG. NO. 2426.
10. NEW CONCRETE SIDEWALK
11. PEDESTRIAN CROSS WALK. SEE 2/CO.1
12. STRIPING, WHITE, 4" WIDE (TYPICAL)
13. HANDICAP SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS. SEE 8/CO.0 AND 1/CO.1
14. HANDICAP VAN SPACE. SEE 8/CO.0 AND 1/CO.1
15. NEW CONCRETE CURB. SEE 11/CO.0
16. STANDARD ASPHALT PAVING FOR CAR TRAFFIC-2" ASPHALTIC CONCRETE OVER 4" BASE COURSE. SEE 12/CO.0 AND GEOTECHNICAL REPORT.
17. CONCRETE PAVING AT DRIVE-THRU AND RECEIVING PAD. SEE A4.4
18. PHARMACY DRIVE THRU
19. HC RAMP, RED STAINED CONCRETE. SEE 10/CO.0
20. EXISTING LITE POLE TO BE RELOCATED FURTHER TO THE NORTH TO STRIPED HANDICAP ACCESS AISLE. SEE 2/CO.1
21. 8'-6" x 18'-0" STALLS TYPICAL
22. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC-3" ASPHALTIC CONCRETE OVER 4" BASE COURSE. SEE 12/CO.0 AND GEOTECHNICAL REPORT.
23. NEW CMU DUMPSTER ENCLOSURE. SEE 4/CO.1
24. YELLOW PAINTED ARROW AND 24" HIGH LETTERS. SEE 5/CO.0
25. 8'-6" x 20'-0" STALLS TYPICAL
26. EXISTING TRANSFORMER TO REMAIN
27. SMALL CAR 7'-6" x 13'-6" STALL TYPICAL STENCIL "COMPACT" AT THE END OF EACH SPACE ON ASPHALT PAVING.
28. EXISTING CITY CURB AND GUTTER TO REMAIN
29. EXISTING CITY CONCRETE SIDEWALK TO REMAIN
30. ASPHALT SPEED HUMP
31. EXISTING TELEPHONE PEDESTAL TO BE RELOCATED AS REQUIRED
32. NOT USED
33. EXISTING LITE POLE TO REMAIN
34. EXISTING LITE POLE TO REMAIN

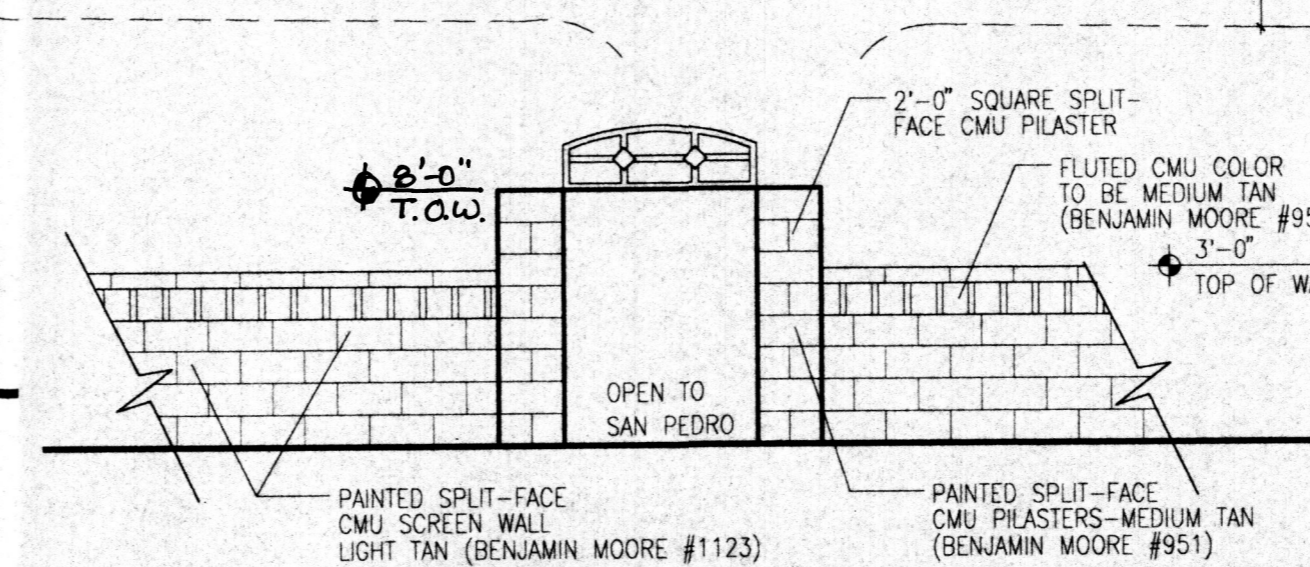


2 Monument Sign Detail
Scale: Not to Scale

SAN PEDRO DRIVE NE.
R.O.W./PAVEMENT WIDTH VARIES

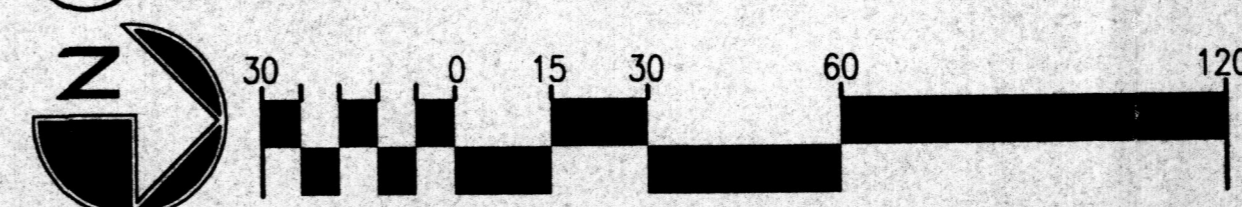
VICINITY MAP

ZONE ATLAS : H-18-Z



7 Low Screen Wall Detail-Entry
Scale: Not to Scale

1 Site Plan For Building Permit
Scale: 1" = 30'-0"



LEGAL DESCRIPTION:

TRACT A1 AND A2 OF BLOCK 16 OF MIRAMONTES PARK, UNIT ONE, LOCATED ON THE WEST SIDE OF SAN PEDRO DRIVE NE. BETWEEN MENAU BOULEVARD NE. AND PHOENIX AVENUE NE., ALBUQUERQUE, NM.

CURRENT ZONING: (PER CERTIFICATE OF ZONING) SU-2 FOR R-2 AND C-2 ZONING

TOTAL ACREAGE: 1.72 AC. (75,101 SF.)
TOTAL PROVIDED SPACES = 79 SPACES

BUILDING AREA & PARKING CALCULATIONS:

BUILDING AREA	
WALGREENS STORE	15,120 SF. BUILDING
15,120 SF / 200 =	75.6 SPACES REQUIRED
TOTAL STANDARD PARKING SPACES PROVIDED	72 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 1 VAN SPACE)	4 SPACES
TOTAL PROVIDED	76 SPACES
TOTAL REQUIRED SPACES = 76 SPACES	
TOTAL PROVIDED SPACES = 79 SPACES	

PARKING NOTES:

- TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"
- TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"
- TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 8' WIDE ACCESS AISLE
- * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

RADIUS:

- 1 RADIUS = 2'-0"
- 2 RADIUS = 3'-0"
- 3 RADIUS = 5'-0"
- 4 RADIUS = 10'-0"
- 5 RADIUS = 15'-0"
- 6 RADIUS = 20'-0"
- 7 RADIUS = 25'-0"
- 8 RADIUS = 30'-0"
- 9 RADIUS = 40'-0"
- 10 RADIUS = 50'-0"

ON MARCH 16, 2000, THE ENVIRONMENTAL PLANNING COMMISSION APPROVED Z-99-96. A SITE PLAN FOR BUILDING PERMIT BASED ON THE FOLLOWING CONDITIONS:

1. THE FOLLOWING PUBLIC WORKS CONDITIONS SHALL BE MET PRIOR TO DRB APPROVAL:
 - A. PRINCIPAL ACCESS POINTS TO THIS SITE FROM SAN PEDRO DRIVE AND CAGUA DRIVE SHOULD BE DEVELOPED AS SHARED DRIVES WITH THE EXISTING BANK FACILITY.
 - B. THE SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION / CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER, SERVICE ACCESS, PARKING LOT LAYOUT AND PEDESTRIAN FACILITIES ARE ITEM OF CONCERN.
 - C. LOCATION OF WALLS, FENCES AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS.
 - D. PROVISIONS OF STREET TREES AND LANDSCAPE ON SAN PEDRO DRIVE.
 - E. LOCATION AND DIMENSION OF PROPOSED FIRE LINES MUST MEET FIRE CODE REQUIREMENTS AS PER THE DPM.
 - F. COORDINATION WITH THE TRANSIT DEPARTMENT WITH REGARD TO LOCATION OF REQUIRED BUS FACILITIES, WITH DIRECT BICYCLE AND PEDESTRIAN ACCESS ON THE ADJACENT STREETS.
 - G. COORDINATION WITH THE SOLID WASTE DEPARTMENT WITH REGARD TO REFUSE CONTAINER LOCATION AND ACCESS.
 - H. COORDINATION OF PROPOSED BIKEWAYS WITH THE CITY TRAILS COORDINATOR. ADDITIONAL RIGHT-OF-WAY FROM SAN PEDRO DRIVE MAY BE NEEDED TO ACCOMMODATE THE SUGGESTED BIKE LANE.
 - I. THE SIGNAL NEW PUBLIC FIRE HYDRANT MAY BE ADEQUATE, BUT REQUIREMENTS MUST BE VERIFIED PRIOR TO DRB SITE PLAN APPROVAL.
2. THE SIGNAGE SHALL BE LIMITED TO TWO, PRESTANDING MONUMENT SIGNS, NOT HIGHER THAN 14 FEET HIGH, WITH A MAXIMUM SQUARE FOOTAGE OF 100 SQUARE FEET EACH. THE SIGNS SHALL BE COMPATIBLE WITH THE BUILDING IN TERMS OF MATERIALS AND COLORS. THE BUILDING MOUNTED SIGNS SHALL NOT BE INCREASED FROM WHAT IS DEPICTED ON THE PLAN.

THE SOLID WASTE CONTAINERS SHALL BE MOVED, TO THE SATISFACTION OF THE PLANNING AND SOLID WASTE DEPARTMENTS, SO THEY ARE NOT ADJACENT TO A RESIDENT STREET.

ONLY ON AISLE OF PARKING SHALL BE ALLOWED IN FRONT OF THE BUILDING, ALONG SAN PEDRO. THE PARKING ARRANGEMENT SHALL BE MODIFIED TO MORE FULLY COMPLY WITH THE UPTOWN SECTOR DEVELOPMENT PLAN, AS DETERMINED BY PLANNING STAFF. THE RELOCATED PARKING SHALL BE LOCATED DIRECTLY TO THE EAST OF THE NORTH/SOUTH 10 FOOT TALL SCREEN WALL.

THE SQUARE FOOTAGE OF THE PLAZA SHALL BE INCLUDED ON THE PLAN. THERE SHALL BE A MINIMUM PLAZA AREA 1,000 SQUARE FEET WITH A 30 FOOT BY 30 FOOT MINIMUM DEPTH AND WIDTH.

THE LOCATION OF THE LIGHT POLES SHALL BE INCLUDED ON THE SITE PLAN. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16 FEET WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS.

THE BUILDING ARCHITECTURE SHALL BE MODIFIED TO ELIMINATE THE GENERIC FRANCHISE LOOK OF THE BUILDING. TO THE SATISFACTION OF THE PLANNING DEPARTMENT, THE REVESED ELEVATIONS LABELED ALTERNATIVE ELEVATION AT SAN PEDRO SHALL BE THE NEW APPROVED ELEVATION DESIGN FOR THE EAST AND SOUTH ELEVATION; THE NORTH AND WEST ELEVATIONS SHALL BE AS DEPICTED IN THE 6-25-99 ELEVATION SUBMITTAL.

ALL SIGNAGE SHALL BE INDIVIDUAL BACKLIT CHANNEL OF NEON LETTERS WITH A MAXIMUM LETTER HEIGHT OF 3 FEET.

Application # 000450-0000-00526
COC CASE # Z-99-96 DRB CASE # 1000465

The plan is consistent with the specific development plan approved by the Environmental Planning Commission (EPC) on 02/20/00, and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Richard D. ... Traffic Engineer, Transportation Division	6-28-00 Date
Thomas A. ... Public Works and General Services Department	4-26-00 Date
Ryan J. ... Public Works, Water Utilities Division	4-26-00 Date
Paul ... City Engineer, Engineering Division / AMAFCA	7-25-00 Date
... City Planner, Albuquerque / Bernadillo County Planning Division	8/3/00 Date
... Solid Waste	8-2-00 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

REVISION	BY	DATE	REV	PER G.R.A.	PLANNING DEPARTMENT	REVIEW COMMENTS
1	MMS	9/5/2000	1	MMS	PLANNING DEPARTMENT	REVIEW COMMENTS
2	MMS	4/28/2000	2	MMS	PLANNING DEPARTMENT	REVIEW COMMENTS
3	MMS	4/17/2000	3	MMS	PLANNING DEPARTMENT	REVIEW COMMENTS
4	MMS	2/29/2000	4	MMS	PLANNING DEPARTMENT	REVIEW COMMENTS
5	MMS	9/5/99	5	MMS	PLANNING DEPARTMENT	REVIEW COMMENTS

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

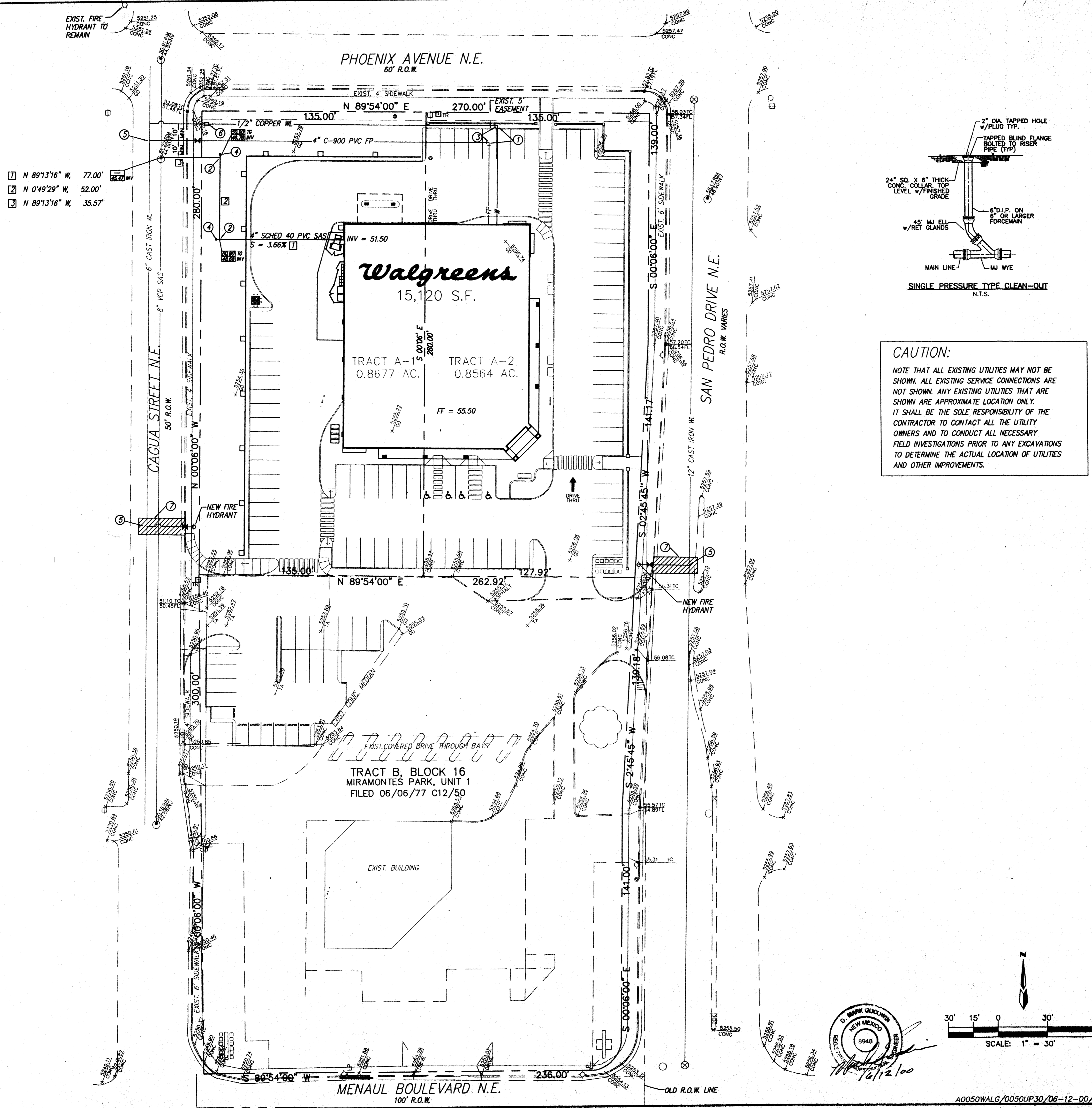
Walgreens Store
NIC of Menaul Boulevard and San Pedro Drive
Albuquerque, NM

Site Plan

PROJECT TITLE: Walgreens Store
JOB NO.: 98050
DRAWN BY: MMS
SHEET TITLE: Site Plan

DATE: 6/25/99
SCALE: 1" = 30'-0"

sheet: C1 of



- NOTES**
- ① 90° BEND
 - ② 4" TEE
 - ③ USE 12" RESTRAINED JOINTS. 4" MIN BURY FOR DOMESTIC WATERLINE AND FIRE PROTECTION LINE.
 - ④ CLEANOUT PER DETAIL THIS SHEET
 - ⑤ PRESSURE CONNECTION, TAPPING SLEEVE WITH 6" GATE VALVE AND TYPE B VALVE BOX PER COA DETAIL 2333.
 - ⑥ 1/2" WATER METER PER COA DETAIL 2363
 - ⑦ REMOVE AND REPLACE ASPHALT PER COA DETAIL 2465

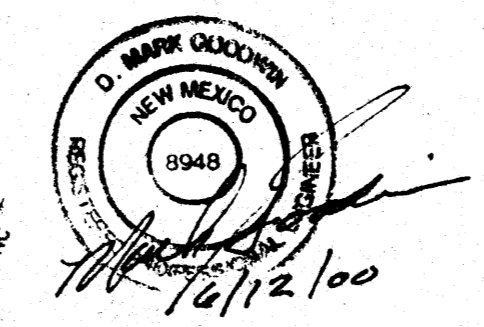
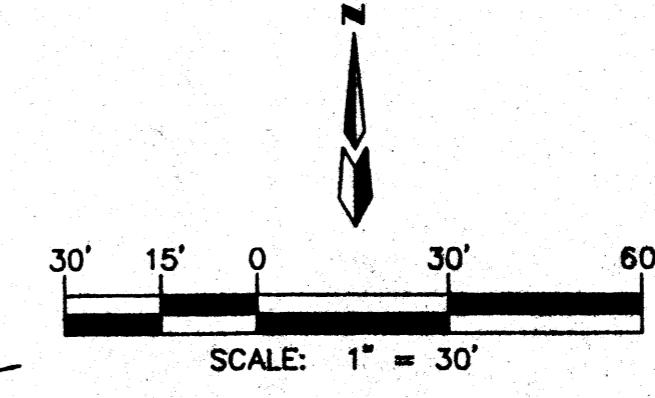
LEGEND

○	EXIST. SANITARY MANHOLE
⊕	EXIST. UTILITY POLE
⊙	EXIST. FIRE HYDRANT
⊗	EXIST. WATER VALVE
◇	EXIST. LAMP POST
⋈	EXIST. TRAFFIC MAST ARM
⋈	EXIST. TRAFFIC SIGNAL POST
⊠	EXIST. TRAFFIC CONTROL BOX
⊙	EXIST. SIGN
⊙	EXIST. DECIDUOUS TREE
●	EXIST. SPOT ELEVATION
— — — — —	EXIST. CURB & GUTTER
▭	NEW BUILDING
▭	NEW CMU WALL
▭	NEW 3" CMU WALL
▭	NEW CURB & GUTTER
— — — — —	PROPERTY LINE
— — — — —	NEW GASLINE
— — — — —	NEW SEWERLINE
— — — — —	NEW FIRE
— — — — —	NEW WATERLINE
▭	NEW ELEVATIONS

**WALGREEN'S - SAN PEDRO & MENAUL
UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: ALO	Drawn: ACH	Checked: DMG	Sheet C2 of 2
Scale: 1" = 30'	Date: 05-25-00	Job: A00050	



A0050WALG/0050UP30/06-12-00/NHM

DRAWINGS/SPECIFICATIONS BY:

- WALGREENS' CONSULTANT
- LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:

- WALGREENS' CONTRACTOR
- LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

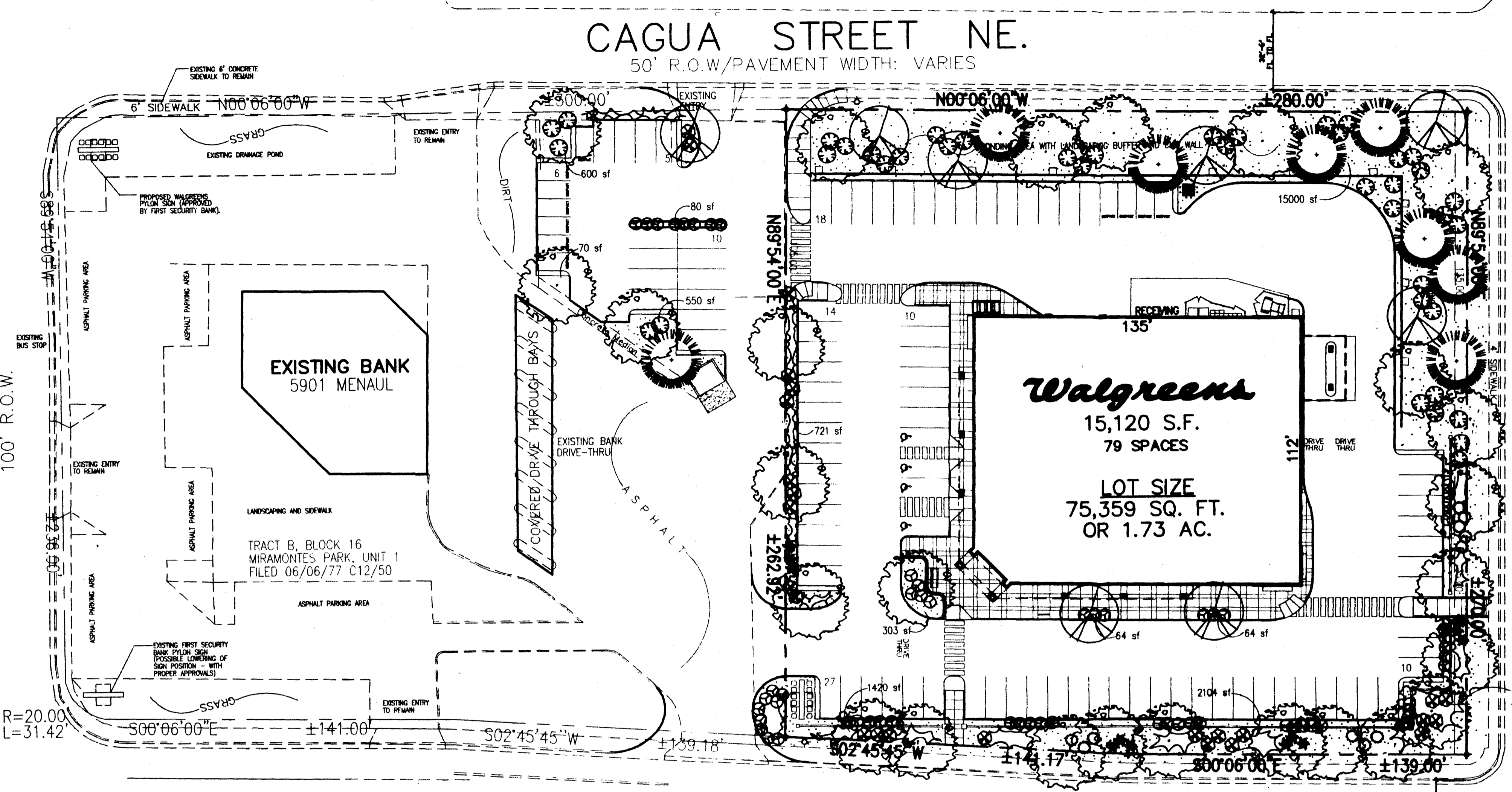
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REMODELING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>
	NEW SHELL ONLY <input type="checkbox"/>

PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 26
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- FLOWERING PEAR (H) 8
Pyrus calleryana
2" Cal
- AUSTRIAN PINE(H) 9
Pinus nigra
6"-8"
- INDIAN HAWTHORN (M) 25
Raphiolepis Indica
5 gal
- RUSSIAN SAGE (M) 11
Perovskia atriplicifolia
5 gal
- MAIDEN GRASS 12
Miscanthus sinensis
5 gal
- CHAMISA (L) 41
Chrysothamnus nauseosus
1 gal
- WILDFLOWER 63
1 gal
- TAM JUNIPER 46
JUNIPERUS SABINA
5 gal
- 3/4" GREY GRAVEL WITH FILTER FAB

MENAUL BOULEVARD NE.
100' R.O.W.

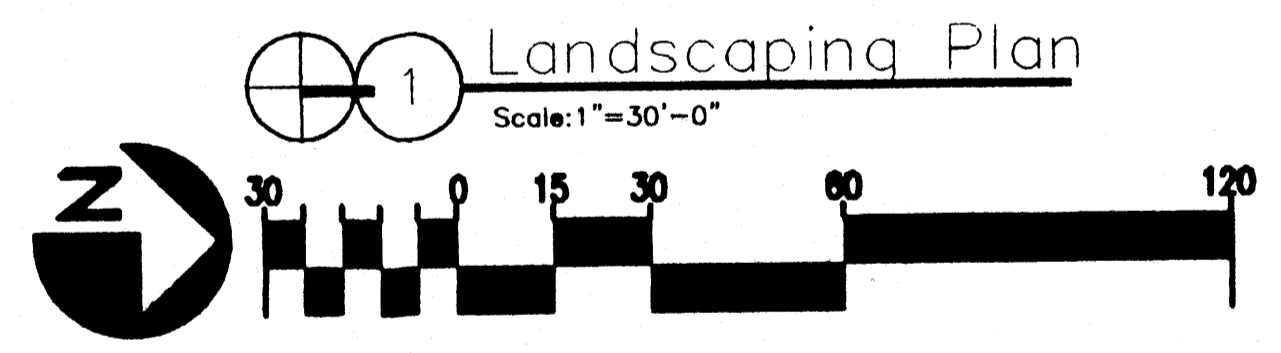
PHOENIX AVENUE NE.
60' R.O.W./PAVEMENT WIDTH: VARIES



CAGUA STREET NE.
50' R.O.W./PAVEMENT WIDTH: VARIES

SAN PEDRO DRIVE NE.
R.O.W./PAVEMENT WIDTH: VARIES

REDEVELOPMENT OF EXISTING
BOWLING ALLEY (STAPLES)



LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	75,407 square feet
TOTAL BUILDINGS AREA	15,120 square feet
OFFSITE AREA	5,910 square feet
NET LOT AREA	60,287 square feet
LANDSCAPE REQUIREMENT	15 square feet
TOTAL LANDSCAPE REQUIREMENT	9,043 square feet
TOTAL LANDSCAPE PROVIDED	23,978 square feet
TOTAL BED PROVIDED	0 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.
3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

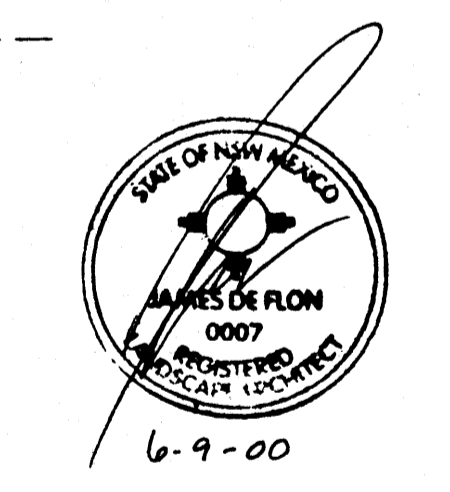
IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters
Shrubs to receive (2) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
Name of Street SAN PEDRO
Required #9 Provided #9



Cont. Lic. #26456
7800 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 896-9690
Fax (505) 896-7737
HilltopLandscape.com

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NO.	DATE	BY	DESCRIPTION	CONST.

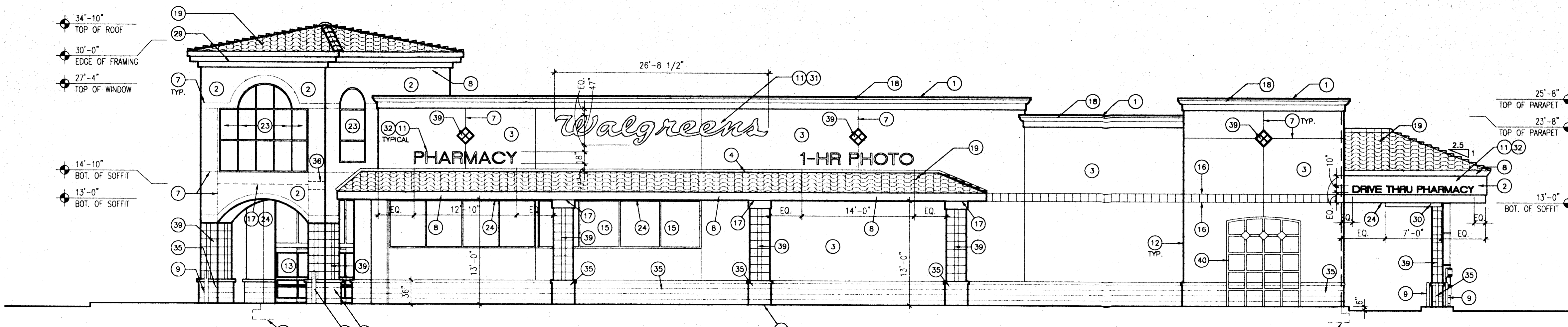
REVISIONS
CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

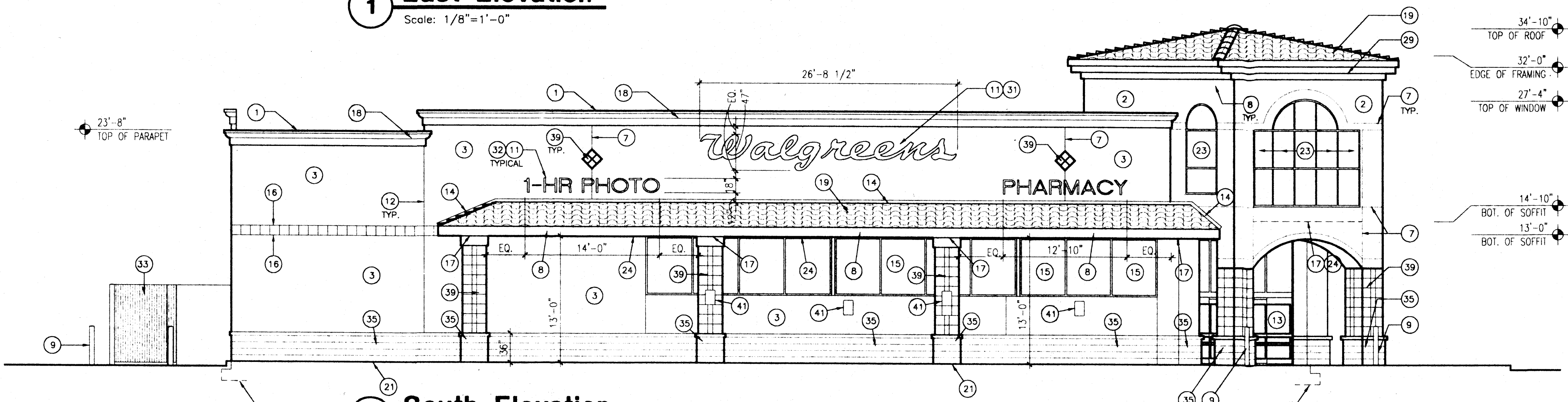
PROJECT NAME
WALGREENS STORE
SAN PEDRO DRIVE AND MENAUL BOULEVARD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

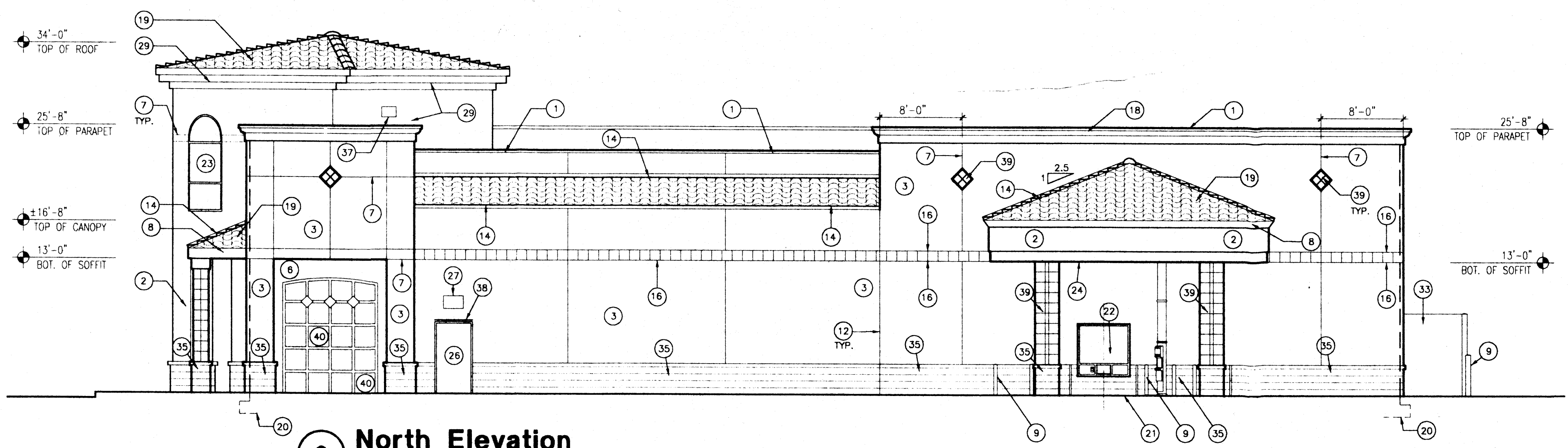
DRAWING TITLE		
LANDSCAPING PLAN		
DATE 6/9/2000	STORE NO. 5997	DRAWING NO.
DRAWN BY	SCALE: 1"=30'-0"	L1
REVIEWED BY	RELEASED TO CONSTRUCTION	DF DWGS.



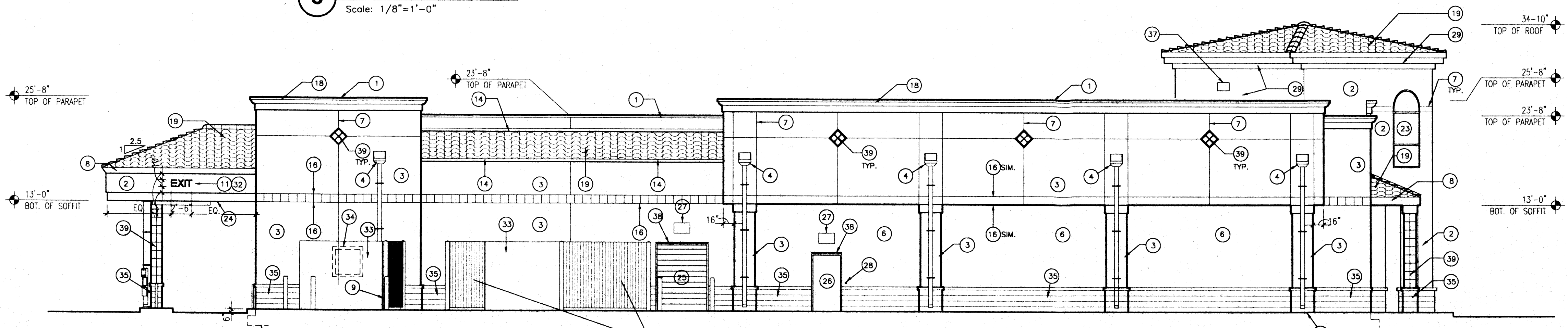
1 East Elevation
Scale: 1/8"=1'-0"



2 South Elevation
Scale: 1/8"=1'-0"



3 North Elevation
Scale: 1/8"=1'-0"



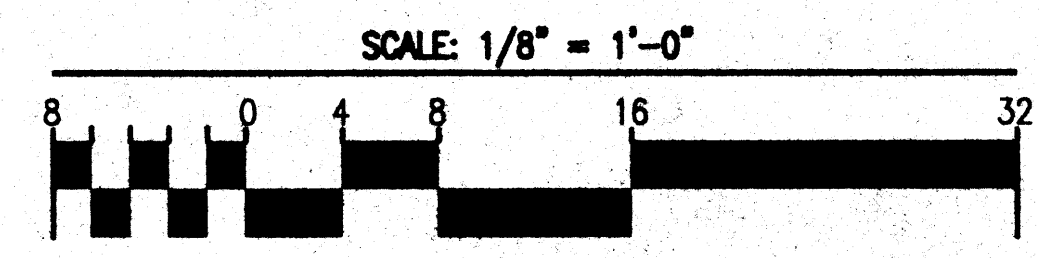
4 West Elevation
Scale: 1/8"=1'-0"

KEYED NOTES:

1. PREFINISHED 24ga. PARAPET CAP. COLOR TO MATCH BENJAMIN MOORE #1123
2. TWO COAT STUCCO SYSTEM OVER METAL LATH, AND 15lb. BUILDING PAPER OVER SHEATHING ON METAL STUDS. COLOR TO MATCH BENJAMIN MOORE #951
3. CMU WITH TWO COAT STUCCO SYSTEM OVER 15lb. BUILDING PAPER AND METAL LATH. COLOR TO MATCH BENJAMIN MOORE #951.
4. PREFINISHED 24ga. COLLECTOR BOX AND DOWNSPOUT SEE 4/A4.5
5. PREFINISHED 26ga. GRAVELSTOP TO MATCH BENJAMIN MOORE #1123.
6. CMU WITH TWO COAT STUCCO SYSTEM OVER 15lb. BUILDING PAPER AND METAL LATH. COLOR TO MATCH BENJAMIN MOORE #1123.
7. CONTROL JOINT.
8. STUCCO FASCIA AND PREFINISHED FLASHING TO MATCH BENJAMIN MOORE #951.
9. STEEL PIPE BOLLARDS. SEE 7/CO.0.
10. RECEIVING AREA CONCRETE SLAB.
11. TENANT SIGNAGE. SEE ELECTRICAL.
12. SEALANT IN MASONRY AND STUCCO CONTROL JOINTS.
13. AUTOMATIC SLIDING DOOR ENTRANCE/EXIT.
14. PREFINISHED SHEET METAL FLASHING TO MATCH BENJAMIN MOORE #951.
15. ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED LOW "E" TINTED GLAZING. STOREFRONT COLOR TO BE GREEN TO MATCH EXISTING CENTER.
16. STUCCO CONTROL JOINT AROUND PERIMETER OF BUILDING WITH 12" X 12" CERAMIC TILE
17. SOFFIT BEYOND
18. FOAM MOLDING CORNICE WITH STUCCO FINISH. COLOR TO MATCH BENJAMIN MOORE #1123
19. METAL ROOFING. COLOR TO MATCH EXISTING CERAMIC TILE ON EXISTING CENTER.
20. LINE OF FOUNDATION.
21. LINE OF FINISH FLOOR.
22. DRIVE-THRU WINDOW. COLOR TO MATCH DARK BRONZE.
23. ALUMINUM STOREFRONT SYSTEM WITH 1/4" GLAZING. STOREFRONT COLOR TO BE GREEN TO MATCH EXISTING CENTER.
24. GYP. SOFFIT BOARD, TAPE, TEXT & PAINT.
25. STEEL ROLLING DOOR. PAINTED TO MATCH BENJAMIN MOORE #951.
26. HOLLOW METAL DOOR AND FRAME. PAINTED TO MATCH BENJAMIN MOORE #951.
27. LIGHT FIXTURE OVER DOOR.
28. STOCK ROOM DOOR BELL TO RING OVER PHARMACY CEILING.
29. PREFINISHED GUTTER AND DOWNSPOUT
30. CLEARANCE SIGN. SEE SHEET AS.1
31. WALGREENS SCRIPT SIGN BY WALGREENS. POWER AND BLOCKING BY GENERAL CONTRACTOR.
32. INDIVIDUAL LETTER SIGN BY WALGREENS. POWER AND BLOCKING BY GENERAL CONTRACTOR.
33. CMU COMPACTOR ENCLOSURE WITH STUCCO FINISH TO MATCH BENJAMIN MOORE #951.
34. COMPACTOR OPENING BEYOND.
35. SPLIT-FACE CMU WANSCOT, STAINED WITH OPAQUE STAIN. COLOR TO MATCH BENJAMIN MOORE #1123
36. 12" ALUMINUM ADDRESS NUMBERS OF CONTRASTING COLOR TO BACKGROUND.
37. VENT WITH INSECT SCREEN
38. PREFINISHED GALVANIZED RAIN DRIP
39. 8x8 CERAMIC TILE
40. TUBE STEEL GRILL. PAINTED TO MATCH BENJAMIN MOORE #951.

SIGN AREA SUMMARY:

ELEVATION	DESCRIPTION	AREA (SF)
EAST ELEVATION	26'-8 1/2" WALGREENS SCRIPT SIGN	55.8 SF
	18" PHARMACY INDIVIDUAL LETTER	19.2 SF
	18" 1-HR PHOTO INDIVIDUAL LETTER	21.0 SF
	10" DRIVE THRU PHARMACY INDIV. LETTER	108.6 SF
SOUTH ELEVATION	26'-8 1/2" WALGREENS SCRIPT SIGN	55.8 SF
	18" PHARMACY INDIVIDUAL LETTER	21.0 SF
	18" 1-HR PHOTO INDIVIDUAL LETTER	96.0 SF
NORTH ELEVATION	NO SIGNAGE THIS SIDE	0.0 SF
	NO SIGNAGE THIS SIDE	0.0 SF
WEST ELEVATION	10" EXIT SIGN	2.1 SF
	10" EXIT SIGN	2.1 SF
TOTAL BUILDING SIGNAGE		206.7 SF
MONUMENT SIGN AREA		
PANEL AREA		50.0 SF
READER BOARD AREA		50.0 SF
TOTAL MONUMENT SIGN AREA		100.0 SF
TOTAL SIGNAGE AREA		306.7 SF



REV	DATE	BY	REVISION
1	8/5/2000	MWS	PER G.S.A./PLANNING DEPARTMENT REVIEW COMMENTS
2	4/17/2000	MWS	PER G.S.A./PLANNING DEPARTMENT REVIEW COMMENTS
3	2/29/2000	MWS	PER G.S.A./PLANNING DEPARTMENT REVIEW COMMENTS
4	9/2/99	MWS	PER C.O.A./PLANNING DEPARTMENT REVIEW COMMENTS

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PROJECT TITLE
Walgreens Store
 NIC of Menaul Boulevard and San Pedro Drive
 Albuquerque, New Mexico

PROJECT MANAGER
 George Rainhart, AIA

JOB NO.
 98050

DRAWN BY:
 MWS

SHEET TITLE
Exterior Elevations

DATE:
 6/25/99

SCALE:
 1/8"=1'-0"

Sheet No.:
A1