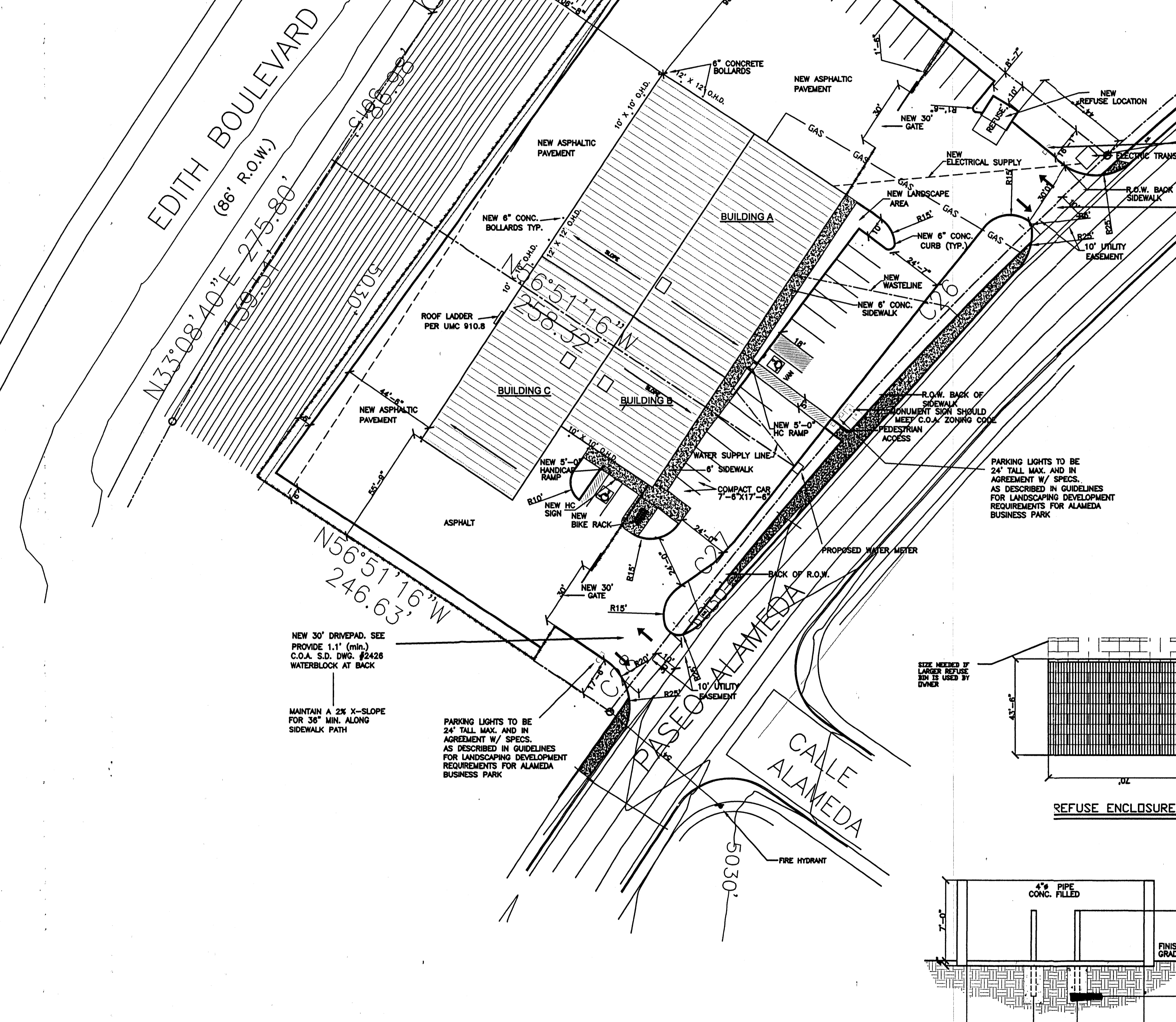


SHEET INDEX

C-1	GRADING AND DRAINAGE PLAN
A-1	SITE PLAN
L-1	LANDSCAPE PLAN
S-1	FOUNDATION PLAN
A-2	FLOOR PLAN
A-3	ELEVATIONS
A-4	SECTIONS
A-5	ADA REQUIREMENTS
E-1	ELECTRICAL(LIGHTING) PLAN
E-2	ELECTRICAL(LIGHTING) PLAN
M-1	MECHANICAL PLAN



Application # 00420-00000-00541
CASE NUMBER: 000074
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:
SITE DEVELOPMENT PLAN
Rollan 5/31/00
 Traffic Engineer, Transportation Division Date
Janet Davis 5/31/00
 Public Works, Sanitation Department Date
Roger J. Green 6-22-00
 Public Works, Water Utilities Division Date
Sam Calogian 5-31-00
 City Engineer, Engineering Division/AMAFCA Date
 APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
Janet Davis 8/3/00
 City Planner, Albuquerque / Bernalillo County Planning Division Date

ASPHALTIC CONCRETE / FOR LIMITED AREAS

	ASPHALTIC CONCRETE	AGGREGATE BASE COURSE
ASPHALTIC PARKING	2"	4"
AUTOMOBILE DRIVEWAYS	2"	4"
AREAS SUBJECT TO SEWER TRENCHES	3"	6"

LANDSCAPE CALCULATIONS:

GROSS LOT AREA:	56327 SF
LOT 7 AREA:	35083 SF
LOT 8 AREA:	93410 SF
TOTAL AREA:	128493 SF
GROSS BUILDING FOOTPRINT:	17901 SF
NET LOT AREA:	75509 SF
X 15 % RULE:	11328 SF
NET LANDSCAPE PROVIDED:	- SF

DESIGN DATA

- APPLICABLE CODES AND REGULATIONS. UNIFORM BUILDING CODE, 1997 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, 1998 NFPA, 1998
- BUILDING FLOOR AREA (UBC SEC. 504)

BUILDING A - OFFICE	2200 SF
WAREHOUSE	7800 SF
BUILDING B - OFFICE	1082 SF
WAREHOUSE	1839 SF
BUILDING C - OFFICE	1000 SF
WAREHOUSE	4000 SF
TOTAL BLDG. AREA	17901 SF
- OCCUPANCY GROUP (UBC TABLE 5A)

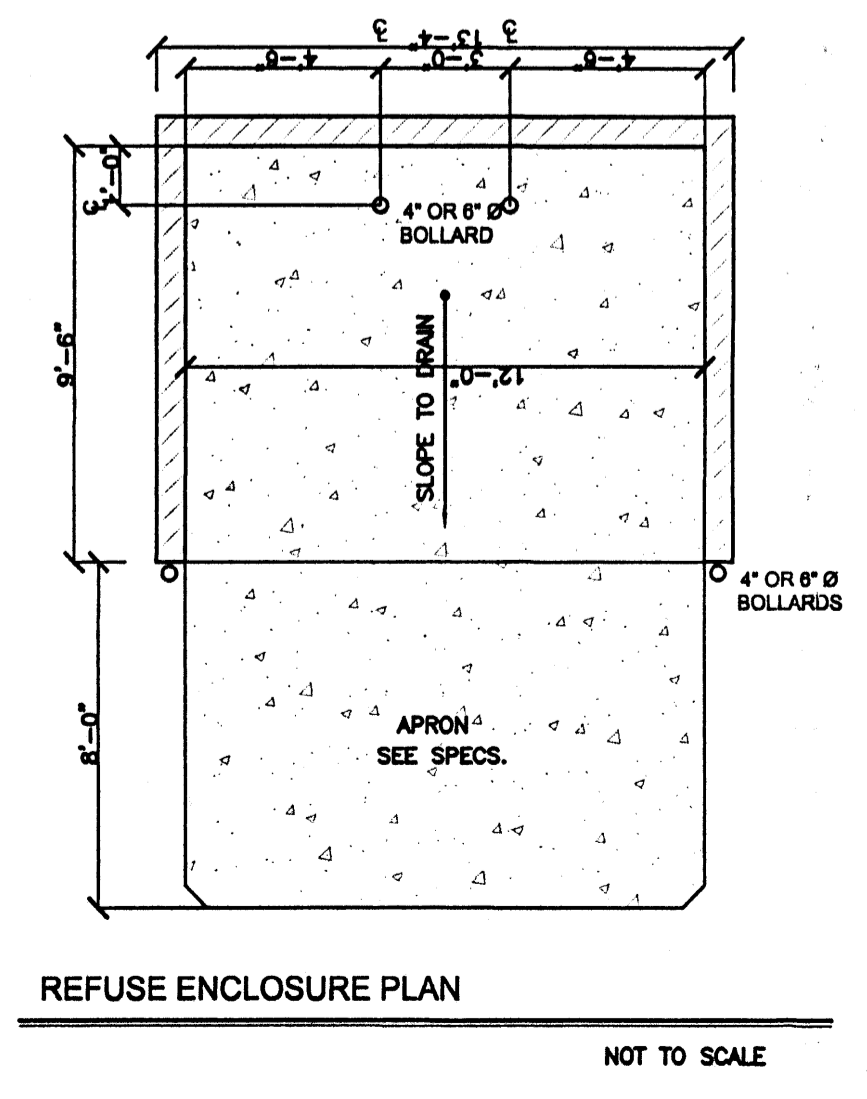
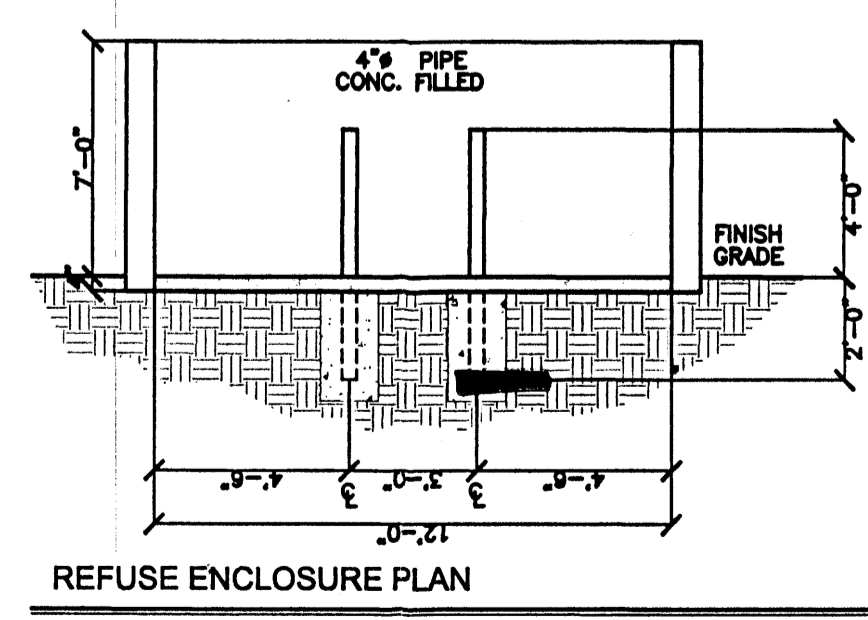
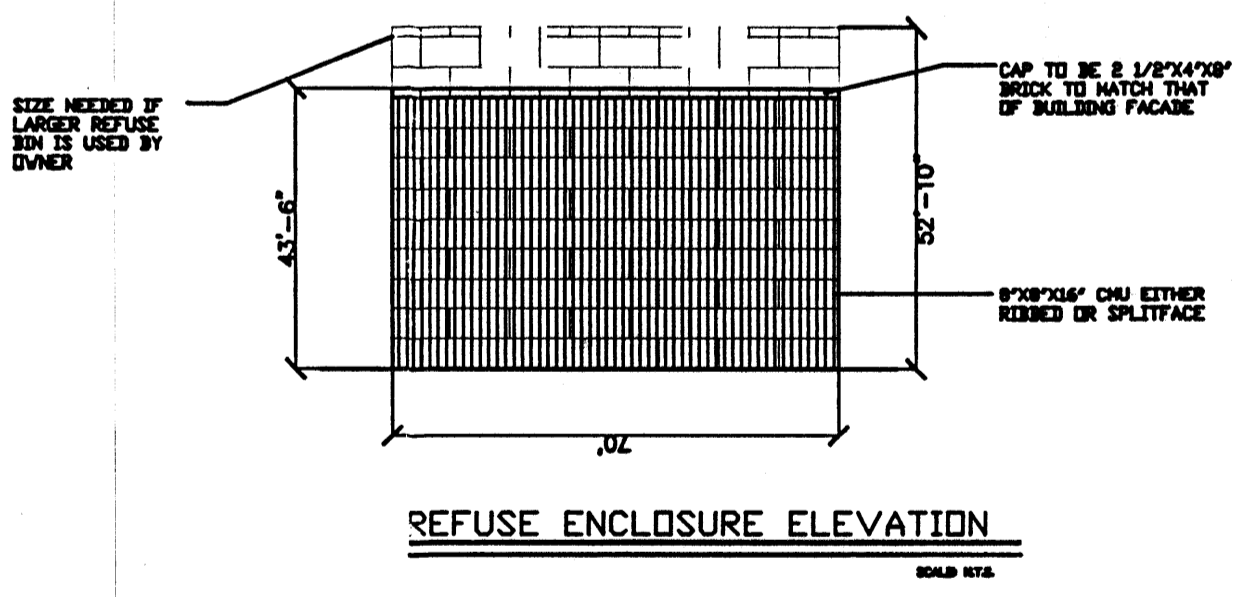
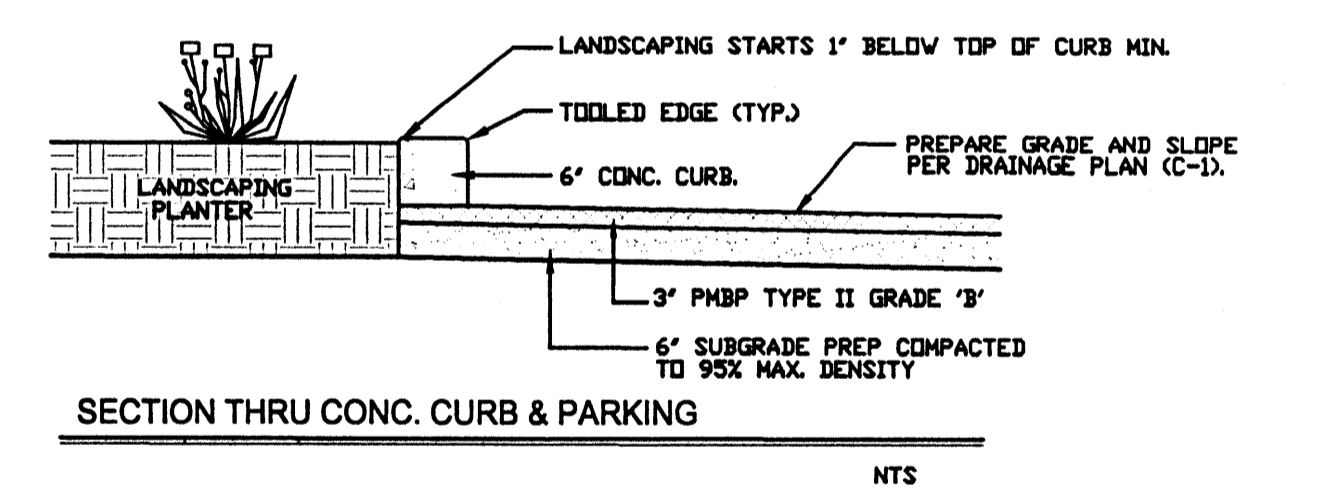
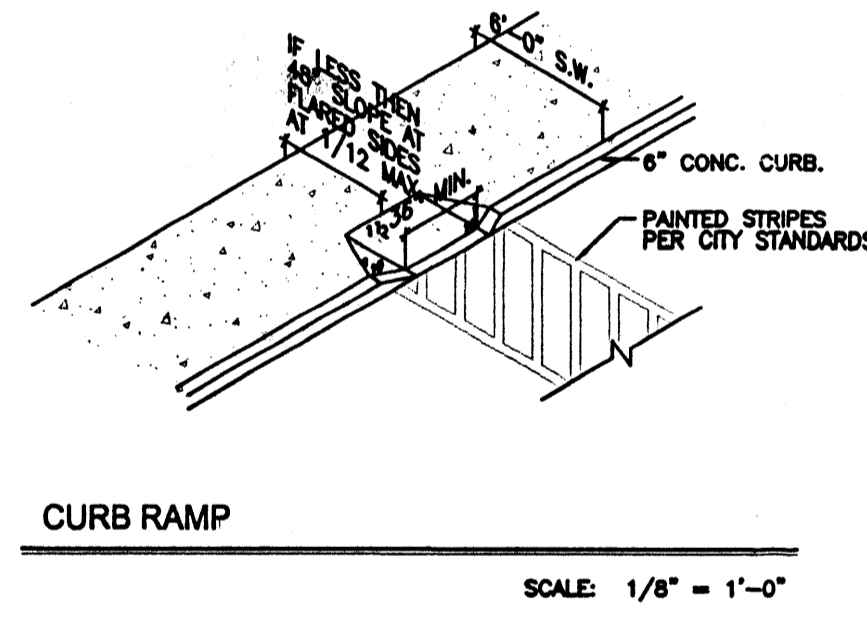
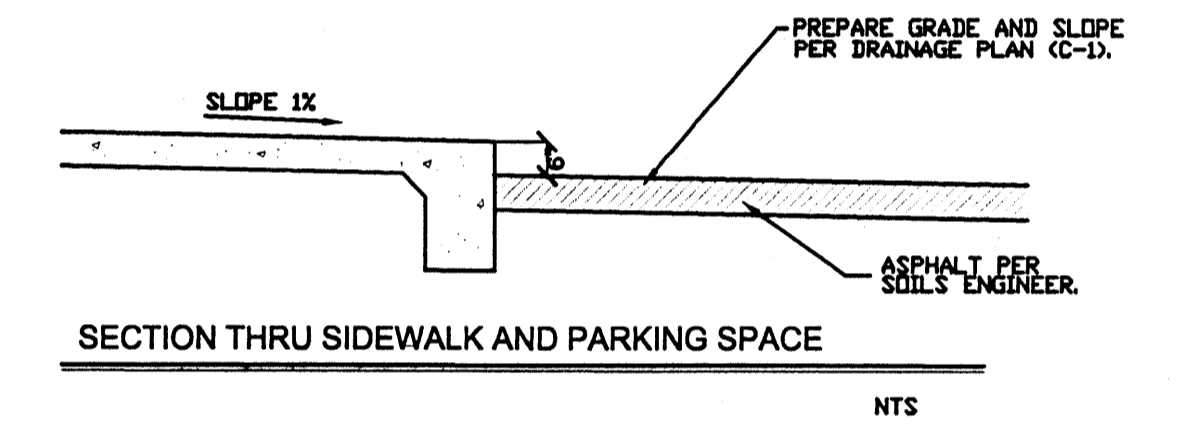
OFFICE	B
WAREHOUSE	S-1
- EXTERIOR WALLS AND OPENINGS UBC TABLE 5A
- BUILDING HEIGHT 15'-0" - SINGLE STORY
- TYPE OF CONSTRUCTION UBC TABLE 5A: TYPE V-N
- BASIC ALLOWABLE FLOOR AREA UBC TABLE 5B: B - 8,000 SF S-1 - 8,000 SF ALLOWABLE AREA INCREASES BECAUSE OF SEPARATION ON ALL SIDES (505.1.3):

B	16,000 SF
S-1	16,000 SF
- FIRE RESISTIVE REQUIREMENTS UBC TABLE 6-A: TYPE V-N
- OCCUPANT LOAD UBC TABLE 10-A
- EXIT REQUIREMENTS A. NUMBER OF EXITS: UBC TABLE 10-A B. WIDTH: UBC 1003.2.3
- SEISMIC ZONE: 2B
- WIND SPEED: 75 MPH
- EXPOSURE: C
- SOIL BEARING CAP.(ASSUMED) 1500 PSF
- ROOF LOAD(TOTAL) 30 PSF

TRAFFIC REQUIRED NOTES

- THE SITE HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: 1.) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY C.O. IN ORDER TO CORRECT UNAPPROVED WORK, AND 2.) INCREASE IN CONST. COSTS TO RESPONSIBLE PARTIES.
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION AND BEFORE TEMP. C.O. WILL BE SCHEDULED
- ALL PARKING SPACES ARE TYPICAL (8'-8"x20') UNLESS OTHERWISE NOTED.
- THE DESIGNER OF RECORD'S CERTIFICATION REQUIRED BY TRANSPORTATION DEVELOPMENT SERVICES MUST INCLUDE CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED WITH THE TCL BEFORE A CO IS RELEASED.

- CONCRETE SLAB: 4" THICK, 3,000 PSI, 3/4" AGG., W/8X8-10/10 W/M OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.
- APRON: 6" THICK, 3,000 PSI, 3/4" AGG., W/8X8-10/10 W/M OR EQUAL. 12'-0" X 8'-0" X 6" WITH 1/2" EXPANSION JOINT.
- FOOTING: AS REQUIRED BY DESIGN
- ENCLOSURE WALLS: 5'-4" HIGH; FOR A 4 CUBIC YARD LIFT-BIN; AND 6'-0" HIGH; FOR A 6 CUBIC YARD LIFT-BIN; MASONRY, WOOD, SHRUBS, OR CHAINLINK WITH SLOTS.

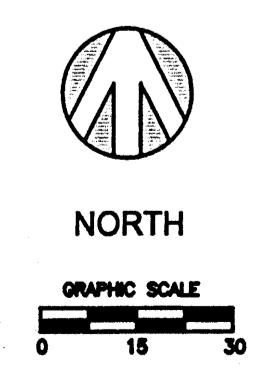


NOTES:

- DIMENSIONS GIVEN ARE TO THE INSIDE OF ENCLOSURE WALLS AND ARE THE MINIMUM SIZES REQUIRED FOR THE SLAB ITSELF. FOOTING WILL VARY WITH DESIGN OF ENCLOSURE.
- 4" O.D. CONCRETE FILLED PIPE SHALL BE ENCASED IN 4" CONC. ALL AROUND AND EMBEDDED 2".

SITE PLAN

SCALE: 1"=30'-0"
 LEGAL: LOTS 7 AND 8 ALAMEDA BUSINESS PARK 2.17328 ACRES 75509.0 SF
 STREET ADDRESS: PASEO ALAMEDA



PARKING REQUIREMENTS

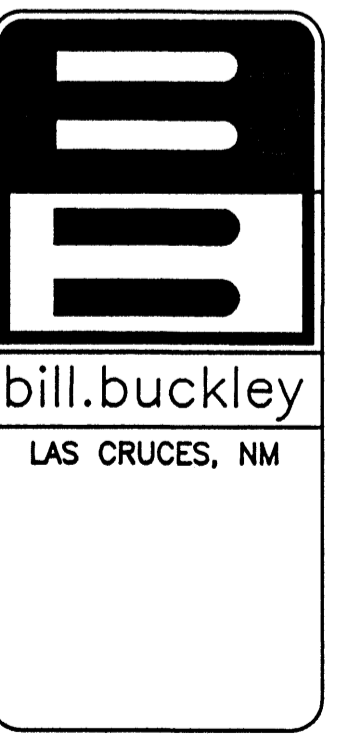
NET OFFICE AREA:	3530 SF
3530 / 200 = 17.65	
= 17.65 REQUIRED PARKING SPACES	
NET WAREHOUSE AREA:	13639 SF
13639 / 2000 = 6.82	
= 24.47 REQUIRED PARKING SPACES	

PARKING REQUIREMENTS

BERNALILLO COUNTY- OFFICE

SURFACE PARKING:

HANDICAPPED	2 CARS
REGULAR AND COMPACT	26 CARS
TOTAL ON SITE PARKING PROVIDED	28 CARS
TOTAL REQUIRED PARKING:	24 CARS



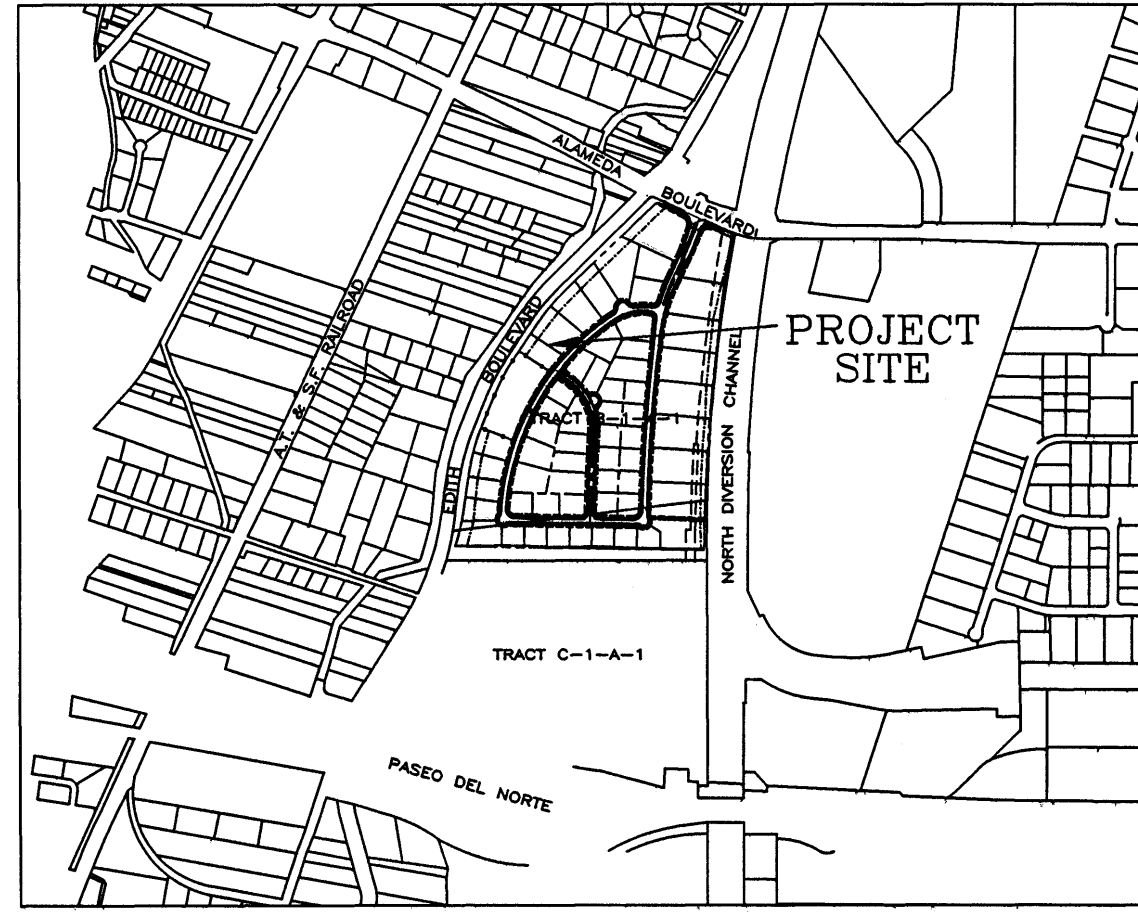
DESIGN COLLABORATIVE THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: TC-OFFICE WAREHOUSE

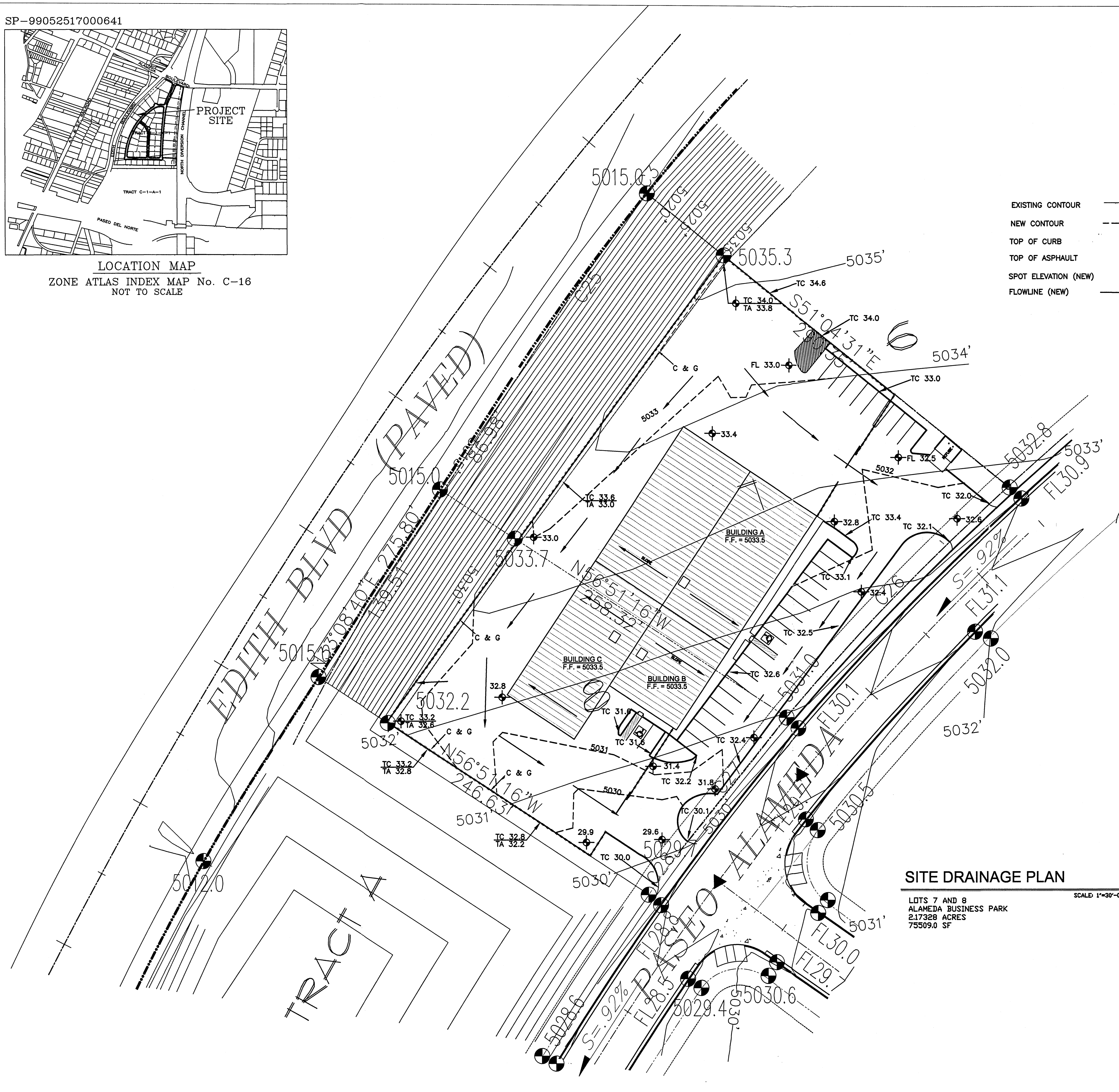
REVISION:	FILE NAME	JOB NO.	DATE
8/1/00	TC-A1		8/21/00

SHEET TITLE: SITE PLAN
 DRAWN BY: REZ





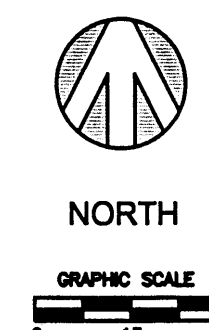
LOCATION MAP
ZONE ATLAS INDEX MAP No. C-16
NOT TO SCALE



EXISTING CONTOUR _____
NEW CONTOUR - - - - -
TOP OF CURB TC
TOP OF ASPHALT TA
SPOT ELEVATION (NEW) ⬤
FLOWLINE (NEW) →

SITE DRAINAGE PLAN

LOTS 7 AND 8
ALAMEDA BUSINESS PARK
2,17328 ACRES
75509.0 SF
SCALE: 1"=30'-0"



TRI-STAR BUILDING AREA = 2.17328 ACRES
ALAMEDA BUS. PARK
ZONE 2
PRECIPITATION: 360 = 2.35 IN.
1440 = 2.78 IN.
10DA = 3.95 IN.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 IN.	1.56 CFS/AC.
TREATMENT B 0.78 IN.	2.28 CFS/AC.
TREATMENT C 1.13 IN.	3.14 CFS/AC.
TREATMENT D 2.12 IN.	4.70 CFS/AC.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0 AC.	0 AC.
TREATMENT B 0 AC.	0 AC.
TREATMENT C 2.17 AC.	0.8204 AC.
TREATMENT D 0 AC.	1.3390 AC.

EXISTING EXCESS PRECIPITATION:
WEIGHTED E = 0.53 (0.00) + 0.78 (0.00) + 1.13 (2.14) + 2.12 (0.00) / 2.14 AC.
= 1.13 IN.
V100 -360 = 1.13 (2.14) / 12 = 0.202 ACFT = 8778 CFS

EXISTING PEAK DISCHARGE:
Q100 = 1.56 (0.00) + 2.28 (0.00) + 3.14 (2.14) + 4.70 (0.00)
= 6.72 CFS

PROPOSED EXCESS PRECIPITATION:
WEIGHTED E = 0.53 (0.00) + 0.78 (0.00) + 1.13 (0.25) + 2.12 (1.75) / 2.14 AC.
= 1.45 IN.
V100 -360 = 1.45 (2.14) / 12 = 0.260 ACFT = 11329 CFS
V100 -1440 = 0.26 + 1.339 X (2.70 - 2.35) / 12 = 0.2991 ACFT = 13028 CFS
V100 -1440 = 0.26 + 1.339 X (3.65 - 2.35) / 12 = 0.4151 ACFT = 17844 CFS

BENCHMARK:
THE STATION IS LOCATED 0.35 MILES NORTH OF THE RICHFIELD ROAD BRIDGE OVER THE AMAFCA NORTH DIVERSION CHANNEL.
STATION IS AMAFCA BRASS TABLE STAMPED "NDC 7-1A," SET ON A CONCRETE POST PROJECTED 0.3 FEET ABOVE GROUND ELEVATION: 5053.10

- EROSION CONTROL MEASURES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 1. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADINGS AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 2. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
 2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

GRADING/DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING LOT 7 & 8 ALAMEDA BUSINESS PARK ARE CONTAINED HEREON:

1. VICINITY MAP
2. DRAINAGE CALCULATIONS

EXISTING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 2.17328 ACRES AND IS LOCATED SOUTH OF ALAMEDA BLVD. JUST SOUTH OF WHERE ALAMEDA PARK DRIVE NW AND PASEO ALAMEDA NW COME TOGETHER. THE SITE HAS BEEN GRADED TO DRAIN FROM NORTH TO SOUTH, ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL 01360, DATED SEPTEMBER 20, 1996, THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS
AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF THREE OFFICE/WAREHOUSE BUILDINGS TOTALING 17,901 SQ. FT. ALONG WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. A MASTER DRAINAGE PLAN WAS PREPARED BY BOHANNAN-HOUSTON IN FEBRUARY OF 1999. ON-SITE RUN-OFF WILL TRAVEL ON PASEO ALAMEDA AND INTO INLETS WHICH DRAIN INTO A COMMON POND PROVIDED BY THE MASTER DRAINAGE PLAN (TRACT A). THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR EVENT. THE PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

DOWN STREAM CONDITIONS
PER THE APPROVED MASTER DRAINAGE PLAN, FREE DISCHARGE HAS BEEN ALLOWED INTO A COMMON POND PROVIDED BY THE ALAMEDA BUSINESS PARK MASTER DRAINAGE PLAN.



KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE:
TC-OFFICE WAREHOUSE

REVISION:	FILE NAME	JOB NO.	DATE
	TC-C1		2/8/00

SHEET TITLE:
SITE DRAINAGE PLAN

DRAWN BY	JAH
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